



Office Use Only

COA Number: _____

Application Accepted as Complete: _____

HISTORIC DISTRICT BOARD OF REVIEW
DOWNTOWN SAVANNAH HISTORIC DISTRICT
Board Review Checklists for Certificate of Appropriateness Application
Additions

Per House Bill 493, detailed checklists of items required to be submitted for each type of project are supplemental to this application. Each item **must be checked off and a page number where the item is located must be noted** and included with the application. The applicant must sign the affidavit, at the end of the application and each required checklist, certifying that all required items are provided. If there are questions regarding items required for your specific project, contact staff for clarification prior to submitting the application.

Applications that do not provide documentation or required materials will be noted as incomplete and may result in delays in the Board or Staff’s review of the application and/or denial of the request. Revisions made to the applications after the submittal deadline and prior to the Board hearing may be continued to the following month’s hearing. The Board reserves the right to require additional information if it believes that the submission of such information is necessary to understand the nature of the intended activity.

ADDITIONS. Additions that are equal to or exceed the size of the existing building will be reviewed as new construction.

- REQUIRED** Pre-Application Conference (Sec. 3.19.4.a. of the zoning ordinance):
Date attended and with which staff member: 7.21 and 6.28 Leah Mihalik
- Provide electronic payment receipt and indicate amount: \$ 1200
- Provide one (1) electronic copy of the entire submittal packet. (Email to historic@thempc.org with 15MB max)
- Page No. 1 : Written project description.
- Page No. 2 : Written description of each Special Exception requested.
- Page No. S1 8.11.22 : GDP (non-residential only) and SPR meeting date attended.
- Page No. S1 : Existing and proposed lot coverage percentages.
- Page No. 3,4,5 : Color photographs (subject building and context).
- Page No. D1 : Demolition plans (floor plans and elevations) showing all areas and materials to be removed.
- Page No. S1 : Site Plan:
 - Adjacent buildings with setback dimensions.
 - Lot dimensions.
 - Property lines.
 - Streets, lanes, and sidewalk.
 - Curb cuts with width dimensions.
 - Garage apron locations.
 - Existing building and addition with dimensions and setbacks.
 - Fences (existing and proposed).
 - Electric meter locations.
 - Refuse storage area.
 - All ground and roof equipment including screening.

Submit Application and Checklist(s) by Email to the Preservation Department at historic@thempc.org.
Questions? Email the Preservation Department at historic@thempc.org or call 912-651-1440.

- Page No. A1 : Floor Plans:
 - Dimensions.
 - Labeled interior spaces.
- Page No. A1.1 : Roof Plan:
 - Roof pitches.
 - Equipment and screening.
- Page No. A2.0-A2.1 : Exterior Elevations:
 - Adjacent buildings with height dimensions.
 - Dimensioned floor-to-floor heights.
 - Stoop heights.
 - Height of parapet walls.
 - Locations and dimensions of all windows, doors, and other openings.
 - Porches, balconies, railings heights, and baluster spacing.
 - Fences, equipment, etc. with dimensions.
 - Roof equipment with screening heights and locations.
- Page No. A3.0-A3.1 : Wall Sections (minimum of two through the addition):
 - Projections, window and door depths, off-sets, and opening recesses.
- Page No. A : Sightline drawings of all additions from all adjacent public rights-of-way (streets and lanes).
- Page No. 6-10 : Specifications for each product.
- Page No. _____ : Physical material and color samples.
- Page No. 11-14 : Historic images, plans, etc. for a restoration or reconstruction.

Affidavit Certifying Completeness of Application:

I hereby acknowledge that I understand the requirements listed above for what constitutes a complete application. I have checked off each box and included a page number where the item is located. I confirm that the requirements for a complete application have been met.

Signature:  Date: 8.1.2022



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COA Number: _____

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LOCAL HISTORIC AND CONSERVATION DISTRICTS
HISTORIC PRESERVATION COMMISSION
Application for Certificate of Appropriateness

Per House Bill 493, detailed checklists of items required to be submitted for each type of project are supplemental to this application. Each item **must be checked off and a page number where the item is located must be noted** and included with the application. The applicant must sign the affidavit, at the end of the application and each required checklist, certifying that all required items are provided. If there are questions regarding items required for your specific project, contact staff for clarification prior to submitting the application.

Note: Applications that do not provide documentation or required materials will be noted as incomplete and may result in delays in the Commission's or Staff's review of the application and/or denial of the request. Revisions made to the applications after the submittal deadline and prior to the Commission hearing may be continued to the following month's hearing. The Commission reserves the right to require additional information if it believes that the submission of such information is necessary to understand the nature of the intended activity. **E-mail submissions to historic@thempc.org. Ensure the file size does not exceed 15 MB.** If e-mail is not available, contact the office for alternate arrangements.

Local Historic and Conservation Districts:

<input type="checkbox"/> Victorian Local Historic District	<input type="checkbox"/> Conservation District (Contributing Demolition only):
<input type="checkbox"/> Cuyler-Brownville Local Historic District	<input type="checkbox"/> Ardsley Park-Chatham Crescent
<input checked="" type="checkbox"/> Streetcar Local Historic District	<input type="checkbox"/> Ardmore and Chatham Terrace
	<input type="checkbox"/> Parkside
	<input type="checkbox"/> Historic Carver Village / Flatman Village

Applicant Contact Information:

Name (Business & Contact): Rose Architects Kevin Rose
Address: 311 Maupas Ave
City: Savannah State: GA Zip: 31401
Phone: 912.308.4622 E-Mail Address: kevin@research.co

Property Owner Contact Information:

Name: 15 West 43rd Street LLC Mohamed Eldibany
Address: 2819 Girard Ave
City: Evanston State: Illinois Zip: 60201
Phone: 224.420.6195 E-Mail Address: mmeldibany@yahoo.com

Official Correspondence: Applicant Owner Other _____ (Check all that apply)

Property Information of Proposed Work: (PIN and Zoning information can be found at www.sagis.org.)

Address: 15 West 43rd Street
PIN (Property Identification Number): 20074 24001 Zoning: TC-1

Scope of Work: (Check all that apply.)

STAFF REVIEW:			
<input type="checkbox"/> Roof Repair/Replace	<input type="checkbox"/> Shutters	<input type="checkbox"/> Brick Repointing	<input type="checkbox"/> Signs
<input type="checkbox"/> Awnings	<input type="checkbox"/> Windows and/or Doors	<input checked="" type="checkbox"/> Fences	
<input type="checkbox"/> Stucco Repair	<input type="checkbox"/> Mechanical Screening	<input type="checkbox"/> Non-Contributing Demolition	
COMMISSION REVIEW:			
<input type="checkbox"/> Contributing Demolition	<input checked="" type="checkbox"/> Additions	<input type="checkbox"/> New Construction, Large** (Part I)	
<input checked="" type="checkbox"/> Rehabilitation/Alterations	<input type="checkbox"/> Relocation	<input type="checkbox"/> New Construction, Large** (Part II)	
<input type="checkbox"/> New Construction, Small* (Parts I and II)		<input type="checkbox"/> Special Exception(s) Requests	
		<input type="checkbox"/> Variance Recommendation Requests	
OTHER:			
<input type="checkbox"/> Amendment to Previous COA Previous Case File Number:		<input type="checkbox"/> Other (Description): Contact staff for checklist requirements.	

* Small New Construction = cumulative footprint less than 4,000 square feet.

**Large New Construction = cumulative footprint 4,000 square feet and greater.

2022 Historic Preservation Commission Schedule:

Application Deadline Dates, by 3:00 p.m.	Meeting Date (Time: 3:00 p.m.)
<input type="checkbox"/> Wednesday, January 5, 2022	Wednesday, January 26, 2022
<input type="checkbox"/> February 2	February 23
<input type="checkbox"/> March 2	March 23
<input type="checkbox"/> April 7	April 27
<input type="checkbox"/> May 4	May 25
<input type="checkbox"/> June 1	June 22
<input type="checkbox"/> July 6	July 27
<input checked="" type="checkbox"/> August 3	August 24
<input type="checkbox"/> September 7	September 28
<input type="checkbox"/> October 5	October 26
<input type="checkbox"/> November 2	Monday, November 21 *
<input type="checkbox"/> December 7	December 28

* Rescheduled due to holidays.

(please complete application on page 3)

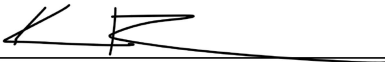
Estimated Cost of the Proposed Work: \$ ^{480,000} _____

Filing Fee Schedule: (Fees shall be paid digitally at <https://www.thempc.org/Application#gsc.tab=0>)

Estimated Cost of Scope of Work	Filing Fee
<input type="checkbox"/> \$0 - \$2,500	\$25.00
<input type="checkbox"/> \$2,501- \$5,000	\$50.00
<input type="checkbox"/> \$5,001- \$25,000	\$75.00
<input type="checkbox"/> \$25,001- \$50,000	\$100.00
<input type="checkbox"/> \$50,001- \$100,000	\$150.00
<input checked="" type="checkbox"/> \$100,001- \$500,000	\$200.00
<input type="checkbox"/> \$500,001 - \$1,000,000	\$300.00
<input type="checkbox"/> \$1,000,001 - \$5,000,000	\$500.00
<input type="checkbox"/> \$5,000,001 - \$10,000,000	\$1,000.00
<input type="checkbox"/> Over \$10,000,000	\$1,500.00
Other	Filing Fee
<input type="checkbox"/> Variance Recommendation Request	\$0.00
<input type="checkbox"/> Determination of Contributing Status	\$0.00
<input type="checkbox"/> Special Exception Request	\$1,000.00
<input type="checkbox"/> Special Exception – (Church, Family Care Home, Family Daycare, Institutional Uses)	\$500.00
<input type="checkbox"/> Demolition of a contributing building	\$500.00
<input type="checkbox"/> Appeal of Staff Decision	\$250.00
<input type="checkbox"/> Amendment to previous COA	Estimated cost of scope of work of amendment
<input type="checkbox"/> After-the-Fact (Work completed without a COA)	Double the estimated cost of the scope of work

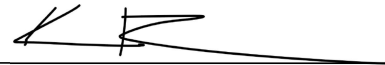
Affidavit Certifying Completeness of Application:

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Signature:  _____ Date: 8.1.2022

Signature of Legal Owner or Authorized Agent:

I have read and understand all the information enclosed in this application form. I hereby certify that I am the legal owner or authorized agent for the legal owner of the subject property.

Signature:  _____ Date: 8.1.2022



Office Use Only

COA Number: _____

Application Accepted as Complete: _____

**LOCAL HISTORIC AND CONSERVATION DISTRICTS
HISTORIC PRESERVATION COMMISSION**

**Board Review Checklists for Certificate of Appropriateness Application
Special Exception(s) Requests**

Per House Bill 493, detailed checklists of items required to be submitted for each type of project are supplemental to this application. Each item **must be checked off and a page number where the item is located must be noted** and included with the application. The applicant must sign the affidavit, at the end of the application and each required checklist, certifying that all required items are provided. If there are questions regarding items required for your specific project, contact staff for clarification prior to submitting the application.

