



CITY COUNCIL Regular Meeting – Agenda

November 21, 2022 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA
31322

- I. ROLL CALL/DECLARATION OF QUORUM
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. **City Council Meeting Minutes of November 7, 2022**
 - B. **Alcoholic Beverage License Application for Savannah Distributing Co, Inc. at 58 Columbia Drive**
 - C. **Alcoholic Beverage License Application fro Viet Huang, Inc. dba Viet Huang Oriental Market at 210 Grand Central Boulevard**
 - D. **Temporary / Special Event (Dispensing Alcohol) Permit Application for Roselyn M. Moultrie on December 10, 2022**
 - E. **Department Reports**
 1. **Public Works**
 2. **Finance**
 3. **Fire**
 4. **Police**
 5. **Recreation**
 6. **Planning & Zoning**
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. **Ordinance O2022-11.A - To Amend Chapter 90 - Vehicles for Hire, Article II - Towing and Wrecker Service** *(Second Reading)*

- B. **Ordinance O2022-11.B - To Amend Chapter 42 - Environment, Article VI - Tree Protection to Add Divisions and Establish Requirements for Tree Protection on Public Property and Rights-of-Way** *(First Reading)*
- C. **Ordinance O2022-11.C - Zoning Text Amendment Adding Furniture and Related Product Manufacturing as a Conditional Use to Table 4.1 Allowed Uses by Zoning District** *(First Reading; Public Hearing, Action)*

VIII. NEW BUSINESS

- A. **Zoning Buffer Requirement Variance for 1393 US Highway 80 East** *(Public Hearing, Action)*
- B. **Variance Request for Proposed Sewer Line Encroachment Within a City Owned Right-of-Way** *(Public Hearing, Action)*
- C. **Zoning Map Amendment of Approximately 18.18 Acres at Morgan Lakes Industrial Boulevard from PUD to I-1** *(Public Hearing, Action)*
- D. **Zoning Map Amendment of Approximately 4.92 Acres at Benton Grove from R1-A to C-2** *(Public Hearing, Action)*
- E. **Conditional Use Request to Construct an Auto Body Collision Repair Shop at 1224 US Highway 80 East** *(Public Hearing, Action)*
- F. **Conditional Use Request to Construct a Funeral Home at 1019 US Highway 80 West** *(Public Hearing, Action)*
- G. **Minor Subdivision Plat for Outparcel 5, Mosaic Towne Center**
- H. **Site Plan for 1543 Dean Forest Road**
- I. **Site Plan for Durham Park Office at Durham Park Boulevard**
- J. **Site Plan for 125 Distribution Drive**
- K. **Site Plan for Parlor Mini Storage on Pine Barren Road**

IX. EXECUTIVE SESSION

X. ADJOURNMENT



CITY COUNCIL Regular Meeting – Minutes

November 7, 2022 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA 31322

I. ROLL CALL/DECLARATION OF QUORUM

Present: Rebecca C. Benton, Mayor
Tom Hutcherson, Mayor Pro Tem
Shannon Black, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
John Wilcher, Councilmember
Karen Williams, Councilmember
Robert Byrd, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent: Steve Scheer, City Attorney

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order 6:00 p.m.

III. INVOCATION

Dr. Shirlenia Daniel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Dr. Shirlenia Daniel led the pledge.

V. ANNOUNCEMENTS

Mayor Rebecca Benton reminded all present that Election Day is tomorrow, November 8.

VI. CONSENT AGENDA

A. City Council Meeting Minutes of October 17, 2022

City Manager Robert Byrd presented the consent agenda for consideration.

B. Special Event Permit Application for Jamie Casino on December 3, 2022

C. **Special Event Permit Application for Anna Swanson on February 25, 2023**

Councilmember Karen Williams moved to approve the consent agenda.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Black

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. **Ordinance O2022-10.A - To Amend Appendix A - Zoning, Article III - General Provisions by Adding Section 30 - Trailer Parking Yard** *(Second Reading)*

City Manager Robert Byrd presented the ordinance for consideration. Councilmember John Wilcher moved to approve the second reading of Ordinance O2022-10.A - To Amend Appendix A - Zoning, Article III - General Provisions by Adding Section 30 - Trailer Parking Yard.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Wall

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

B. **Ordinance O2022-10.B - To Amend Appendix A - Zoning, Article III - General Provisions by Adding Section 31 - Container Storage Yard and Table 4.1 - Allowed Uses by Zoning District; To Address Non-Conformities and Need for Compliance** *(Second Reading)*

City Manager Robert Byrd presented the ordinance for consideration. Councilmember John Wilcher moved to approve the second reading of Ordinance O2022-10.B - To Amend Appendix A - Zoning, Article III - General Provisions by Adding Section 31 - Container Storage Yard and Table 4.1 - Allowed Uses by Zoning District; To Address Non-Conformities and Need for Compliance.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

- C. **Ordinance O2022-11.A - To Amend Chapter 90 - Vehicles for Hire, Article II - Towing and Wrecker Service** *(First Reading)*
City Manager Robert Byrd presented the ordinance for consideration. Chief Ashley Brown and Sergeant James Self reported on the proposed ordinance amendment. Councilmember John Wilcher moved to approve the first reading of Ordinance O2022-11.A - To Amend Chapter 90 - Vehicles for Hire, Article II - Towing and Wrecker Service.
- Motion to Approve; PASSED (UNANIMOUS)
MOVER: Wilcher
SECONDER: Black
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:
- D. **Proclamation for Georgia Retired Educators Day**
Mayor Rebecca Benton read aloud the proclamation.
- E. **Resolution R2022-11.A - GEFA Loan Modification CW2021034**
City Manager Robert Byrd presented the resolution for consideration. Councilmember Stevie Wall moved to approve Resolution R2022-11.A - GEFA Loan Modification CW2021034.
- Motion to Approve; PASSED (UNANIMOUS)
MOVER: Wall
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:
- F. **Resolution R2022-11.B - GEFA Loan Modification CW2020016**
City Manager Robert Byrd presented the resolution for consideration. Councilmember Aaron Higgins moved to approve Resolution R2022-11.B - GEFA Loan Modification CW2020016.
- Motion to Approve; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

VIII. OLD BUSINESS

- A. **Amendment to Savannah Quarters PUD Master Plan and Development Standards**
City Manager Robert Byrd presented the amendment for consideration. Mark Hall, Jim Collins, and Chris Marsengill were present to answer questions. Councilmember John Wilcher moved to approve the Amendment

to Savannah Quarters PUD Master Plan and Development Standards. Resident John Hayden expressed his concerns on the proposed changes related to traffic on Quacco Road and Pooler Parkway.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

IX. NEW BUSINESS

A. **Site Plan for Hydradyne Retail and Warehouse Building at 1752 Old Dean Forest Road (PIN 5-0924D-01-001)**

City Manager Robert Byrd presented the site plan for consideration. Tom Havens of Coastal Engineering was present to answer questions. Councilmember John Wilcher moved to approve the Site Plan for Hydradyne Retail and Warehouse Building at 1752 Old Dean Forest Road (PIN 5-0924D-01-001) subject to recording of the stormwater agreement prior to a preconstruction meeting.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Hutcherson

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

X. ADJOURNMENT

Councilmember Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Wilcher

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

The meeting adjourned at 6:44 p.m.

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2022.

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, Clerk of Council



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

Finance Department 100 US Hwy 80 SW, Pooler, GA 31322 P: 912-748-7261

This application must be filled out for processing. Please answer all questions in black or blue ink.
Do not enter "Same", "N/A", "See below" or use white-out on this application.

Type of Business (please select appropriate one):

- Restaurant Bar/Lounge Hotel/Motel Caterer Event Venue
 Convenience/Gas/Drug Store Manufacturer/Distillery/Brewery Super Market/Grocery
 Wholesale/Distributor Package/Liquor Store Specialty Shop Special Event Permit
(Dispensing Alcohol)

BUSINESS INFORMATION			
LEGAL STRUCTURE OF ENTITY: <input type="checkbox"/> Sole Proprietor <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> LLC <input type="checkbox"/> Partnership			
LEGAL BUSINESS NAME: Savannah Distributing Company, Inc.		DOING BUSINESS AS (DBA) NAME (if applicable): Savannah Distributing Co., Inc.	
FEDERAL EMPLOYMENT ID NUMBER (FEIN): 58-1099631		GEORGIA SALES TAX ID NUMBER (STIN):	
BUSINESS ADDRESS (Physical Location): 58 Columbia Drive CITY: Pooler STATE: GA ZIP CODE: 31322			

APPLICANT INFORMATION					
APPLICANT FULL LEGAL NAME (Last, First, Middle): Henry Sanders Monsees				ISSUING STATE/DRIVER LICENSE NUMBER: GA	
SOCIAL SECURITY NUMBER:			DATE OF BIRTH (mm/dd/yyyy):		PLACE OF BIRTH (City, State, Country): Savannah GA Chatham
RACE:	SEX:	HEIGHT:	WEIGHT:	HAIR COLOR:	EYE COLOR:
PHYSICAL HOME ADDRESS: CITY: STATE: ZIP CODE:					
MAILING ADDRESS: (if different) P.O. Box 1388, Savannah, Georgia 31402 CITY: STATE: ZIP CODE:					

OWNER INFORMATION: (If other than applicant)			
OWNER FULL LEGAL NAME (Last, First, Middle): Henry Sanders Monsees			ISSUING STATE/DRIVER LICENSE NUMBER: GA
SOCIAL SECURITY NUMBER:		DATE OF BIRTH (mm/dd/yyyy):	PLACE OF BIRTH (City, State, Country): Savannah GA Chatham
PHYSICAL HOME ADDRESS: CITY: STATE: ZIP CODE:			
MAILING ADDRESS: (if different) P.O. Box 1388, Savannah Georgia 31402 CITY: STATE: ZIP CODE:			

ADDITIONAL OWNERS' INFORMATION: Please list all owners, if more than one, who have an ownership interest of 10% or more in the business. Use additional paper if needed.

BUSINESS OWNER NAME:	BUSINESS OWNER'S ADDRESS:
Henry S. Monsees	45 Mulberry Bluff Drive, Savannah GA
Christopher J. Peters	11 Country Club Drive, Savannah GA
Bonnie P. Gentes	2 Richmond Drive, Savannah GA



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

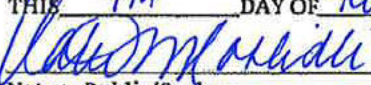
CRIMINAL HISTORY		
WARNING - Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license.		
Has the applicant or any person connected with or having an interest in said business:		
a. Ever been convicted of any criminal violation or city ordinance violation? <i>(Other than a traffic violation)</i>	___ Yes	<input checked="" type="checkbox"/> No
b. Ever served time in prison or other correctional institution?	___ Yes	<input checked="" type="checkbox"/> No
c. Ever had an alcoholic beverage license suspended or revoked at any time in any locality? <i>If yes, list details on separate sheet of paper.</i>	___ Yes	<input checked="" type="checkbox"/> No
d. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? <i>(If yes see question f, if no skip question f)</i>	<input checked="" type="checkbox"/> Yes	___ No
e. If yes to question d, were there any violations of any law, regulation or ordinance relating to such business?	___ Yes	<input checked="" type="checkbox"/> No
NOTE: If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, describe circumstances in detail for each person. Please provide and attach a written explanation.		

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

Executed this 7th day of November, 2022


Applicant's Signature

Henry S. Monsees
Applicant's Printed Name

SUBSCRIBED AND SWORN BEFORE ME ON
THIS 7th DAY OF November, 2022

Notary Public/Seal



My Commission Expires: Oct. 24, 2025

Note: Explanation for question d- Savannah Distributing Company Inc. currently has 3 locations each holding a local and state alcohol license. The locations are Savannah, 2425 West Gwinnett Street, Atlanta, 2860 Bankers Industrial Drive and Valdosta, 1613 James P. Rodgers St.

NOTICE: The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership or other legal entity, the applicant must be a substantial and major stockholder, or the applicant may be the General Manager charged with the regular operation of said business on the premises for which the license is issued. Applicant for an alcoholic beverage license, as well as every owner having 10% or more ownership, must submit to fingerprinting by using the GAPS system prior to submitting the application. Instructions for fingerprinting are attached.



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CLASSIFICATIONS					
RETAIL <small>(new applications received after July 1st rates are prorated to 50% off)</small>					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	
B	Consumption On-Premises	<input type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input checked="" type="checkbox"/> \$1900		1900.00	
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days and 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input type="checkbox"/> \$750		
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES		GRAND TOTAL <small>(add all above selections and application fees)</small>		
A1 - H & L	<input type="checkbox"/> \$290		\$1900.00		
I, J & K	<input type="checkbox"/> \$20				

FOR OFFICE USE ONLY:

Rcvd: <i>11/17/22</i>	By: <i>[Signature]</i>	Amt Paid: <i>900</i>	Lic# <i>10180</i>	Issued:
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APPLICATION FOR ALCOHOLIC BEVERAGE LICENSE

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

BUILDING & ZONING DEPARTMENT		
The Building & Zoning Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:		
PIN#: 5098707039	Zoning District: 2-1	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Reviewed By: BREAN CROOKS		Date: 11/14/22
Comments: No outside storage or display of goods w/o conditional use approval		

POLICE DEPARTMENT		
The Police Department have reviewed the application and the disclosures and criminal histories of the applicant(s). Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:		
Reviewed by: <i>Cristelley Brown</i>	Date: 11/17/2022	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Comments: 		

COUNCIL APPROVAL:

Scheduled for City Council Meeting Date: _____

COUNCIL APPROVAL		
Mayor's Signature:	Date:	Approval: <input type="checkbox"/> Denial: <input type="checkbox"/>
Comments: 		



Georgia Department of Revenue
Department of Revenue Alcohol License Application
DOR Alcohol License Application

Business Information

Business Name: VIET HUONG INC
DBA Name: VIET HUONG ORIENTAL MARKET
Business Type: Corporation

Address Information

Location Address: 210 GRAND CENTRAL BLVD POOLER GA 31322-0569

Alcohol License Information

License Type: Retail
Start Date: 12-05-2022
Beer: Yes
Wine: Yes
Liquor: No
Airline or Railway Carrier: No
Local Jurisdiction Type: City
Local Jurisdiction: POOLER
Arrest History: No

Local License / Fees	Fee Amount
A2 - Retail Package - Beer & Wine Only	\$800.00
Add On C1 - Sunday Sales (Retail)	\$750.00
New Application Fee	\$260.00
	<hr/>
	\$1,810.00

Licensee Information

Licensee Type: Individual
Licensee Name: TRAN, HONG

Additional Information

Primary NAICS: 424410

Officers

TRAN, HONG

Officer or Responsible Party

Both



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CLASSIFICATIONS					
RETAIL <small>(new applications received after July 1st rates are prorated to 50% off)</small>					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input checked="" type="checkbox"/> 1 \$1850	<input checked="" type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	1500 800
B	Consumption On-Premises	<input type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days and 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input checked="" type="checkbox"/> \$750	750	
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES		GRAND TOTAL <small>(add all above selections and application fees)</small>		
A1 - H & L	<input checked="" type="checkbox"/> \$290		2840 1840.		
I, J & K	<input type="checkbox"/> \$20				

FOR OFFICE USE ONLY:
 Rcvd: 11/17/22 By: [Signature] Amt Paid: 1840 Lic# 6190 Issued: _____



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CRIMINAL HISTORY		
WARNING - Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license.		
Has the applicant or any person connected with or having an interest in said business:		
a. Ever been convicted of any criminal violation or city ordinance violation? <i>(Other than a traffic violation)</i>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
b. Ever served time in prison or other correctional institution?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
c. Ever had an alcoholic beverage license suspended or revoked at any time in any locality? <i>If yes, list details on separate sheet of paper.</i>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
d. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? <i>(If yes see question f, if no skip question f)</i>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
e. If yes to question d, were there any violations of any law, regulation or ordinance relating to such business?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
NOTE: If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, describe circumstances in detail for each person. Please provide and attach a written explanation.		

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

Executed this 13 day of October, 2022.

Hong Tran
Applicant's Signature
HONG TRAN
Applicant's Printed Name

SUBSCRIBED AND SWORN BEFORE ME ON THIS 13th DAY OF October, 2022.

Sally B Connelly
Notary Public/Seal

My Commission Expires: 2-3-2024

SALLY B CONNELLY
Notary Public - State of Georgia
Chatham County
My Commission Expires Feb 3, 2024

NOTICE: The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership or other legal entity, the applicant must be a substantial and major stockholder, or the applicant may be the General Manager charged with the regular operation of said business on the premises for which the license is issued. Applicant for an alcoholic beverage license, as well as every owner having 10% or more ownership, must submit to fingerprinting by using the GAPS system prior to submitting the application. Instructions for fingerprinting are attached.



APPLICATION FOR ALCOHOLIC BEVERAGE LICENSE

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

BUILDING & ZONING DEPARTMENT		
The Building & Zoning Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:		
PIN#: <i>50017A01041</i>	Zoning District: <i>PUD</i>	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Reviewed By: <i>BRIAN CROOKS</i>	Date: <i>11/14/22</i>	
Comments: _____ _____ _____		

POLICE DEPARTMENT		
The Police Department have reviewed the application and the disclosures and criminal histories of the applicant(s). Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:		
Reviewed by: <i>Cristley Brown</i>	Date: <i>11/17/2022</i>	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Comments: _____ _____ _____		

COUNCIL APPROVAL:

Scheduled for City Council Meeting Date: _____

COUNCIL APPROVAL		
Mayor's Signature: _____	Date: _____	Approval: <input type="checkbox"/> Denial: <input type="checkbox"/>
Comments: _____ _____ _____		



TEMPORARY/SPECIAL EVENT (DISPENSING ALCOHOL) PERMIT APPLICATION

1. **APPLICANT'S INFORMATION:**

Roselyn M Moultrie

Applicant's Name

Email Address

55 Handsome Oak Dr, Hardeeville SC 29927

Applicant's Home Address

Telephone Number

Business name

Business Alcohol License #

Do you attest that 80% of the proceeds benefit the non-profit?

Non-profit Name and IRS Status (if applicable)

Yes

No

(please circle one)

EVENT INFORMATION: Type of event? (please circle one)

OPEN (public)

CLOSED (INVITATION ONLY)

12/10/2022

Date of Event

Cottonwood Suites Savannah

Location of Event

Entry Fee (if any)

6:00pm

Starting Time of Event

12:00am

Ending Time of Event

100

Estimated # of Participants

Birthday Party

Description of Event - *If requesting the closing or use of city streets, please provide a map clearly marking the streets to be used.*

Will food be sold or given away? Yes No

If yes, please ensure that all vendors adhere to the regulations of the Chatham County Environmental Health Department.

