

111-119 MLK JR BLVD

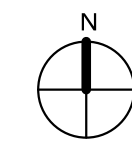
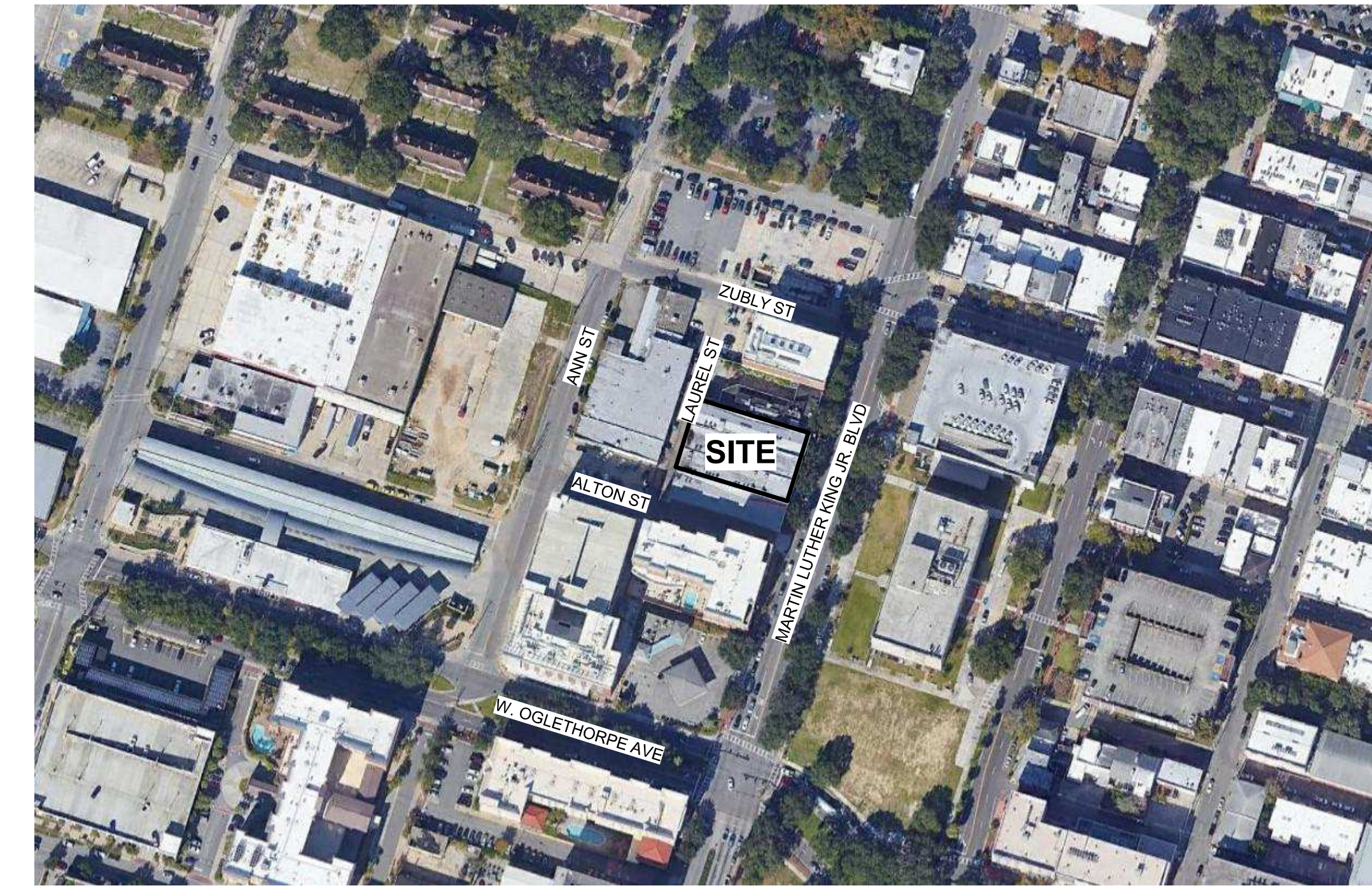
111, 113, 119 MARTIN LUTHER KING JR. BOULEVARD
SAVANNAH, GA 31401

HISTORIC DISTRICT BOARD OF REVIEW PETITION:
PART 1: DEMOLITION & ALTERATIONS

JUNE 16, 2022



VICINITY MAP



ARCHITECT

LS3P ASSOCIATES LTD.
SCOTT COOK
321 WEST CONGRESS STREET
SAVANNAH, GA 31401
tel: 912.298.2119
email: SCOTTCOOK@LS3P.COM

OWNER

TIDAL REAL ESTATE PARTNERS, LP
EYAL EINIK
520 WEST 27TH STREET, SUITE 403
NEW YORK, NY 10001
tel: 212.352.8224
email: EEINIK@TIDALREP.COM