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SPECIAL EXCEPTION(S).

Special exceptions, as identified in Sec. 3.12.2.a.ix.-xi., for the Victorian, Cuyler-Brownville, and Streetcar Overlay Historic Districts shall be considered by the Historic Preservation Commission (City of Savannah Zoning Ordinance, Sec. 3.12.5).

When reviewing a special exception request, a finding shall be made by the Historic Preservation Commission for each of the criteria listed below (City of Savannah Zoning Ordinance, Sec. 3.12.7).

REQUIRED Pre-Application Conference (Sec. 3.18.4.a. of the zoning ordinance):

Date attended and with which staff member: 7.21 and 6.28 Leah Mihalik

Provide one (1) electronic copy of the entire submittal packet. (Email to historic@thempc.org with 15MB max)

Page No. 2: Written description of the special exception request (include the entire text of the standard and the section within the ordinance).

Page No. 2: Written description of how each review criterion is met for a special exception request:

- Whether the use for which the special exception is being considered would be located, operated and maintained in a manner in conformance with the goals, policies, and objectives of the Comprehensive Plan and the provisions of this Ordinance.
- Whether the special exception would not be detrimental to the public interest, health, safety, welfare, functions, and appearance of the adjacent uses or general vicinity.

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Signature:  **Date:** 8.1.2022



311 Maupas Avenue
Savannah GA 31401

7.28.2022

MPC Staff:

Project Description: This project is comprised of the adaptive re-use of an existing non-contributing building in the Streetcar District which has been vacant for 30 years and was originally built between 1936 and 1940 and operated as a cold storage and “icehouse” facility. The existing structure will be preserved, and a kitchen addition is proposed for the south side and a small entrance vestibule will be added onto the existing stoop on the west elevation. A small restroom addition will be added to the easternmost corner of the north façade in addition to a glass indoor/outdoor seating area. Brick removed to allow for new openings will be reused to patch existing striated brick that has been defaced with graffiti.

With Regards,

Kevin F. Rose AIA NCARB



311 Maupas Avenue
Savannah GA 31401

7.28.2022

MPC Staff:

We are requesting a special exemption for 15 West 43rd Street. The exception is requested in order to maintain the existing pattern of the neighborhood, current zoning requires a 5-foot side yard setback, and the existing building is close to 3 feet from the property line. We are requesting an exception from a 5-foot setback in the following code to a 3-foot setback to maintain the integrity of the historic fabric of this portion of the neighborhood in which setbacks are commonly 2-3 feet.

Sec. 8-3216. Traditional Commercial Districts (TC-).

Side Yard: 0 feet on any attached side or abutting TC-1 or TC-2 zoning; all other sides, 5 feet minimum [*]

The review criterion is met due to the fact that the current building is within the 5-foot setback, and we are requesting the exception to maintain the existing pattern on our proposed addition on the east side.

The proposed exception is in conformance with the goals, policies, and objectives of the Comprehensive Plan and the provisions of this Ordinance, because we are requesting to maintain the existing historic setback pattern.

The special exception would not be detrimental to the public interest, health, safety, welfare, functions, and appearance of the adjacent uses or general vicinity, it will help reinforce the current historic pattern.

With Regards,

Kevin F. Rose AIA NCARB



Existing Building North Elevation



Existing Building West Elevation



Context to the east.



Lot to the south



Context across 43rd to the north



Context to the north across 43rd street



Context across Whitaker to the West

PART 1 GENERAL

1.01 SUMMARY

- A. Section Includes: Aluminum Storefront, including:
 - 1. YKK AP Series YES 45 XT Storefront System.
- B. Related Sections:
 - 1. Sealants: Refer to Division 7 Joint Treatment Section for sealant requirements.
 - 2. Glass and Glazing: Refer to Division 8 Glass and Glazing Section for glass and glazing requirements.
 - 3. Single Source Requirement: All products listed below shall be by the same manufacturer.
 - a. Section 08 32 13 Sliding Aluminum-Framed Glass Doors.
 - b. Section 08 51 13 Aluminum Windows.
 - c. Section 08 44 13 Glazed Aluminum Curtain Walls.
 - d. Section 08 44 33 Sloped Glazing Assemblies.

1.02 SYSTEM PERFORMANCE DESCRIPTION

- A. Performance Requirements: Provide aluminum storefront systems that comply with performance requirements indicated, as demonstrated by testing manufacturer's assemblies in accordance with test method indicated.
 - 1. Air Infiltration: Completed storefront systems shall have 0.06 CFM/FT² (1.10 m³/h·m²) maximum allowable infiltration when tested in accordance with ASTM E 283 at differential static pressure of 6.24 PSF (299 Pa).
 - 2. Water Infiltration: No uncontrolled water when tested in accordance with ASTM E 331 at test pressure differential of: 10 PSF (479 Pa) (or when required, field tested in accordance with AAMA 503). Fastener Heads must be seated and sealed against Sill Flashing on any fasteners that penetrate through the Sill Flashing.
 - 3. Wind Loads: Completed storefront system shall withstand wind pressure loads normal to wall plane indicated:
 - a. Exterior Walls:
 - 1) Positive Pressure:
 - 2) Negative Pressure:
 - b. Interior Walls (Pressure Acting in Either Direction):
 - 4. Deflection: Maximum allowable deflection in any member when tested in accordance with ASTM E 330 with allowable stress in accordance with AA Specifications for Aluminum Structures.
 - a. Without Horizontals: L/175 or 3/4" (19.1mm) maximum.
 - b. With Horizontals: L/175 or L/240 + 1/4" (6.4mm) for spans greater than 13'-6" (4.1m) but less than 40'-0" (12.2m).
 - 5. Thermal Movement: Provide for thermal movement caused by 180 degrees F. (82.2 degrees C.) surface temperature, without causing buckling stresses on glass, joint seal failure, undue stress on structural elements, damaging loads on fasteners, reduction of performance, or detrimental effects.
 - 6. Thermal Performance: When tested in accordance with AAMA 507, AAMA 1503, and NFRC 100:
 - a. Condensation Resistance Factor (CRF_f): A minimum of 66 (with a CRF_g of 64.)
 - b. Thermal Transmittance U Value: 0.36 BTU/HR/FT²/°F or less.

Note: Thermal Performance for the glazed system as a whole will be affected by the characteristics of the glass specified and percentage of vision area.

- 7. Acoustical Performance: Acoustical Performance: When tested in accordance with AAMA 1801:
 - a. Sound Transmission Class (STC) shall not be less than 32 for 1" standard insulating unit; 36 for laminated glazing.
 - b. Outdoor-Indoor Transmission Class (OITC) shall not be less than 27 for 1" standard insulating unit; 30 for laminated glazing.

Note: Laminated glass based on 1" Insulated Glass Unit (1/8" / 0.030" PVB / 1/8", 1/2" air space, and 1/4" annealed interior.)

1.03 SUBMITTALS

- A. General: Prepare, review, approve, and submit specified submittals in accordance with "Conditions of the Contract" and Division 1 Submittals Sections. Product data, shop drawings, samples, and similar submittals are defined in "Conditions of the Contract."
- B. Product Data: Submit product data for each type storefront series specified.
- C. Substitutions: Whenever substitute products are to be considered, supporting technical data, samples, and test reports must be submitted ten (10) working days prior to bid date in order to make a valid comparison.
- D. Shop Drawings: Submit shop drawings showing layout, profiles, and product components, including anchorage,

accessories, finish colors and textures.

- E. Samples: Submit verification samples for colors on actual aluminum substrates indicating full color range expected in installed system.
- F. Quality Assurance / Control Submittals:
 - 1. Test Reports: Submit certified test reports showing compliance with specified performance characteristics and physical properties.
 - 2. Installer Qualification Data: Submit installer qualification data.
- G. Closeout Submittals:
 - 1. Warranty: Submit warranty documents specified herein.
 - 2. Project Record Documents: Submit project record documents for installed materials in accordance with Division 1 Project Closeout (Project Record Documents) Section.

1.04 QUALITY ASSURANCE

- A. Qualifications:
 - 1. Installer Qualifications: Installer experienced (as determined by contractor) to perform work of this section who has specialized in the installation of work similar to that required for this project. If requested by Owner, submit reference list of completed projects.
 - 2. Manufacturer Qualifications: Manufacturer capable of providing field service representation during construction process.
- B. Mock-Ups (Field Constructed): Install at project site a job mock-up using acceptable products and manufacturer approved installation methods. Obtain Owner's and Architect's acceptance of finish color, and workmanship standard.
 - 1. Mock-Up Size:
 - 2. Maintenance: Maintain mock-up during construction for workmanship comparison; remove and legally dispose of mock-up when no longer required.
 - 3. Incorporation: Mock-up may be incorporated into final construction upon Owner's approval.
- C. Pre-Installation Meetings: Conduct pre-installation meeting to verify project requirements, substrate conditions, manufacturer's installation instructions, and manufacturer's warranty requirements.

1.05 PROJECT CONDITIONS / SITE CONDITIONS

- A. Field Measurements: Verify actual measurements/openings by field measurements before fabrication; show recorded measurements on shop drawings. Coordinate field measurements, fabrication schedule with construction progress to avoid construction delays.

1.06 WARRANTY

- A. Project Warranty: Refer to "Conditions of the Contract" for project warranty provisions.
- B. Manufacturer's Warranty: Submit, for Owner's acceptance, manufacturer's standard warranty document executed by an authorized company official.
 - 1. Warranty Period: Manufacturer's one (1) year standard warranty commencing on the substantial date of completion for the project provided that the warranty, in no event, shall start later than six (6) months from the date of shipment by YKK AP America Inc.

EDITOR NOTE: Longer warranty periods are available at additional cost.

PART 2 PRODUCTS

2.01 MANUFACTURERS (Acceptable Manufacturers/Products)

- A. Acceptable Manufacturers: YKK AP America Inc.
270 Riverside Parkway, Suite 100
Austell, GA 30168
Telephone: (678) 838-6000; Fax: (678) 838-6001
- 1. Storefront System: YKK AP YES 45 XT Storefront System.
- B. Storefront Framing System:
 - 1. Description: Center set, exterior flush glazed; jambs and vertical mullions continuous; head, sill, intermediate horizontal attached by screw spline joinery.
 - 2. Components: Manufacturer's standard extruded aluminum mullions, 90 degree corner posts, entrance door framing, and indicated shapes.
 - 3. Dual Thermal Barrier: Provide dual continuous thermal barriers by means of poured and debridged pockets consisting of a two-part, chemically curing high density polyurethane which is bonded to the aluminum by YKK ThermaBond Plus®. Systems employing non-structural thermal barriers are not acceptable.