NOTICE: The City of Pooler may impose special stipulations of approval, including but not limited to, the requirement to hire adequate off-duty police personnel to ensure public safety.

Roselyn M Moultrie

Applicant's Signature

Date

11/4/2022

Date Submitted: 11/7/22 Fee Paid: \$ 120.00 Date Scheduled for Council Meeting: 11/21/22

Approved

Denied

Special Stipulations: _____

Mayor's Signature: _____



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CRIMINAL HISTORY

WARNING - Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license.

Has the applicant or any person connected with or having an interest in said business:

- a. Ever been convicted of any criminal violation or city ordinance violation? Yes No
(Other than a traffic violation)
- b. Ever served time in prison or other correctional institution? Yes No
- c. Ever had an alcoholic beverage license suspended or revoked at any time in any locality? Yes No
If yes, list details on separate sheet of paper.
- d. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? Yes No
(If yes see question f, if no skip question f)
- e. If yes to question e, were there any violations of any law, regulation or ordinance relating to such business? Yes No

NOTE: If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, describe circumstances in detail for each person. Please provide and attach a written explanation.

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

Executed this 7th day of November, 2022.

Roselyn M. Moutrie

Applicant's Signature

Roselyn M. Moutrie

Applicant's Printed Name

SUBSCRIBED AND SWORN BEFORE ME ON THIS 7th DAY OF NOV, 2022.

[Signature]
Notary Public/Seal

My Commission Expires: 8/22/23



NOTICE: The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership or other legal entity, the applicant must be a substantial and major stockholder, or the applicant may be the General Manager charged with the regular operation of said business on the premises for which the license is issued. Applicant for an alcoholic beverage license, as well as every owner having 10% or more ownership, must submit to fingerprinting by using the GAPS system prior to submitting the application. Instructions for fingerprinting are attached.



NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CLASSIFICATIONS					
RETAIL <small>(new applications received after July 1st rates are prorated to 50% off)</small>					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	
B	Consumption On-Premises	<input type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input checked="" type="checkbox"/> \$100/day		100	
J	Home Brew Special Event (max 2 days and 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input type="checkbox"/> \$750		
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES		GRAND TOTAL <small>(add all above selections and application fees)</small>		
A1 - H & L	<input type="checkbox"/> \$290				
I, J & K	<input checked="" type="checkbox"/> \$20		\$120		

FOR OFFICE USE ONLY:
 Rcvd: 11/1/25 By: [Signature] Amt Paid: 120.00 Lic# 6179 Issued:



**TEMPORARY/SPECIAL EVENT
(DISPENSING ALCOHOL)
PERMIT APPLICATION
(Staff review page)**

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

BUILDING & ZONING DEPARTMENT		
The Building & Zoning Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:		
PIN#: 50021 02003	Zoning District: C2	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Reviewed By: <i>[Signature]</i>		Date: 11/7/22
Comments: _____ _____ _____		

POLICE DEPARTMENT		
The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:		
Reviewed by: <i>[Signature]</i>	Date: 11/17/2022	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Comments/Concerns: N/A _____ _____		

FIRE DEPARTMENT		
The Fire Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:		
Reviewed by: <i>[Signature]</i>	Date: 11/7/22	Approval: <input checked="" type="checkbox"/> Denial: <input type="checkbox"/>
Comments/Concerns: N/A _____ _____		



Matt Saxon
Assistant City Manager

COUNCIL REPORT
Report for the month of October

Mrs. Williams,

It gives me great pleasure to present to you, the work that our Wastewater Treatment Plant, Sewer, and Water Departments have accomplished since the last council meeting:

Water:

New updated fire hydrants installed throughout the city.

Inspected **32** Grease trap inspections.

66 C.O inspections conducted.

Repaired **12** residential leaking laterals.

Repaired **2** commercial meter pits.

Repaired 6-inch water main at the intersection of Pinewood Drive and Gleason Ave.

460ft of 2-inch water main replaced on West Bound Highway 80.

Witnessed the testing and certification of **53** backflow preventers.

Performed **1,303** line locates requested by the (UPC) Utility Protection Center.

Sewer & WWTP:

EOM report attached.

Respectfully submitted,

Matt Saxon
Assistant City Manager



Matthew Saxon
Assistant City Manager

COUNCIL REPORT
Report for the month of October 2022

Street:

- Continued routine maintenance throughout the city repairing potholes, sidewalks, and shoulder work.

Signs:

- Replaced 23 signs throughout the city.

Storm Water:

- Completed routine residential workorders.
- Constructed and repaired 2 catch basins on Silverwood.
- Completed 79,922 of routine roadside ditch and outfall maintenance.

Canal Maintenance:

- Continued routine maintenance throughout the city.
- Cleaned out Shearouse outfall from Shearouse Lumber to Hardin canal.
- Removed a blockage on Sheftall Canal behind Dorsey tire & removed debris in various canals throughout the city.

Public Works Admin:

- Reviewed 16 sets of site plans.

Respectfully submitted,

Matthew E. Saxon

Assistant City Manager



OCTOBER
2022

Monthly Report



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324
912.445.0050
www.eomworx.com



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Administration.....	5.0
Appendix	6.0



SECTION 1.0

EXECUTIVE SUMMARY

EOM is pleased to provide this revised monthly report to the City of Pooler for review. Departmental reports and requested supplemental data can be found enclosed.

MONTH HIGHLIGHT

- **SEWER** – Responded to (4) grinder pump calls
- **SEWER** – Responded to (11) sewer blockage/leak calls
- **SEWER** – Completed 2 Sewer Repairs
 - o S. Rogers St
 - o Morgan St
- **SEWER** – Completed 1 Manhole Repair
 - o Nordic Way
- **WASTEWATER LIFT STATIONS**
 - o **PO-LS-01.05:** Sangrena Lift Station – Panel upgrades and SCADA installation
 - o **PO-LS-15.05:** Morgan Pines Lift Station – Replaced alarm lights
 - o **PO-LS-28:** Pooler Middle School Lift Station – Base elbow repairs
 - o **PO-LS-28.05:** Pooler Middle School – Installed new disconnect, flood lights and switch
 - o **PO-LS-40.02:** Daniels Tract Lift Station – Removed debris from pump 2
 - o Completed annual electrical inspections on 11 lift stations
 - o EOM continues to transition to full upgraded SCADA monitoring at all Lift station's locations
- **WASTEWATER TREATMENT PLANT**
 - o **PO-WW-MB-60:** MBR_BASIN 4 – Cleared debris on pressure transmitter
 - o **PO-WW-EQ-00:** EQUALIZATION BASIN LIFT STATION – Replaced control fuse
 - o **PO-WW-SD-13:** Digestor Blower_3 – Replace surge suppressor
 - o **PO-WW-UT-02:** SCADA SYSTEM – Assessed communication loss
 - o **PO-WW-BP-32:** BELT FILTER PRESS 2_Lanyard Switch – Rewired lanyard switch
 - o **PO-WW-UT-07:** Storage Pond Pump – Installed new latch and modified door on pump housing
 - o **PO-WW-MB-73:** CLEAN IN PLACE SYSTEM_Chemical Dosing Pump_1 – Replaced pump and motor and replaced pipe
 - o **PO-WW-GR-22:** FINE SCREEN_1 – Replaced wash box hoses, repaired chain, realigned sprockets and repaired motor to flex
 - o **PO-WW-EQ-01:** EQUALIZATION BASIN_ZONE 1 – Repaired water line



Section 2.0

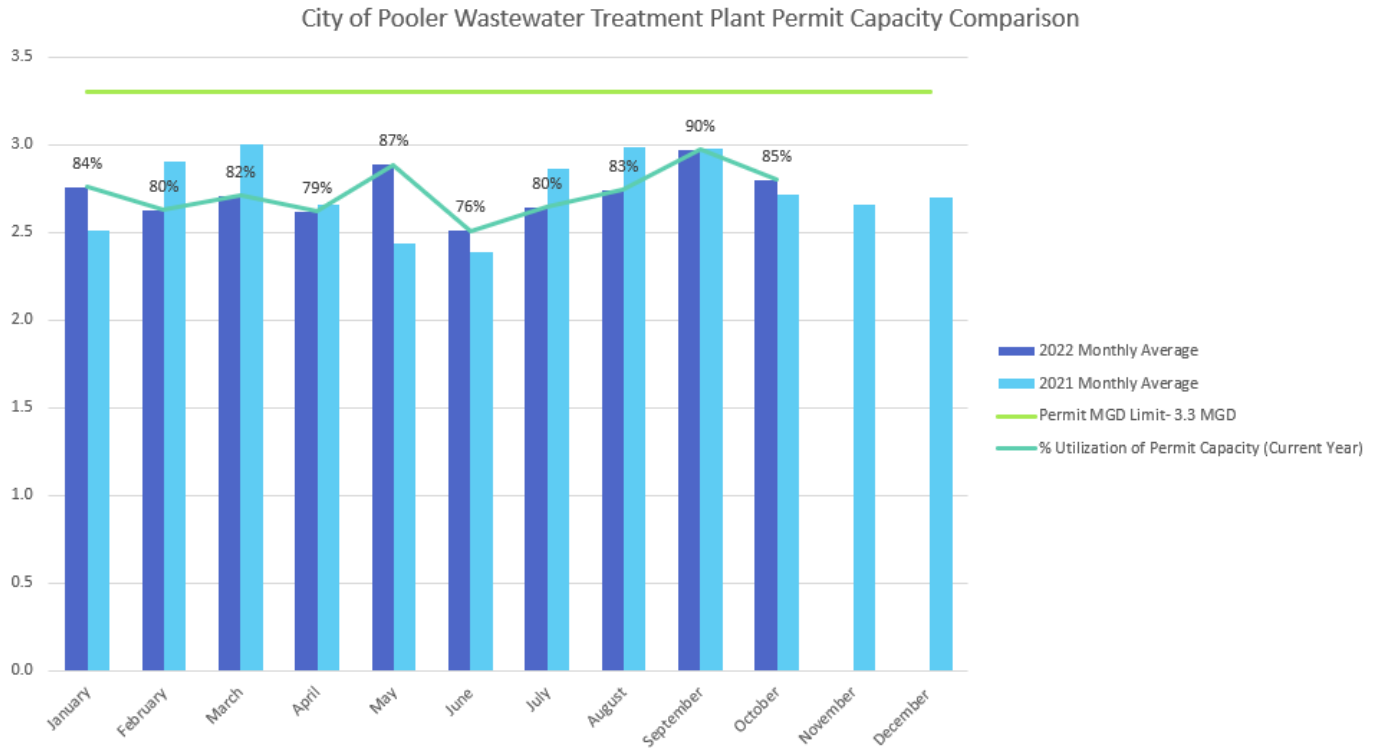
WASTEWATER TREATMENT



SECTION 2.0

WASTEWATER TREATMENT

Table 1 – WASTEWATER TREATMENT PLANT PERMIT COMPARISON





Section 3.0

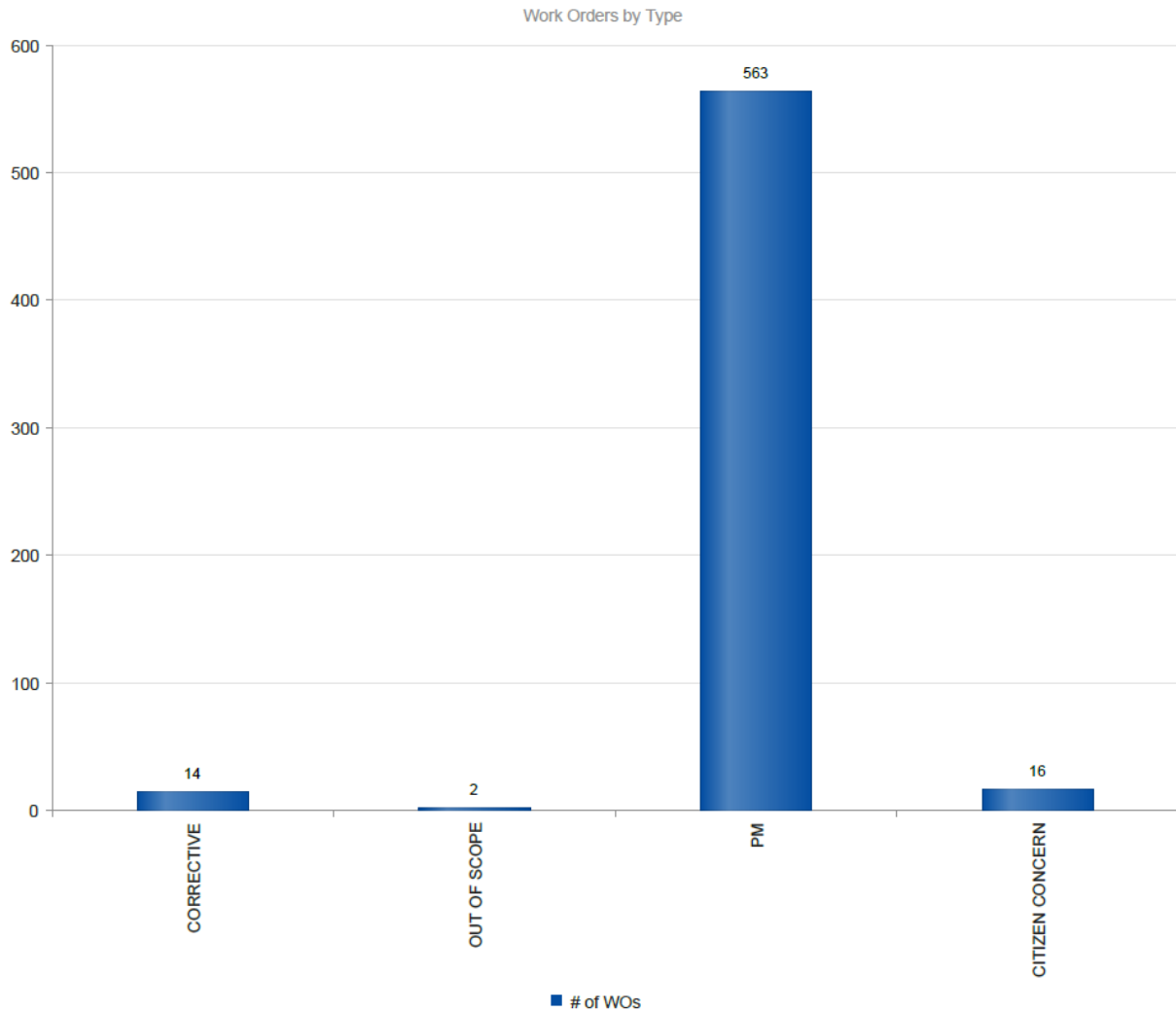
COLLECTIONS &
DISTRIBUTION



SECTION 3.0

COLLECTIONS & DISTRIBUTION

Table 1 – SEWER MAINTENANCE WORK ORDER REPORT





Section 4.0

ENGINEERING



SECTION 4.0

ENGINEERING

SITE PLAN REVIEW

- I. Approved Projects
 - Benton Grove Townhomes – Amenity
 - 88,000 SF Warehouse (251 Morgan Lakes Industrial Blvd)
 - Hydradyne Retail & Warehouse Building

- II. Projects Under Review
 - Transportation Logistics Terminal Tract - 2A (Submittal #1)
 - Quik Trip (Submittal #5)
 - Harmony Subdivision – Amenity(Submittal #2)
 - La Parilla (Submittal #3)
 - Parlor Mini Storage (Submittal #3)
 - Pooler One – Pine Barren Road Entrance (Submittal #1)
 - Hwy 80 Car Wash (Submittal #2)
 - My Place Hotel (Submittal #2)
 - 115,500 SF Warehouse (Submittal #1)
 - Nordic Trailer Storage Yard
 - Davis Group – Pine Barren Road
 - 1545 Dean Forest Expansion (Submittal #2)
 - Durham Park Office (Submittal #4)

- III. Projects Waiting On Responses
 - Arden Senior Living – 2nd review completed on 10/27/2022
 - Walk On's & Veterinary Center – 2nd review completed 10/24/2022
 - Towne Place Pooler – 4th review completed on 10/25/2022
 - Westside Commerce Center – 3rd review completed on 10/25/2022
 - Parlor Water Main Extension - 1st review completed on 10/24/2022
 - Sharon Court – 2nd review completed on 10/24/2022
 - Nine Squares – 2nd review completed on 10/20/2022
 - Pooler Parkway & Quacco Rd Widening – 2nd review completed on 10/11/2022
 - Lot 3 Dean Forest Business Park – 1st review completed on 9/6/2022
 - Barrow Drive Trailer Parking Extension – 2nd review completed on 9/8/2022



- Westbrook Area L1 – 2nd review completed on 9/8/2022
- Westbrook Area L2 – 2nd Review Completed on 9/8/2022
- Westbrook Area L3 – 2nd Review completed on 9/8/2022
- Element Hotel & Commercial Space – 2nd review completed on 9/21/2022
- Bragg Tract Phase 1 – 1st review completed on 9/22/2022
- Pittman Subaru – 1st review completed on 9/23/2022
- 1707 Old Dean Forest Road – 2nd review completed on 9/26/2022
- 1501 Pine Barren – 3rd review completed on 8/30/2021.
- Local 474 – 3rd review completed on 4/29/2021

IV. ADDITIONAL ENGINEERING SERVICES

- Additional items were added to the design of Lift Station #21 & 22. Currently pending final electrical plan.
- Initial 2022 LMIG Bid Documents were submitted to the City in Summer 2022. Currently pending review and response from City.