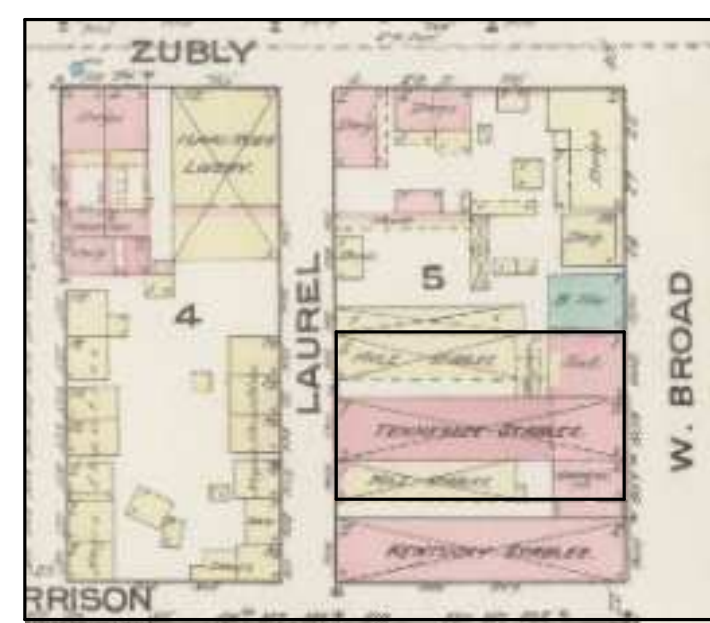
TIDAL
REAL ESTATE PARTNERS

111-119 MLK JR
BLVD

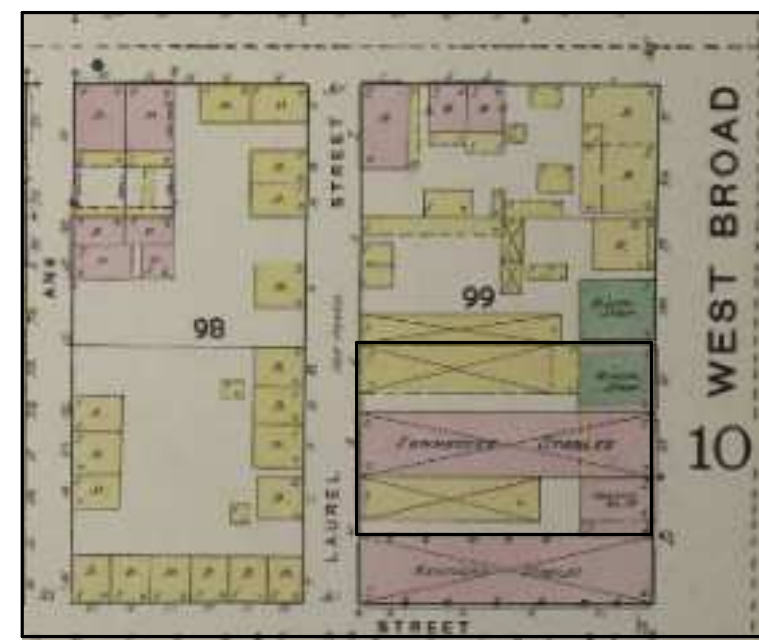
LS3P

321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

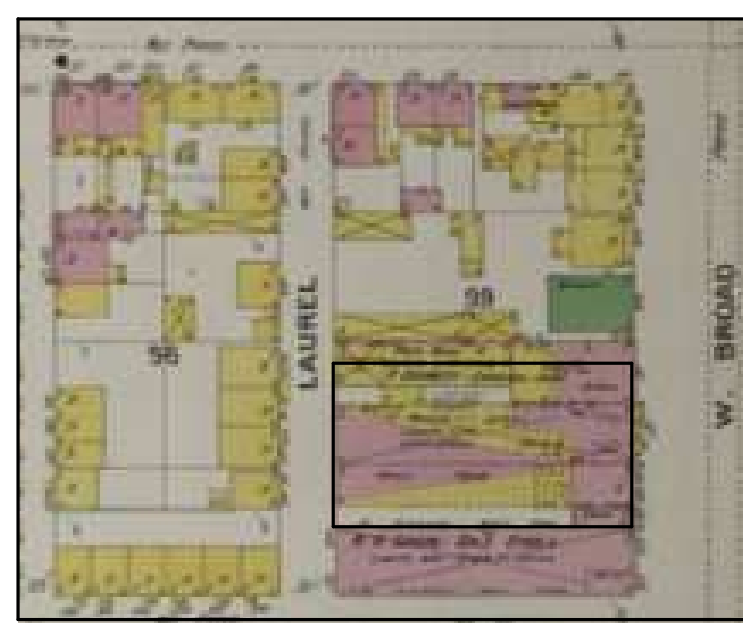
SANBORN MAPS



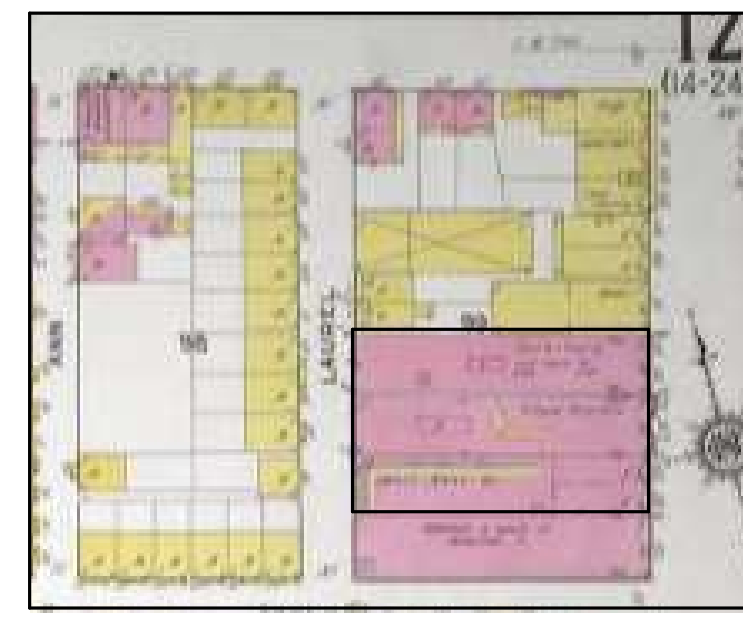
1884



1888

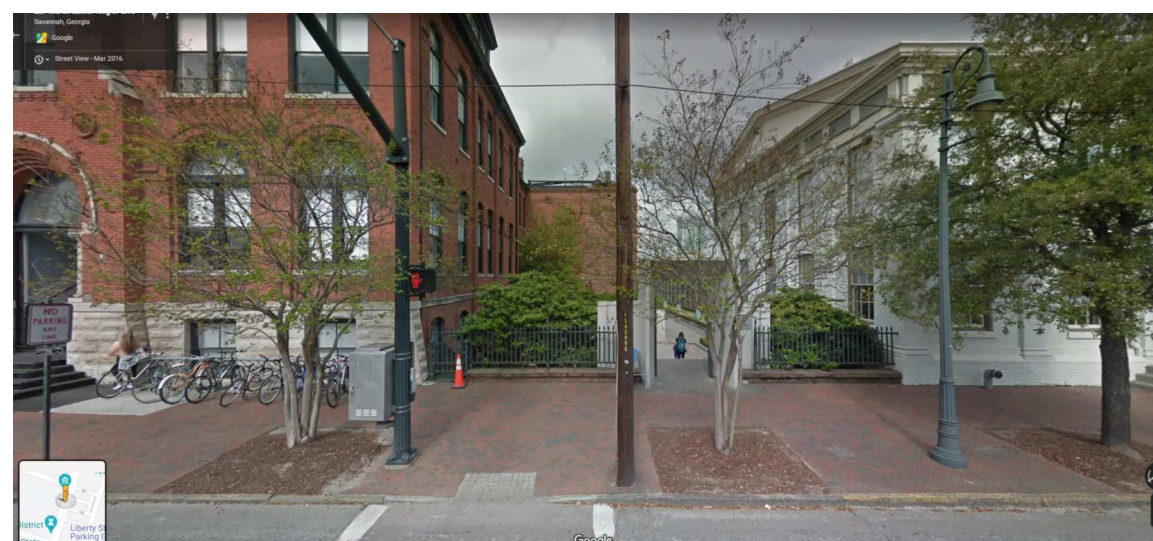


1898

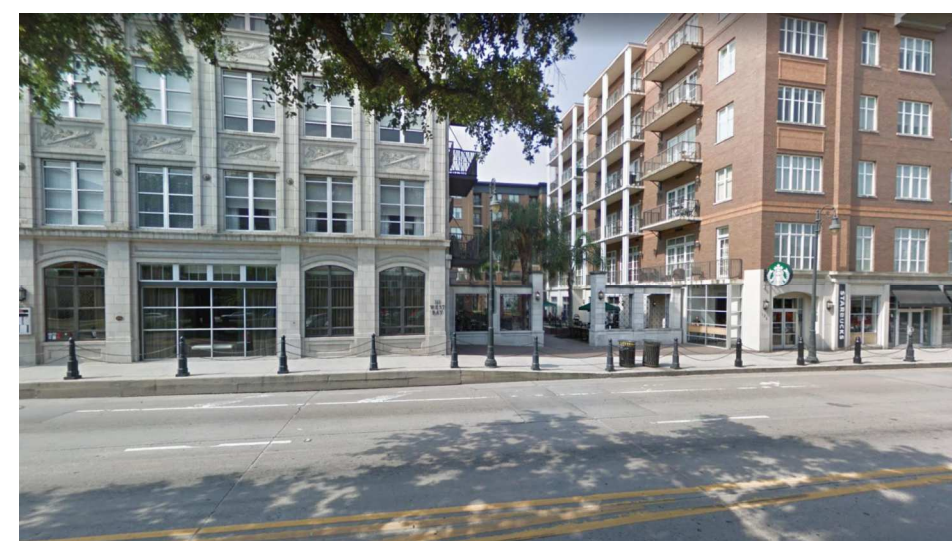


1916

PRECEDENT IMAGERY



SCAD MUSEUM OF ART COURTYARD - MLK BLVD.



NEWS PLACE - EAST BAY STREET

DRAWING INDEX

SHEET	DESCRIPTION
G-000	COVER SHEET
D-101	DEMOLITION FIRST FLOOR PLAN
D-102	DEMOLITION FIRST SECOND PLAN
D-103	DEMOLITION ROOF PLAN
D-201	DEMOLITION EXTERIOR ELEVATIONS
A-001	ARCHITECTURAL SITE PLAN
A-002	SITE ELEVATIONS
A-003	SITE CONNECTIVITY DIAGRAM
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-151	ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS (COURTYARD)
A-301	BUILDING SECTIONS
A-602	WINDOW LEGEND AND SCHEDULE

PROJECT INFORMATION

111 MARTIN LUTHER KING JR. BLVD.
NORTH HALF LOT C OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-003
PARCEL SQUARE FOOTAGE = 5,663 SF

113 MARTIN LUTHER KING JR. BLVD.
SOUTH HALF OF LOT C OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-004
PARCEL SQUARE FOOTAGE = 5,663 SF

119 MARTIN LUTHER KING JR. BLVD.
NORTH HALF OF LOT A OF MIDDLE OGLETHORPE WARD
PIN: 2-0016-22-005
PARCEL SQUARE FOOTAGE = 5,663 SF

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

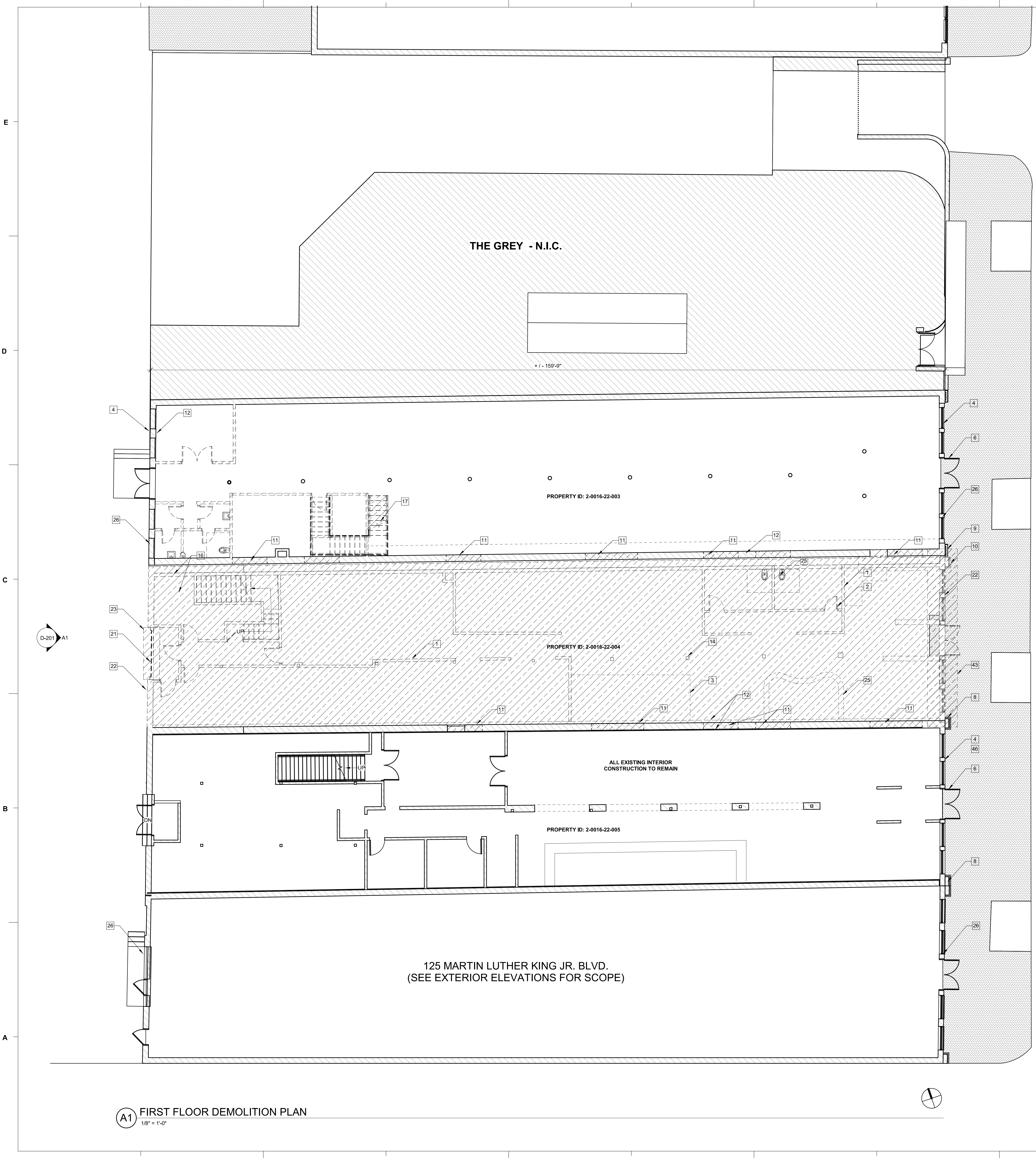
PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: MG
CHECKED BY: SC

COVER SHEET

G-000

HDBR SUBMISSION

B:\362\103-184760\113 MLK Market\Arch_113 MLK Market_2020.rvt
6/15/2022 5:10:08 PM



A1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP ANY UTILITY IN WALLS CEILINGS AND FLOORS TO BE REMOVED AND NOT INTENDED FOR REUSE.
11. PREPARE AND PATCH SURFACES THAT RECEIVE NEW FINISHES AS REQUIRED BY REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SE EXISTING BRICK WALLS TO REMAIN.
14. ALL EXISTING COLUMNS AND PLASTER TO REMAIN AT 111 AND 119 MLK U.N.O. ALL EXISTING COLUMNS AT 113 MLK TO BE DEMOLISHED.
15. REMOVE AND DISPOSE OF ALL EXISTING CASEWORK AND SHELVING.
16. EXISTING SECOND FLOOR SLAB AT 113 MLK TO BE DEMOLISHED IN ITS ENTIRETY.
17. REPAIR AND REFINISH EXISTING FACADES TO REMAIN AS INDICATED IN PROPOSED ELEVATIONS.
- 18.

DEMOLITION NUMBERED NOTES

- 1 REMOVE EXISTING PARTITION WALLS AS INDICATED.
- 2 REMOVE EXISTING INTERIOR DOORS AND FRAMES, TYP.
- 3 REMOVE EXISTING CASEWORK / SHELVING.
- 4 EXISTING EXTERIOR WALLS TO REMAIN U.N.O.
- 5 REMOVE EXISTING EXTERIOR WINDOW, TYP.
- 6 EXISTING EXTERIOR DOOR AND STOREFRONT TO REMAIN U.N.O.
- 7 EXISTING EXTERIOR STUCCO PILASTER TO REMAIN U.N.O.
- 8 EXISTING EXTERIOR BRICK PILASTER TO REMAIN U.N.O.
- 9 REMOVE EXISTING EXTERIOR STUCCO PILASTER.
- 10 REMOVE PORTION OF EXISTING BEARING WALL AS REQUIRED FOR NEW OPENING. SEE FLOOR PLAN.
- 11 REMOVE ALL EXISTING GYPSUM AND WALL FINISH MATERIALS TO EXPOSE EXISTING BRICK WALLS, TYP. THROUGHOUT PROJECT U.N.O.
- 12 EXISTING STRUCTURAL COLUMNS TO REMAIN, TYP. THROUGHOUT PROJECT U.N.O. CONTACT ENGINEER OF RECORD IF SLAB DEMOLITION IS NEAR COLUMNS.
- 13 REMOVE ALL EXISTING STRUCTURAL COLUMNS AT 113 MLK BOULEVARD, TYP.
- 14 PORTION OF EXISTING FLOOR SLAB TO BE DEMOLISHED.
- 15 EXISTING STAIR TO BE DEMOLISHED.
- 16 REMOVE AND DISPOSE OF EXISTING OVERHEAD DOORS.
- 17 EXISTING FACADE TO BE DEMOLISHED. REMOVE AND DISPOSE OF ALL EXISTING WINDOWS AND DOORS.
- 18 REMOVE AND DISPOSE EXISTING EXTERIOR RAMPS AND STAIRS.
- 19 REMOVE AND DISPOSE OF EXISTING BAR, BAR EQUIPMENT, AND PLUMBING FIXTURES.
- 20 EXISTING FACADE TO REMAIN. SEE ELEVATIONS FOR REPAIR AND FINISHES.
- 21 EXISTING MEZZANINE TO BE DEMOLISHED ALONG WITH ANY STRUCTURE ASSOCIATED WITH IT. SEE STRUCTURAL FOR ANY TEMPORARY BRACING REQUIRED.
- 22 ALL UTILITY PANELS TO BE RELOCATED. SEE PROPOSED ELEVATION.
- 23 REMOVE AND DISPOSE OF EXISTING PLYWOOD, INFILL OPENING AS NEEDED. SEE PROPOSED ELEVATION.
- 24 EXISTING MONO-SLOPE ROOF TO REMAIN AND BE REPAIRED AS NEEDED.
- 25 EXISTING DOWNSPOUT TO REMAIN. REPAIR AS NEEDED.
- 26 EXISTING RIDGE AT SPECIFIED LOCATION BE REVIEWED BY GC AND REPAIRED AS NEEDED.
- 27 EXISTING SKYLIGHT TO REMAIN AND BE REPAIRED AS NECESSARY. FIELD VERIFY LOCATION TO ENSURE THERE ARE NO CONFLICTS WITH SECOND FLOOR PROPOSED WALL LOCATION.
- 28 EXISTING ELEVATOR OVRERRUN TO BE DEMOLISHED. INFILL PER STRUCTURAL. TIE IN NEW TPO ROOFING.
- 29 ALL EXISTING ROOF MOUNTED EQUIPMENT TO BE REMOVED AND DISPOSED OF. TYP.
- 30 EXISTING CRICKET TO BE ENHANCED. SEE A-151.
- 31 EXISTING ROOFING CONDITION TO BE REVIEWED BY GC FOR RE-ROOF. NEW 80 MIL TPO ROOFING TO BE PROVIDED. EXISTING ROOFING TO BE REMOVED AS REQUIRED.
- 32 PARTIAL DEMOLITION OF EXISTING SIDEWALK TO ACCOMMODATE NEW FOOTING. SEE STRUCTURAL.
- 33 PORTION OF 119 MARTIN LUTHER KING JR. BLVD EXISTING FACADE AND ROOF TO BE DEMOLISHED. SEE STRUCTURAL FOR HEIGHT AND SCOPE OF WORK. REMOVE WINDOWS AND RETAIN FOR REPLACEMENT.
- 34 EXISTING WINDOWS TO REMAIN. REPAIR AS NEEDED. WINDOWS AT 119 MLK TO BE REMOVED AND RETAINED FOR REPLACEMENT AFTER PARTIAL WALL IS REBUILT.