2.02 MATERIALS

- A. Extrusions: ASTM B 221 (ASTM B 221M), 6063-T5 Aluminum Alloy.
- B. Aluminum Sheet:
 - 1. Anodized Finish: ASTM B 209 (ASTM B 209M), 5005-H14 Aluminum Alloy, 0.050" (1.27 mm) minimum thickness.
 - 2. Painted Finish: ASTM B 209 (ASTM B 209M), 3003-H14 Aluminum Alloy, 0.080" (1.95 mm) minimum thickness.

2.03 ACCESSORIES

- A. Manufacturer's Standard Accessories:
 - 1. Fasteners: Zinc plated steel concealed fasteners; Hardened aluminum alloys or AISI 300 series stainless steel exposed fasteners.
 - 2. Glazing: Setting blocks, edge blocks, and spacers in accordance with ASTM C 864, shore durometer hardness as recommended by manufacturer; Glazing gaskets in accordance with ASTM C 864.
 - 3. 0.050 Aluminum Sill Flashing End Dams must have 3 point attachment.

2.04 RELATED MATERIALS (Specified In Other Sections)

- A. Glass: Refer to Division 8 Glass and Glazing Section for glass materials.

2.05 FABRICATION

- A. Shop Assembly: Fabricate and assemble units with joints only at intersection of aluminum members with uniform hairline joints; rigidly secure, and sealed in accordance with manufacturer's recommendations.
 - 1. Hardware: Drill and cut to template for hardware. Reinforce frames and door stiles to receive hardware in accordance with manufacturer's recommendations.
 - 2. Welding: Conceal welds on aluminum members in accordance with AWS recommendations or methods recommended by manufacturer. Members showing welding bloom or discoloration on finish or material distortion will be rejected.

2.06 FINISHES AND COLORS

- A. YKK AP America Anodized Plus® Finish:

CODEDESCRIPTION

YS1N* Clear Anodized Plus®

YH3N Champagne Anodized Plus®

YB1N Medium Bronze Anodized Plus®

YB5N* Dark Bronze Anodized Plus®

YK1N* Black Anodized Plus®

YW3N White Anodized Plus®

M Mill Finish

* Indicates standard finish usually carried as inventory.

Anodized Plus® is an advanced sealing technology that completely seals the anodic film yielding superior durability (See AAMA 612).

- B. Anodized Finishing: Prepare aluminum surfaces for specified finish; apply shop finish in accordance with the following:
 - 1. Anodic Coating: Electrolytic color coating followed by an organic seal applied in accordance with the requirements of AAMA 612. Aluminum extrusions shall be produced from quality controlled billets meeting AA-6063-T5.
 - a. Exposed Surfaces shall be free of scratches and other serious blemishes.
 - b. Extrusions shall be given a caustic etch followed by an anodic oxide treatment and then sealed with an organic coating applied with an electrodeposition process.
 - c. The anodized coating shall comply with all of the requirements of AAMA 612: Voluntary Specifications, Performance Requirements and Test Procedures for Combined Coatings of Anodic Oxide and Transparent Organic Coatings on Architectural Aluminum. Testing shall demonstrate the ability of the finish to resist damage from mortar, salt spray, and chemicals commonly found on construction sites, and to resist the loss of color and gloss.
 - d. Overall coating thickness for finishes shall be a minimum of 0.7 mils.
 - 2) CASS Corrosion Resistance Test, CASS 240/ASTM B368 Test Method.
 - 3) Other AAMA 2605 Performance Tests specified in these specifications, such as: 7.3 Dry Film Hardness; 7.8.2 Salt Spray Resistance; 7.9.1.2 Color Retention, South Florida; 7.9.1.4 Gloss Retention, South Florida.

- C. High Performance Organic Coating Finish:
 - 1. Type Factory applied two-coat 70% Kynar resin by Arkema or 70% Hylar resin by Solvay Solexis, fluoropolymer based coating system, Polyvinylidene Fluoride (PVF-2), applied in accordance with YKK AP procedures and meeting AAMA 2605 specifications.
 - 2. Colors: Selected by Architect from the following:
 - a. Standard coating color charts.
 - b. Custom coating color charts.
 - c. Color Name and Number:
- D. Finishes Testing:
 - 1. Apply 0.5% solution NaOH, sodium hydroxide, to small area of finished sample area; leave in place for sixty minutes; lightly wipe off NaOH; Do not clean area further.
 - 2. Submit samples with test area noted on each sample.

PART 3 EXECUTION

3.01 MANUFACTURER'S INSTRUCTIONS / RECOMMENDATIONS

- A. Compliance: Comply with manufacturer's product data, including product technical bulletins, installation instructions, and product carton instructions. The latest installation manual is available at www.ykkap.com.

3.02 EXAMINATION

- A. Site Verification of Conditions: Verify conditions (which have been previously installed under other sections) are acceptable for product installation in accordance with manufacturer's instructions.

3.03 PREPARATION

- A. Adjacent Surfaces Protection: Protect adjacent work areas and finish surfaces from damage during product installation.
 - 1. Aluminum Surface Protection: Protect aluminum surfaces from contact with lime, mortar, cement, acids, and other harmful contaminants.

3.04 INSTALLATION

- A. General: Install manufacturer's system in accordance with shop drawings, and within specified tolerances.
 - 1. Protect aluminum members in contact with masonry, steel, concrete, or dissimilar materials using nylon pads or bituminous coating.
 - 2. Shim and brace aluminum system before anchoring to structure.
 - 3. Provide sill flashing at exterior storefront systems. Extend extruded flashing continuous with splice joints; set in continuous beads of sealant.
 - 4. Verify storefront system allows water entering system to be collected in gutters and wept to exterior. Verify metal joints are sealed in accordance with manufacturers installation instructions.
 - 5. Locate expansion mullions where indicated on reviewed shop drawings.
 - 6. Seal metal to metal storefront system joints using sealant recommended by system manufacturer.

3.05 FIELD QUALITY CONTROL

- A. Manufacturer's Field Services: Upon request, provide manufacturer's field service consisting of site visit for inspection of product installation in accordance with manufacturer's instructions.
- B. Field Test: Conduct field test to determine watertightness of storefront system. Conduct test in accordance with AAMA 501.2.

3.06 ADJUSTING AND CLEANING

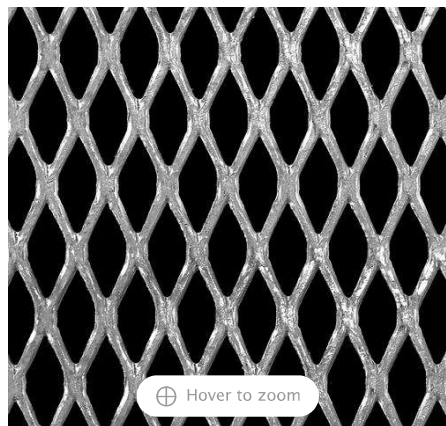
- A. Adjusting: Adjust swing doors for operation in accordance with manufacturer's recommendations.
- B. Cleaning: The General Contractor shall clean installed products in accordance with manufacturer's instructions prior to owner's acceptance, and remove construction debris from project site. Legally dispose of debris.
- C. Protection: The General Contractor shall protect the installed product's finish surfaces from damage during construction.

END OF SECTION

02-3012-02

This document supersedes all previous versions.





McNICHOLS® Expanded Metal Flattened, Galvanized Steel, Hot Dipped, 3/4" No. 9 Flattened, 64% Open Area

McNICHOLS® Expanded Metal, Flattened, Galvanized Steel, Hot Dipped, Mill Finish, 3/4" No. 9 Flattened, 0.923" Short Way of Design (SWD), 2.100" Long Way of Design (LWD), Long Way of Opening (LWO) Parallel to Length of Sheet, 64% Open Area

ITEM 530N340948 - 48" x 96" - In-Stock!

PRODUCT SIZE(S)	QTY	SUBTOTAL
48" x 96"	1	\$--.--

CUT ITEM TO SIZE

ADD TO PROJECT LIST



- [SPECIFICATIONS](#)
- [OVERVIEW](#)
- [ORDERING](#)
- [CHARTS](#)
- [TABLES](#)

Item Number	530N340948
Product Line	Expanded Metal
Expanded Type	Flattened
Primary Material	Galvanized Steel (GV)
Alloy, Grade or Type	Hot Dipped (HD)
Material Finish	Mill Finish
Style & Type	3/4" No. 9 Flattened
Design Size - Short Way of Diamond (SWD)	0.923"
Design Size - Long Way of Diamond (LWD)	2.100"
Opening Size - Short Way of Opening (SWO)	0.593"
Opening Size - Long Way of Opening (LWO)	1.688"
Long Way of Opening (LWO) Parallel to	Length of Sheet
Diamonds per Foot - Short Way of Diamond (SWD)	13.0
Diamonds per Foot - Long Way of Diamond (LWD)	5.7
Strand Thickness	0.108"
Strand Width	0.165"
Overall Thickness	0.108"
Percent Open Area	64%
Weight	1.57 Lbs./Square Foot
Product Form	Sheet

CAD Drawings
[PDF - Download Now](#)
[DWG - Download Now](#)

Call For A Fast Quote





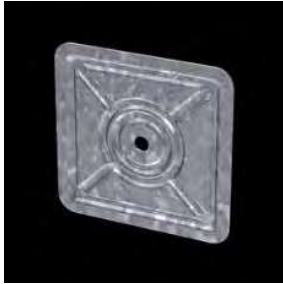
Product Search



specifications note

Specifications listed are for uncoated material and may vary slightly within mill tolerances

PRODUCT ACCESSORIES



McNICHOLS® Accessories
Fastener, Galvanized Steel, Pre-Galvanized, 3" Square Hold-Down Clip (Hardware Available Separately)

McNICHOLS



SUPPORT



PRODUCTS



RESOURCES



CONNECT



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BASE COAT SCRATCH & BROWN STUCCO

◆ The Pro's Choice Since 1936



Sakrete® Base Coat Scratch and Brown Stucco is a gray, blended, water resistant, portland/lime cement-based, material used for scratch and brown coat stucco work.

Features:

- Meets ASTM C926 Standard Specification for Application of Portland Cement-Based Plaster
- Preblend with sand requiring only the addition of water
- Can be used in a 3 coat system or 2 coat scratch and brown application
- Water resistant with a breathable finish

Use For:

- Concrete Block
- Vertical and overhead applications
- Scratch and Brown
- Applications over metal lath, welded or woven wire lath in accordance with ASTM C1063
- Brick or Stone

Yield/Water/Coverage:

Bag Size	Trowel Applied	Spray Applied	Water
80 lb (36.3 kg)	70 ft ² (6.4 m ²) at 1/8" (3.2 mm) thick or 35 ft ² (3.2 m ²) at 1/4" (6.4 mm) thick	60 ft ² (5.5 m ²) at 1/8" (3.2 mm) thick	1.5 gal (5.8 L)

NOTE: Yield and water are approximate. The yield above does not allow for waste and spillage. Coverage can vary depending upon texture, weather, method of application, workmanship and other conditions.