Section 5.0

ADMINISTRATION



SECTION 5.0

ADMINISTRATION

BUDGET

BUDGET EXPENSES

01/22 to 10/22

Description	Budget	Expense	Balance
Chemicals	\$ 880,000.00	\$ 599,602.20	\$ 280,397.80
Sewer Expenses	\$ 860,000.00	\$ 409,120.67	\$ 450,879.33
WWTP Expenses	\$ 481,300.00	\$ 242,115.38	\$ 239,184.62
TOTAL	\$ 2,221,300.00	\$ 1,250,838.25	\$ 970,461.75



Section 6.0

APPENDIX

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 1

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
22	09	01	22	09	30

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
OXYGEN, DISSOLVED (DO)	SAMPLE MEASUREMENT	****	****	****	7.1	****	****	mg/L	0	01/01	GR GRAB
00300 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	****	mg/L		01/01	GR GRAB
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	49.7	52.3	lb/d	****	2.0	2.0	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	82.6 MO AVG	102.6 WKLY AVG	lb/d	****	3.0 MO AVG	4.5 WKLY AVG	mg/L		03/DW	CP COMPOS
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	2353	2555	lb/d	****	195	201	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
PH	SAMPLE MEASUREMENT	****	****	****	6.5	****	7.0	SU	0	01/01	GR GRAB
00400 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	8.5 MAXIMUM	SU		01/01	GR GRAB
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	24.6	26.4	lb/d	****	1.0	1.0	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	138.0 MO AVG	172.0 WKLY AVG	lb/d	****	5.0 MO AVG	7.5 WKLY AVG	mg/L		03/DW	CP COMPOS
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	1885	2099	lb/d	****	156	162	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, ORGANIC TOTAL (AS N)	SAMPLE MEASUREMENT	****	****	****	****	1.388	****	mg/L	0	01/30	CP COMPOS
00605 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT	912 445-1894	22	10	14
		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 2

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
22	09	01	22	09	30

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
NITROGEN, AMMONIA TOTAL (AS N)	SAMPLE MEASUREMENT	7.2	6.9	lb/d	****	0.3	0.3	mg/L	0	03/DW	CP COMPOS
00610 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	11.0 MO AVG	13.8 WKLY AVG	lb/d	****	0.4 MO AVG	0.6 WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, KJELDAHL TOTAL (AS N)	SAMPLE MEASUREMENT	****	****	****	****	1.690	****	mg/L	0	01/30	CP COMPOS
00625 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
NITRITE PLUS NITRATE TOTAL 1 DET. (AS N)	SAMPLE MEASUREMENT	****	****	****	****	9.4	****	mg/L	0	01/30	CP COMPOS
00630 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
PHOSPHORUS, TOTAL (AS P)	SAMPLE MEASUREMENT	1.4	2.1	****	****	0.1	0.2	mg/L	0	03/DW	CP COMPOS
00665 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	27.5 MO AVG	34.4 WKLY AVG	****	****	1.0 MO AVG	1.5 WKLY AVG	mg/L		03/DW	CP COMPOS
PHOSPHATE, ORTHO (AS P)	SAMPLE MEASUREMENT	****	****	****	****	0.086	****	mg/L	0	01/30	CP COMPOS
04175 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
FLOW, IN CONDUIT OR THRU TREATMENT PLANT	SAMPLE MEASUREMENT	3.0	3.17	MGD	****	****	****	****	0	99/99	CN CONTIN
50050 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	3.3 MO AVG	4.2 WKLY AVG	MGD	****	****	****	****		99/99	CN CONTIN
COLIFORM, FECAL GENERAL	SAMPLE MEASUREMENT	****	****	****	****	2.1	3.5	#/100mL	0	02/DA	GR GRAB
74055 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	23 MO GEO	23 WKLY GEO	#/100mL		02/DA	GR GRAB

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	22	10	14
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 3

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winkie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
FROM 22	09	01	TO 22	09	30

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
CYANIDE, TOTAL (AS CN)	SAMPLE MEASUREMENT	****	****	****	****	3.6000	****	ug/L	0	01/30	GR GRAB
00720 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ug/L		01/30	GR GRAB
MERCURY, TOTAL (AS HG)	SAMPLE MEASUREMENT	****	****	****	****	0.69	****	ng/L	0	01/30	GR GRAB
71900 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ng/L		01/30	GR GRAB
SOLIDS, SUSPENDED PERCENT REMOVAL	SAMPLE MEASUREMENT	****	****	dry ton	****	****	****	%	0	01/30	CA CALCTD
81011 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	>85 MINIMUM	****	****	%		01/30	CA CALCTD
BOD, 5-DAY PERCENT REMOVAL	SAMPLE MEASUREMENT	****	****	****	****	****	****	%	0	01/30	CA CALCTD
81010 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	>85 MINIMUM	****	****	%		01/30	CA CALCTD
SOLIDS, SLUDGE, TOT, DRY WEIGHT	SAMPLE MEASUREMENT	48	****	dry ton	****	****	****	****	0	01/30	CA CALCTD
78477 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	****	****	****	****		01/30	CA CALCTD
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	22	10	14
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

INTERIM
COMPARATIVE
OPERATING
STATEMENTS

City of Pooler, Georgia

For the Ten Months Ended October 31, 2022

*Prepared by:
Finance Department*



CITY OF POOLER, GEORGIA

Interim Comparative Operating Statements (*Unaudited*)

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For the Ten Months Ended October 31, 2022

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COMPARATIVE FINANCIAL STATEMENTS

(UNAUDITED)



CITY OF POOLER, GEORGIA

General Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	2022	2021		
REVENUES				
Taxes.....	\$18,024,048.53	\$15,426,303.54		
Licenses and permits.....	1,444,485.76	928,359.56		
Intergovernmental.....	664,051.34	412,544.93		
Charges for services.....	2,602,723.02	2,157,608.91		
Fines and forfeitures.....	618,442.15	750,920.55		
Investment earnings.....	92,166.49	8,532.12		
Contributions and donations.....	206,041.73	1,667,029.66		
Miscellaneous.....	112,888.34	73,030.81		
	<u>23,764,847.36</u>	<u>21,424,330.08</u>		
Total revenues.....			2,340,517.28	10.92%
EXPENDITURES				
Current				
General government.....	3,142,051.60	2,964,003.51		
Judicial.....	342,002.64	352,620.96		
Public safety.....	11,221,741.01	11,226,445.10		
Public works.....	6,188,351.82	4,530,100.55		
Health and welfare.....	124,770.47	109,233.19		
Culture and recreation.....	1,597,444.55	1,356,585.74		
Housing and development.....	723,797.82	706,471.18		
Debt service				
Principal.....	397,861.34	282,699.59		
Interest.....	58,925.44	29,535.06		
	<u>23,796,946.69</u>	<u>21,557,694.88</u>		
Total expenditures.....			2,239,251.81	10.39%
Excess (deficiency) of revenues over (under) expenditures.....	<u>(32,099.33)</u>	<u>(133,364.80)</u>		
OTHER FINANCING SOURCES (USES)				
Transfers in.....	983,090.14	781,599.50		
Transfers out.....	-	(437,851.85)		
Sale of general capital assets.....	98,101.16	139,097.50		
Insurance recoveries.....	70,641.55	18,816.00		
	<u>1,151,832.85</u>	<u>501,661.15</u>		
Total other financing sources (uses)			650,171.70	129.60%
Net changes in fund balances.....	1,119,733.52	368,296.35		
Fund balances at beginning of year.....	27,820,097.95	23,942,856.39		
Fund balances at end of year.....	<u>\$28,939,831.47</u>	<u>\$24,311,152.74</u>		

CITY OF POOLER, GEORGIA

Tree Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	<u>2022</u>	<u>2021</u>		
REVENUES				
Contributions.....	\$ 791,175.00	\$ 1,736,206.00		
Investment earnings.....	1,557.69	239.25		
Total revenues.....	<u>792,732.69</u>	<u>1,736,445.25</u>	(943,712.56)	-54.35%
EXPENDITURES				
Current				
Parks.....	190,481.10	141,118.50		
Total expenditures.....	<u>190,481.10</u>	<u>141,118.50</u>	49,362.60	34.98%
Excess (deficiency) of revenues over (under) expenditures.....	<u>602,251.59</u>	<u>1,595,326.75</u>		
OTHER FINANCING SOURCES (USES)				
Transfers in.....	-	437,851.85	(437,851.85)	
Total other financing sources (uses)	-	437,851.85		
Net change in fund balance.....	602,251.59	2,033,178.60		
Fund balance, beginning of year.....	2,026,513.14	-		
Fund balance, end of year.....	<u>\$ 2,628,764.73</u>	<u>\$ 2,033,178.60</u>		

CITY OF POOLER, GEORGIA

Forfeiture Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	<u>2022</u>	<u>2021</u>		
REVENUES				
Fines and forfeitures.....	\$ 19,602.82	\$ 64,316.10		
Investment earnings.....	125.89	50.34		
Total revenues.....	<u>19,728.71</u>	<u>64,366.44</u>	(44,637.73)	-69.35%
EXPENDITURES				
Current				
Public safety.....	5,602.60	30,730.90		
Total expenditures.....	<u>5,602.60</u>	<u>30,730.90</u>	(25,128.30)	-81.77%
Excess (deficiency) of revenues over (under) expenditures.....	<u>14,126.11</u>	<u>33,635.54</u>		
Fund balance, beginning of year.....	109,758.62	72,146.73		
Fund balance, end of year.....	<u>\$ 123,884.73</u>	<u>\$ 105,782.27</u>		

CITY OF POOLER, GEORGIA

American Rescue Plan Local Fiscal Recovery Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	<u>2022</u>	<u>2021</u>		
REVENUES				
Intergovernmental grants.....	\$ -	\$ -		
Investment earnings.....	<u>4,462.93</u>	<u>717.70</u>		
Total revenues.....	<u>4,462.93</u>	<u>717.70</u>	3,745.23	521.84%
EXPENDITURES				
Current				
Health and welfare.....	<u>-</u>	<u>-</u>		
Total expenditures.....	<u>-</u>	<u>-</u>	-	
Excess (deficiency) of revenues over (under) expenditures.....	<u>4,462.93</u>	<u>717.70</u>		
Fund balance, beginning of year.....	<u>1,132.84</u>	<u>-</u>		
Fund balance, end of year.....	<u>\$ 5,595.77</u>	<u>\$ 717.70</u>		

CITY OF POOLER, GEORGIA

Accommodation Excise Tax Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	<u>2022</u>	<u>2021</u>		
REVENUES				
Taxes.....	\$ 1,966,180.30	\$ 1,563,198.93		
Total revenues.....	<u>1,966,180.30</u>	<u>1,563,198.93</u>	402,981.37	25.78%
EXPENDITURES				
Intergovernmental:				
Assistance.....	983,090.16	781,599.49		
Total expenditures.....	<u>983,090.16</u>	<u>781,599.49</u>	201,490.67	25.78%
Excess (deficiency) of revenues over (under) expenditures.....	<u>983,090.14</u>	<u>781,599.44</u>		
OTHER FINANCING SOURCES (USES)				
Transfers out.....	(983,090.14)	(781,599.44)	(201,490.70)	25.78%
Total other financing sources (uses)	<u>(983,090.14)</u>	<u>(781,599.44)</u>		
Net change in fund balance.....	-	-		
Fund balance, beginning of year.....	-	-		
Fund balance, end of year.....	<u>\$ -</u>	<u>\$ -</u>		

CITY OF POOLER, GEORGIA

Special Purpose Local Option Sales Tax (SPLOST) Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Ten Months Ended October 31, 2022 and 2021

	2022	2021		
REVENUES				
Intergovernmental.....	\$ 4,227,936.16	\$ 3,495,660.94		
Investment earnings.....	14,399.94	1,610.26		
	<u>4,242,336.10</u>	<u>3,497,271.20</u>	745,064.90	21.30%
EXPENDITURES				
Capital outlay				
Public safety.....	963,029.86	453,410.20		
Public works.....	904,679.51	2,178,919.60		
Recreation.....	138,974.89	30,227.50		
Debt service				
Principal.....	1,190,000.00	1,160,000.00		
Interest.....	309,278.66	339,526.78		
	<u>3,505,962.92</u>	<u>4,162,084.08</u>	(656,121.16)	-15.76%
Excess (deficiency) of revenues over (under) expenditures.....	<u>736,373.18</u>	<u>(664,812.88)</u>		
Fund balance, beginning of year.....	<u>4,420,409.33</u>	<u>2,949,988.45</u>		
Fund balance, end of year.....	<u>\$ 5,156,782.51</u>	<u>\$ 2,285,175.57</u>		

CITY OF POOLER, GEORGIA

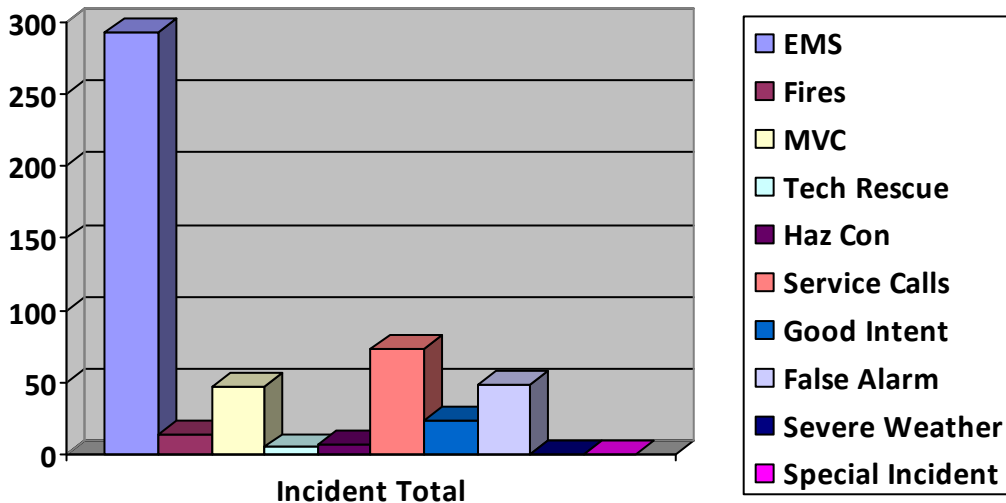
Water and Sewer Fund Comparative Statement of Revenues, Expenses, and Changes in Net Position For the Ten Months Ended October 31, 2022 and 2021

	2022	2021		
OPERATING REVENUES				
Water fees.....	\$ 3,560,148.46	\$ 3,322,853.39		
Sewer fees.....	4,522,251.97	4,231,448.59		
Miscellaneous fees.....	113,814.05	94,855.94		
Total operating revenues.....	<u>8,196,214.48</u>	<u>7,649,157.92</u>	547,056.56	7.15%
OPERATING EXPENSES				
<u>Sewer and Wastewater Treatment Plant</u>				
Purchased and contracted services.....	1,822,453.63	1,197,428.67		
Materials and supplies.....	1,353,143.45	1,309,665.54		
Total sewer and wastewater treatment plant.....	<u>3,175,597.08</u>	<u>2,507,094.21</u>	668,502.87	26.66%
<u>Water</u>				
Personnel services and employee benefits.....	581,385.06	753,509.81		
Purchased and contracted services.....	328,574.05	367,642.70		
Materials and supplies.....	1,619,909.34	1,617,376.92		
Total water.....	<u>2,617,453.92</u>	<u>2,624,647.43</u>	(7,193.51)	-0.27%
Total operating expenses.....	<u>5,793,051.00</u>	<u>5,131,741.64</u>	661,309.36	12.89%
Operating income (loss).....	<u>2,403,163.48</u>	<u>2,517,416.28</u>	(114,252.80)	-4.54%
NONOPERATING REVENUES (EXPENSES)				
Interest income.....	62,199.88	12,440.31		
Insurance recoveries.....	-	624,733.05		
Interest expense.....	(279,486.33)	(644,530.24)		
Total nonoperating revenues (expenses).....	<u>(217,286.45)</u>	<u>(7,356.88)</u>	(209,929.57)	2853.51%
Income (loss) before capital contributions.....	<u>2,185,877.03</u>	<u>2,510,059.40</u>	(324,182.37)	-12.92%
CAPITAL CONTRIBUTIONS				
Tap fees.....	481,778.18	633,739.04		
Capital cost recovery charges.....	6,913,239.81	2,069,719.64		
Total capital contributions.....	<u>7,395,017.99</u>	<u>2,703,458.68</u>	4,691,559.31	173.54%
Change in net position.....	9,580,895.02	5,213,518.08	4,367,376.94	83.77%
Net position, beginning of year.....	54,822,228.61	50,093,307.21		
Net position, end of year.....	<u>\$64,403,123.63</u>	<u>\$55,306,825.29</u>		



City of Pooler Fire-Rescue Services

Fire-Rescue Report Oct. 1st – 31st, 2022



MAJOR INCIDENT TYPE	# INCIDENTS Oct 2022	% Of TOTAL Oct 2022	YEAR to DATE 2022	YEAR to DATE 2021
Fires	14	2.81%	139	181
❖ Structure Fires	6	-	53	78
Emergency Medical Service	293	58.72%	2691	2402
Motor Vehicle Collisions	47	9.42%	468	555
Technical Rescues	5	1.00%	89	87
Hazardous Condition (No Fire)	7	1.40%	81	76
Service Call	73	14.63%	511	421
Good Intent Call	24	4.81%	340	451
False Alarm & False Call	36	7.21%	368	341
Severe Weather & Natural Disaster	0	0	13	9
Special Incident/Citizen Complaint	0	0	1	1
TOTAL	499	100%	4701	4524

October Call Volume Increased from 435 in 2021 to 499 in 2022, (14.71% increase)

For the year, call volume has increased by 177 calls or 3.91% over 2021 totals.

Significant Calls

1. **10/4/22 – Vehicle Extrication – E. Interstate 16 & Pooler Pkwy.** – 3 car crash, passenger entrapped– Engine 64, Rescue 61, Tower 64 & Battalion 60 responded. 6-minute extrication time, Units on scene for 45 minutes. 11 personnel responded.



2. **10/4/22 – Vehicle Extrication – E. Interstate 16 & Interstate 95** – 3 car crash, driver entrapped, multiple patients– Engine 64, Rescue 61, Engine 61 & Battalion 60 responded. 10-minute extrication time, Units on scene for 55 minutes. 11 personnel responded.
3. **9/16/22 – Structure Fire – Continental Blvd – Hotel fire**, fire contained to one room caused by heater malfunction while attempting to remove bedbugs. 4 Engines, Tower 64, Rescue 61, & Battalion 60 responded. Units on scene for over an hour. 18 personnel responded.
4. **9/26/22 - Structure Fire – Bamford Blvd. –Manufacturing Facility – Initial call was for Fire Alarm.** On arrival, crews had an odor of smoke and upon investigation found smoke throughout. Fire in a robotic welder filtering system – Crews quickly extinguished the fire and assisted by occupants, removed the smoke from the facility. 4 Engines, Tower 64, Rescue 61, & Battalion 60 responded. Units were on scene for over an hour. 21 personnel responded.

5. **10/10/22 - New Ladder Truck** – The new ladder for Fire Station 5 is completed and final inspection was completed the week of Oct. 17th – 21st. Truck should be delivered to Pooler the week of Nov. 10th-14th.