TIDAL
REAL ESTATE PARTNERS

111-119 MLK JR
BLVD

LS3P

321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: MG
CHECKED BY: SC

**DEMOLITION
FIRST FLOOR
PLAN**

D-101

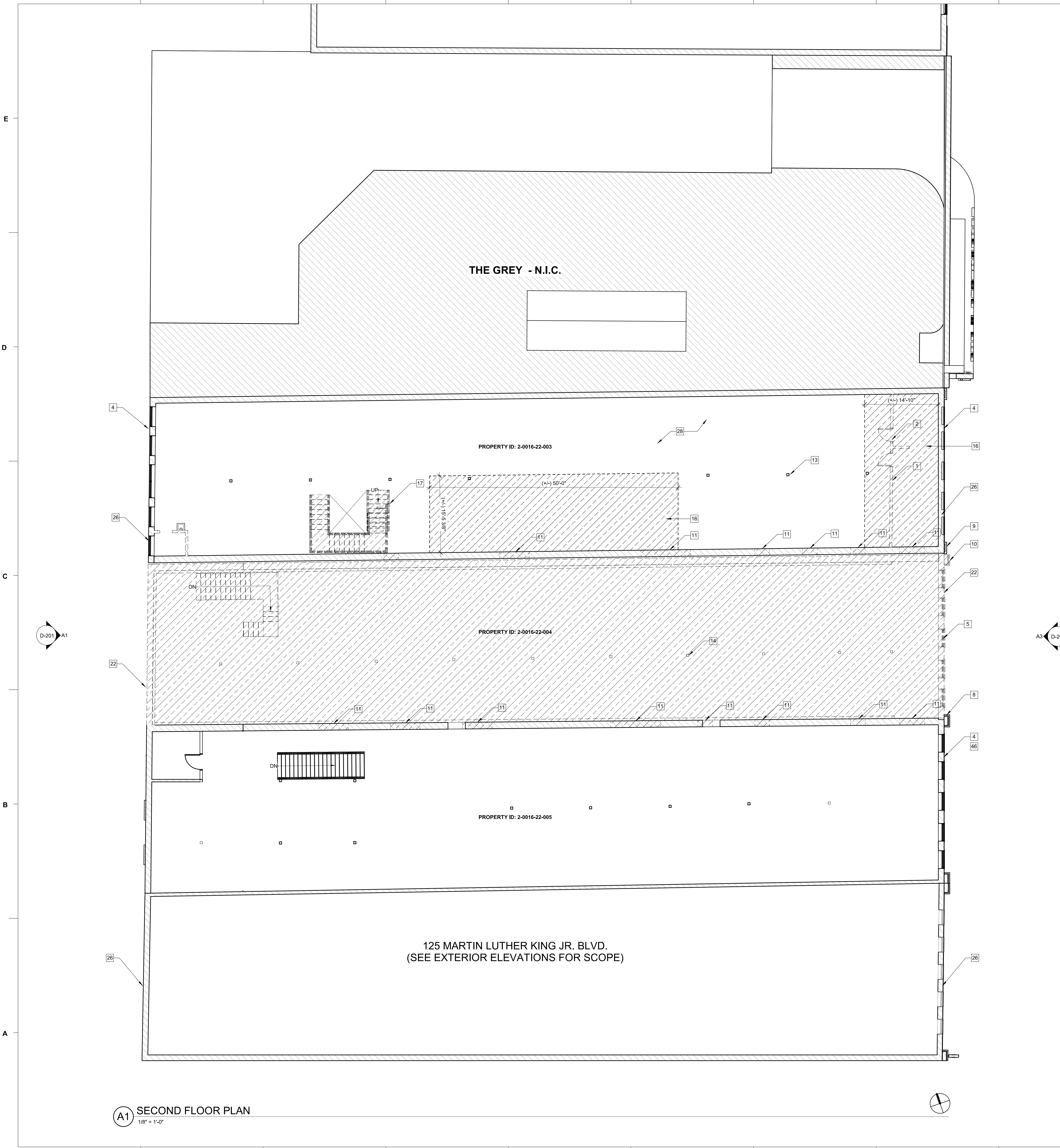
HDBR SUBMISSION

DEMOLITION GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP ANY UTILITY IN WALLS CEILINGS AND FLOORS TO BE REMOVED AND NOT INTENDED FOR REUSE.
11. PREPARE AND PATCH SURFACES THAT RECEIVE NEW FINISHES AS REQUIRED BY REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SEE EXISTING BRICK WALLS TO REMAIN.
14. ALL EXISTING COLUMNS AND PILASTERS TO REMAIN AT 111 AND 119 MLK U.N.O. ALL EXISTING COLUMNS AT 113 MLK TO BE DEMOLISHED.
15. REMOVE AND DISPOSE OF ALL EXISTING CASEWORK AND SHELVING.
16. EXISTING SECOND FLOOR SLAB AT 113 MLK TO BE DEMOLISHED IN ITS ENTIRETY.
17. REPAIR AND REFINISH EXISTING FACADES TO REMAIN AS INDICATED IN PROPOSED ELEVATIONS.
- 18.

DEMOLITION NUMBERED NOTES

1. REMOVE EXISTING PARTITION WALLS AS INDICATED.
2. REMOVE EXISTING INTERIOR DOORS AND FRAMES, TYP.
3. REMOVE EXISTING CASEWORK / SHELVING.
4. EXISTING EXTERIOR WALLS TO REMAIN U.N.O.
5. REMOVE EXISTING EXTERIOR WINDOW, TYP.
6. EXISTING EXTERIOR DOOR AND STOREFRONT TO REMAIN U.N.O.
8. EXISTING EXTERIOR STUCCO PILASTER TO REMAIN U.N.O.
9. EXISTING EXTERIOR BRICK PILASTER TO REMAIN U.N.O.
10. REMOVE EXISTING EXTERIOR STUCCO PILASTER.
11. REMOVE PORTION OF EXISTING BEARING WALL AS REQUIRED FOR NEW OPENING. SEE FLOOR PLAN.
12. REMOVE ALL EXISTING GYPSUM AND WALL FINISH MATERIALS TO EXPOSE EXISTING BRICK WALLS, TYP. THROUGHOUT PROJECT U.N.O.
13. EXISTING STRUCTURAL COLUMNS TO REMAIN, TYP. THROUGHOUT PROJECT U.N.O. CONTACT ENGINEER OF RECORD IF SLAB DEMOLITION IS NEAR COLUMNS.
14. REMOVE ALL EXISTING STRUCTURAL COLUMNS AT 113 MLK BOULEVARD, TYP.
16. PORTION OF EXISTING FLOOR SLAB TO BE DEMOLISHED.
17. EXISTING STAIR TO BE DEMOLISHED.
21. REMOVE AND DISPOSE OF EXISTING OVERHEAD DOORS.
22. EXISTING FACADE TO BE DEMOLISHED. REMOVE AND DISPOSE OF ALL EXISTING WINDOWS AND DOORS.
23. REMOVE AND DISPOSE EXISTING EXTERIOR RAMPS AND STAIRS.
25. REMOVE AND DISPOSE OF EXISTING BAR, BAR EQUIPMENT, AND PLUMBING FIXTURES.
26. EXISTING FACADE TO REMAIN. SEE ELEVATIONS FOR REPAIR AND FINISHES.
28. EXISTING MEZZANINE TO BE DEMOLISHED ALONG WITH ANY STRUCTURE ASSOCIATED WITH IT. SEE STRUCTURAL FOR ANY TEMPORARY BRACING REQUIRED.
31. ALL UTILITY PANELS TO BE RELOCATED. SEE PROPOSED ELEVATION.
32. REMOVE AND DISPOSE OF EXISTING PLYWOOD, INFILL OPENING AS NEEDED. SEE PROPOSED ELEVATION.
33. EXISTING MONO-SLOPE ROOF TO REMAIN AND BE REPAIRED AS NEEDED.
34. EXISTING DOWNSPOUT TO REMAIN, REPAIR AS NEEDED.
35. EXISTING RIDGE AT SPECIFIED LOCATION BE REVIEWED BY GC AND REPAIRED AS NEEDED.
36. EXISTING SKYLIGHT TO REMAIN AND BE REPAIRED AS NECESSARY. FIELD VERIFY LOCATION TO ENSURE THERE ARE NO CONFLICTS WITH SECOND FLOOR PROPOSED WALL LOCATION.
37. EXISTING ELEVATOR OVERRUN TO BE DEMOLISHED. INFILL PER STRUCTURAL. TIE IN NEW TPO ROOFING.
38. ALL EXISTING ROOF MOUNTED EQUIPMENT TO BE REMOVED AND DISPOSED OF, TYP.
39. EXISTING CRICKET TO BE ENHANCED. SEE A-151.
40. EXISTING ROOF A 113 MLK TO BE DEMOLISHED.
41. EXISTING ROOFING CONDITION TO BE REVIEWED BY GC FOR RE-ROOF. NEW 60 MIL TPO ROOFING TO BE PROVIDED. EXISTING ROOFING TO BE REMOVED AS REQUIRED.
43. PARTIAL DEMOLITION OF EXISTING SIDEWALK TO ACCOMMODATE NEW FOOTING. SEE STRUCTURAL.
46. PORTION OF 119 MARTIN LUTHER KING JR. BLVD EXISTING FACADE AND ROOF TO BE DEMOLISHED. SEE STRUCTURAL FOR HEIGHT AND SCOPE OF WORK. REMOVE WINDOWS AND RETAIN FOR REPLACEMENT.
47. EXISTING WINDOWS TO REMAIN, REPAIR AS NEEDED. WINDOWS AT 119 MLK TO BE REMOVED AND RETAINED FOR REPLACEMENT AFTER PARTIAL WALL IS REBUILT.



A1 SECOND FLOOR PLAN
1/8" = 1'-0"

B:\362\5103-184760\113 MLK Market\Arch\113 MLK Market_2020.rvt
6/16/2022 5:10:08 PM

DEMOLITION GENERAL NOTES

1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP ANY UTILITY IN WALLS, CEILINGS AND FLOORS TO BE REMOVED AND NOT INTENDED FOR REUSE.
11. PREPARE AND PATCH SURFACES THAT RECEIVE NEW FINISHES AS REQUIRED BY REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SEE EXISTING BRICK WALLS TO REMAIN.
14. ALL EXISTING COLUMNS AND PLASTER TO REMAIN AT 111 AND 119 MLK U.N.O. ALL EXISTING COLUMNS AT 113 MLK TO BE DEMOLISHED.
15. REMOVE AND DISPOSE OF ALL EXISTING CASEWORK AND SHELVING.
16. EXISTING SECOND FLOOR SLAB AT 113 MLK TO BE DEMOLISHED IN ITS ENTIRETY.
17. REPAIR AND REFINISH EXISTING FACADES TO REMAIN AS INDICATED IN PROPOSED ELEVATIONS.
- 18.