Color:

Gray

Preparation/Application:

For best results all material should be stored between 40°F (4°C) and 90°F (32°C).

1. Remove all unsound concrete, mortar, grease, oil, paint and other foreign materials that will inhibit performance.
2. When applying over a base coat, CMU (Concrete Masonry Unit) or other porous surfaces, dampen the surface first.
3. When applying over a smooth non-absorbent surface follow the provisions of ASTM C926 for surface treatment and the use of Sakrete Bonder & Fortifier or Sakrete Concrete Glue.
4. When used over old stucco, Sakrete Concrete Glue or Sakrete Bonder/Fortifier is required.

Refer to:

- ASTM D4258 Surface Cleaning of Concrete before painting
- ASTM C926 Application of Portland Cement Plaster
- ACI 524R Guide to Portland Cement Plastering

Placement:

1. Apply a scratch and brown coat in accordance with ASTM C926 prior to application of the stucco.
2. Install to a minimum thickness in accordance with the standards referenced.
3. Finish according to the texture specified. Wood floats are preferred.
4. Over-floating the material can result in color variations, mottling and surface defects.
5. The air, mix & substrate temperatures should all be between 40°F (4°C) to 90°F (32°C).

Spray Application:

Note: The following information is offered as a guide only. Specific product, equipment, application conditions and user experience will influence proper application results. Consult with the equipment manufacturer for equipment handling techniques. Field Test material with equipment prior to starting project.

Spray an even, consistent coat, moving the nozzle with a steady, even motion, maintaining the same distance and angle from the wall.

Progressive Cavity Pump	Hose diameter & max length	Gun	Tip	Pressure at Pump	Pressure at Gun
2.5 L	1" to 1.5" (25.4 to 38.1 mm)	Pole	7/16" to 9/16" (11.1 to 14.3 mm)	300-400 psi (2.1-2.8 MPa)	Air compressor to furnish 50 psi (0.3 MPa)

Mixing:

1. Use clean tools and potable water. A mixer will help with uniformity.
2. Use approximately 1 1/2 gal (5.8 L) of water per 80 lb (36.3 kg) bag.
3. Place the water in the mixer, gradually adding the stucco to the mixing water and mix until material is wet and of a trowelable consistency (about 3 - 4 minutes).
4. Water and mixing time must be kept to a minimum and be consistent between batches. Inconsistent amounts of water from bag to bag will result in color variations on the wall.



BASE COAT SCRATCH & BROWN STUCCO

◆ The Pro's Choice Since 1936

5. Allow mixer to sit for 2 minutes, than remix for one minute. A small amount of water may be added at this time if mix is stiff.
6. Mix only quantities that can be applied within one hour.
7. If mixture becomes stiff and difficult to trowel, discard it. Do not re-temper. Re-tempering will seriously affect performance.
8. When used over porous substrates and/or during hot, dry weather replace 1/2 gallon of water with the Sakrete Bonder & Fortifier or prime with Sakrete Concrete Glue.

Note: Refer to applicable sections of the standards referenced. DO NOT re-temper. Re-tempering will seriously affect color. When using Sakrete Bonder & Fortifier, pre-dilute with water first before mixing with the stucco. The addition of Bonder & Fortifier improves bond, curing, reduces shrinkage cracks, improves color retention and helps reduce efflorescence.

Curing:

1. Proper curing is critical for sound results.
2. Protect newly applied substrates from rain for 24 hours. Protect from freezing for 24 hours after application.
3. Materials modified with Sakrete Bonder & Fortifier should be air cured, unless hot and/or drying winds or low humidity are present. Under such conditions if not modified, lightly fog spray.
4. Cure per American Concrete Institute 308-Standard Practice for Curing Concrete. As with all stucco, surface cracking may occur due to curing conditions, control joint configurations, over-watering, over-troweling or other conditions beyond the control of the manufacturers of Sakrete products.
5. Efflorescence is a naturally occurring phenomenon associated with portland cement based products. Elevated mineral content, salts, or other particulates can exacerbate this condition.

Precautions:

- DO NOT apply over substrates that are frozen.
- DO NOT apply if air or substrate temperature is below 40°F (4°C) or above 90°F (32°C).
- DO NOT apply when temperature is expected to fall below 40°F (4°C) within 48 hours.
- DO NOT over-water.
- DO NOT over-float material.
- DO NOT use high mineral content or salt water.
- DO NOT apply over painted, sealed or slick surfaces.

NOTE: Proper application and installation of all Sakrete products are the responsibility of the end user.

Safety:

READ and UNDERSTAND the Safety Data Sheet (SDS) before using this product. WARNING: Wear protective clothing and equipment. For emergency information, call CHEMTREC at 800-424-9300 or 703-527-3887 (outside USA).

KEEP OUT OF REACH OF CHILDREN.

Limited Product Warranty:

The manufacturer warrants that this product shall be of merchantable quality when used or applied in accordance with the manufacturer's instructions. This product is not warranted as suitable for any purpose other than the general purpose for which it is intended. This warranty runs for one (1) year from the dates the product is purchased. ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE ON THIS PRODUCT IS LIMITED TO THE DURATION OF THIS WARRANTY. Liability under this warranty is limited to replacement or defective products or, at the manufacturer's option, refund of the purchase price. CONSEQUENTIAL AND INCIDENTAL DAMAGES ARE NOT RECOVERABLE UNDER THIS WARRANTY.



FINISH COAT STUCCO

◆ The Pro's Choice Since 1936



Sakrete® Finish Coat Stucco is a blended, decorative, water resistant, portland /lime cement-based, finish coat stucco for use as a decorative finish coat stucco for vertical and overhead application.

Features:

- Meets ASTM C926 Standard Specification for Application of Portland Cement-Based Plaster
- Preblend with sand requiring only the addition of water
- Can be used in a 3 coat system or 2 coat scratch and brown application
- Water resistant with a breathable finish

Use For:

- Concrete Block
- Vertical and overhead applications
- Scratch and Brown
- Applications over metal lath, welded or woven wire lath in accordance with ASTM C1063
- Brick or Stone

Yield/Water/Coverage:

Bag Size	Trowel Applied	Spray Applied	Water
80 lb (36.3 kg)	70 ft ² (6.4 m ²) at 1/8" (3.2 mm) thick or 35 ft ² (3.2 m ²) at 1/4" (6.4 mm) thick	60 ft ² (5.5 m ²) at 1/8" (3.2 mm) thick	1.5 gal (5.8 L)

NOTE: Yield and water are approximate. The yield above does not allow for waste and spillage. Coverage can vary depending upon texture, weather, method of application, workmanship and other conditions.

Color:

Gray or White

Preparation/Application:

For best results all material should be stored between 40°F (4°C) and 90°F (32°C).

1. Remove all unsound concrete, mortar, grease, oil, paint and other foreign materials that will inhibit performance.
2. When applying over a base coat, CMU (Concrete Masonry Unit) or other porous surfaces, dampen the surface first.
3. When applying over a smooth non-absorbent surface follow the provisions of ASTM C926 for surface treatment and the use of Sakrete Bonder & Fortifier or Sakrete Concrete Glue.
4. When used over old stucco, Sakrete Concrete Glue or Sakrete Bonder/ Fortifier is required.

Refer to:

- ASTM D4258 Surface Cleaning of Concrete before painting
- ASTM C926 Application of Portland Cement Plaster
- ACI 524R Guide to Portland Cement Plastering

Placement:

1. Apply a scratch and brown coat in accordance with ASTM C926 prior to application of the stucco.
2. Install to a minimum thickness in accordance with the standards referenced.
3. Finish according to the texture specified. Wood floats are preferred.
4. Over-floating the material can result in color variations, mottling and surface defects.
5. The air, mix & substrate temperatures should all be between 40°F (4°C) to 90°F (32°C).

Spray Application:

Note: The following information is offered as a guide only. Specific product, equipment, application conditions and user experience will influence proper application results. Consult with the equipment manufacturer for equipment handling techniques. Field Test material with equipment prior to starting project.

Spray an even, consistent coat, moving the nozzle with a steady, even motion, maintaining the same distance and angle from the wall.

Progressive Cavity Pump	Hose diameter & max length	Gun	Tip	Pressure at Pump	Pressure at Gun
2.5 L	1" to 1.5" (25.4 to 38.1 mm)	Pole	7/16" to 9/16" (11.1 to 14.3 mm)	300-400 psi (2.1-2.8 MPa)	Air compressor to furnish 50 psi (0.3 MPa)

Mixing:

1. Use clean tools and potable water. A mixer will help with uniformity.
2. Use approximately 1 1/2 gal (5.8 L) of water per 80 lb (36.3 kg) bag.
3. Place the water in the mixer, gradually adding the stucco to the mixing water and mix until material is wet and of a trowelable consistency (about 3 - 4 minutes).
4. Water and mixing time must be kept to a minimum and be consistent between batches. Inconsistent amounts of water from bag to bag will result in color variations on the wall.



FINISH COAT STUCCO

◆ The Pro's Choice Since 1936

5. Allow mixer to sit for 2 minutes, than remix for one minute. A small amount of water may be added at this time if mix is stiff.
6. Mix only quantities that can be applied within one hour.
7. If mixture becomes stiff and difficult to trowel, discard it. Do not re-temper. Re-tempering will seriously affect performance.
8. When used over porous substrates and/or during hot, dry weather replace 1/2 gallon of water with the Sakrete Bonder & Fortifier or prime with Sakrete Concrete Glue.

Note: Refer to applicable sections of the standards referenced. DO NOT re-temper. Re-tempering will seriously affect color. When using Sakrete Bonder & Fortifier, pre-dilute with water first before mixing with the stucco. The addition of Bonder & Fortifier improves bond, curing, reduces shrinkage cracks, improves color retention and helps reduce efflorescence.

Curing:

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2. Protect newly applied substrates from rain for 24 hours. Protect from freezing for 24 hours after application.
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5. Efflorescence is a naturally occurring phenomenon associated with portland cement based products. Elevated mineral content, salts, or other particulates can exacerbate this condition.

Precautions:

- DO NOT apply over substrates that are frozen.
- DO NOT apply if air or substrate temperature is below 40°F (4°C) or above 90°F (32°C).
- DO NOT apply when temperature is expected to fall below 40°F (4°C) within 48 hours.
- DO NOT over-water.
- DO NOT over-float material.
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- DO NOT apply over painted, sealed or slick surfaces.

NOTE: Proper application and installation of all Sakrete products are the responsibility of the end user.

Safety:

READ and UNDERSTAND the Safety Data Sheet (SDS) before using this product. WARNING: Wear protective clothing and equipment. For emergency information, call CHEMTREC at 800-424-9300 or 703-527-3887 (outside USA).