Pooler Police Department

Council Report

Monday November 21, 2022

October 2022



- A total of **74 Part 1 crimes** reported in the month of October. Bringing the total to **656 Part 1 crimes for year.**
- From prior year 2021, this is a **decrease of 2%**
- A total of **24 shopliftings** reported in the month of October. Bringing the total to **224 shopliftings for the year.**
- From prior year 2021, this is a **decrease of 24%.**
- **Total Calls for service** in October were **2,244.** Bringing the total number of calls for service for the year to **23,856.**
- From prior year 2021, this is an **increase of 6%.**
- A total of **1,376 citations** were issued in the month of October. Bringing the total for the year to **15,099.**
- From prior year 2021, **this is an increase of 14%**
- A total of **137 arrest** were made in the month of October. Bringing the total number arrest for the year to **1,330.**
- From prior year 2021, this is **an increase of 2%.**
- A total of **33 DUI arrest** were made in the month of October. Bringing the total number of DUI arrest for the year to **275.**
- From prior year 2021, this is **an increase of 39%.**

Activity	Time Period 10/01-10/31/2022	Year to Date 2022	Year to Date 2021	Percentage Change from 21 - 22
Part 1 crimes	74	656	669	-2%
Shopliftings	24	224	293	-24%
Calls for service	2,244	23,856	22,464	6%
Citation	1,376	15,099	13,283	14%
Arrests	137	1,330	1,298	2%
DUI arrests	33	275	198	39%

Pooler Parks & Recreation



Monthly Report: October 2022

Recreation Department

- 1 Games continued for youth fall soccer, volleyball, and cheerleading, as well as both flag and tackle football.
- 2 Fall baseball teams continued practicing at Pooler Park.
- 3 Fall gymnastics and dance classes continued. Tennis sessions continued for Sept/Oct classes.
- 4 The community center was rented each weekend in October. The monthly TVIP class was held at the community center.
- 5 6u basketball registration ended. Practices and games began in late October. Regular basketball registration opened for ages 7-13.
- 6 Pooler Stadium held 2 high school football games in September. New Hampstead played Southeast Bulloch. SCPS hosted Beach High.
- 7 Pooler Gaelic football club began practicing at complex.
- 8 Healthy kids running program met each Sunday at the rec complex.

Senior Center

- 1 All regularly scheduled classes continued in October.
- 2 Senior bowling continued to meet each Monday.
- 3 Seniors had the opportunity to participate in a trip to Blue Ridge Mountains, as well as day trips to Darien and Reidsville.
- 4 The Pooler Rotary Club sponsored their annual fish fry at the center for the halloween party
- 5 Free flu shots were offered to the members, sponsored by Apollo Pharmacy
- 6 The center also hosted a 'breast cancer awareness' luncheon.

Parks

- 1 Parks performed routine maintenance at all 5 parks, the community and senior centers, and the cemetery.
- 2
- 3

**City of Pooler
Planning & Zoning Minutes
November 14, 2022**

CALL TO ORDER:

Commissioner Matt Saxon called the meeting to order at 3:00 p.m.
Commissioner Simmons led the Pledge of Allegiance.

Attendee Name	Title	Status
Kimberly Dyer	Zoning Admin./Secretary	Present
Matt Saxon	Chairman	Present
Chelsea Henneman	Commissioner	Absent
Shirlenia Daniel	Commissioner	Present
Falgun Patel	Commissioner	Present
Wade Simmons	Commissioner	Present
Mark Williams	Commissioner	Present
Ashley Brown	Commissioner	Present
John Winn	Commissioner	Absent
Pete Chaison	Alternate	Present
Brian Crooks	City Planner	Present

APPROVAL OF MINUTES

The minutes of the October 24, 2022 Pooler Planning and Zoning Commission were reviewed and no corrections or amendments were noted.

Result: *Approved*

1-Motion: Commissioner Simmons

2-Second: Commissioner Patel

Passed without opposition

PUBLIC HEARINGS

1. Zoning Buffer Requirement Variance for 1393 East US Hwy 80

Holly Young, on behalf of the owner, presented the variance to the Board for their review and recommendation. The lot is only 110' wide and the new zoning ordinance states the minimum required screening between an industrial zoning district and a residential zoning district must be a minimum of 100'. Adjacent property owner, Beverly Waters, appeared before the board asking what the intended use will be. Mrs. Young stated that the owner would like to lease the property to a trucking company.

Result: *After review of the criteria, a motion was made to recommend denial of the variance.*

1- Motion: Commissioner Brown
2- Second: Commissioner Chaison
Nay – Commissioner Simmons
Passed by majority

2. Zoning Map Amendment of approximately 18.18 acres off Morgan Lakes Industrial Blvd. from PUD to I-1

Chad Zittrouer, with Kern & Company, presented the zoning map amendment to the Board for their review and recommendation. The intent is to construct a 250,000 sq. ft. warehouse with the infrastructure to support it.

Result: After review of the criteria, a motion was made to recommend approval of the zoning map amendment.

1- Motion: Commissioner Daniel
2- Second: Commissioner Patel
Motion passed without opposition.

3. Zoning Map Amendment of approximately 4.92 acres off Benton grove from R-1A to C-2

Dan Mahowald, Project Manager, on behalf of the owners, presented the map amendment to the Board for their review and recommendation. The intent is to construct a memory care facility with six (6) homes ranging from 5,500 sq. ft. to 6,300 sq. ft. with up to twelve tenants in each unit. The entire project will encompass 4.92 acres, with 2.92 acres being developed and the remaining area will be undisturbed, and will include walking trails and outdoor activities.

Result: After review of the criteria, a motion was made to recommend approval of the zoning map amendment.

1- Motion: Commissioner Daniel
2- Second: Commissioner Williams
Motion passed without opposition.

4. Conditional Use request to construct an Auto Body Collision Repair Shop at 1224 E. US Hwy. 80

Traweek Dickson, presented the conditional use request to the Board for their review and recommendation. The intent is to construct a 10,000 sq. ft. auto body collision repair facility to include painting, interior and glass repair. The hours of operation will be Monday through Friday, 8:00 a.m. to 5:00 p.m. Mr. Dickson stated that all cars waiting for repairs will be stored behind a screened fence and all noise producing repair operations will be within the enclosed 5-bay facility.

Result: After review of the criteria, a motion was made to recommend approval of the conditional use.

- 1- **Motion:** Commissioner Williams
- 2- **Second:** Commissioner Brown
- Motion passed without opposition.**

5. Variance Request to allow a proposed sewer line to tun through a city owned right-of-way

CJ Chance, with HGB, presented the variance request to the Board for their review and recommendation. According to the City of Pooler Ordinance, utility installation in a city right-of-way shall require approval by the aldermanic board. The site plan was presented to City Council on September 19, 2022, and postponed pending proper advertisement for a variance.

Result: After review of the criteria, a motion was made to recommend approval of the variance request.

- 1- **Motion:** Commissioner Williams
- 2- **Second:** Commissioner Daniel
- Motion passed without opposition.**

6. Conditional Use request to construct a funeral home at 1019 W. US Hwy. 80

Scott Burns, with Campbell and Sons Funeral Homes, presented the conditional use request to the Board for their review and recommendation. The intent is to construct a 3,307 sq. ft. building and the infrastructure to support it, with 54 parking spaces. There will be no crematorium on site.

Result: After review of the criteria, a motion was made to recommend approval of the conditional use.

- 1- **Motion:** Commissioner Simmons
- 2- **Second:** Commissioner Daniel
- Motion passed without opposition.**

7. Zoning Text Amendment adding Furniture and Related Product Manufacturing as a conditional use to Table 4.1, Allowed Uses by Zoning District

The intent is to add Furniture and Related Product Manufacturing as a conditional use within the C-2 (Heavy Commercial) Zoning District.

Result: After review of the criteria, a motion was made to recommend approval of the zoning text amendment.

1- Motion: Commissioner Simmons
2- Second: Commissioner Brown
Motion passed without opposition.

NEW BUSINESS

1. Minor Subdivision Plat for Outparcel 5, Mosaic Towne Center

Travis Bazemore, with EMC Engineering, presented the plat to the Board for their review and recommendation. The intent is to create two (2) outparcels from a 1.75-acre parcel, located within the Mosaic Retail Center Development, off Pooler Parkway.

Result: A motion was made to recommend approval of the minor subdivision plat.

1- Motion: Commissioner Brown
2- Second: Commissioner Simmons
Passed without opposition

2. Site Plan/Landscape Plan review for 1543 Dean Forest Road

Lamar Mercer, with Thomas & Hutton Engineering, presented the site plan to the Board for their and recommendation. The developer is proposing an expansion of the previously approved logistics terminal for trailers. Included in this development is the storm water infrastructure, septic drain field and water well to serve the existing 5,700 sq. ft. office building.

Result: A motion was made to recommend approval of the site plan/landscape plan for 1543 Dean Forest Road.

1- Motion: Commissioner Chaison
2- Second: Commissioner Williams
Passed without opposition

3. Site Plan/Landscape Plan review for Durham Park Office, located on Durham Park Blvd.

John Farmer, with Fretus Engineering, presented the site plan/landscape plan to the Board for their review and recommendation. The project will consist of a 24,000 sq. ft. building with 12 units, the infrastructure to support it, and 89 parking spaces.

Result: A motion was made to recommend approval of the site plan/landscape plan for Durham Park Office, contingent upon \$39,600.00 being paid into the tree fund.

1- Motion: Commissioner Williams
2- Second: Commissioner Simmons
Passed without opposition

4. Site Plan/Landscape Plan review for 125 Distribution Drive

The intent is to construct a warehouse and transportation facility on approximately 12.66 acres with 346 trailer parking spaces.

Result: A motion was made to recommend approval of the site plan/landscape plan for 125 Distribution Drive.

- 1- Motion:** Commissioner Simmons
- 2- Second:** Commissioner Williams
- Passed without opposition**

5. Site Plan/Landscape Plan review for Parlor Mini-Storage on Pine Barren Road

Dan Fischer, with EMC Engineering, presented the site plan/landscape plan to the Board for their review and recommendation. The project will consist of 56,540 sq. ft. of storage and the associated parking on approximately three (3) acres. There will be 412 units, of which 207 will be climate controlled.

Result: A motion was made to recommend approval of the site plan/landscape plan for Durham Park Office, contingent upon review of tapping into the City's water system with the engineer.

- 1- Motion:** Commissioner Simmons
- 2- Second:** Commissioner Patel
- Passed without opposition**

Adjournment

There being no further business, Commissioner Saxon asked for a motion to adjourn at 3:55 p.m.

- 1- Motion:** Commissioner Brown
- 2- Second:** Commissioner Daniel
- Adjourned without opposition.**

The foregoing minutes are true and correct and approved by me on this 14th day of November 2022.



Kim Dyer, Zoning Administrator/P&Z Commission Secretary

City of Pooler
Single Family Residential Permits
October 2022

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN #	Flood Zone/Flood Way
10/26/2022	220283	Harmony	119 Meldoy Ddr., Lot 623	Landmark 24 Homes of Savannah	Same	51010F05095	
10/11/2022	221111	Telfair Park	1012 Easthaven Blvd., Lot 432	Mungo Homes	Same	51009S01007	
10/11/2022	221112	Telfair Park	1010 Easthaven Blvd., Lot 433	Mungo Homes	Same	51009S01006	
10/11/2022	221114	Telfair Park	1006 Easthaven Blvd., Lot 435	Mungo Homes	Same	51009S01004	
10/11/2022	221179	Westbrook Glen	171 Harvest Hill, Lot 820	Pulte Home Company	Same	51009R02038	
10/11/2022	221180	Westbrook Glen	158 Harvest Hill, Lot 822	Pulte Home Company	Same	51009R01031	
10/11/2022	221181	Westbrook Glen	148 Harvest Hill, Lot 827	Pulte Home Company	Same	51009R01026	
10/11/2022	221182	Westbrook Glen	144 Harvest Hill, Lot 829	Pulte Home Company	Same	51009R01024	
10/14/2022	221183	Westwood Reserve	75 Woodford Reserve Dr., Lot 90	DR Horton	Same	5100G04014	
10/14/2022	221184	Westwood Reserve	77 Woodford Reserve Dr., Lot 91	DR Horton	Same	5100G04015	
10/14/2022	221185	Westwood Reserve	79 Woodford Reserve Dr., Lot 92	DR Horton	Same	5100G04016	
10/14/2022	221186	Westwood Reserve	81 Woodford Reserve Dr., Lot 93	DR Horton	Same	5100G04017	
10/5/2022	221189	Harmony	116 Melody Dr., Lot 601	Landmark 24 Homes of Savannah	Same	51010F05073	
10/5/2022	221190	Harmony	122 Melody Dr., Lot 604	Landmark 24 Homes of Savannah	Same	51010F05076	
10/5/2022	221191	Harmony	124 Melody Dr., Lot 605	Landmark 24 Homes of Savannah	Same	51010F05077	
10/5/2022	221195	Harmony	129 Melody Dr., Lot 618	Landmark 24 Homes of Savannah	Same	51010F06090	
10/5/2022	221196	Harmony	117 Melody Dr., Lot 624	Landmark 24 Homes of Savannah	Same	51010F09007	
10/25/2022	221274	Westbrook	329 Westbrook Ln., Lot 48	Grant Homes Inc	Marcus and Janell Burch	51009G02039	
10/26/2022	221275	Forest Lakes	120 Como Dr., Lot 918	Landmark 24 Homes of Savannah	Same	51014C09019	Yes/No
10/26/2022	221276	Harmony	118 Melody Dr., Lot 602	Landmark 24 Homes of Savannah	Same	51010F05074	
10/26/2022	221278	Harmony	120 Melody Dr., Lot 603	Landmark 24 Homes of Savannah	Same	51010F05075	
10/26/2022	221279	Harmony	133 Melody Dr., Lot 616	Landmark 24 Homes of Savannah	Same	51010F05088	
10/26/2022	221280	Harmony	127 Melody Dr., Lot 619	Landmark 24 Homes of Savannah	Same	51010F05091	
10/26/2022	221281	Harmony	125 Melody Dr., Lot 620	Landmark 24 Homes of Savannah	Same	51010F05092	
10/26/2022	221282	Harmony	121 Melody Dr., Lot 622	Landmark 24 Homes of Savannah	Same	51010F05094	
10/31/2022	221300	Hunt Club	303 Serengeti Blvd., Lot 602	Beazer Homes	Same	51015C01006	
Total	26						

**City of Pooler
Commercial Permits
October 2022**

Date	Permit #	Address	Contractor	Owner	Type/Project	PIN #	Flood Zone/Flood Way
10/31/2022	220937	102 Zoya Ln.	Hat Creek Construction Inc.	SSR Savannah LLC	Zaxby's Restaurant	5101001089	
10/11/2022	221044	50 Galloway Dr., Bldg. A	Wimco Corp	AC WDM SPP Owner LLC	Self Storage Bldg/w office	5102301033	
10/3/2022	221046	2005 Pooler Pkwy	Ecker Construcion	Sean O'Brien	Take 5 Oil Change	5100901147	
10/11/2022	221049	50 Galloway Dr., Bldg. B	Wimco Corp	AC WDM SPP Owner LLC	Self Storage Building	5102301033	
10/11/2022	221050	50 Galloway Dr., Bldg. C	Wimco Corp	AC WDM SPP Owner LLC	Self Storage Building	5102301033	
10/18/2022	221052	500 E. Hwy 80	Drury Construction Co. LLC.	Druty Savannah, LLC	Drury Hotel	5000707002A	
10/10/2022	221124	1501 Pine Barren Rd.	Ziglift Material Handling	MSI Surfaces	Storage Racks	5102301018	
10/27/2022	221138	2120 Pooler Pkwy	Venture Construction Co.	30 AIP Pooler, LLC	Retail Shell	5100901086	
10/4/2022	221144	810 Towne Center Blvd Ste. 102	Wilson Pickett	Paul Patel	CBD Store Buildout	50017C02054	
10/11/2022	221160	907 E. Hwy 80	Infinite Technical Services	Telsa Inc	Tesla Charging Station	5002301007	
10/5/2022	221173	405 W. Hwy 80 Ste. 106	Marsh Construction	Kyle Hadden	Staffing Agency Buildout	5000308008	
10/17/2022	221229	111 Coleman Blvd.	R Peacock Construction	Denholtz Group	Enclose Receiving Area	5098504054	
10/17/2022	221244	501 Memorial Blvd.	Greenspeed Energy Solutions	JC Lewis Motor Company	Electric Vehicle Chargers	5101001063	
10/20/2022	221260	1557 Pooler Pkwy Ste 200	Parker Properties	Russell Lee	Open Two Tenant Spaces	5101001065	
Total	14						