DEMOLITION NUMBERED NOTES

1. REMOVE EXISTING PARTITION WALLS AS INDICATED.
2. REMOVE EXISTING INTERIOR DOORS AND FRAMES, TYP.
3. REMOVE EXISTING CASEWORK / SHELVING.
4. EXISTING EXTERIOR WALLS TO REMAIN U.N.O.
5. REMOVE EXISTING EXTERIOR WINDOW, TYP.
6. EXISTING EXTERIOR DOOR AND STOREFRONT TO REMAIN U.N.O.
7. EXISTING EXTERIOR STUCCO PILASTER TO REMAIN U.N.O.
8. EXISTING EXTERIOR BRICK PILASTER TO REMAIN U.N.O.
9. REMOVE EXISTING EXTERIOR STUCCO PILASTER.
10. REMOVE PORTION OF EXISTING BEARING WALL AS REQUIRED FOR NEW OPENING. SEE FLOOR PLAN.
11. REMOVE ALL EXISTING GYPSUM AND WALL FINISH MATERIALS TO EXPOSE EXISTING BRICK WALLS, TYP. THROUGHOUT PROJECT U.N.O.
12. EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. THROUGHOUT PROJECT U.N.O. CONTACT ENGINEER OF RECORD IF SLAB DEMOLITION IS NEAR COLUMNS.
13. REMOVE ALL EXISTING STRUCTURAL COLUMNS AT 113 MLK BOULEVARD, TYP.
14. PORTION OF EXISTING FLOOR SLAB TO BE DEMOLISHED.
15. EXISTING STAIR TO BE DEMOLISHED.
16. REMOVE AND DISPOSE OF EXISTING OVERHEAD DOORS.
17. EXISTING FACADE TO BE DEMOLISHED. REMOVE AND DISPOSE OF ALL EXISTING WINDOWS AND DOORS.
18. REMOVE AND DISPOSE EXISTING EXTERIOR RAMPS AND STAIRS.
19. REMOVE AND DISPOSE OF EXISTING BAR, BAR EQUIPMENT, AND PLUMBING FIXTURES.
20. EXISTING FACADE TO REMAIN. SEE ELEVATIONS FOR REPAIR AND FINISHES.
21. EXISTING MEZZANINE TO BE DEMOLISHED ALONG WITH ANY STRUCTURE ASSOCIATED WITH IT. SEE STRUCTURAL FOR ANY TEMPORARY BRACING REQUIRED.
22. ALL UTILITY PANELS TO BE RELOCATED. SEE PROPOSED ELEVATION.
23. REMOVE AND DISPOSE OF EXISTING PLYWOOD, INFILL OPENING AS NEEDED. SEE PROPOSED ELEVATION.
24. EXISTING MONO-SLOPE ROOF TO REMAIN AND BE REPAIRED AS NEEDED.
25. EXISTING DOWNSPOUT TO REMAIN. REPAIR AS NEEDED.
26. EXISTING RIDGE AT SPECIFIED LOCATION BE REVIEWED BY GC AND REPAIRED AS NEEDED.
27. EXISTING SKYLIGHT TO REMAIN AND BE REPAIRED AS NECESSARY. FIELD VERIFY LOCATION TO ENSURE THERE ARE NO CONFLICTS WITH SECOND FLOOR PROPOSED WALL LOCATION.
28. EXISTING ELEVATOR OVERRUN TO BE DEMOLISHED. INFILL PER STRUCTURAL. SEE NEW TPO ROOFING.
29. ALL EXISTING ROOF MOUNTED EQUIPMENT TO BE REMOVED AND DISPOSED OF. TYP.
30. EXISTING CRICKET TO BE ENHANCED. SEE A-151.
31. EXISTING ROOF A 113 MLK TO BE DEMOLISHED.
32. EXISTING ROOFING CONDITION TO BE REVIEWED BY GC FOR RE-ROOF. NEW 60 MIL TPO ROOFING TO BE PROVIDED. EXISTING ROOFING TO BE REMOVED AS REQUIRED.
33. PARTIAL DEMOLITION OF EXISTING SIDEWALK TO ACCOMMODATE NEW FOOTING. SEE STRUCTURAL.
34. PORTION OF 119 MARTIN LUTHER KING JR. BLVD EXISTING FACADE AND ROOF TO BE DEMOLISHED. SEE STRUCTURAL FOR HEIGHT AND SCOPE OF WORK. REMOVE WINDOWS AND RETAIN FOR REPLACEMENT.
35. EXISTING WINDOWS TO REMAIN. REPAIR AS NEEDED. WINDOWS AT 119 MLK TO BE REMOVED AND RETAINED FOR REPLACEMENT AFTER PARTIAL WALL IS REBUILT.



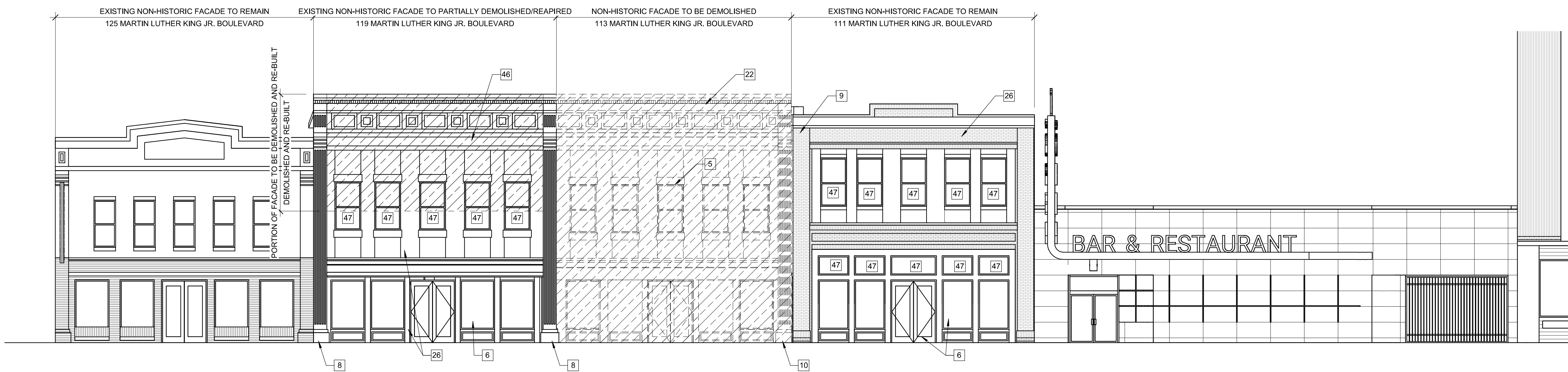
A1 DEMOLITION ROOF PLAN
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

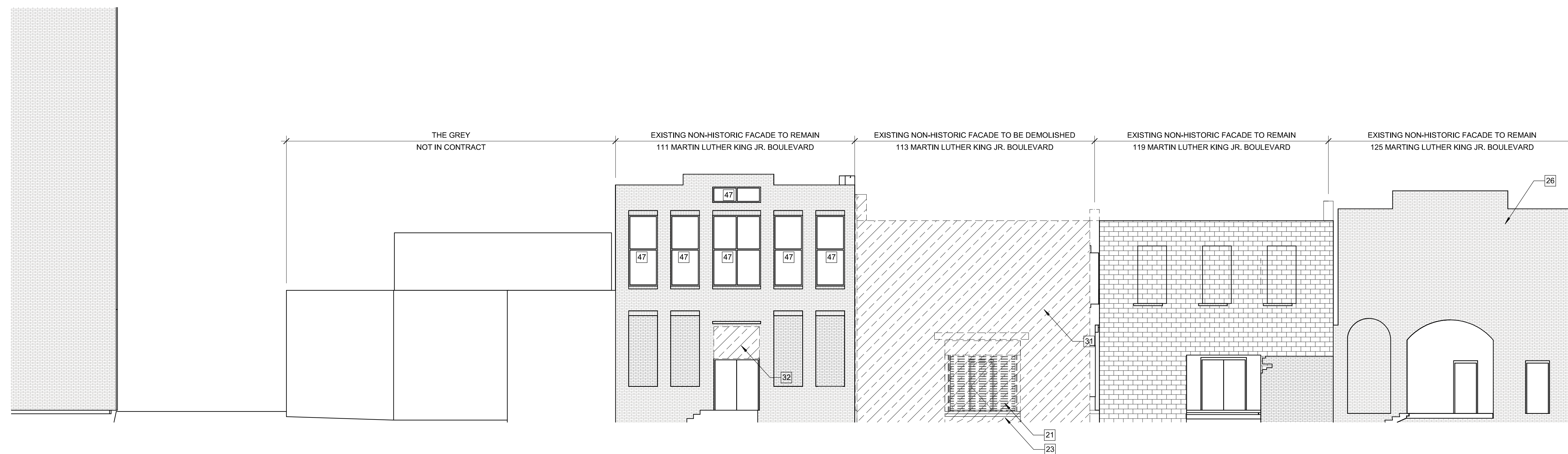
1. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
2. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
3. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION.
4. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
5. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
7. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
8. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
9. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
10. TERMINATE AND CAP ANY UTILITY IN WALLS CEILINGS AND FLOORS TO BE REMOVED AND NOT INTENDED FOR REUSE.
11. PREPARE AND PATCH SURFACES THAT RECEIVE NEW FINISHES AS REQUIRED BY REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
12. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
13. SE EXISTING BRICK WALLS TO REMAIN.
14. ALL EXISTING COLUMNS AND PILASTERS TO REMAIN AT 111 AND 119 MLK U.N.O. ALL EXISTING COLUMNS AT 113 MLK TO BE DEMOLISHED.
15. REMOVE AND DISPOSE OF ALL EXISTING CASEWORK AND SHELVING.
16. EXISTING SECOND FLOOR SLAB AT 113 MLK TO BE DEMOLISHED IN ITS ENTIRETY.
17. REPAIR AND REFINISH EXISTING FACADES TO REMAIN AS INDICATED IN PROPOSED ELEVATIONS.
- 18.

DEMOLITION NUMBERED NOTES

1. REMOVE EXISTING PARTITION WALLS AS INDICATED.
2. REMOVE EXISTING INTERIOR DOORS AND FRAMES, TYP.
3. REMOVE EXISTING CASEWORK / SHELVING.
4. EXISTING EXTERIOR WALLS TO REMAIN U.N.O.
5. REMOVE EXISTING EXTERIOR WINDOW, TYP.
6. EXISTING EXTERIOR DOOR AND STOREFRONT TO REMAIN U.N.O.
7. EXISTING EXTERIOR STUCCO PILASTER TO REMAIN U.N.O.
8. EXISTING EXTERIOR BRICK PILASTER TO REMAIN U.N.O.
9. REMOVE EXISTING EXTERIOR STUCCO PILASTER.
10. REMOVE PORTION OF EXISTING BEARING WALL AS REQUIRED FOR NEW OPENING. SEE FLOOR PLAN.
11. REMOVE ALL EXISTING GYPSUM AND WALL FINISH MATERIALS TO EXPOSE EXISTING BRICK WALLS, TYP. THROUGHOUT PROJECT U.N.O.
13. REMOVE STRUCTURAL COLUMNS TO REMAIN, TYP. THROUGHOUT PROJECT U.N.O. CONTACT ENGINEER OF RECORD IF SLAB DEMOLITION IS NEAR COLUMNS.
14. REMOVE ALL EXISTING STRUCTURAL COLUMNS AT 113 MLK BOULEVARD, TYP.
16. PORTION OF EXISTING FLOOR SLAB TO BE DEMOLISHED.
17. EXISTING STAIR TO BE DEMOLISHED.
21. REMOVE AND DISPOSE OF EXISTING OVERHEAD DOORS.
22. EXISTING FACADE TO BE DEMOLISHED. REMOVE AND DISPOSE OF ALL EXISTING WINDOWS AND DOORS.
23. REMOVE AND DISPOSE EXISTING EXTERIOR RAMPS AND STAIRS.
25. REMOVE AND DISPOSE OF EXISTING BAR, BAR EQUIPMENT, AND PLUMBING FIXTURES.
26. EXISTING FACADE TO REMAIN. SEE ELEVATIONS FOR REPAIR AND FINISHES.
28. EXISTING MEZZANINE TO BE DEMOLISHED ALONG WITH ANY STRUCTURE ASSOCIATED WITH IT. SEE STRUCTURAL FOR ANY TEMPORARY BRACING REQUIRED.
31. ALL UTILITY PANELS TO BE RELOCATED; SEE PROPOSED ELEVATION.
32. REMOVE AND DISPOSE OF EXISTING PLYWOOD. INFILL OPENING AS NEEDED. SEE PROPOSED ELEVATION.
33. EXISTING MONO-SLOPE ROOF TO REMAIN AND BE REPAIRED AS NEEDED.
34. EXISTING DOWNSPOUT TO REMAIN. REPAIR AS NEEDED.
35. EXISTING RIDGE AT SPECIFIED LOCATION BE REVIEWED BY GC AND REPAIRED AS NEEDED.
36. EXISTING SKYLIGHT TO REMAIN AND BE REPAIRED AS NECESSARY. FIELD VERIFY LOCATION TO ENSURE THERE ARE NO CONFLICTS WITH SECOND FLOOR PROPOSED WALL LOCATION.
37. EXISTING ELEVATOR OVERRUN TO BE DEMOLISHED. INFILL PER STRUCTURAL. TIE IN NEW TPO ROOFING.
38. ALL EXISTING ROOF MOUNTED EQUIPMENT TO BE REMOVED AND DISPOSED OF, TYP.
39. EXISTING CRICKET TO BE ENHANCED; SEE A-151.
40. EXISTING ROOF AT 113 MLK TO BE DEMOLISHED.
41. EXISTING ROOFING CONDITION TO BE REVIEWED BY GC FOR RE-ROOF. NEW 60 MIL TPO ROOFING TO BE PROVIDED, EXISTING ROOFING TO BE REMOVED AS REQUIRED.
43. PARTIAL DEMOLITION OF EXISTING SIDEWALK TO ACCOMMODATE NEW FOOTING. SEE STRUCTURAL.
46. PORTION OF 119 MARTIN LUTHER KING JR. BLVD EXISTING FACADE AND ROOF TO BE DEMOLISHED. SEE STRUCTURAL FOR HEIGHT AND SCOPE OF WORK. REMOVE WINDOWS AND RETAIN FOR REPLACEMENT.
47. EXISTING WINDOWS TO REMAIN. REPAIR AS NEEDED. WINDOWS AT 119 MLK TO BE REMOVED AND RETAINED FOR REPLACEMENT AFTER PARTIAL WALL IS REBUILT.