KEEP OUT OF REACH OF CHILDREN.

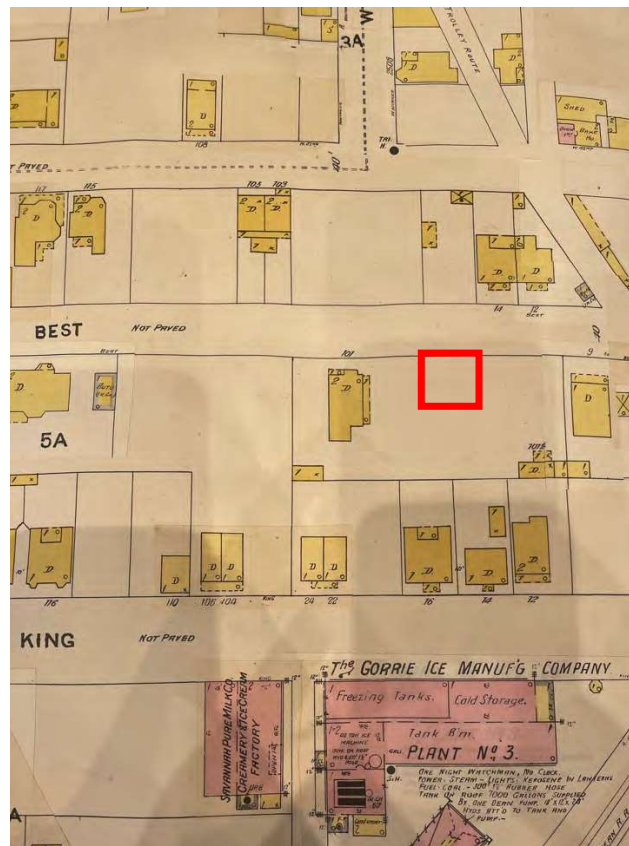
Limited Product Warranty:

The manufacturer warrants that this product shall be of merchantable quality when used or applied in accordance with the manufacturer's instructions. This product is not warranted as suitable for any purpose other than the general purpose for which it is intended. This warranty runs for one (1) year from the dates the product is purchased. ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE ON THIS PRODUCT IS LIMITED TO THE DURATION OF THIS WARRANTY. Liability under this warranty is limited to replacement or defective products or, at the manufacturer's option, refund of the purchase price. CONSEQUENTIAL AND INCIDENTAL DAMAGES ARE NOT RECOVERABLE UNDER THIS WARRANTY.

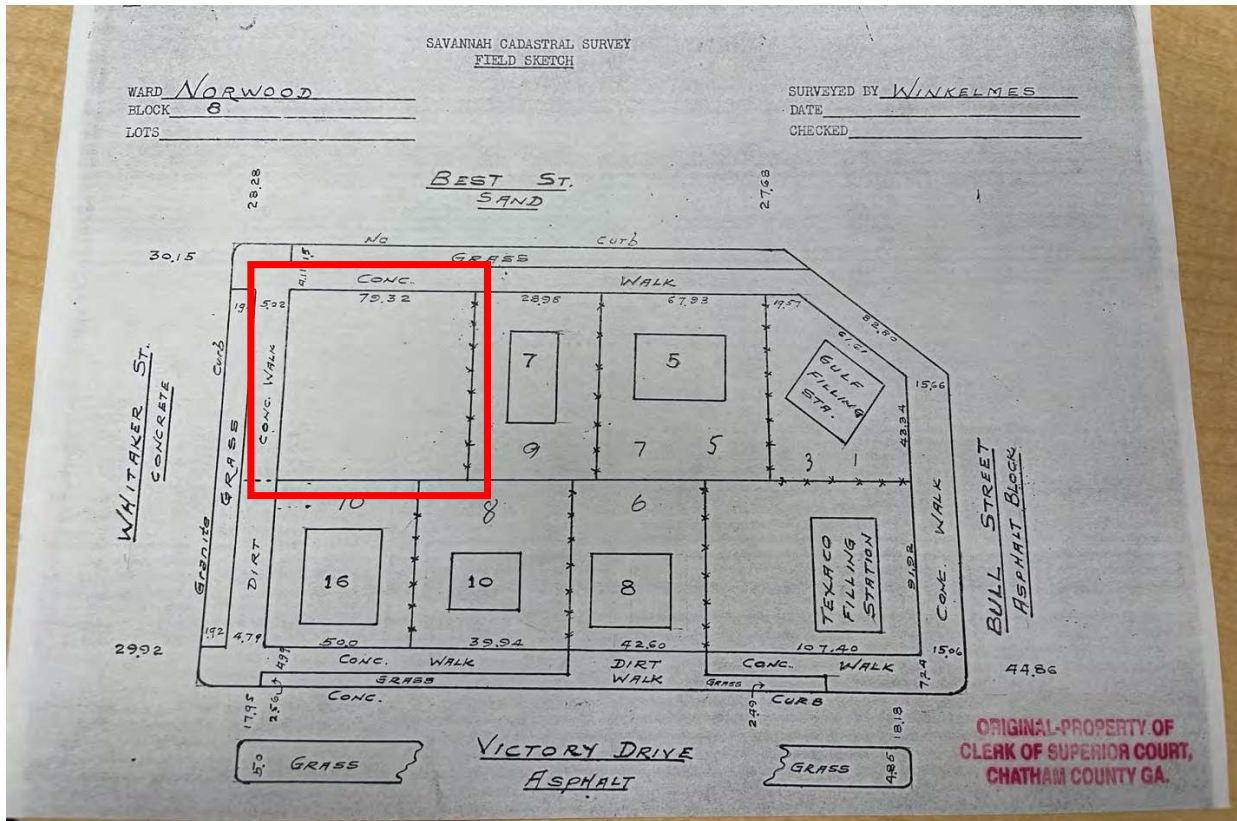
15 West 43rd Street - Illustrated History

The property located on lots 13 and 15 within Norwood Ward, on the southeast corner of Whitaker Street and West 43rd Street (previously known as Best Street) is currently considered a contributing building located within the Thomas Streetcar Historic District. The building is listed as being built ca. 1920 on the building supplement for the district. However, evidence that would suggest that the building was actually built later, outside of the district's period of significance date range, which ends in 1935. Based on the following archival research, the consultant believes that the building was built between 1939-1940.

Notated within the 1994 Historic Resource Survey of the district, the survey sheet claimed under item number 33 - History, "The 1911 City Directory locates the Savannah Ice Company at 11 West 43rd Street but the 1916 Sanborn does not show it. Beth Reiter (surveyor) remembers going to this ice company as a girl to get block ice for parties – her father would then chip it with an ice pick in a big, galvanized tub." Consultant researched the 1911 City Directory to find that the Savannah Ice Company existed at the corner of Whitaker and King (now known as Victory Drive) Streets, which is south of the property location. The Gorrie Ice Manufacturing Company was located near this location on the other side of Victory Drive, as seen visually in the 1898 Sanborn Fire Insurance Map below. Further noted on this Sanborn Map, Whitaker Street does not fully extend to King Street (Victory Drive), and the area where the current building sits is vacant.



According to the Cadastral Survey field sketch block map, which was completed in 1936, no building outline is drawn on the lot located on the southeast corner of Whitaker and West 43rd Streets (Best Street). The field sketch notates a concrete sidewalk with a grass buffer between the sidewalk and the street on both the north and west frontages. Best Street is notated being sand with no curb, while Whitaker Street is concrete with a granite curb.



The Cadastral Survey card for the lot wasn't completed until May 1940, with its first owner listed in 1939 as the Savannah Ice Delivery Company. This claim is also supported by nothing being listed at the location in multiple Savannah Directories, until 1941. Savannah Ice Depot is listed at the location starting in 1941. The card describes the building as a one-story storage building. The building is listed as having a continuous brick foundation, no base, common bond brick veneer for the exterior walls, painted wood exterior trim, and a tin shed roof. Windows are wood frame with ordinary glass. It appears as if the building has been surrounded by concrete now extending to the existing concrete sidewalks. The building form is rectangular, with a northeastern extension connected to what is presumed to be the front porch, which extends past the full width of the building and connects to an addition at the northwest corner. A platform extends out from the western façade as well.

WARD Norwood SAVANNAH CADASTRAL SURVEY SURVEYED BY Love
 LOT No.'s 13 & 15 HOUSE No. _____ W.P.A. OF GA. DATE 5-20-40
 ADDRESS Best & Whitaker Sts CHATHAM COUNTY CHECKED BY _____

Storage Bldg TYPE, 1 STORY, CONDITION Good, USE Base 1st. X 2nd. _____
 OCCUPANTS: W X C 0

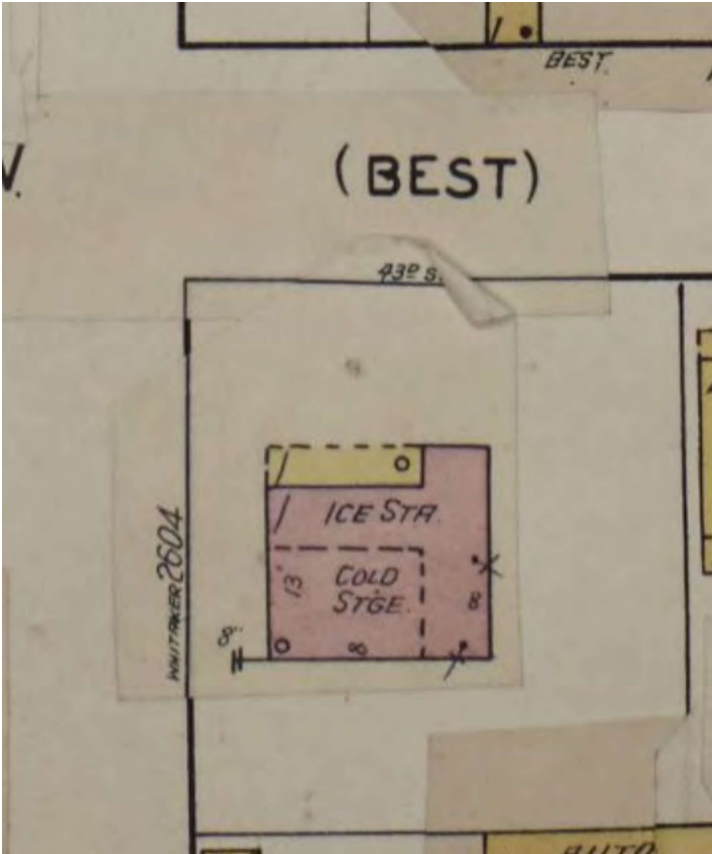
FOUNDATION	Stone		Unpainted		Wd. Frame	X
	Conc.		Painted	X	Met. Frame	
	Conc. Blk.		Plain		Ord. Glass	X
	Brick	X	Ornamental		Plate Glass	
	Wood		Wood	X	Casement	
BASE	Piers		Brick		Yes	
	Walls	X	Stone		No.	X
EXT. WALLS	ROOF MATERIALS	None	X	Gable		ATTIC
		Part		Hip		
		Full		Mansard		
		Conc. Floor		Flat		
EXT. WALLS	ROOF MATERIALS	Frame		Gambrel		INTERIOR
		Com. Brick		Shed	X	
		Com. Br. Ven.	X	Segment		
		Face Br. Ven.				
		Stucco Wd.				
		Stucco Met.				
		Kellastone				
		Cut Stone				
		Field Stone				
		Iron Sheet				
Cor. Iron						
Sheathing						

FIELD SKETCH
Improvements

NOTE: North end of lot to top.