Misc. Permits October 2022

Date	Permit #	Address	Contractor	Owner	Project Type	PIN #	Flood Zone
10/7/2022	220217	114 Canal St.	Palmetto Solar	Donna Kroll	Electrical		
10/7/2022	220972	1204 W. Hwy 80	Signs By James	Jeff Hubbard	Monument Sign		
10/11/2022	221162	111 White Dogwood Ln.	Pride Pools & Spas	James Collins	Inground Fiberglass Pool		
10/7/2022	221167	128 Pipemakers Cir.	Signs By James	J Canal Properties LLC	Wall Sign		
10/7/2022	221168	810 Towne Center Blvd. Unit 102	Signs By James	Paul Patel	Wall Sign		
10/3/2022	221174	100 Blue Moon Xing Unit 116	Champion Fire Protection	Blue Moon Nutrition LLC	Fire Sprinkler		
10/6/2022	221197	3002 Benton Blvd. Bldg 200	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221198	3002 Benton Blvd. Bldg 300	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221199	3002 Benton Blvd. Bldg 400	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221200	3002 Benton Blvd. Bldg 500	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221201	3002 Benton Blvd. Bldg 600	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221202	3002 Benton Blvd. Bldg 700	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221203	3002 Benton Blvd. Bldg 1000	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221204	3002 Benton Blvd. Bldg 1100	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221205	3002 Benton Blvd. Bldg 1200	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221206	3002 Benton Blvd. Bldg 1300	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221207	3002 Benton Blvd. Bldg 1400	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221208	3002 Benton Blvd. Pump House	Cornerstone Control Systems	DD Benton LLC	Fire Alarm		
10/6/2022	221213	6 Wyndy Ct.	B&M Pooler	Christopher Ingram	Inground Vinyl Pool		
10/11/2022	221214	119 River Run Dr.	Palmetto Solar	Damian Dunbar	Electrical		
10/7/2022	221215	122 River Run Dr.	Palmetto Solar	Jerry Moblely	Electrical		
10/7/2022	221216	273 Longleaf Cir.	Palmetto Solar	Dorothy Sanders	Electrical		
10/7/2022	221218	105 Melody Dr.	Palmetto Solar	Roderick Jefferson Jr	Electrical		
10/6/2022	221219	1017 East Hwy 80 Unit 8	Todd Eelctrical Systems	Reed Blair	Electrical		
10/6/2022	221220	708 Pine Barren Rd.	Mark and Linda Lucas	Same	Conver Garage to Master Suite	5101102006	
10/11/2022	221221	1 Golf Dr.	Omni Services of SC Inc	Logan Homes	Electrical		
10/12/2022	221222	117 Baynard St.	Lenworth Dixon	Same	Covered Porch	51009M01014	
10/11/2022	221223	200 Tanger Outlets Bld. Unit 729	Sign D' Sign	Tanger Outlets	Wall Sign		
10/11/2022	221224	2120 Pooler Pkwy	Commercial Signs Inc	Southeastern Retail Development LLC	Wall Sign		
10/11/2022	221226	112 Canal Cove	Palmetto Solar	Dennis Abernathy	Electrical		
10/11/2022	221228	2200 Pooler Pkwy	J.A.M. Electric	City of Pooler	Electrical		
10/12/2022	221230	428 2nd St.	Malik Idris	Same	6' Wood Privacy Fence		
10/11/2022	221231	3002A Benton Grove	Jeff Stewart Electrical Services Inc	Comcast	Electrical		
10/11/2022	221232	100 Populus Dr. Bldg. 3000	Jeff Stewart Electrical Services Inc	Comcast	Electrical		
10/12/2022	221233	430 2nd St.	Malik Idris	Same	6' Wood Privacy Fence		
10/12/2022	221234	200 Tanger Outlets Bld. Unit 729	Sign D' Sign	Tanger Outlets	Wall Sign		
10/13/2022	221241	500 E. Hwy 80	Drury Construction Company	Same	Temporary Construction Tailer		
10/13/2022	221242	3002 Benton Blvd.	Aquatics Pools & Spas	DD Benton LLC	Commercial Swimming Pool	5001701039	
10/14/2022	221243	159 Harvest Hill	JDH Decks and Fences	Delaney Blackburn	Black Aluminum Fence		
10/18/2022	221245	60 Triple B Trail	Recore Electrical Contractors	Amazon	Fire Alarm System		
10/19/2022	221253	6 Mill Creek Cir. Unit B	Sign D' Sign	Rob Martin	Multiple Signs		
10/20/2022	221254	402 Sangrena Dr.	Tuff Shed	George Smith	Storage Building	5001301012	
10/20/2022	221261	1521 Pooler Pkwy	Savannah Fence & Entry Systems	Stephen Remler	Black Vinyl Coated Fence		
10/21/2022	221263	120 Foxfield Way	Atlantic Coastal Signs	140 Commerce LLC	Multiple Signs		
10/21/2022	221265	50 Galloway Dr.	WIMCO	Same	Temporary Construction Tailer		
10/21/2022	221266	1501 Pine Barren Rd.	Doug Bean Signs	Horizon Investment Partners LLC	Multiple Signs		
10/21/2022	221267	502 James Rd.	Freedom Forever	Angelia Horton	Electrical		
10/21/2022	221269	1152 W. Hwy 80	Griffin Contracting Inc.	Dasher Development LLC	Demolition	5101301016	
10/21/2022	221270	1132 W. Hwy 80	Griffin Contracting Inc.	Dasher Development LLC	Demolition	5101301018	
10/21/2022	221271	1029 W. Hwy 80	Thompson Building Wrecking Co.	Enmark Stations Inc.	Demolition	5001602002	
10/21/2022	221273	1055 E. Hwy 80	Boxdrop	Lowcountry Furniture	Wall Sign		
10/25/2022	221284	200 Tanger Outlets Bld. Unit 629	ProLectric Electrical	Jana Noble	Electrical		
10/26/2022	221288	91 Melody Dr.	Freedom Forever	Dejuan Freese	Electrical		
10/27/2022	221295	213 N Newton St.	Daniel Hatcher	Same	Carport	5000603013	
10/27/2022	221296	213 N Newton St.	Daniel Hatcher	Same	6' Privacy Fence	5000603013	
10/31/2022	221301	1554 E. Hwy 80	Coastal Electric	Partners Personell	Electrical		
10/31/2022	221304	1000 Pine Barren Rd., Unit 111	All Sign	Remax Savannah	Wall Sign		
Total	57						

**City of Pooler
Mobile Home Permits
October 2022**

Date	Permit #	Subdivision	Address	Mobile Home Installer	Owner
10/21/2022	221272	Garden Acres MHP	1105 S. Rogers St., Lot 803	Craig Williams	Chatham Classic Homes
10/26/2022	221287	Garden Acres MHP	1106 S. Rogers St., Lot 801	Craig Williams	Chatham Classic Homes
Total	2				

**City of Pooler
Certificate of Occupancy
October 2022**

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
10/3/2022	220630	Tanger Outlets	240 Tanger Outlets Blvd., Unit 108/109	America's Best Buildout	DooleyMack Constructors	National Vistion
10/4/2022	220578	Westside Business Park	119 Westside Blvd.	Warehouse Addition	Mahany Construction	Coggins Promotional
10/5/2022	210021	Hunt Club	329 Serengeti Blvd., Lot 654	Single Family Detached	Beazer Homes	Same
10/6/2022	211198	Westbrook	3 Tanner's Row, Lot 302	Single Family Detached	Transcend Custom Homes	John & Christina Towels
10/6/2022	220274	Ellis Park	107 Buttermere Way, Lot 336	Single Family Detached	DR Horton	Same
10/10/2022	220088	Westwood Reserve	205 Merganser Dr., Lot 2	Single Family Detached	DR Horton	Same
10/11/2022	220092	Westwood Reserve	211 Merganser Dr., Lot 5	Single Family Detached	DR Horton	Same
10/12/2022	220988	Tanger Outlets	200 Tanger Outlets Bvd.	Hugto Boss Buildout	Retcom Construction	Hugo Boss
10/12/2022	211225		204 Nordic Way	Fire Station	Pro-Construction of GA	City of Pooler
10/13/2022	220018	Clubhouse Residential	20 Palladian Way, Lot 470	Townhome	Logan Homes SC LLC	Same
10/13/2022	211348	Westwood Reserve	11 Woodford Reserve Dr., Lot 21	Single Family Detached	DR Horton	Same
10/13/2022	220384	Ellis Park	115 Buttermere Way, Lot 340	Single Family Detached	DR Horton	Same
10/13/2022	220012		1 Godley Station Blvd. C-111	Clean EatZ Buildout	Paderewski Construction	Godley Station Partners LLC
10/14/2022	211270	Hunt Club Townhomes	142 Congo Ct., Lot 512	Townhome	Beazer Homes	Same
10/14/2022	211352	Westwood Reserve	12 Woodford Reserve Dr., Lot 26	Single Family Detached	DR Horton	Same
10/17/2022	220213	Westwood Reserve	219 Merganser Dr., Lot 9	Single Family Detached	DR Horton	Same
10/17/2022	220094	Westwood Reserve	215 Merganser Dr., Lot 7	Single Family Detached	DR Horton	Same
10/18/2022	211114		1900 Pine Meadow Dr.	Office Building	Griffin Construction Co.	Brent Bazemore
10/19/2022	220155	Westwood Reserve	218 Merganser Dr., Lot 11	Single Family Detached	DR Horton	Same
10/19/2022	220140	Westwood Reserve	217 Merganser Dr., Lot 8	Single Family Detached	DR Horton	Same
10/19/2022	211375	Westwood Reserve	15 Woodford Reserve, Lot 22	Single Family Detached	DR Horton	Same
10/19/2022	220199	Westbrook Glen	124 Harvest Hill, Lot 850	Single Family Detached	Pulte Home Company LLC	Same
10/19/2022	220388	Westbrook Glen	159 Harvest Hill, Lot 814	Single Family Detached	Pulte Home Company LLC	Same
10/19/2022	220197	Westbrook Glen	137 Harvest Hill, Lot 803	Single Family Detached	Pulte Home Company LLC	Same
10/21/2022	211206	Westbrook	236 Westbrook Ln., Lot 206	Single Family Detached	KC Brothers Construction	Same
10/21/2022	220196	Westbrook Glen	135 Harvest Hill, Lot 802	Single Family Detached	Pulte Home Company LLC	Same
10/21/2022	220383	Ellis Park	113 Buttermere Wsay, Lot 339	Single Family Detached	DR Horton	Same
10/24/2022	210169	Hunt Club	318 Serengeti Blvd., Lot 632	Single Family Detached	Beazer Homes	Same
10/24/2022	220573	Ellis Park	110 Kraft Kove, Lot 285	Single Family Detached	DR Horton	Same
10/24/2022	220574	Ellis Park	108 Kraft Kove, Lot 286	Single Family Detached	DR Horton	Same
10/24/2022	220192	Westbrook Glen	133 Harvest Hill, Lot 801	Single Family Detached	Pulte Home Company LLC	Same
10/25/2022	211271	Hunt Club Townhomes	140 Congo Ct., Lot 513	Townhome	Beazer Homes	Same
10/25/2022	211269	Hunt Club Townhomes	144 Congo Ct., Lto 511	Townhome	Beazer Homes	Same
10/25/2022	220067	Ellis Park	110 Coopers Rise, Lot 349	Single Family Detached	DR Horton	Same
10/25/2022	220269	Ellis Park	128 Charles Ln., Lot 250	Single Family Detached	DR Horton	Same
10/25/2022	220309	Westbrook Glen	143 Harvest Hill, Lot 806	Single Family Detached	Pulte Home Company LLC	Same
10/26/2022	211261	Hunt Club	312 Serengeti Blvd., Lot 635	Single Family Detached	Beazer Homes	Same
10/26/2022	220279	Ellis Park	105 Coopers Rise, Lot 353	Single Family Detached	DR Horton	Same
10/26/2022	220470	Ellis Park	205 Kraft Kove, Lot 288	Single Family Detached	DR Horton	Same
10/26/2022	220389	Westbrook Glen	161 Harvest Hill, Lot 815	Single Family Detached	Pulte Home Company LLC	Same
10/27/2022	220200	Westbrook Glen	122 Harvest Hill, Lot 851	Single Family Detached	Pulte Home Company LLC	Same
10/28/2022	220310	Westbrook Glen	149 Harvest Hill, Lot 809	Single Family Detached	Pulte Home Company LLC	Same
10/28/2022	220576	Ellis Park	108 Buttermere Way, Lot 327	Single Family Detached	DR Horton	Same
10/27/2022	220013	Westbrook	125 Kent Trl., Lot 544	Single Family Detached	SDG Construction Services	Eric Scott
10/31/2022	220224	Westwood Reserve	319 Merganser Dr., Lot 37	Single Family Detached	DR Horton	Same
10/31/2022	220198	Westbrook Glen	141 Harvest Hill, Lot 805	Single Family Detached	Pulte Home Company LLC	Same
10/31/2022	211279	Hunt Club	310 Serengeti Blvd., Lot 636	Single Family Detached	Beazer Homes	Same
10/31/2022	220221	Westwood Reserve	323 Merganser Dr., Lot 35	Single Family Detached	DR Horton	Same
10/31/2022	220379	Westwood Reserve	311 Merganser Dr., Lot 41	Single Family Detached	DR Horton	Same
10/31/2022	220223	Westwood Reserve	321 Merganser Dr., Lot 36	Single Family Detached	DR Horton	Same
Total	50					

**Monthly Report
October 2022**

INSPECTORS

Scott MacPherson	232	Inspections (Included in Salary)
Frank Garza	541	Inspections (Included in Salary)
Total Inspections:	773	Inspections

ORDINANCE NO. O2022-11.A

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES CHAPTER 90 – VEHICLES FOR HIRE, ARTICLE II – TOWING AND WRECKER SERVICE; TO REPEAL ALL ORDINANCES IN CONFLICT HERewith; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That CHAPTER 90 – VEHICLES FOR HIRE, Article II. TOWING AND WRECKER SERVICE be amended by deleting the strikethrough text and adding the underlined text:

Sec. 90-61. List.

In order for any person, including service stations, auto service companies, towing services, wrecker services or other businesses to operate a towing or wrecker service within the city limits, the following conditions, standards, qualifications and requirements shall be complied with:

- (1) The chief of police shall prepare and maintain a list, in alphabetical order, for all garage or other business establishments referred to in this section, which desire to engage in a wrecker service or towing service within the city. The chief of police shall supply applications to applicants desiring to qualify to operate a wrecker or towing service within the city;
- (2) From such applications, the chief of police shall prepare and maintain a wrecker service list and all such persons whose name appears on the wrecker service list shall meet the qualifications as set out by the chief of police and as set out by the ordinances of the city;
- (3) No application, as provided for in subsection (2) of this section, shall be considered unless the applicant shall maintain a storage area, as provided for in section 90-65, and that the storing facility for towed vehicles shall be physically located within the city limits or 5-miles thereof;
- (4) If for any reason it shall become necessary for the police department to remove any vehicle, for any cause, from the public ways or other places in the city, the police department shall first call the company with whom the city has a contract for such towing or wrecker services. If such company does not or is unable to respond, the police department may call any of the other towing or wrecker service companies licensed and operating in the city. The mayor and aldermanic board shall make the selection of the company with whom the city will contract for wrecker and towing services under such terms and conditions as they may deem appropriate;
- (5) The owner or person in possession of a vehicle about to be removed shall have the right to designate a towing or wrecker service. It shall be the duty of the investigating officer to first determine, if possible, whether such person has a preference before reporting the need for a towing or wrecker service to be dispatched;
- (6) If it becomes necessary to tow a vehicle whose gross vehicle weight is in excess of 6,500 pounds, or if there is not available a qualified operator on the available list to handle the tow, the chief of police or his designee shall have authority to call such other businesses, garages or establishments who have the proper equipment in order to handle the tow.

Sec. 90-62. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Towing or providing wrecker service means the answering of any call to remove any vehicle from a public right-of-way, or removal of a vehicle from property adjacent to a public right-of-way.

Sec. 90-63. Equipment.

~~Any person providing towing or wrecker services shall have a wrecker which meets the minimum requirements of 8,500 pounds gross vehicle weight (g.v.w.) with a 5,000-pound hand or power wench, crane and boom. All towing or wrecker vehicles will be required to carry a full compliment of service items such as fire extinguishers, chains, dollies, proper emergency lighting or flares for on-scene work, equipment needed for lifting, extricating, righting of wrecked vehicles and removal from the thoroughfares by towing or carting.~~
Any person providing towing or wrecker services shall have a wrecker that meets the minimum requirements of maintaining:

at least four (4) Class I wreckers. These wreckers shall be defined as a wrecker having at least 10,000-pound minimum gross weight rating equipped with an 8,000-pound P.T.O. mechanically driven power winch. A Class I wrecker shall be capable of towing automobiles, light trucks, and similar-sized vehicles; and

at least three (3) Class III wreckers. These wreckers are classified as heavy-duty trucks. These wreckers shall be defined as a wrecker having a minimum of 30,000-pound G.V.W. with a 30,000-pound winch and boom. At least one of the Class III wreckers shall have a rotating boom.

All towing or wrecker vehicles will be required to carry a full complement of service items, such as fire extinguishers, chains, dollies, proper emergency lighting or flares for on-scene work, equipment needed for lifting, extricating, righting of wrecked vehicles, and removal from the thoroughfares by towing or carting.

Sec. 90-64. - Clean up of street.

Each wrecker will carry a broom and the wrecker driver or his assistant shall be required to sweep up and remove broken glass or other debris when a vehicle is removed from the street. Removing all debris from the street is part of the wrecker company's obligation. When directed by the police to remove material which is part of a load being trucked off the thoroughfare, the wrecker company may remove or subcontract for the removal of material as directed and charge a reasonable rate for such removal. When two or more companies are assigned to a call, then it shall be the equal responsibility of all for the cleaning of the wreck site.

Sec. 90-65. Storage area.

- (a) Any person engaging in a towing or wrecker service shall have an area for the storage of towed vehicles. The parking (storage) area shall be for not less than ten vehicles.
- (b) The parking (storage) area shall be located within a zoning area which permits such activity. When located inside the City of Pooler, a towing or wrecker service shall meet all required development standards. When located outside of Pooler limits, it must conform to the local jurisdiction's requirements for said area. In addition to any requirements contained in the zoning ordinance, the site plan for the parking (storage) area shall be approved by the planning and zoning commission and the aldermanic board. The site plan shall contain such buffers, including fencing and screening,

~~as is appropriate, based upon the size, location and character of the property being utilized as the parking (storage) area and the adjacent properties within the nearby area, to shield the vehicles being stored from the view of the adjacent property and/or streets.~~

Sec. 90-66. Maintenance of wreckers; regulation by police department.

The person providing a towing or wrecker service will maintain such wreckers as are required by the police department of the city and shall abide by all regulations set forth by the Federal Motor Vehicle Standards, or otherwise specified within this Article,~~that may be instituted by the police department~~ to maintain a high level of service to the public.

Sec. 90-67. Charges.

Charges for towing or wrecker service will not be greater than those contained in section 90-68. Such rates will be posted in the place of business in such a manner as to be prominently displayed for attention and information of the claimant's vehicle which has been towed. The police department of the city will not be responsible for any charges placed against towed vehicles. All charges will be paid by the vehicle's owner or by sums derived from the legal sale of such towed vehicle to cover costs.

Sec. 90-68. Schedule of fees.

The fee or rate of charge for providing towing or wrecker service shall be provided as follows:

- (1) The normal fee or basic towing charge shall not be in excess of an amount as set forth in the schedule of fees and charges. Such "normal towing" shall be defined as responding to a call for the tow of any vehicle that is accomplished by the attaching of such vehicle to the equipment on the wrecker, and does not require the use of carts, dollies or other auxiliary equipment;
- (2) A fee as set forth in the schedule of fees and charges for basic towing wrecker fee may be charged for responding to a call for a tow on a vehicle that is accomplished by the attaching to such vehicle the equipment on the wrecker, and which requires the use of dollies, carts or other auxiliary equipment to ensure removal of the vehicle;
- (3) When a vehicle is being towed for a distance of more than ten miles, the towing or wrecker charge will not exceed an amount set forth in the schedule of fees and charges per additional mile. All entities providing towing or wrecker services within the city shall maintain liability insurance in the form of a comprehensive, general automobile liability policy. Such policy will protect the wrecker service from claims for bodily injury, including the death of its employees and all others, and for claims of property damage, and/or all claims which may arise out of or as a result of services performed at the request of the police department of the city. Owners of towing or wrecker services shall indemnify the city for all claims and damages arising from the services performed by such wrecker. The minimum liability insurance shall be as follows:

	Per Person	Per Accident
a.	Bodily injury, \$100,000.00	\$300,000.00
b.	Property damage	100,000.00

- (4) All persons engaged in towing or wrecker services within the city shall provide to the chief of police a copy of his insurance certificate showing the amount and expiration date of such policy.