A3 MLK BOULEVARD DEMOLITION ELEVATION
1/8" = 1'-0"



A1 LAUREL STREET DEMOLITION ELEVATION
1/8" = 1'-0"



SITE INFORMATION

111 MARTIN LUTHER KING JR. BLVD
 NORTH HALF LOT C OF MIDDLE OGLETHORPE WARD
 PIN: 2-0016-22-003
 ZONING: D-CBD
 0.125 ACRES (5,390 SF)
 EXISTING USE: VACANT
 PROPOSED USE: NONRESIDENTIAL (BUSINESS OFFICE, 2 STORIES)
 OFF-STREET PARKING REQUIREMENTS: NONE
 UNITS: N/A
 DENSITY: N/A
 PARKING PROVIDED: NONE

113 MARTIN LUTHER KING JR. BLVD.
 SOUTH HALF OF LOT C OF MIDDLE OGLETHORPE WARD
 PIN: 2-0016-22-004
 ZONING: D-CBD
 0.125 ACRES (5,390 SF)
 EXISTING USE: RESTAURANT
 PROPOSED USE: OUTDOOR SPACE
 OFF-STREET PARKING REQUIREMENTS: NONE
 UNITS: N/A
 DENSITY: N/A
 PARKING PROVIDED: NONE

119 MARTIN LUTHER KING JR. BLVD.
 NORTH HALF OF LOT A OF MIDDLE OGLETHORPE WARD
 PIN: 2-0016-22-005
 ZONING: D-CBD
 0.125 ACRES (5,390 SF)
 EXISTING USE: RESTAURANT
 PROPOSED USE: GROUND FLOOR RESTAURANT, SECOND FLOOR STORAGE
 OFF-STREET PARKING REQUIREMENTS: NONE
 UNITS: N/A
 DENSITY: N/A
 PARKING PROVIDED: NONE

FLOOD ZONE: X



111-119 MLK JR BLVD



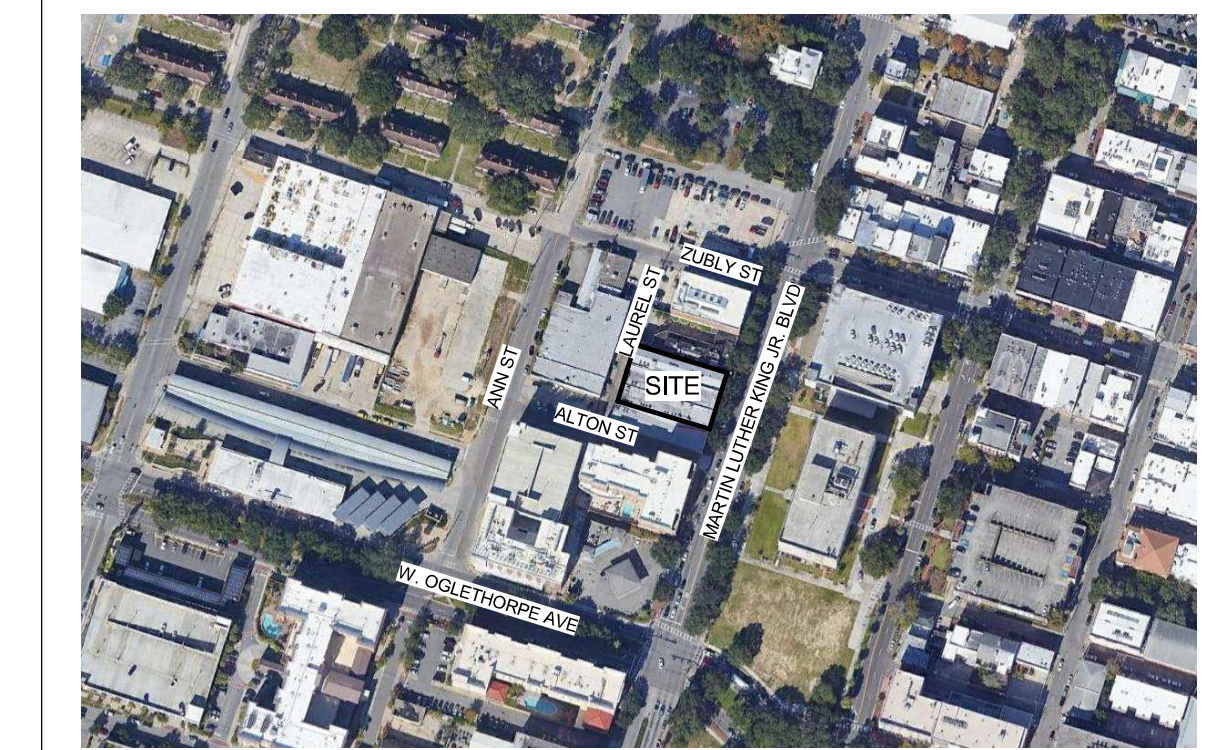
MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
 PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

VICINITY MAP



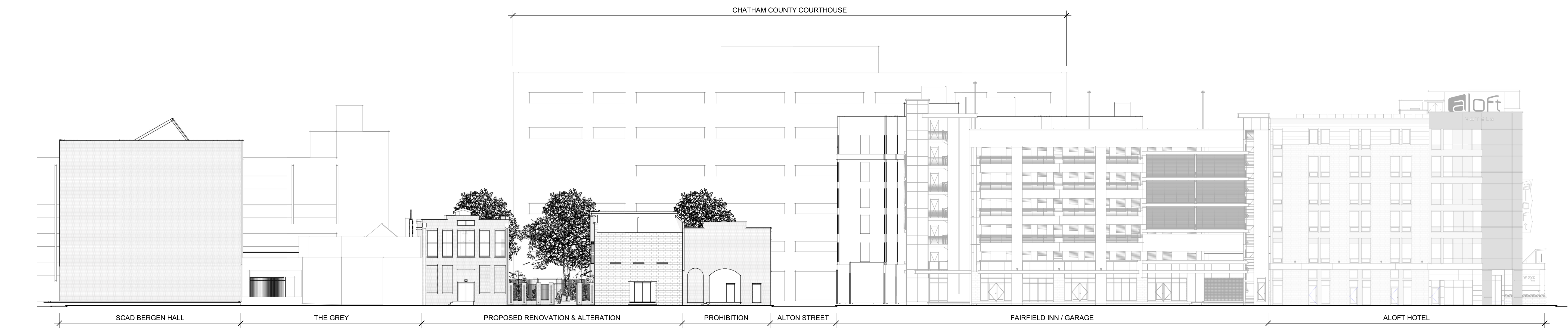
PROJECT: 5103-184760
 DATE: JUNE 16TH, 2022
 DRAWN BY: MG
 CHECKED BY: SC

ARCHITECTURAL SITE PLAN

A-001

HDBR SUBMISSION

BIN_362/5103-184760_113 MLK Market/Arch_113 MLK Market_2020.rvt
 6/15/2022 5:09:30 PM



1 LAUREL STREET SITE ELEVATION
1" = 20'-0"



2 MLK STREET ELEVATION
1" = 20'-0"



B1 VIEW FROM LAUREL STREET
12" = 1'-0"



B2 VIEW FROM LAUREL STREET
12" = 1'-0"



B3 VIEW FROM ALTON STREET
12" = 1'-0"



B4 VIEW FROM ALTON STREET
12" = 1'-0"



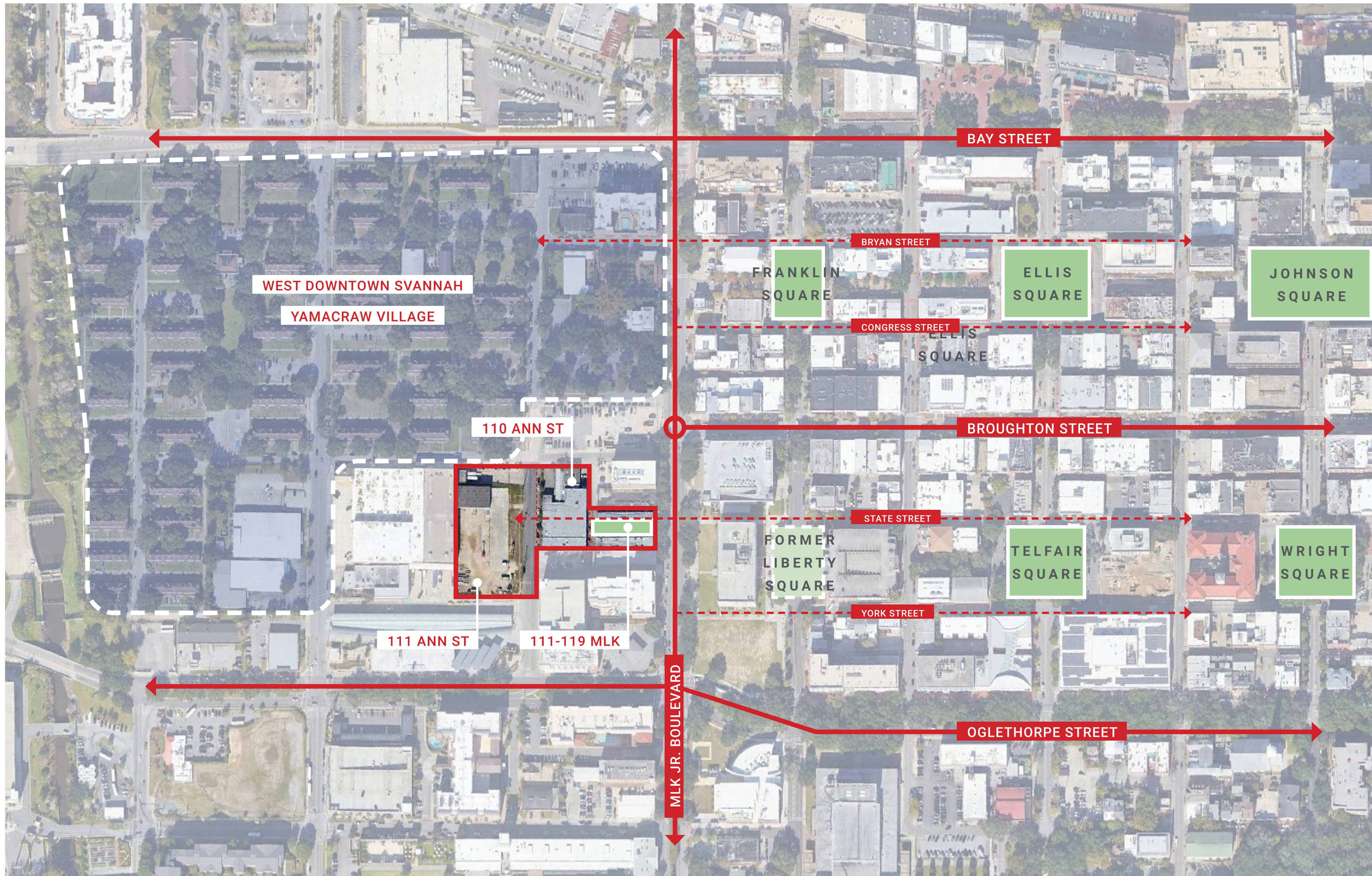
A1 VIEW FROM MLK, JR. BOULEVARD
12" = 1'-0"