Description of Out Buildings: NONE Remarks: Height 11.0
Found. 3.7

Evidence of the building is on the 1916 Sanborn Fire Insurance Map, which includes paste ins up to 1950. This map notates the address as being 2604 Whitaker Street. The building located on the lot is labeled as an Ice Station with a Cold Storage area clearly delineated by a dashed line. The building is one story masonry, with a wood frame one story porch along $\frac{3}{4}$ of the façade facing West 43rd Street. Both portions are notated to have tin roofing material. The southern masonry wall is fire rated and extended 8" above the roof. Windows are shown to be located on the east and south façades only. The building form represented on the Sanborn Map shows a less detailed plan than the Cadastral. The form is rectangular, almost square, indicating possibly removed northwestern and western façade additions. The 1955 Sanborn Fire Insurance Map is an exact copy of the 1916 Sanborn Map.



Stucco Color



GENERAL DEMO NOTES

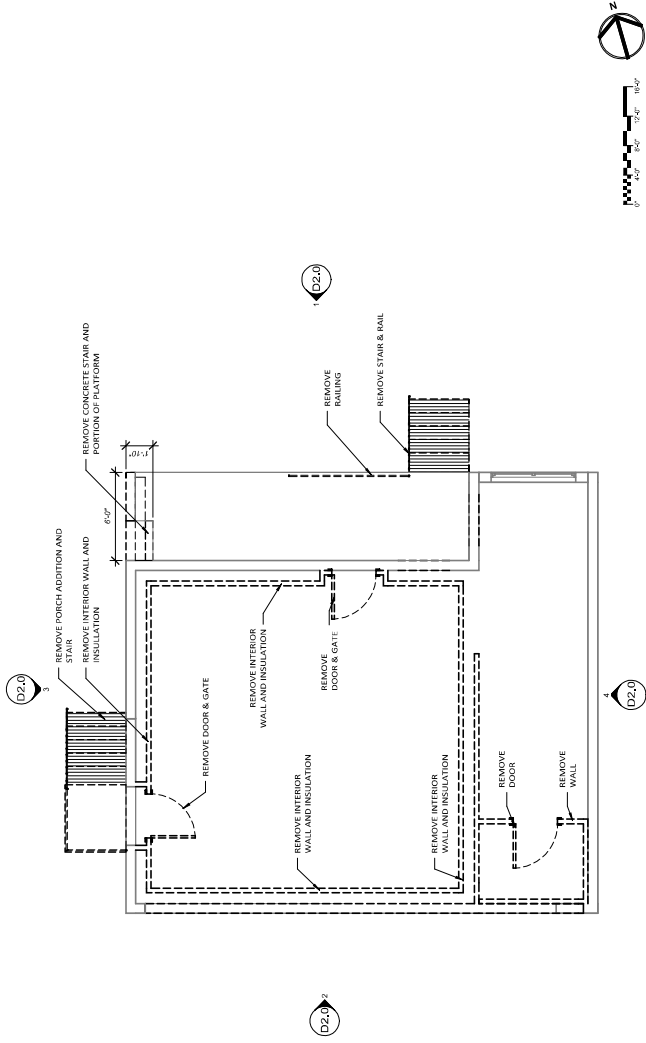
- NOTE: ALL DEMO WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
- THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED, AND ADEQUATE PERSONNEL FOR DEMO WORK. ALL DEMO WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
 - REMOVE ALL MATERIALS, UNLESS NOTED OTHERWISE, AS THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
 - THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED, AND ADEQUATE PERSONNEL FOR DEMO WORK. ALL DEMO WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
 - REMOVE ALL MATERIALS, UNLESS NOTED OTHERWISE, AS THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
 - THE EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE SHOT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND THE SAFETY OF THE JOB SITE.
 - NO PORTIONS OF THE STRUCTURE SHALL BE PERMITTED TO FALL NOR SHALL ANY DEBRIS BE DROPPED EXCEPT BY METHODS WHICH WILL INSURE LIFE SAFETY AND OTHER INSURANCE.
 - DO NOT REMOVE MORE OF THE EXISTING STRUCTURE THAN NECESSARY TO FACILITATE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.
 - THE CONTRACTOR SHALL PROVIDE SHORING IN ALL LOCATIONS WHERE EXISTING CONSTRUCTION TO REMAIN WILL BE AFFECTED BY DEMOLITION.

DEMO LEGEND

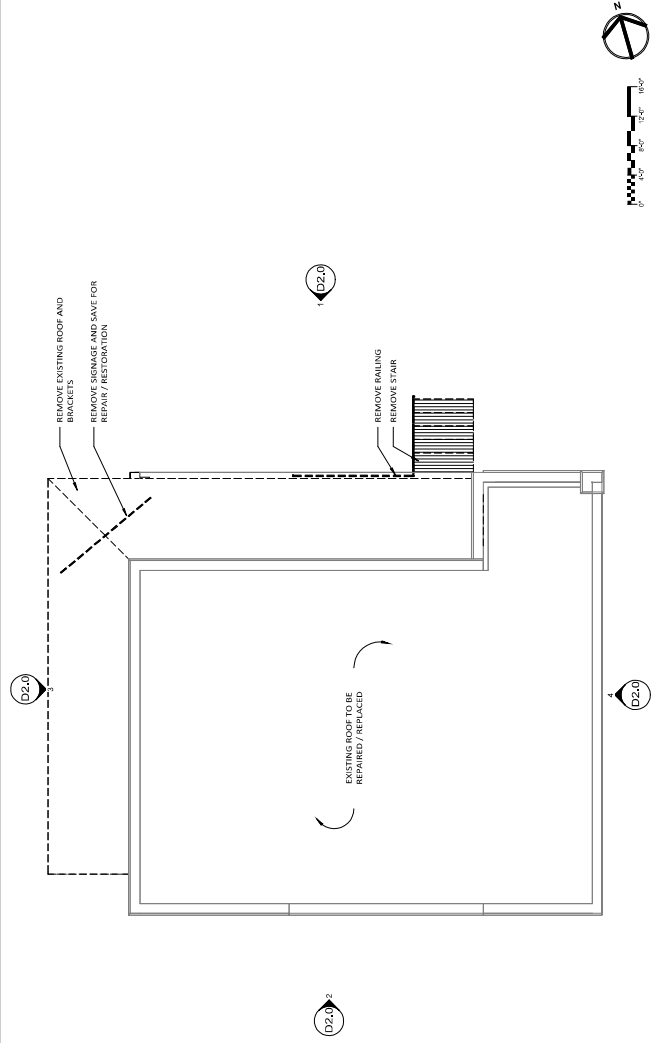
- PORTION OF WALL TO REMAIN
- PORTION OF WALL TO BE REMOVED
- PORTION OF FLOOR TO BE REMOVED
- PORTION OF CEILING TO BE REMOVED

PROJECT DEMO NOTES

- REMOVE ALL EXISTING FLOORING MATERIAL THROUGHOUT



3 DEMO SITE PLAN
1/4" = 1'-0"



2 DEMO - ROOF PLAN
1/4" = 1'-0"

GENERAL DEMO NOTES

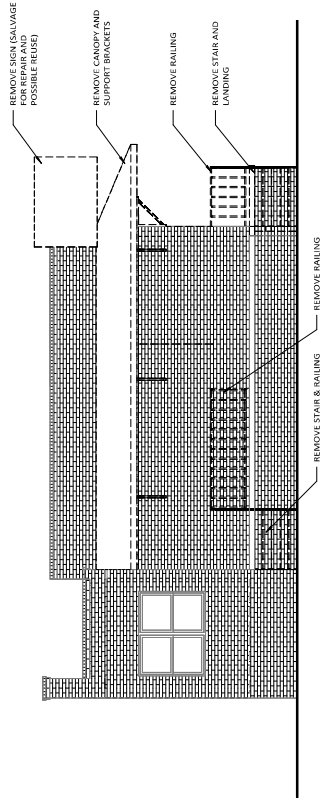
- NOTE: THE CONTRACTOR SHALL VERIFY ALL DEMO WORK FOR REFERENCE ONLY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
1. REMOVE ALL DEMO MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
 2. THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL TO PERFORM ALL DEMO OPERATIONS. REMOVE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
 3. THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL TO PERFORM ALL DEMO OPERATIONS. REMOVE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS. VERIFY WITH OWNER.
 4. THE EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE GROUND CONDITIONS.
 5. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE MEANS AND MATERIALS OF OPERATION AND THE SAFETY OF THE JOB SITE.
 6. NO PORTIONS OF THE STRUCTURE SHALL BE PERMITTED TO FALL NOR SHALL ANY DEBRIS BE DROPPED EXCEPT BY METHODS WHICH WILL INSURE LIFE SAFETY AND OTHER INSURANCE.
 7. DO NOT REMOVE MORE OF THE EXISTING STRUCTURE THAN NECESSARY TO ACCOMPLISH THE DEMO WORK. THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.
 8. THE CONTRACTOR SHALL PROVIDE SHORING IN ALL LOCATIONS WHERE EXISTING CONSTRUCTION TO REMAIN WILL BE AFFECTED BY DEMOLITION.