Sec. 90-69. Failure to respond to call; consequences.

Failure to respond to a call by a towing or wrecker service to pick up a disabled or parked vehicle when requested to do so by the police department of the city, may result in the loss of such towing or wrecker service's right to operate such service within the city subject to the procedure in section 90-74.

Sec. 90-70. Emergency amber light.

Each wrecker must be equipped with an emergency amber light which will be used en route to the scene of the emergency whenever necessary.

Sec. 90-71. Monitoring police radio frequency.

Any person operating a towing or wrecker service within the city will not monitor any one of the police department radio channels (frequencies) for the purpose of monetary gain (USC tit. 47, § 605, Secrecy of Communications).

Sec. 90-72. Notification of police dispatcher.

No person operating a towing or wrecker service within the city will answer any call unless he first notifies the dispatcher of the police department of the city as to the nature of the request or location of the vehicle.

Sec. 90-73. Lien for amount of service rendered.

Any person meeting the provisions of this article that has provided towing or wrecker services, or storage of a vehicle, shall have a lien for the number of services rendered, and such vehicle may be sold to satisfy such lien in accordance with the provisions of state law.

Sec. 90-74. Violation; loss of privilege to serve.

Any person providing towing or wrecker services within the city that violates any provision of this article shall be subject to the loss of his right to provide towing or wrecker services within the city.

If a tow or wrecker service is found to be in violation of the City of Pooler Wrecker Contract or the provisions of this Article, the following procedure shall occur:

(1) A written notice will be sent via certified mail to the owner and/or operator of the towing or wrecker service stating:

- a. The violation that occurred;
- b. When the violation occurred;
- c. Consequences of violating the contract or ordinance;
- d. A copy of the current ordinance and/or copy of the contract; and,
- e. A date no sooner than 30 days of the sending of the certified letter to appear before the Mayor and City Council at a violation hearing.

(2) No sooner than 30 days and no longer than 45 days of the sending of the certified letter, the Mayor and City Council shall hold a hearing for the applicant related to the violations. The violation hearing shall serve to provide an opportunity for the owner/operator to:

- a. Explain the reason(s) for violating the contract or ordinance;

- b. Present a plan of action to prevent further violation for occurring; and,
- c. Be put on notice regarding future violations could result in removal from the City of Pooler Wrecker Rotation.

II

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

III

If any section, clause, sentence, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall be in no way affect the validity of the remaining portions of this ordinance.

IV

This ordinance shall be effective immediately upon is adoption by the Mayor and City Council of Pooler, Georgia.

1st Reading: _____

2nd Reading: _____

This ____ day of _____, 2022.

CITY OF POOLER, GEORGIA

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, City Clerk

Date: _____

ORDINANCE NO. O2022-11.B

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES CHAPTER 42 – ENVIRONMENT, ARTICLE VI – TREE PROTECTION TO ADD DIVISIONS AND ESTABLISH REQUIREMENTS FOR TREE PROTECTION ON PUBLIC PROPERTY AND RIGHTS-OF-WAY; TO REPEAL ALL ORDINANCES IN CONFLICT HERewith; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That Chapter 42, Article VI. TREE PROTECTION be amended to establish Divisions within the Chapter. Division 1 shall be created within the Article. Division 1 shall be known as “TREE PROTECTION FOR LAND DEVELOPMENT ACTIVITIES”. Division 1 shall contain sections 42-196 through 42-207. Division 2 shall be created within the Article. Division 2 shall be known as “TREE PROTECTION FOR PUBLIC PROPERTY AND RIGHTS-OF-WAY”.

II

That Chapter 42, Article VI. TREE PROTECTION be amended to add the following sections under Division 2 – TREE PROTECTION FOR PUBLIC PROPERTY AND RIGHTS OF WAYS, which reads as follows:

Sec. 42-208. – Purpose and intent.

The City of Pooler deems it necessary and desirable in the interest of enhancing quality of life and the present and future public health, safety, and welfare of all residents to enact an ordinance for the preservation, planting, and care of trees on public property and rights-of-way. This Division and sections found herewith establishes the authority and responsibility for managing public trees and establishes practices governing the planting and care of trees on public property.

Sec. 42-209. – Definitions.

The following words and phrases shall have the following meanings:

Damage. Any injury to or destruction of a tree, including but not limited to: uprooting; severance of all or part of the root system or main trunk; storage of material on or compaction of surrounding soil; a substantial change in the natural grade above a root system or around a trunk; surrounding the tree with impervious paving materials; or any trauma caused by accident or collision.

Nuisance. Any tree, or limb thereof, that has an infectious disease or insect; is dead or dying; obstructs the view of traffic signs or the free passage of pedestrians or vehicles; or threatens public health, safety, and welfare.

Parkway. The area along a public street between the curb and sidewalk; or if there is not sidewalk, the unpaved portion of the area between the street right-of-way (ROW) line and the paved portion of the street or alley.

Public Property. All grounds and rights-of-way (ROW) owned or maintained by the City of Pooler.

Public Tree. Any tree or woody vegetation on city-owned or city-maintained property or rights-of-way (ROW).

Top or Topping. The non-standard practice of cutting back of limbs to stubs within a tree's crown to such a degree so as to remove the normal canopy and disfigure the tree.

The definitions as provided in Division 1 of Article VI shall be included by reference. In the event of a conflict between definitions of this Division and Division 1, the definition of this Division shall apply.

Sec. 42-210. – Authority and power.

- (a) The City Manager, including his/her designee, shall have the full authority and responsibility to plant, prune, maintain, and remove trees and woody plants growing in and upon all municipal streets, rights-of-ways, city parks, and other public property. This shall include the removal of trees that may threaten electrical, telephone, gas, or any municipal utility line, or any tree that is affected by fungus, insect, or other pest disease.
- (b) All City departments will coordinate as necessary with the City Manager, or designee, and will provide services as required to ensure compliance with this Ordinance as it relates to streets, alleys, rights-of-way, drainage, easements, and other public properties.
- (c) No person shall hinder, prevent, delay, or interfere with the City Manager, or designee, or agents while engaged in carrying out the execution or enforcement of this Division.

Sec. 42-211. – Tree planting care and standards.

- (a) All planting and maintenance of public trees shall conform to the American National Standards Institute (ANSI) A-300 "Standards for Tree Care Operations" and shall follow all tree care Best Management Practices (BMPs) publishes by the International Society of Arboriculture.
- (b) The maintenance of public trees for utility clearance shall conform to all applicable utility industry standards and best practices related to clearing and pruning.
- (c) The City shall maintain an official list of desirable tree species for planting on public property in two size classes, Ornamental – trees of 20 feet or less in height at maturity and Shade – trees greater than 20 feet in height at maturity. Trees from the approved list may be planted without special permission; other species may be planted with written approval from the City Manager, or designee.
- (d) The City shall develop and maintain an official set of spacing requirements for the planting of trees on public property, including:
 - (1) No tree may be planted within the visibility triangle of a street intersection or curb-cut/drive-way;
 - (2) No tree may be planted within 10 feet of a fire hydrant;
 - (3) No tree may be planted within 10 feet of any water or sewer line; and,
 - (4) Only Ornamental trees on the official tree species list may be planted under or within 15 lateral feet of any overhead utility.

Sec. 42-212. – Prohibition again harming public trees.

- (a) It shall be unlawful for any person, firm, or corporation to damage, remove, or cause the damage or removal of a tree on public property without written consent from the City.
- (b) It shall be unlawful for any person, firm, or corporation to attach any cable, wire, sign, or any other object to any street, park, or public tree.
- (c) It shall be unlawful for any person, firm, or corporation to “top” any public tree. Trees severely damaged by storms or other causes, where best pruning practices are impractical may be exempted from this provision at the determination of the City.
- (d) Any person, firm, corporation, or City department, contractor, or anyone otherwise affiliated with the City performing construction near any public tree(s) shall consult with the City Manager, or designee, and shall employ appropriate measures to protect the tree(s), according to procedures contained in the Best Management Practices (BMPs) for “Managing Trees During Construction” published by the International Society of Arboriculture.
- (e) Each violation of this section shall constitute a separate violation, punishable by fines and penalties under Sec. 42-215, and shall include to the mitigation value for the tree(s) removed or damaged in violation of this section.

Sec. 42-213. – Adjacent owner responsibility.

- (a) The owner of land adjacent to any city street or highway, when acting within the provisions of this Ordinance, may plant and maintain trees in the adjacent parkway area.
- (b) No property owner shall allow a tree, or other plant, growing on his or her property to obstruct or interfere with pedestrians or the view of drivers, thereby creating a hazard. If an obstruction persists, the City shall notify the property owner to prune or remove the tree or plant. If the owner fails to comply with the notice, the City may undertake the necessary work and charge the cost to the property owner.

Sec. 42-214. – Certain trees declared nuisance.

- (a) Any tree, or limb thereof, on private property determined by the City to meet the definition of nuisance per this Division shall be declared such, and the City may require its treatment or removal.
- (b) Upon determination of a nuisance tree, written notice shall be provided to the owner of the nuisance tree and the steps needed for remediation. The written notice shall provide for a timeframe of corrective action in consultation. Corrective action may be adjusted upon meeting with the City regarding the nuisance tree.
- (c) Private property owners have the duty, at their own expense, to remove and treat nuisance trees on their property. The City may remove such trees at the owner’s expense if the owner does not comply with treatment and/or removal as specified by the City within the written notification period, or as agreed upon with the City.

Sec. 42-215. – Violations and penalty.

A violation of the provisions of this article shall constitute an ordinance offense, punishable upon warrant directed to the City Municipal Court, and upon conviction, shall be punished as provided in Sec. 1-12, in and addition thereto, the violator may be enjoined from continuing the violation. Any unauthorized removal of a public tree shall be considered a separate and distinct violation of this article.

Any person who damages a tree on city property shall be required to pay the City:

- (1) The difference in value of the tree before and after the pruning, removal, or other damages;
- (2) All costs of tree evaluation and corrective tree maintenance or removal, if required, as the result of unauthorized pruning, removal, or other damage;
- (3) All costs of stump removal and tree replacement, if tree removal is required; and,
- (4) All other costs and expenses involved in the case.

Each day such violation continues shall be considered a separate offense. Nothing contained in this section shall prevent the City from taking such other lawful action as is necessary to prevent or remedy a violation.

Sec. 42-216. – Appeals.

Appeals to administrative decisions related to the execution and enforcement of this ordinance may be appealed to the Mayor and City Council per the provisions of Appendix A, Article V, Section 14.

III

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

IV

If any section, clause, sentence, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall be in no way affect the validity of the remaining portions of this ordinance.

V

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

1st Reading: _____

2nd Reading: _____

This ____ day of _____, 2022.

CITY OF POOLER, GEORGIA

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, City Clerk

Date: _____

DRAFT

ORDINANCE NO. O2022-11.C

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES APPENDIX A – ZONING, TABLE 4.1 – ALLOWED USES BY ZONING DISTRICT; TO REPEAL ALL ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That Appendix A, Article IV. ZONING DISTRICTS, Table 4.1 *Allowed Uses by Zoning District* be amended to include Furniture and Related Product Manufacturing as a permitted use with conditional use approval use in the C-2 district:

p	Permitted by Right
C	Permitted with Conditional Use Approval
	Prohibited

Table 4.1 Allowed Uses by Zoning District

Uses with NAICS Codes are found within the NAICS Manual : <https://www.census.gov/eos/www/naics/>

Uses in R-1A, R-1B, R-1C are listed in this table under R-1
 Uses in R-2A, R-2B, R-2C are listed in this table under R-2
 Uses in R-3A, R-3B, R-3C are listed in this table under R-3

*Uses in a PUD are determined case-by-case by the Board

NAICS Code	Use	R-1	R-2	R-3	R-4	MH-1	MH-2	MH-3	C-1	C-2	C-P	I-1	I-2	R-A	RA-1	RA-2	PUD*
337	Furniture and Related Product Manufacturing									C		P	P				

II

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

III

If any section, clause, sentence, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall be in no way affect the validity of the remaining portions of this ordinance.

IV

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

1st Reading: _____

2nd Reading: _____

This ____ day of _____, 2022.

CITY OF POOLER, GEORGIA

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, City Clerk

Date: _____

DRAFT

AGENDA ITEM

Date: November 21, 2022

Subject: Zoning Buffer Requirement Variance for 1393 E. US Hwy. 80 Road

Background and Discussion:

Holly Young, on behalf of the owner, presented the variance to the P&Z Board for their review and recommendation. The lot is only 110' wide and the new zoning ordinance states the minimum required screening between an industrial zoning district and a residential zoning district must be a minimum of 100'. Adjacent property owner, Beverly Waters appeared before the board asking what the intended use will be. Mrs. Young stated that the owner would like to lease the property to a trucking company.

Adjacent property owners were notified on October 28, 2022.

Savannah Morning News was notified on November 1, 2022.

Sign posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends denial of the zoning buffer requirement variance.

Staff Recommendation:

Staff recommends review of the criteria for granting a variance prior to making a decision.



PH~1

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

CITY MANAGER
Robert H. Byrd, Jr.

RE: Zoning Buffer Requirement

PIN#: 5-0987A-01-002

CITY ATTORNEY
Steve Scheer

OWNER: Khanh D. Ly

Khanh D. Ly has petitioned the City of Pooler for a Zoning Buffer Requirement variance from 100' to 20'. The property is located at 1393 E. US Highway 80. *According to Appendix A, Article III, Section 27, Zoning Buffer Requirements, the width of a zoning buffer between a residential zoning district and an industrial zoning district must be a minimum of 100'.*

Notice is hereby given that a public hearing is scheduled before the Planning & Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the "Official Public Hearing", please complete and submit by mail or fax a "Campaign Disclosure Form" five (5) days prior to the meeting. Further information may be obtained by calling 748-7261 during regular business hours. (PIN # 5-0987A-01-002)



File # N/C

part 3 w/ D
another app.
on same property -

Variance Application

Applicant Information	Applicant <u>Khanh D Ly</u> Mailing address <u>1111 Wilma St.</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31410</u> Telephone <u>(912) 224-0012</u> Fax ()
Property Ownership	Property Owner(s) <u>Same as above</u> Mailing address _____ City _____ State _____ Zip _____ Telephone () _____ Fax () _____
Contact Person	Contact Person(s) <u>Holly Young</u> Mailing address <u>P.O. Box 369</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone <u>(912) 748-7778</u> Fax <u>(912) 748-7019</u> E-mail <u>hlyoung1070@aol.com</u>
Request	Location address <u>1393 US Highway 80</u> Current Zoning <u>I-1</u> Present use <u>Vacant</u> Purpose of the Variance request. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Current Buffer Requirement 100'</u> <u>Asking for Variance to Reduce</u> <u>Buffer to 20'</u>

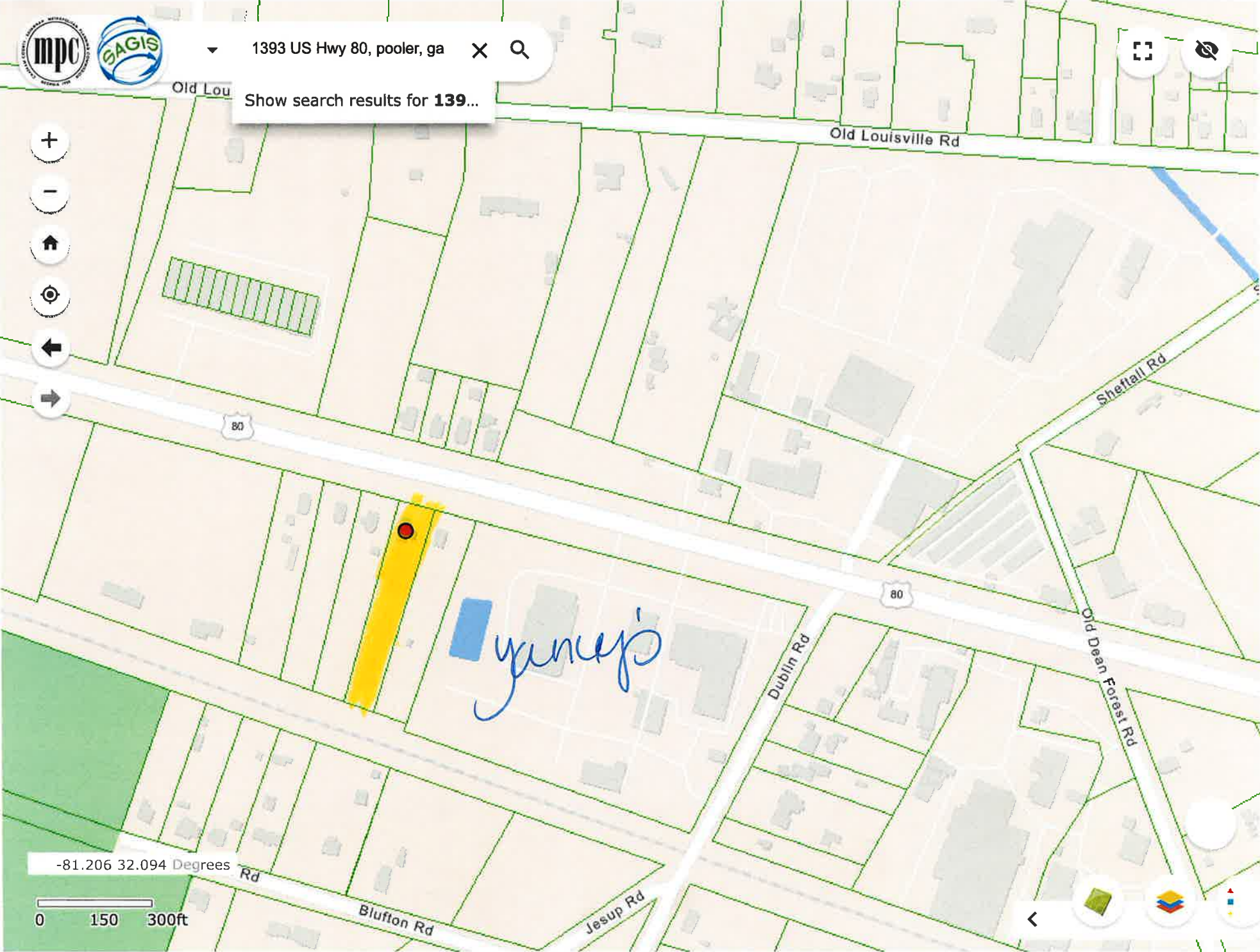
* All staff correspondence will be sent only to one designated contact person.
 * Addresses and telephone numbers do not have to be repeated if provided above.