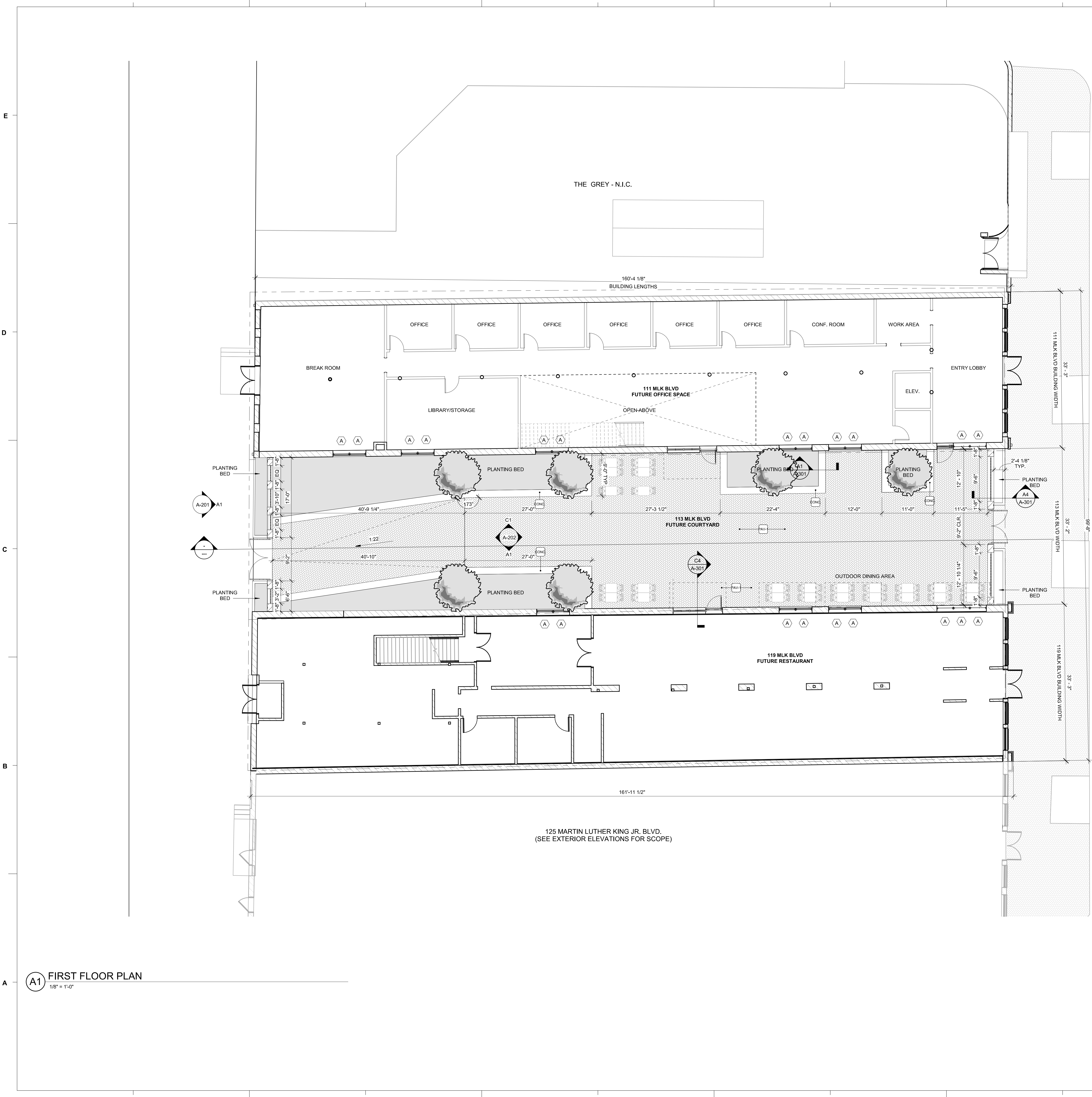
A2 VIEW FROM MLK, JR. BOULEVARD
12" = 1'-0"



A3 VIEW FROM MLK, JR. BOULEVARD
12" = 1'-0"



B:\1362\5103-184760 113 MLK Market\Arch_113 MLK Market_2020.rvt
6/15/2022 5:09:49 PM



MATERIAL LEGEND

B-1	BRICK-1 PRODUCT: GLEN GERY COLOR: ASPEN WHITE RUNNING BOND
M-1	MORTAR-1 PRODUCT: ARGOS 3/8" JOINT COLOR: ATLANTA ANTIQUE
AL-1	ALUMINUM-1 PRODUCT: WINDSOR COLOR: BLACK
F-1	FABRIC-1 PRODUCT: SUNBRELLA COLOR: CUSTOM COLOR
PAV-1	PAVER-1 PRODUCT: BELDEN BRICK COLOR: IVORY BAY
EX-PT-1	PAINT-1 PRODUCT: BENJAMIN MOORE PAINT COLOR: 2133-60 SIDEWALK GRAY
EX-PT-2	PAINT-2 PRODUCT: BENJAMIN MOORE PAINT COLOR: AF-675 FUSION
EX-PT-3	PAINT-3 PRODUCT: BENJAMIN MOORE PAINT COLOR: TO MATCH AL-1 (BLACK)
CONC.	CONCRETE PRODUCT: EXPOSED CONCRETE COLOR: SEALED FINISH



111-119 MLK JR BLVD



321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date
-----	-------------	------

PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: NSR
CHECKED BY: SC

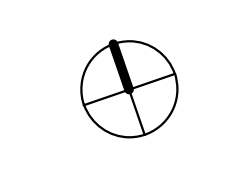
FLOOR PLANS

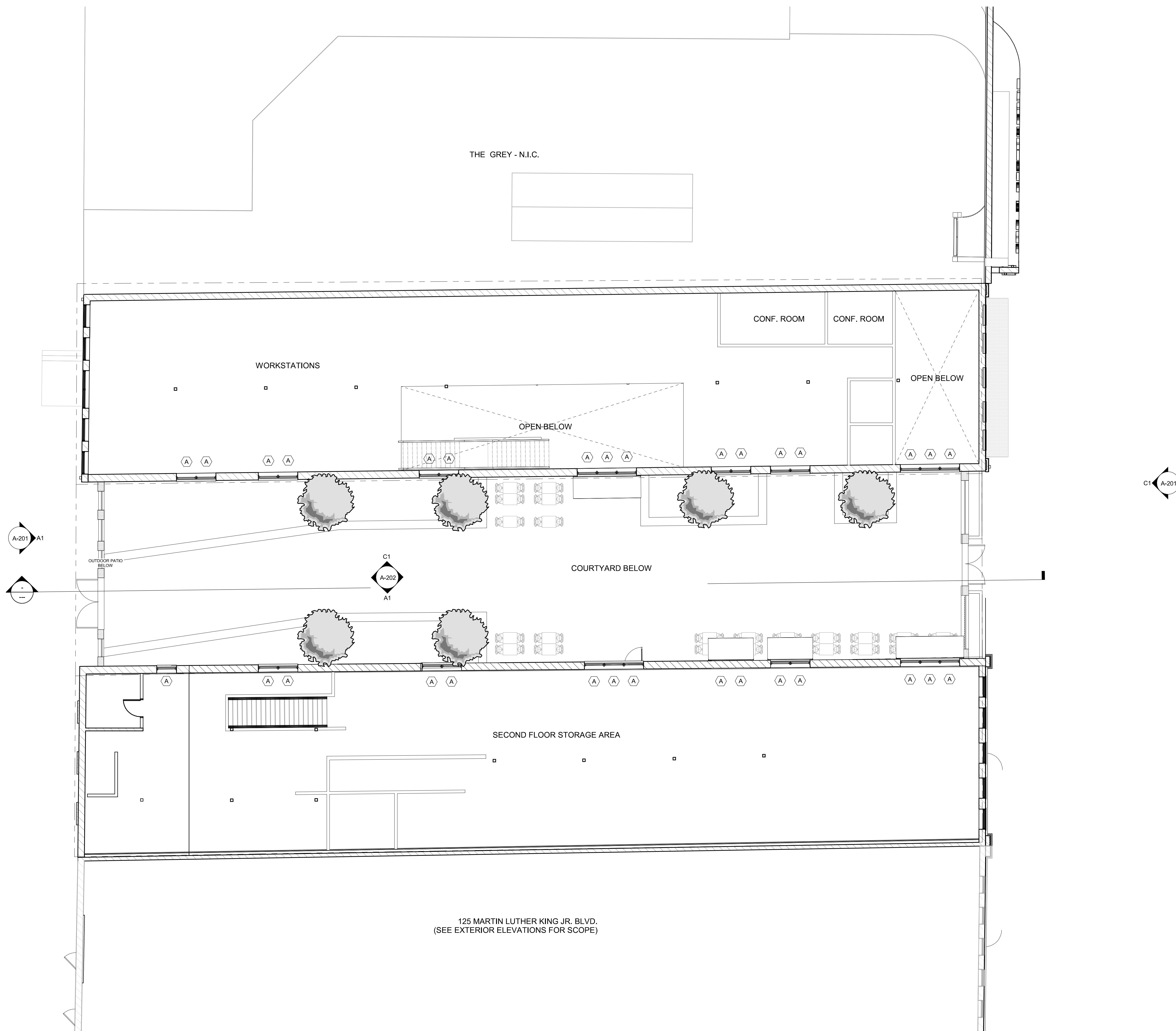
A-101

HDBR SUBMISSION

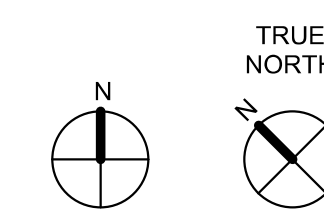
A1 FIRST FLOOR PLAN
1/8" = 1'-0"

MARTIN LUTHER KING JR. BOULEVARD





A1 SECOND FLOOR PLAN
1/8" = 1'-0"



BIM 360/5103-184760 113 MLK Market/Arch_113 MLK Market_2020.rvt
 6/15/2022 5:09:52 PM

ROOF PLAN GENERAL NOTES

- EXISTING ROOFING CONDITION TO BE REVIEWED BY GC. ALL EXISTING ROOFING TO BE REPLACES WITH 60 MIL TPO ROOFING MEMBRANE.
- LOCATIONS AND SIZES OF MECHANICAL EQUIPMENT ARE APPROXIMATE. SEE STRUCTURAL AND MECHANICAL DRAWINGS FOR ACTUAL LOCATIONS.
- SEE PLUMBING DRAWINGS FOR VENTS THROUGH ROOF LOCATIONS.
- SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
- SLOPE ALL LOW SLOPED ROOFS TO ROOF DRAINS WITH MINIMUM SLOPE OF 1/4" PER FOOT. INSTALL ROOF DRAIN IN SQUARE RECESSED SUMP 18" SQUARE.
- PROVIDE CRICKETS AT ALL CURBS AND EQUIPMENT RAILS SET PERPENDICULAR TO ROOF SLOPE WHICH ARE GREATER THAN 24" WIDE.
- SLOPE ALL COPINGS BACK TO ROOF U.N.O.
- COPING CORNERS TO BE PREFABRICATED PIECES WITH EQUAL RETURNS A MINIMUM OF 18" IN LENGTH. TOP HORIZONTAL JOINTS TO BE STANDING SEAM. VERTICAL JOINTS TO BE FLAT JOINTS.
- WOOD BLOCKING SHOWN IN ROOF DETAILING SHALL BE PRESERVATIVE TREATED. USE SUITABLE FASTENERS WITH THE PRESERVATIVE TREATED WOOD.
- EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
- IF NOT DETAILED, APPLY MOST STRINGENT CONDITION OF NRCA AND SMACNA (CURRENT EDITIONS) STANDARDS FOR ROOF DETAIL CONDITIONS.

TIDAL
REAL ESTATE PARTNERS

111-119 MLK JR BLVD

LS3P

321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM LS3P ASSOCIATES LTD.