DEMO LEGEND

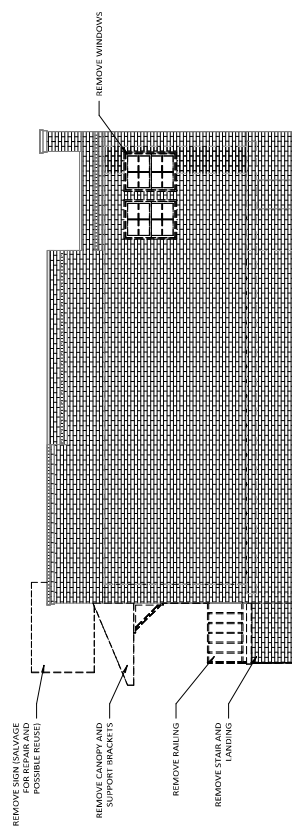
- PORTION OF WALL TO REMAIN
- PORTION OF WALL TO BE REMOVED
- PORTION OF FLOOR TO BE REMOVED
- PORTION OF CEILING TO BE REMOVED

PROJECT DEMO NOTES

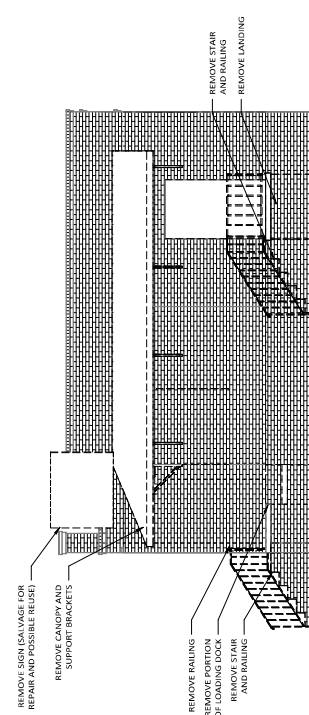
1. REMOVE ALL EXISTING FLOORING MATERIAL THROUGHOUT



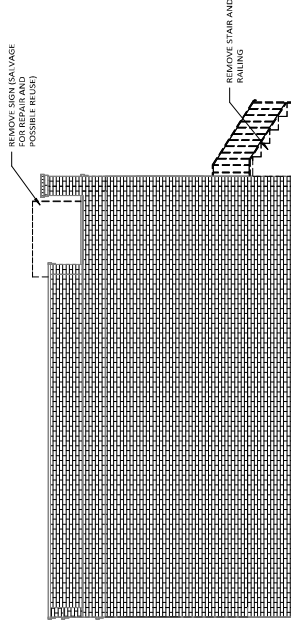
1. DEMO ELEVATION - EAST
 1/4" = 1'-0"



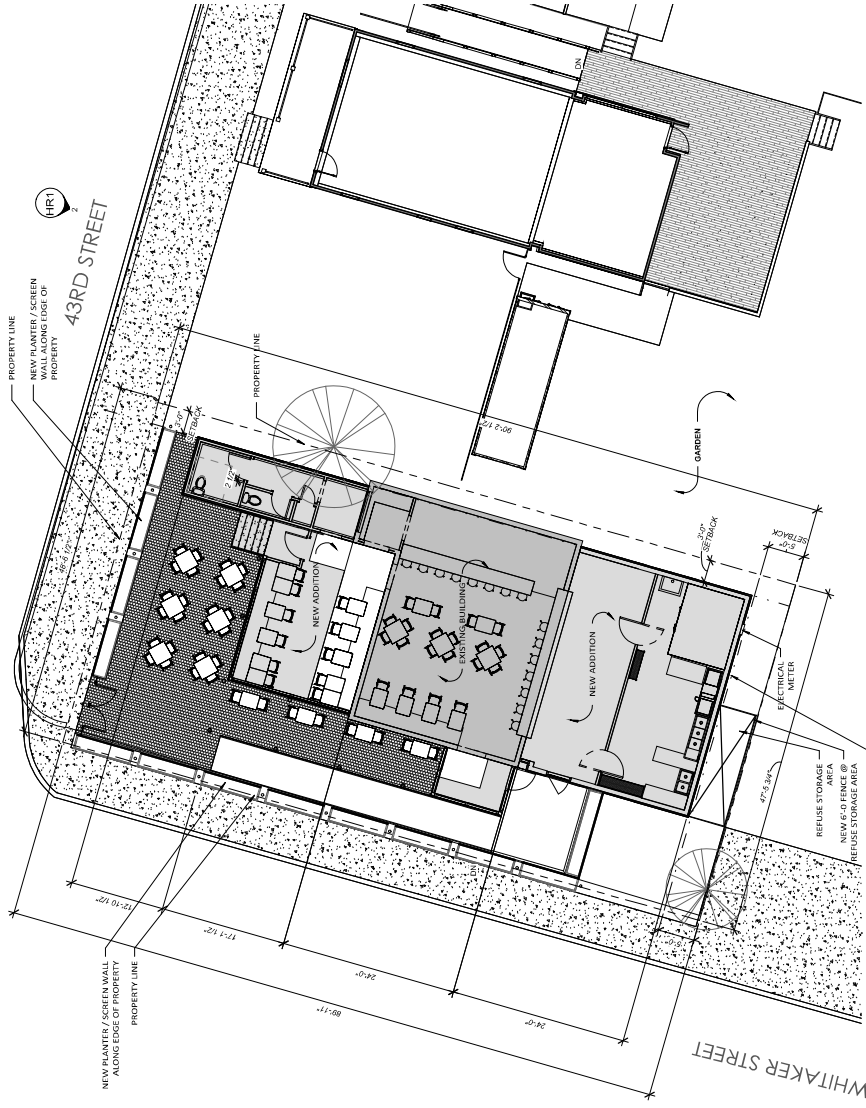
2. DEMO ELEVATION - WEST
 1/4" = 1'-0"



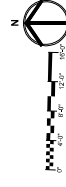
3. DEMO ELEVATION - NORTH
 1/4" = 1'-0"



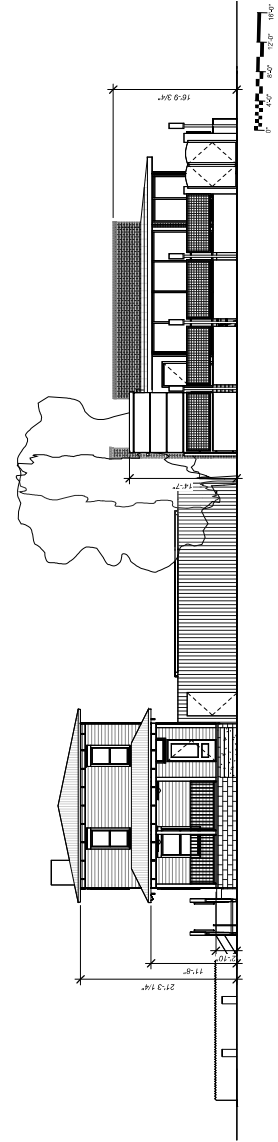
4. DEMO ELEVATION - SOUTH
 1/4" = 1'-0"



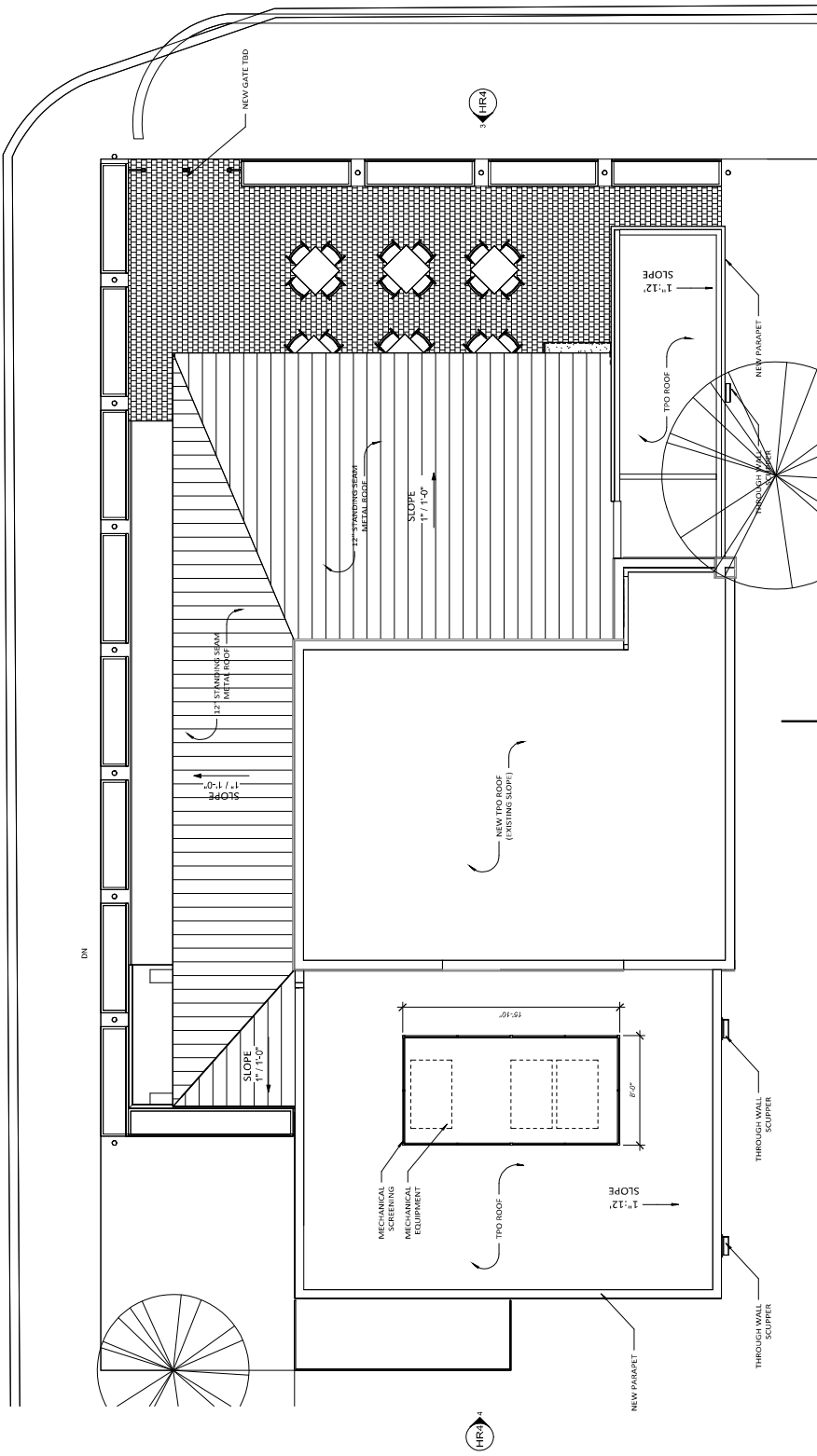
LOT COVERAGE:	
TOTAL SITE	4,297 SF
EXISTING	1,022 SF
NEW	1,245 SF
	23.7%
	52.0%
PARKING NOTE:	
PARKING NOT REQUIRED DUE TO BUILDING SQUARE FOOTAGE	