PIN# 5.0987A.01.002



1393 US Hwy 80, pooler, ga

Show search results for 139...



-81.206 32.094 Degrees



Section 27. - Zoning buffer requirements.

(A) *Zoning buffers; where required.*

- (1) On a property to be used for any multi-family use (duplexes, townhouses, apartments or mobile home park), a buffer must be provided along a side or rear lot line that abuts any agricultural zoning district or agricultural use; any single-family use or zoning district; any single-family, recreational or open space area.
- (2) On a property to be used for any office, institutional or commercial use, a buffer must be provided along a side or rear lot line that abuts any agricultural zoning district or agricultural use; any single-family or multi-family use or zoning district; any single-family, multi-family, recreational or open space area.
- (3) On a property to be used for any industrial use, a buffer must be provided along a side or rear lot line that abuts any agricultural zoning district or agricultural use; any single-family or multi-family use or zoning district; any single-family, multi-family, recreational or open space area.
- (4) Where multiple uses or uncertainty exist, the buffer requiring the greatest width shall apply.

(B) *Zoning buffers; timing of installation.* Buffers are required to be created at the time of construction of any infrastructure or new development of a building or site.

(C) *Zoning buffer standards.*

- (1) Buffer areas shall contain no driveways, access easements, parking areas, patios, storm water detention facilities, or any other structures or accessory uses except for a fence, wall or earthen berm constructed to provide the visual screening required to meet the standards of this Zoning Code.
- (2) Underground utilities including closed storm drains may be permitted to cross perpendicular to a buffer if the screening standards of this Zoning Code will be subsequently achieved.
- (3) Vehicular access through a buffer may be allowed only as a condition of rezoning, conditional use application or planned development zoning approval by the city council.

(D) *Width of buffer.*

Along a side or rear lot line	Single-family or Two-family District	Multifamily District	Commercial District	Industrial District	Agricultural District	Manufactured Home District
Single-family or Two-family District	None	50	60	100	25	50
Multifamily District	50	None	50	100	25	35

Commercial District	60	50	None	100	50	35
Industrial District	100	100	100	None	100	100
Agricultural District	25	25	50	100	None	50
Manufactured Home District	50	35	35	100	50	None

- (E) *Minimum required screening.* A required zoning buffer must create a barrier that substantially blocks the sight lines, noise transmission, and the transfer of artificial light and reflected light up to a height of no less than six feet at the property line (or such greater height as required by conditions of zoning approval on a particular property).
- (F) *Natural buffers.* Natural buffers shall be composed of healthy plants which possess growth characteristics of such a nature as to produce a dense, compact visual screen not less than six feet in height. Natural buffers may contain deciduous or perennial vegetation but shall contain existing or planted evergreen shrubs and trees suitable to local growing conditions that will provide an opaque visual screen during all seasons of the year.
- (G) *Structural buffers.* A structural buffer shall provide a continuous visual screen throughout its entire length, and may consist of any combination of the following, as approved by the city planner: Opaque fencing constructed of cedar, redwood, treated and stained or painted wood, vinyl replicating wood, or other suitable all-weather material; masonry walls of brick or stone; concrete block walls treated with a decorative finish; planted or natural vegetation; or earthen berms. Structural buffers shall meet the following criteria:
- (1) Structural buffers shall be vegetated throughout the minimum area required for the buffer around any fences or walls and upon any earthen berms, which may include ground covers, shrubs and trees.
 - (2) All earthen berms shall have a maximum side slope of 50 percent (one foot of vertical rise to two feet of horizontal run). Earthen berms shall not be constructed within the drip line of any existing trees that will remain on the property; new trees that overhang the berm may be planted after the berm is constructed.
 - (3) Trees shall be located or planted within any structural buffer at a density of no less than one tree for each 25 feet of buffer length or portion thereof. New deciduous trees shall have a caliper of no less than two inches upon planting, and new evergreens shall be at least six feet tall when planted.
 - (4) Fences and freestanding walls shall present a finished and decorative appearance to the abutting property and shall be located no closer to the property line than two feet. Shrubs, ground covers, or other vegetation shall be provided between the fence or wall and the property line so as to provide a decorative effect, following professional landscaping standards for spacing, location and design

(H) *Buffers for trash receptacles in all districts.* All exterior non-residential trash receptacles and multifamily residential with common trash receptacles shall be screened from public view on three sides and on the fourth side by a gate that screens the receptacles from view. The enclosure and gate should be a minimum of six feet in height and shall be made of a solid material such as block or a solid panel fence.

VARIANCE STANDARDS

After an application has been submitted to the Building Official, reviewed by the Planning Commission, and a public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if at least two of the following findings are made:

- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
- That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
- That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

I have received a copy of the standards for consideration of my variance request and understand that the Mayor & Council may grant my variance only if my request meets two of these standards.



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Khanh D. Ly has petitioned the City of Pooler for a Zoning Buffer Requirement variance from 100' to 20'. The property is located at 1393 E. US Highway 80. *According to Appendix A, Article III, Section 27, Zoning Buffer Requirements, the width of a zoning buffer between a residential zoning district and an industrial zoning district must be a minimum of 100'.*

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Variance to allow a proposed sewer line to run through a city owned right-of-way

Background and Discussion:

CJ Chance, with HGB, presented the variance request to the P&Z Board for their review and recommendation. According to the City of Pooler Ordinance, utility installation in a city right-of-way shall require approval by the aldermanic board. The site plan for Cross Buck Center was presented to City Council on September 19, 2022, and postponed pending proper advertisement for a variance.

The adjacent property owners were notified on October 28, 2022.

Advertisement was posted in the Savannah Morning News on November 1, 2022

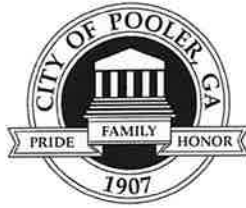
The property was posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval of the variance.

Staff Recommendation:

Staff recommends review of the criteria for granting a variance prior to making a decision.



PH-5

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL

Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Variance

CITY MANAGER

Robert H. Byrd, Jr.

PIN#: 5-0003-09-005

OWNER: Crossbuck Center, LLC

CITY ATTORNEY

Steve Scheer

Crossbuck Center, LLC has petitioned the City of Pooler for a variance to allow a proposed sewer line to run through a city owned right-of-way. The property is located at 428 W. US Highway 80.

Notice is hereby given that a public hearing is scheduled before the Planning & Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the "Official Public Hearing", please complete and submit by mail or fax a "Campaign Disclosure Form" five (5) days prior to the meeting. Further information may be obtained by calling 748-7261 during regular business hours. (File # 221210)



VARIANCE STANDARDS

After an application has been submitted to and reviewed by the Planning & Zoning Department, the Planning Commission, and the official public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if at least **two** of the following findings are made:

- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
- That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
- That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Crossbuck Center, LLC has petitioned the City of Pooler for a variance to allow a proposed sewer line to run through a city owned right-of-way. The property is located at 428 W. US Highway 80.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Zoning Map Amendment of approximately 18.18 acres off Morgan Lakes Industrial Blvd. from PUD to I-1
(PIN# - 5-1015-01-011)

Background & Discussion:

Chad Zittrouer, with Kern & Company, presented the zoning map amendment to the P&Z Board for their review and recommendation. The intent is to construct a 250,000 sq. ft. warehouse with the infrastructure to support it.

Adjacent property owners were notified on October 28, 2022.

Savannah Morning News was notified on November 1, 2022.

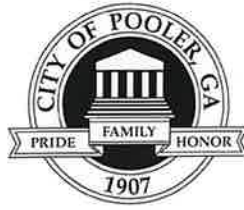
Sign posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, Planning and Zoning recommends approval to rezone approximately 18.18 acres off Morgan Lakes Industrial Blvd. from a PUD to an I-1 (Light Industrial) Zoning District.

Staff Recommendation:

Staff recommends review of the zoning map amendment criteria, prior to making a decision.



PH ~ 2

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Petition for Zoning Map Amendment

PIN: 5-1015-01-011

CITY MANAGER
Robert H. Byrd, Jr.

OWNER: Morgan Lakes Property, LLC

CITY ATTORNEY
Steve Scheer

Morgan Lakes Property, LLC requesting the City of Pooler to rezone approximately 18.18 acres located on Morgan Lakes Industrial Boulevard, from a Planned Unit Development (PUD) to an I-1 (Light Industrial) Zoning District. The intended use is for warehouse distribution.

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Monday, November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the "Zoning Map Amendment" before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 221238)



PARCEL TO BE
REZONED:
18.182 AC
PTN OF: 5-1015-01-011

MORGAN LAKES
INDUSTRIAL
BOULEVARD
70' RIGHT OF WAY
(A Private Access and
Utility Easement)

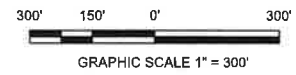
LOT 7
886,108 SQUARE FEET
20.342 ACRES
NF Savannah Economic Development Authority
Deed Book 1230 Page 265
PIN: 5-1015-01-079

60' PRIVATE RIGHT OF WAY
(A PRIVATE ACCESS AND UTILITY EASEMENT)
113,159 SQUARE FEET
2.598 ACRES
NF Morgan Lakes Industrial Park
Owners Association, Inc.
Deed Book 1430, Page 780
PIN: 5-1015-01-082

LOT 10
728,651 SQUARE FEET
16.728 ACRES
NF Savannah Economic Development Authority
Deed Book 1163 Page 130
PIN: 5-1015-01-088

LOT 8
1,240,743 SQUARE FEET
28.484 ACRES
NF Savannah Economic Development Authority
Deed Book 1186, Page 284
PIN: 5-1015-01-080

RECEIVED
OCT 03 2022
ZONING DEPARTMENT



SCALE: 1"=300'
PROJECT NO: 150081.000
DATE: 9/10/22
DRAWN BY: CRZ
CHECKED BY: CRZ
SHEET NO: EX-1

DRAWING TITLE:
**ZONING
EXHIBIT**

**A REZONING EXHIBIT OF
MORGAN LAKES INDUSTRIAL PARK - 18.182 AC
POOLER, GA**

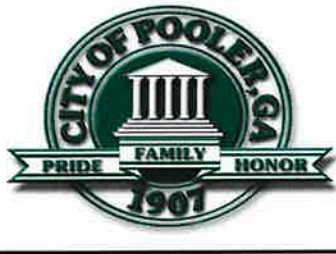
Kern & Co., LLC
Consulting Engineers • Land Surveyors • Land Planners
Architects • Landscape Architects • Environmental Scientist
7 Mall Court (31406) • P.O. Box 15179 • Savannah, Georgia 31416
Phone: (912) 354-8400 Fax: (912) 356-1865 Email: info@kernengineering.com



SECTION 10. STANDARDS FOR ZONING ORDINANCE OR MAP AMENDMENT

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
8. Will the action adversely impact adjacent or nearby properties in terms of:
 1. Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern.
 2. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 3. Will the action create development opportunities of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
9. Will the action result in public service requirements such as provision of utilities or safety services which because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Morgan Lakes Property, LLC requesting the City of Pooler to rezone approximately 18.18 acres located on Morgan Lakes Industrial Boulevard, from a Planned Unit Development (PUD) to an I-1 (Light Industrial) Zoning District.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Zoning Map Amendment of approximately 4.92 acres located off Benton Grove from R1-A to C-2
(PIN# - 5-0017-01-038)

Background & Discussion:

Dan Mahowald, Project Manager, on behalf of the owners, presented the map amendment to the P&Z Board for their review and recommendation. The intent is to construct a memory care facility with six (6) homes ranging from 5,500 sq. ft. to 6,300 sq. ft. with up to twelve tenants in each unit. The entire project will encompass 4.92 acres, with 2.92 acres being developed and the remaining area will be undisturbed and will include walking trails and outdoor activities.

Adjacent property owners were notified on October 28, 2022.

Savannah Morning News was notified on November 1, 2022.

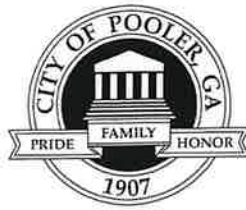
Sign posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, Planning and Zoning recommends approval to rezone approximately 4.92 acres located off Benton Grove from an R1-A Zoning District to a C-2 Zoning District.

Staff Recommendation:

Staff recommends review of the zoning map amendment criteria, prior to making a decision.



PH-3

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

CITY MANAGER
Robert H. Byrd, Jr.

RE: Zoning Map Amendment

PIN#: 5-0017-01-038

CITY ATTORNEY
Steve Scheer

OWNER: Raj Patel

Raj Patel is requesting the City of Pooler to rezone approximately 4.92 acres located off Benton Grove, from R1-A (Single-Family Residential) Zoning District to C-2 (Heavy Commercial) Zoning District. The intended use is for memory loss care/assisted living facility.

Notice is hereby given that a public hearing is scheduled before the Planning & Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the "Official Public Hearing", please complete and submit by mail or fax a "Campaign Disclosure Form" five (5) days prior to the meeting. Further information may be obtained by calling 748-7261 during regular business hours. (File # 221209)

877

City of Pooler Zoning Map Amendment Application

Date: 10/3/22 File #: 221209
Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

- Name of owner/authorized agent: RAJ PATEL
- Address of owner/authorized agent: 110 - GRAND VIEW DR, POOLER, GA-31322
- Telephone number of owner/agent: 912-484-8382
- Have any previous applications been made for a text or map amendment affecting these same premises? ___ Yes or X No
- If yes, give file number, date and action taken: _____
(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

Information Required:

- General location of property (the area) street number and location with respect to nearby public roads in common use: BENTON BLVD
- Legal description of property (name of subdivision, block and lot number):
BENTON GROVE
- PIN #: 5001701038
- Zone Classification: Present R-1A Requested: C-2
- Owner of property: (If same as applicant, leave blank) SGLRP, LLC - HEATH MILLIGAN
- Address of owner: 1642 POWERS FERRY ROAD SE, SUITE 250
- Telephone number of owner: 770-655-3133 / 404 647 4999
- Total area of property: (acres or approximate sq. feet) 4.92 ACRES
- Existing land use (specify such as grocery store, single-family residence, vacant land, etc.)
MEMORY LOSS CARE ASSISTED LIVING.
- Desire land use (specify such as residence, grocery store, mobile home park, etc.) _____

Reasons and Certifications

(Required for all amendments)

- Reasons for requesting change of zoning map which would support the purposes of the zoning program: WOULD LIKE TO DEVELOP ONE OF THE BEST MEMORY LOSS ASSISTED LIVING

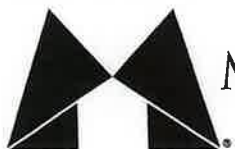
rec. 10/3/22

BENTON GROVE

5 +/- ACRES COMMERCIAL PARCEL POOLER, GEORGIA



SITE



MACALLAN
REAL ESTATE

Information is deemed from reliable sources. No warranty is made as to its accuracy.

HEATH MILLIGAN
PRINCIPAL

404.647.4999

heath@macallanre.com

1642 Powers Ferry Road SE, Suite 250

Marietta, Georgia 30067

BENTON GROVE

SITE PLAN



Information is deemed from reliable sources. No warranty is made as to its accuracy.

HEATH MILLIGAN
PRINCIPAL

404.647.4999
heath@macallanre.com
1642 Powers Ferry Road SE, Suite 250
Marietta, Georgia 30067

Benton Grove LLC

Rezoning request for 4.92 Acres Parcel A Benton Grove

Pooler, GA 31322

Background Information

- West Chatham county is currently underserved when it comes to high quality Memory Care units
- Proposed project would consist of Six units with up to 12 tenants in each unit
- Teaming up with BrightStar Care, who has over 300 units nationwide, to work with them as a franchisee
- Property in question is currently zoned R-1-A
- Request rezoning to C-2 for the Memory Care units



Brightstar Care Homes



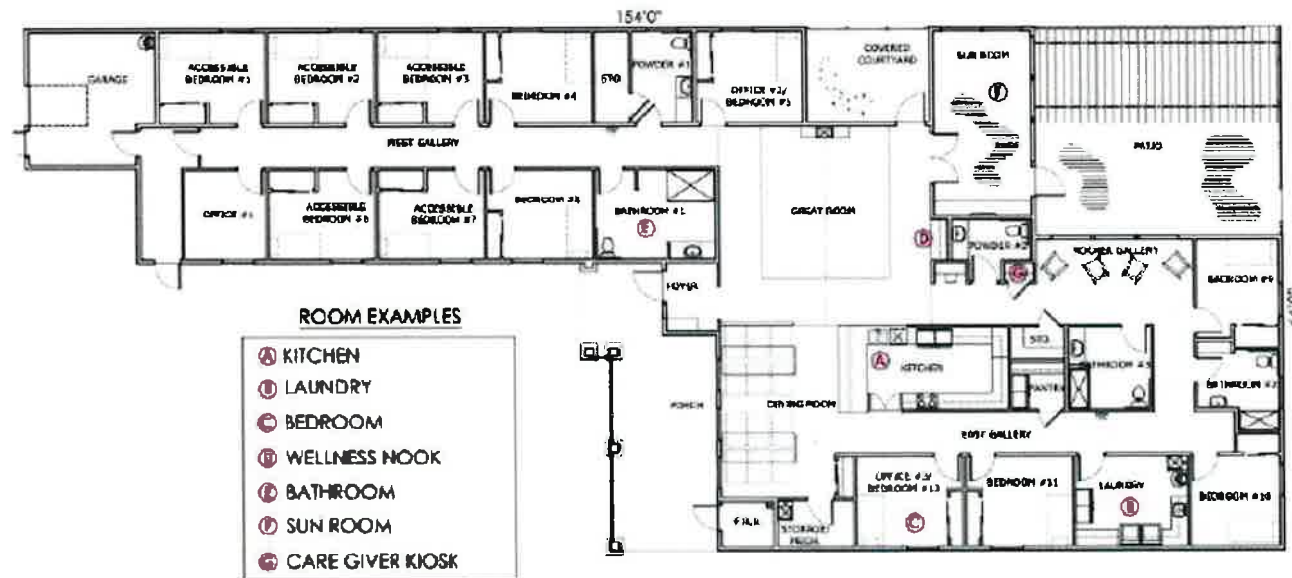
DESIGN IS STATE OF THE art



Brightstar Care Homes

- Proven design
- All homes will be between 5,500 and 6,300 SF
- Basic 12 room Layout for consistency

FLOOR PLAN
12-ROOM LAYOUT



Benefits to the community

- Up to 15 full time positions will be created per unit
- Provide a state of the art memory care facility serving the Pooler and greater Southeast Georgia area
- The entire project will encompass all 4.92 acres with 2.92 acres being developed and 2 acres being undisturbed. These will including walking trails, outdoor facilities and an extremely pleasant environment for the benefit of the tenants

Team Member

- Raj & Teejal Patel
 - Long term residents of Pooler
 - Owns several business in Pooler and in Savannah
 - Have been very active in the community both in business and charities
- Sandesh & Priyanka Pardeshi
 - Partner in 201 Seafood
 - Has partnered with Raj & Teejal Patel on multiple projects
 - Very active in the community both in business and charities
- Dan Mahowald
 - Project Coordinator and partner



SECTION 10. STANDARDS FOR ZONING ORDINANCE OR MAP AMENDMENT

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
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3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
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 2. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 3. Will the action create development opportunities of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
9. Will the action result in public service requirements such as provision of utilities or safety services which because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Raj Patel is requesting the City of Pooler to rezone approximately 4.92 acres located off Benton Grove, from R1-A (Single-Family Residential) Zoning District to C-2 (Heavy Commercial) Zoning District.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Conditional Use request for 1224 E. US Hwy, 80
(PIN# 5-0987-07-017)

Background & Discussion:

Traweck Dickson, presented the conditional use request to the P&Z Board for their review and recommendation. The intent is to construct a 10,000 sq. ft. auto body collision repair facility to include painting, interior and glass repair. The hours of operation will be Monday through Friday, 8:00 a.m. to 5:00 p.m. Mr. Dickson stated that all cars waiting for repairs will be stored behind a screened fence and all noise producing repair operations will be within the enclosed 5-bay facility.