REVISIONS:

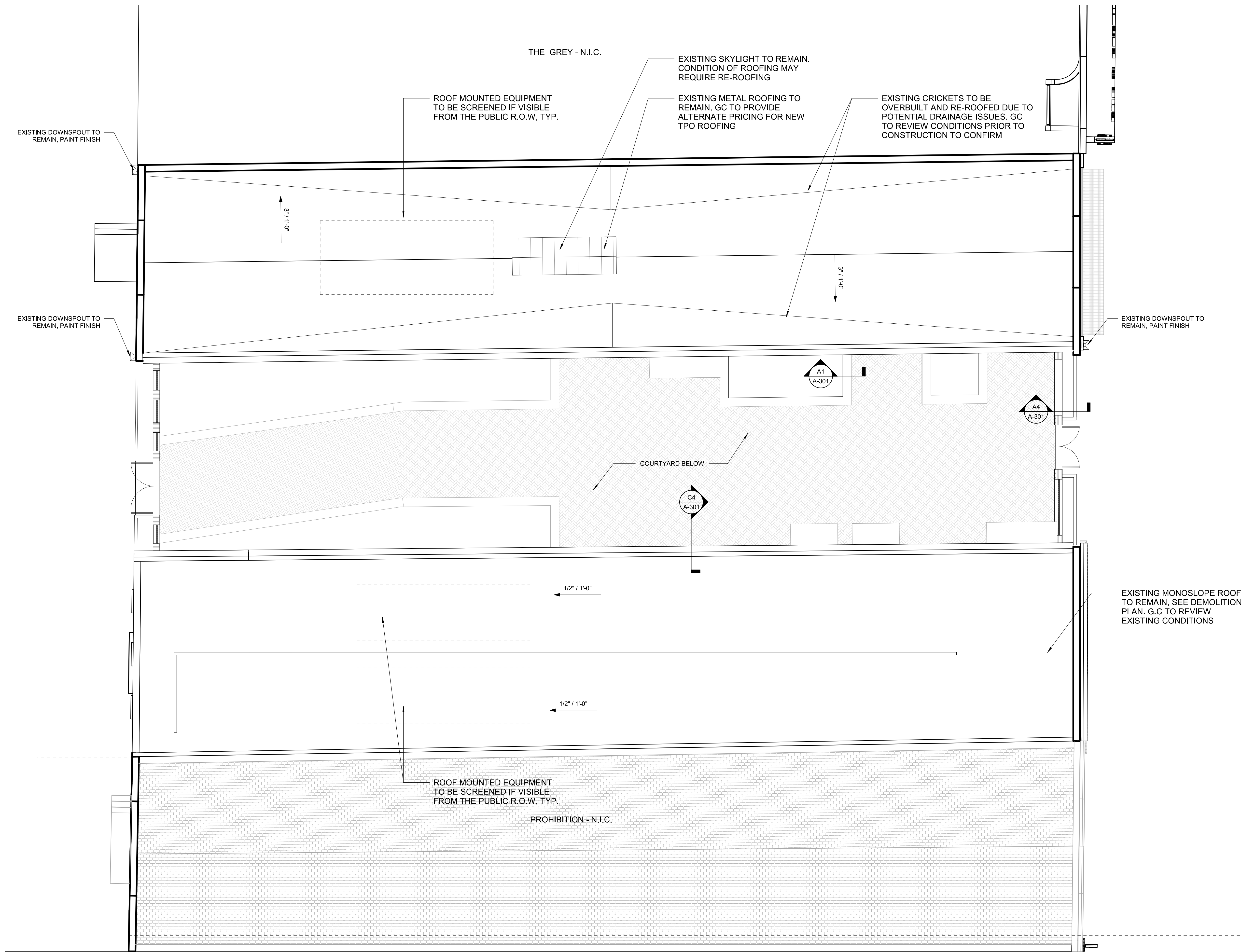
No.	Description	Date

PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: NSR
CHECKED BY: SC

ROOF PLAN

A-151

HDBR SUBMISSION



A1 ROOF PLAN
1/8" = 1'-0"

BIM 360://5103-184760 113 MLK Market_Arch_113 MLK Market_2020.rvt
 6/15/2022 5:09:54 PM

REVISIONS:

No.	Description	Date

PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: NSR
CHECKED BY: SC

EXTERIOR
ELEVATIONS

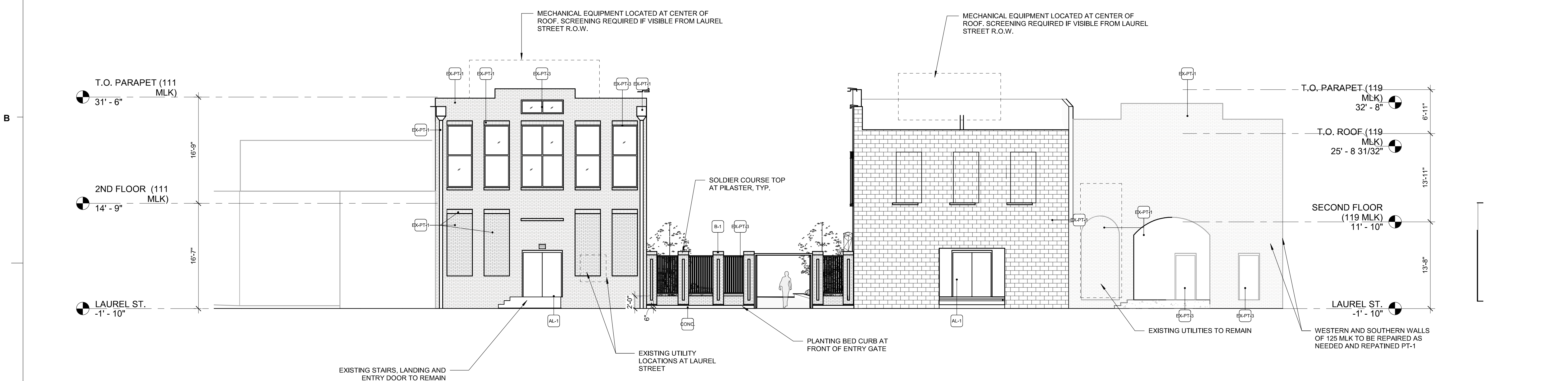
A-201

MATERIAL LEGEND

- B-1 BRICK-1
PRODUCT: GLEN GERY
COLOR: ASPEN WHITE
RUNNING BOND
- M-1 MORTAR-1
PRODUCT: ARGOS 3/8" JOINT
COLOR: ATLANTA ANTIQUE
- AL-1 ALUMINUM-1
PRODUCT: WINDSOR
COLOR: BLACK
- F-1 FABRIC-1
PRODUCT: SUNBRELLA
COLOR: CUSTOM COLOR
- PAV-1 PAVED-1
PRODUCT: BELDEN BRICK
COLOR: IVORY BAY
- EX-PT-1 PAINT-1
PRODUCT: BENJAMIN MOORE PAINT
COLOR: 213-80 SIDEWALK GRAY
- EX-PT-2 PAINT-2
PRODUCT: BENJAMIN MOORE PAINT
COLOR: AF-675 FUSION
- EX-PT-3 PAINT-3
PRODUCT: BENJAMIN MOORE PAINT
COLOR: TO MATCH AL-1 (BLACK)
- CONC. CONCRETE
PRODUCT: EXPOSED CONCRETE
COLOR: SEALED FINISH



C1 EXTERIOR ELEVATION @ MLK BOULEVARD
1/8" = 1'-0"



A1 EXTERIOR ELEVATION @ LAUREL STREET
1/8" = 1'-0"

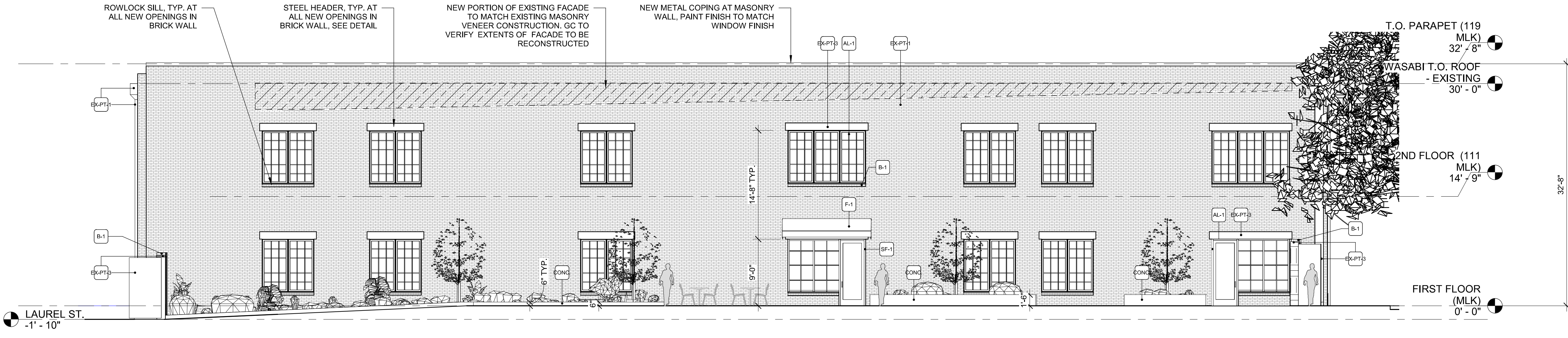
E

D

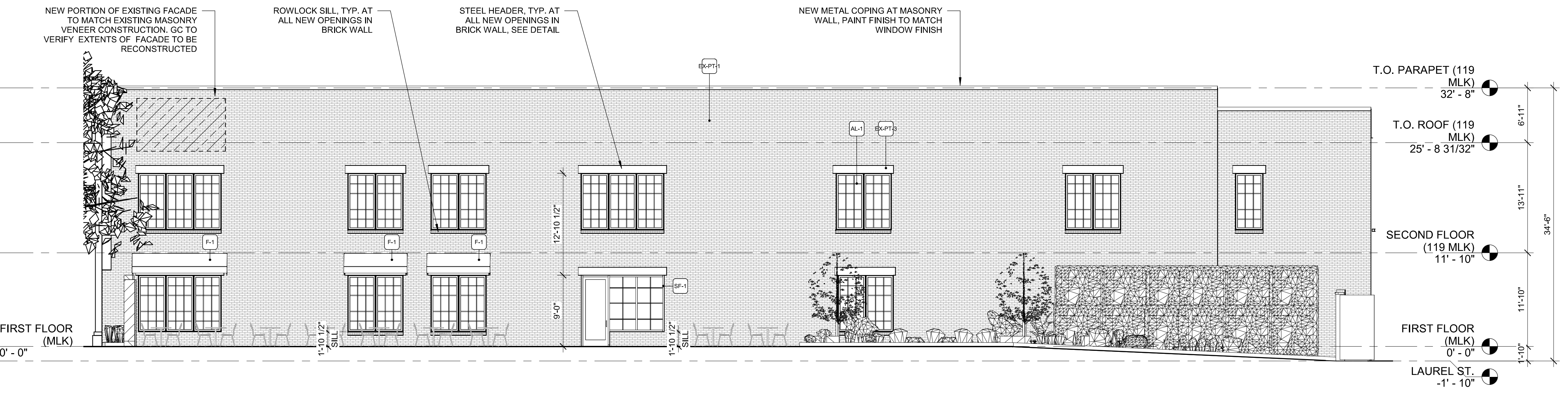
C

B

A



C1 INTERIOR COURTYARD ELEVATION - NORTH
1/8" = 1'-0"



A1 INTERIOR COURTYARD ELEVATION - SOUTH
1/8" = 1'-0"

MATERIAL LEGEND

- B-1 BRICK-1
PRODUCT: GLEN GERY
COLOR: ASPEN WHITE
RUNNING BOND
- M-1 MORTAR-1
PRODUCT: ARGOS 3/8" JOINT
COLOR: ATLANTA ANTIQUE
- AL-1 ALUMINUM-1
PRODUCT: WINDSOR
COLOR: BLACK
- F-1 FABRIC-1
PRODUCT: SUNBRELLA
COLOR: CUSTOM COLOR
- PAV-1 PAVES-1
PRODUCT: BELDEN BRICK
COLOR: IVORY BAY
- EX-PT-1 PAINT-1
PRODUCT: BENJAMIN MOORE PAINT
COLOR: 2133-60 SIDEWALK GRAY
- EX-PT-2 PAINT-2
PRODUCT: BENJAMIN MOORE PAINT
COLOR: AF-675 FUSION
- EX-PT-3 PAINT-3
PRODUCT: BENJAMIN MOORE PAINT
COLOR: TO MATCH AL-1 (BLACK)
- CONC CONCRETE
PRODUCT: EXPOSED CONCRETE
COLOR: SEALED FINISH

TIDAL
REAL ESTATE PARTNERS

**111-119 MLK JR
BLVD**

LS3P

321 WEST CONGRESS STREET SUITE 301
SAVANNAH, GEORGIA 31401
TEL. 912.695.2111 FAX 912.298.0206
WWW.LS3P.COM

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

COPYRIGHT 2022 ALL RIGHTS RESERVED
PRINTED OR ELECTRONIC DRAWINGS AND
DOCUMENTATION MAY NOT BE REPRODUCED
IN ANY FORM WITHOUT WRITTEN PERMISSION
FROM LS3P ASSOCIATES LTD.