1 SITE PLAN
1/8" = 1'-0"

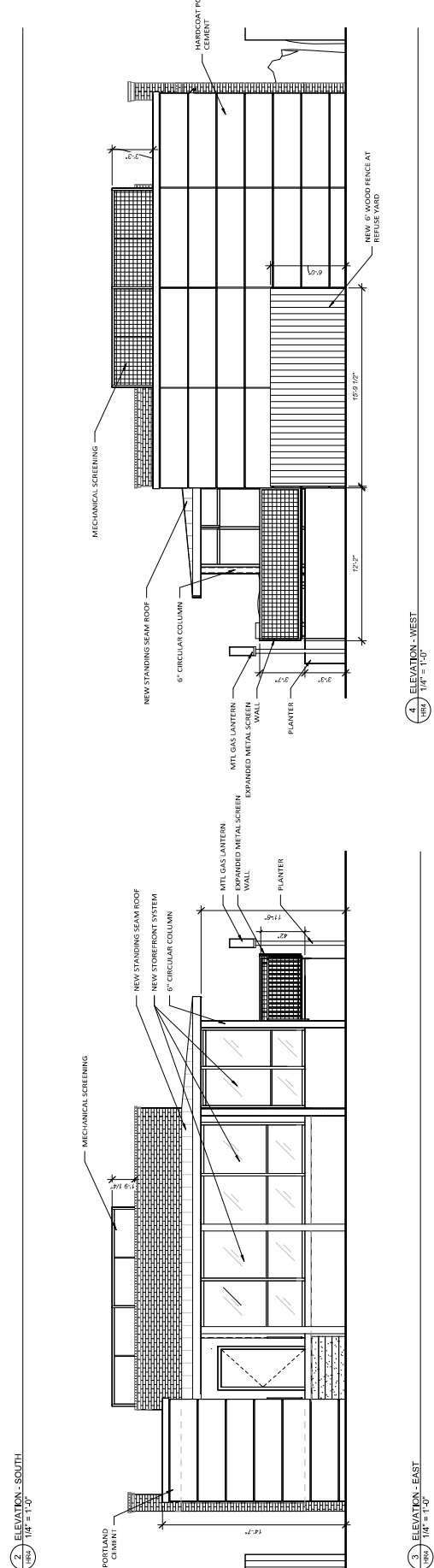
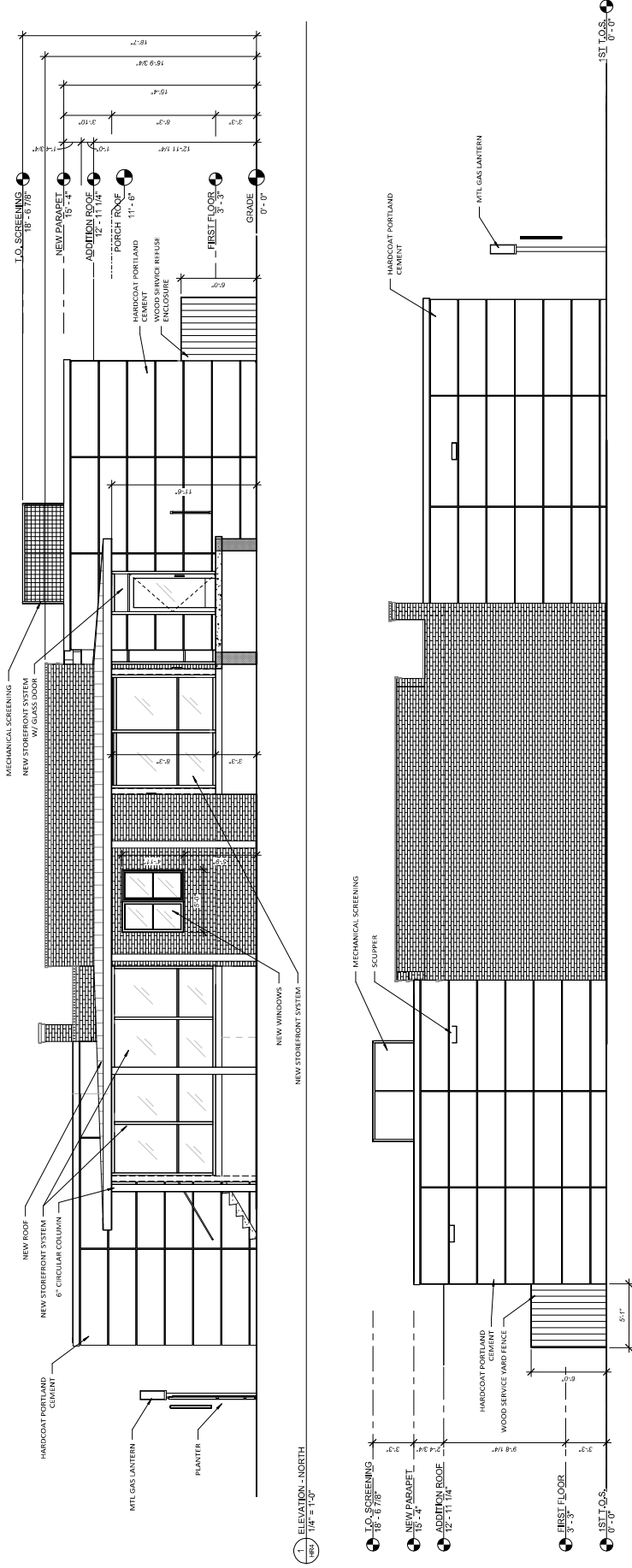


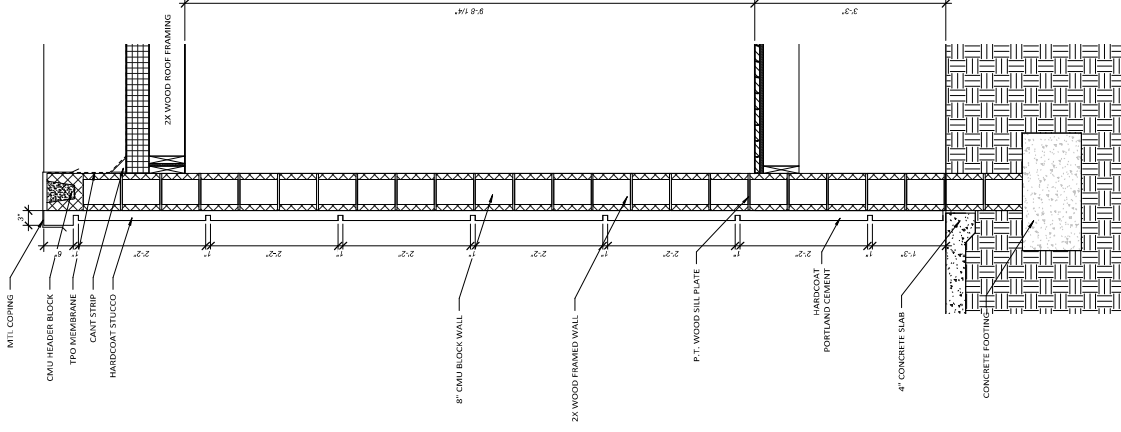
2 SITE CONTEXT ELEVATION
1/8" = 1'-0"



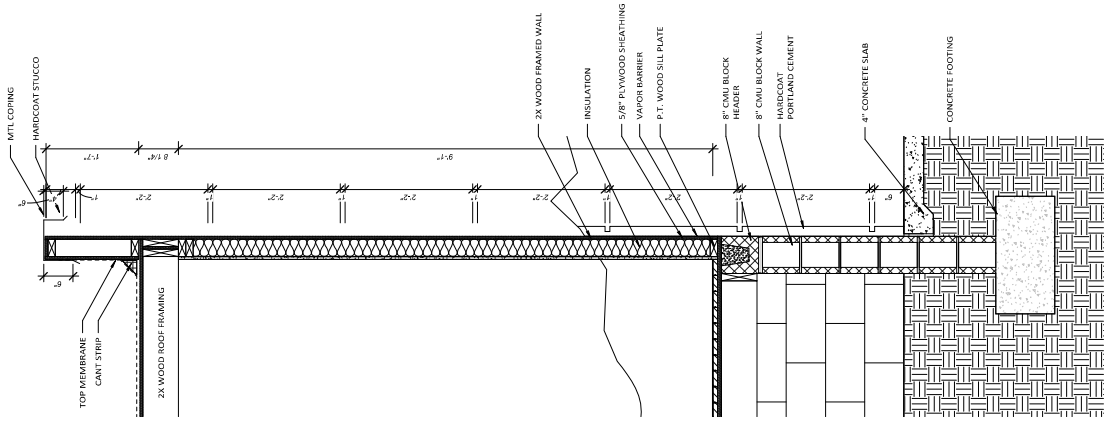
HR3
HR4

1 - ROOF PLAN
HR3
1/4" = 1'-0"

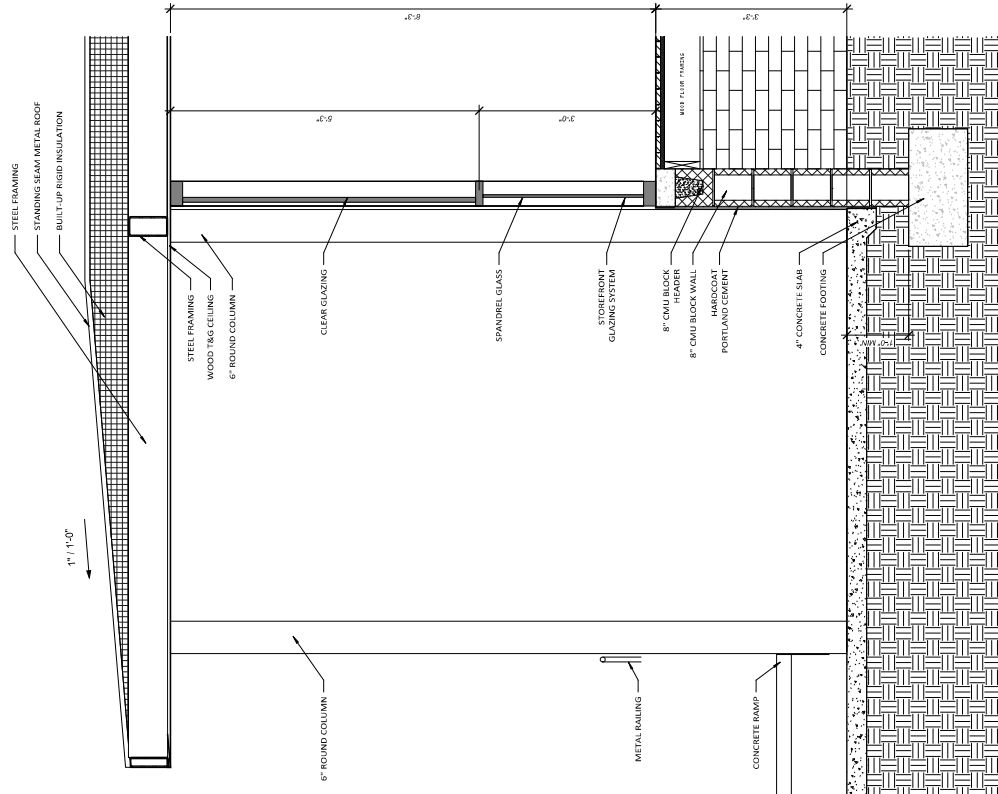




3 WALL SECTION 3
1/4\"/>



2 WALL SECTION 2
1/4\"/>



1 WALL SECTION 1
1/4\"/>