REVISIONS:

No.	Description	Date

PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: Author
CHECKED BY: Checker

**EXTERIOR
ELEVATIONS
(COURTYARD)**

A-202

HDBR SUBMISSION

BIN_362/5103-184760_119 MLK Market/Arch_119 MLK Market_2020.rvt
6/15/2022 5:10:02 PM

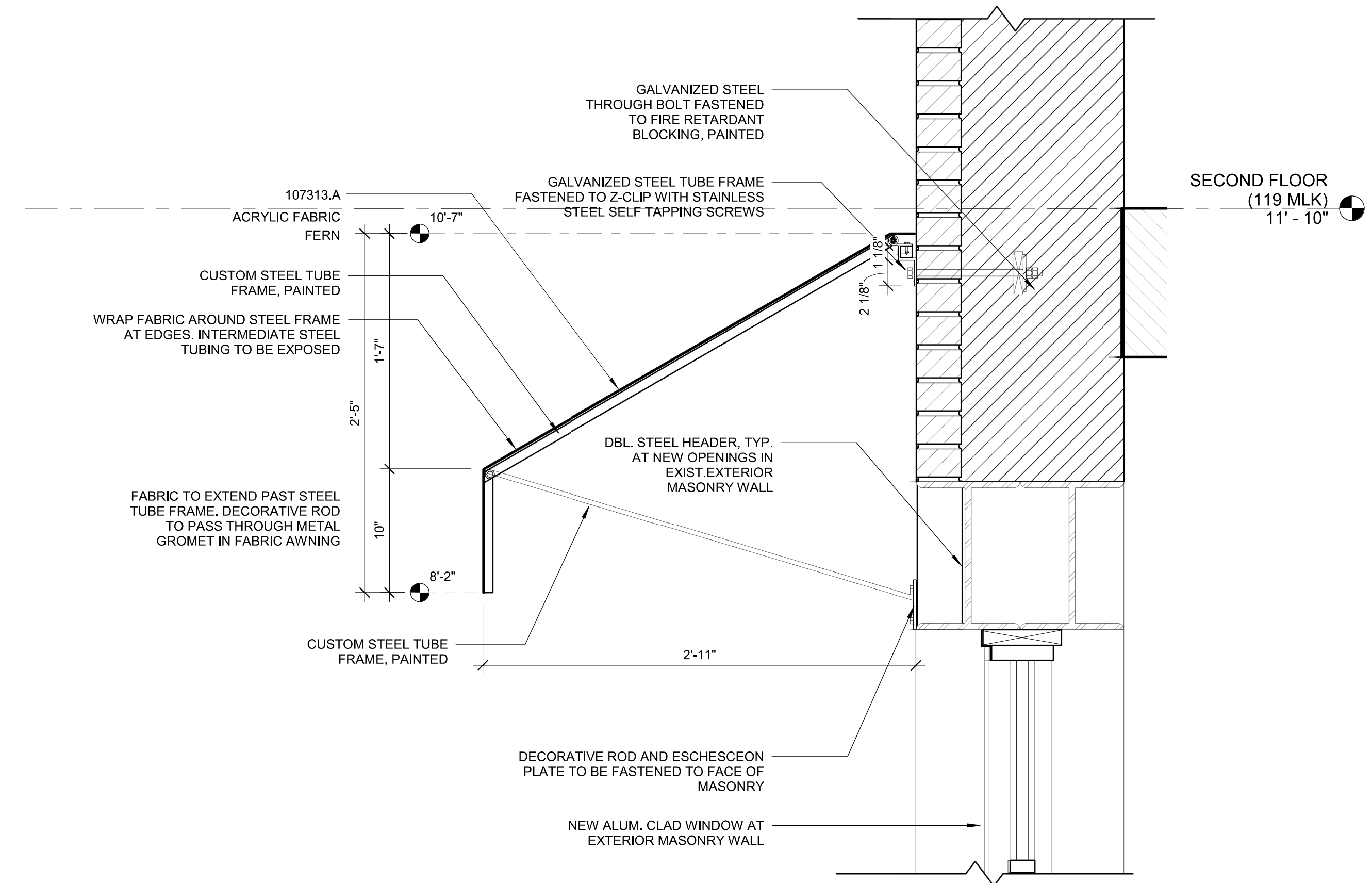
REVISIONS:

No.	Description	Date
1	ADDENDUM 1	08/14/2020

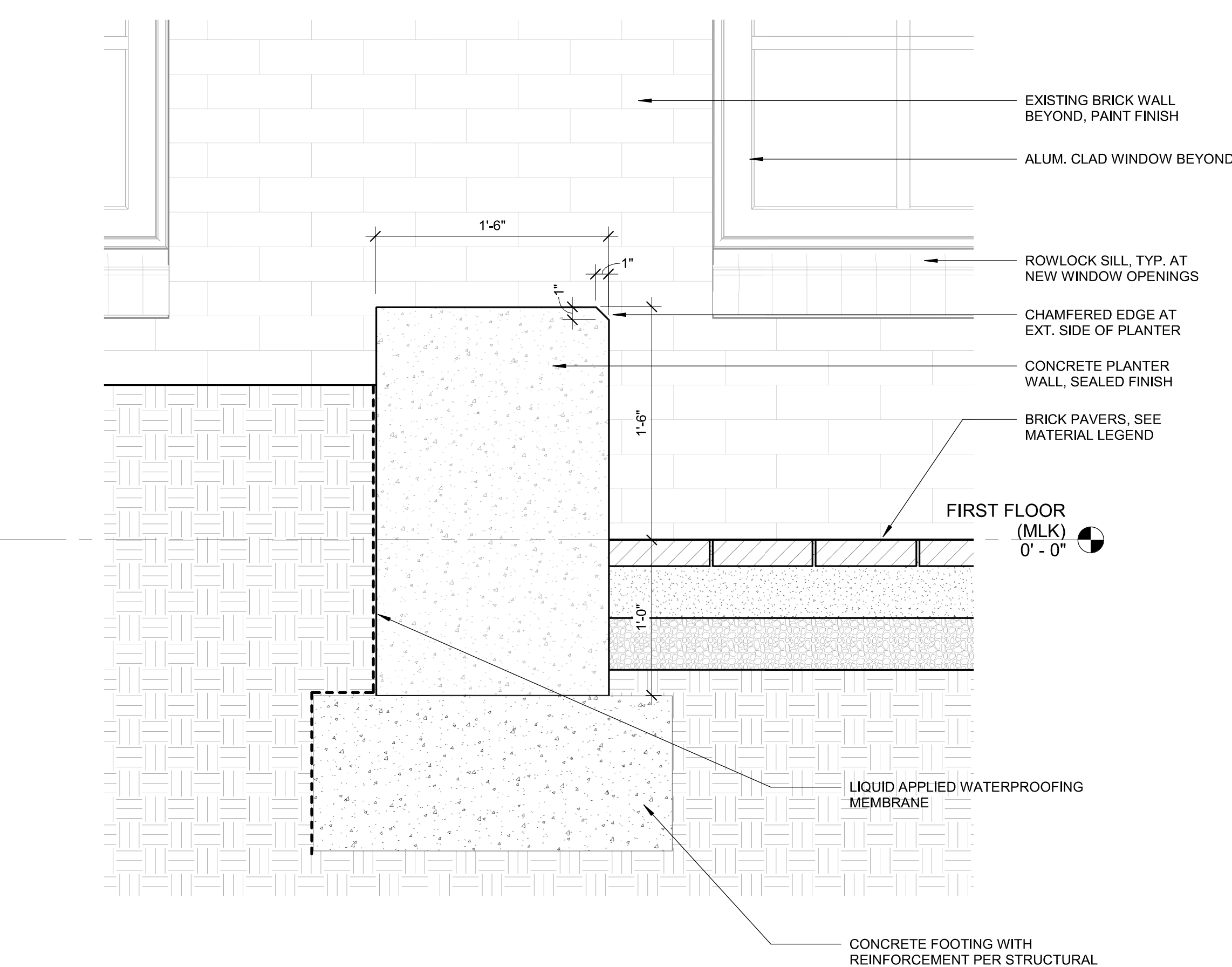
PROJECT: 5103-184760
DATE: JUNE 16TH, 2022
DRAWN BY: Author
CHECKED BY: Checker

SECTION
DETAILS

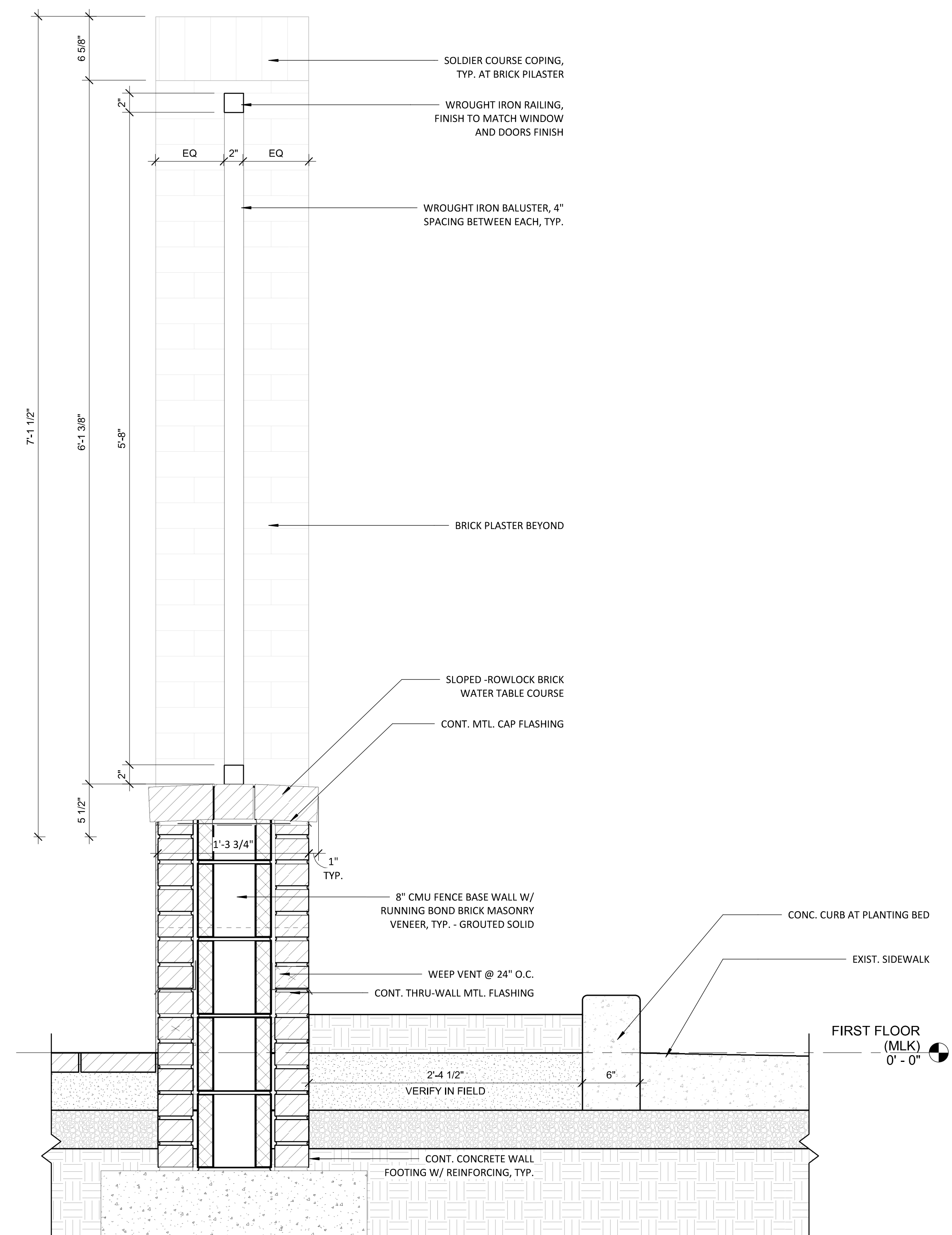
A-301



C4 TYP. FABRIC AWNING DETAIL
1 1/2" = 1'-0"



A1 TYPICAL CONC. PLANTER DETAIL
1 1/2" = 1'-0"



A4 TYPICAL GATE ENTRY DETAIL
1 1/2" = 1'-0"