The adjacent property owners were notified on October 28, 2022.

Advertisement was posted in the Savannah Morning News on November 1, 2022

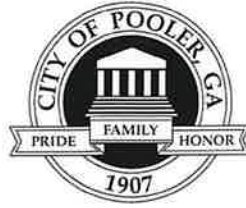
The property was posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval.

Staff Recommendation:

Staff recommends review of the criteria for granting a conditional use prior to making a decision.



PH-4

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Conditional Use

CITY MANAGER
Robert H. Byrd, Jr.

PIN: 5-0987-07-017

OWNER: Traweek Dickson, Jr.

CITY ATTORNEY
Steve Scheer

Traweek Dickson, Jr. has petitioned the City of Pooler for a conditional use to construct an auto body collision repair facility at 1224 E. US Highway 80. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Automotive body, paint, interior and glass repair are only allowed as a conditional use within commercial zoning districts.*

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Monday, November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the "Zoning Map Amendment" before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 221236)



Conditional Use Application

Applicant Information	Applicant <u>Traweek Dickson, Jr.</u>
	Mailing address <u>1318 Pike Road</u>
	City <u>Pike Road</u> State <u>Alabama</u> Zip <u>36064</u>
	Telephone <u>() 334-676-9203</u> Fax <u>()</u>

Property Ownership	Property Owner(s) <u>Scott Keiffer - Keiffer Construction</u>
	Mailing address <u>181 Keiffer Road</u>
	City <u>Springfield</u> State <u>Georgia</u> Zip <u>31329</u>
	Telephone <u>() 912-663-3129</u> Fax <u>()</u>

Contact Person	Contact Person(s) <u>E. Chris Eckroate</u>
	Telephone <u>() 205-907-3895</u> Fax <u>()</u> E-mail <u>chris.eckroate@caprineeng.com</u>

* All staff correspondence will be sent only to one designated contact person.
 * Addresses and telephone numbers do not have to be repeated if provided above.

Request	Location address <u>1224 E. U.S. Highway 80</u>
	Current Zoning <u>C-2, Heavy Commercial</u> Present use <u>Vacant</u>
	Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Auto-Body Collision Repair including paint, interior, and glass. Use is allowable within C-2 under the Conditional Use provision (Table 4.1, 81112). See attached narrative.</u>
	Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Auto-Body Collision repair 8:00 am - 5:00 pm. M-F. Single building: 10,625sf.</u>
	A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Anticipated Const. Start: Feb. 2023 - End: Nov. 2023</u>
	A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>See Narrative</u>

PIN. 5-0989-07.017

CONDITIONAL USE APPLICATION – PROJECT NARRATIVE

Date: 10/12/2022

Project: JHCC Pooler, Georgia

Location: 1224 E. US Highway 80

Zoning: C-2, Heavy Commercial District

Summary: A 10,625sf automobile collision repair facility providing screened storage of vehicles.

1. *The proposed use will not be contrary to the purpose of this ordinance.*

The proposed use for this property as an automobile collision repair facility including paint, interior, and glass repair within the existing C-2, Heavy Commercial District zoning is allowable under the Conditional Use provision of the ordinance. (Table 4.1, 81112)

2. *The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.*

The proposed use is similar to other commercial service establishments along this section of the US Highway 80 corridor where multiple gas stations, construction equipment sales, vehicle tire sales and service, and retail establishments exist and front this section of highway. The proposed use will not generate an inordinate amount of new vehicle trips to this section of the US Highway 80 corridor or persistent or excessively loud noise due to its operations. The vehicle access to the new facility will utilize an existing, common driveway turnout located approximately 300' east of the intersection with Westside Blvd. and directly across US Highway 80 from another driveway serving existing commercial properties.

3. *The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.*

The typical prototype planned for this site employs 10-12 individuals at any given time and customer visits vary but are on the order of 10-20 individuals a day with some delivering automobiles for repair or picking up repaired vehicles at that time. The facility does serve tow and non-articulated automobile transfer trucks for the delivery of vehicles in need of repair with an average of 8 deliveries a day with most deliveries occurring on Fridays.

Storage of vehicles in need of repair, employee parking, and some repaired vehicles awaiting pickup are stored behind a screened fence as shown on the provided site plan. Some repaired vehicles awaiting pick up are stored in the front parking area not within the screened fence and visible to the public, but those vehicles are in a road-worthy condition and not demonstrating excessive collision damage and representative of a typical car parked at a business establishment. Additionally, the vehicle wash bay, exterior parts storage, and trash dumpster are located behind the screened fence.

All noise producing repair operations take place within the enclosed 5-bay facility with only occasional, non-noise producing repairs for things like lights, vehicle exterior pieces, antennas, and similar non-structural items taking place on the exterior yard. A self-contained and enclosed paint booth is located within the facility and is compliant with all EPA air quality standards. There have been no noise or smell complaints levied against their other facilities in similar locations in other municipalities.

During design and construction this facility will comply with the site and storm water guidelines of the City of Pooler and all construction best management practices as mandated by the State of Georgia and the local municipality for the control of erosion and sediments from the site. All local building, fire, plumbing, and other

codes as required will be complied with. Also, this facility will be open to enhanced screening and landscaping along the perimeter buffer areas and those discussions with the municipality.

4. *The proposed use will not be affected adversely by the existing uses of adjacent properties.*

The proposed use is similar to other commercial service establishments along this section of the US Highway 80 corridor where multiple gas stations, construction equipment sales, vehicle tire sales and service, and retail establishments exist and front this section of highway and will not adversely affect this establishment.

5. *The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.*

The lot being considered is sufficient for this facility to operate. All space requirements of the zoning district and storm water ordinance are adequate and met as shown on the site plan accompanying this application.

6. *The parking and all development standards set forth for each particular use for which a permit may be granted will be met.*

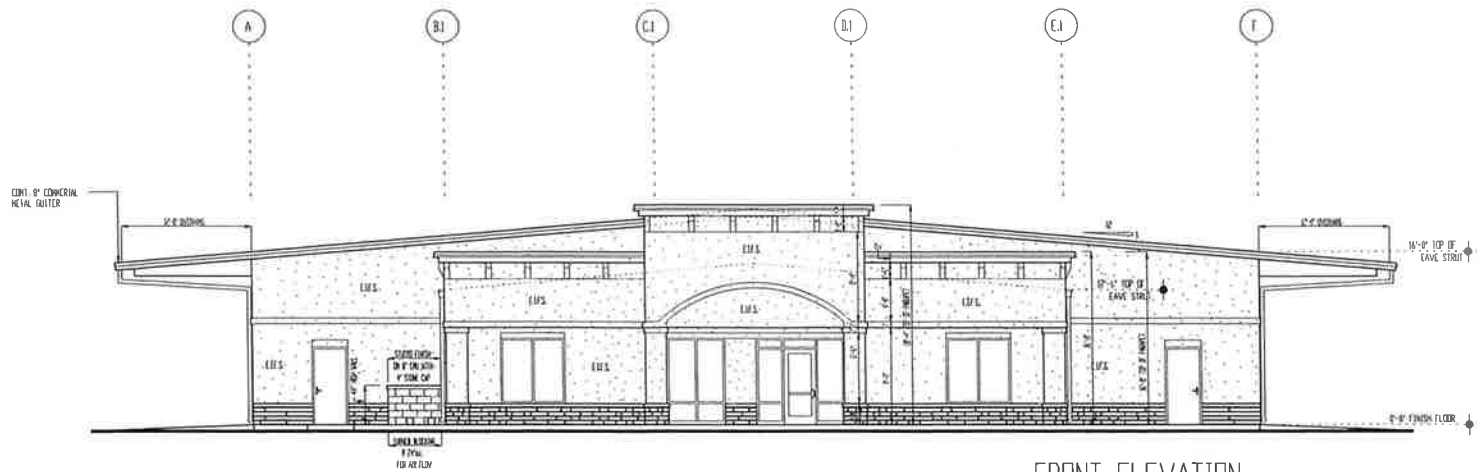
All parking and development standards will be met as shown on the site plan accompanying this application and as reconciled during the forthcoming site review and approval process should the conditional use request be approved.

7. *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

The proposed use is similar to other commercial service establishments along this section of the US Highway 80 corridor where multiple gas stations, construction equipment sales, vehicle tire sales and service, and retail establishments exist and front this section of highway and is consistent with other uses and development within this area.



DLM ARCHITECT, INC.
 P.O. BOX 710
 MOBILE, ALABAMA 36681
 334-467-0715



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

JOE HUDSON
 COLLISION CENTER

SHEET TITLE
 FRONT & BACK ELEVATIONS

PROJECT NUMBER	JOEHUJDH
FILE NUMBER	A30
DATE	OCT 06, 2022
REVISION	

SHEET NUMBER

A3.0







Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Traweek Dickson, Jr. has petitioned the City of Pooler for a conditional use to construct an auto body collision repair facility at 1224 E. US Highway 80. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Automotive body, paint, interior and glass repair are only allowed as a conditional use within commercial zoning districts.*

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Conditional Use request to construct a funeral home at 1019 W. US Hwy. 80 (PIN# 5-0016-02-013)

Background & Discussion:

Scott Burns, with Campbell and Sons Funeral Homes, presented the conditional use request to the P&Z Board for their review and recommendation. The intent is to construct 3,307 sq. ft. building and the infrastructure to support it, with 54 parking spaces. There will be no crematorium on site.

The adjacent property owners were notified on October 28, 2022.

Advertisement was posted in the Savannah Morning News on November 1, 2022

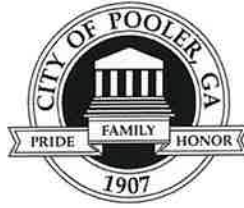
The property was posted on November 1, 2022.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval.

Staff Recommendation:

Staff recommends review of the criteria for granting a conditional use prior to making a decision.



PH 6

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: October 28, 2022

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Conditional Use

PIN: 5-0016-02-013

CITY MANAGER
Robert H. Byrd, Jr.

OWNER: Campbell and Sons Funeral Home, Inc.

CITY ATTORNEY
Steve Scheer

Campbell & Sons Funeral Home, Inc. has petitioned the City of Pooler for a conditional use to construct a funeral home at 1019 W. Hwy 80. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Funeral Homes are only allowed as a conditional use within commercial zoning districts.*

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, November 14, 2022 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Monday, November 21, 2022 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the "Zoning Map Amendment" before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 221248)



File # 221248
RECEIVED
 OCT 14 2022
 ZONING DEPARTMENT

Conditional Use Application

Applicant Information	Applicant <u>Coastal Engineering & Consulting</u> Mailing address <u>6605 Abercorn Street, Suite 210D</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31405</u> Telephone (<u>912</u>) <u>964-4509</u> Fax (<u>912</u>) <u>964-4509</u>
Property Ownership	Property Owner(s) <u>Campbell and Sons Funeral Home Inc.</u> Mailing address <u>124 West Park Avenue</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31401</u> Telephone (<u>912</u>) <u>234-7226</u> Fax (<u> </u>) <u> </u>
Contact Person	Contact Person(s) <u>C. Scott Burns</u> Telephone (<u>912</u>) <u>964-4509</u> Fax (<u>912</u>) <u>964-4509</u> E-mail <u>sburns@cecofga.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>1019 West Highway 80</u> <u>Pin - 5 - 0016.02-013</u> Current Zoning <u>C-1</u> Present use <u>vacant</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Proposed construction of a funeral home at this location. Site is currently zoned C-1</u> <hr/> Description of the activities, # of units and hours of operation of the proposed conditional use: <hr/> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Start of Construction - 01/2023</u> <hr/> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>Erosion control plans will be created to ensure construction sediment and runoff do not leave the site. Site lighting will be installed to ensure lighting does not impact neighboring properties.</u>

PROPERTY INFORMATION:
 TOTAL AREA: 1.949 ACRES
 DISTURBED AREA: 1.949 ACRES

ZONING INFORMATION: C-1

MAXIMUM BUILDING HEIGHT ALLOWED: 45'
 PROPOSED BUILDING HEIGHT: 24'-8"

PROPOSED USE: THE PURPOSE OF THE PROJECT
 IS TO CONSTRUCT A FUNERAL HOME

PARKING REQUIREMENTS:

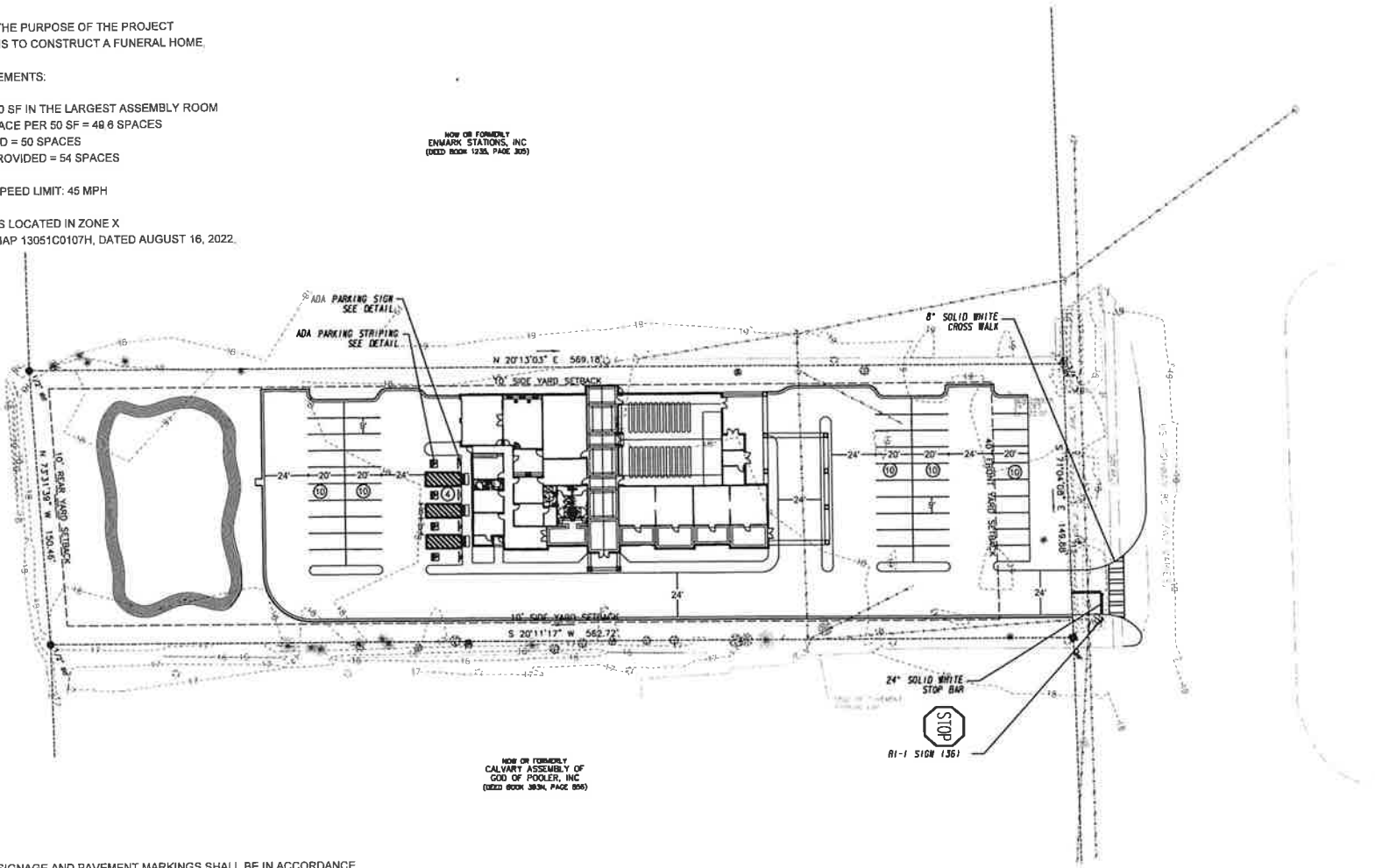
0.75 SPACE PER 50 SF IN THE LARGEST ASSEMBLY ROOM
 3,307 SF * 0.75 SPACE PER 50 SF = 49.6 SPACES
 SPACES REQUIRED = 50 SPACES
 TOTAL SPACES PROVIDED = 54 SPACES

US HIGHWAY 80 SPEED LIMIT: 45 MPH

THIS PROPERTY IS LOCATED IN ZONE X
 BASED ON FIRM MAP 13051C0107H, DATED AUGUST 16, 2022.

NOW OR FORMERLY
 ENMARK STATIONS, INC
 (DEED BOOK 1235, PAGE 305)

NOW OR FORMERLY
 CENTRAL OF GEORGIA
 RAILROAD

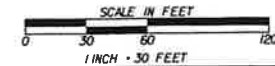


NOW OR FORMERLY
 CALVARY ASSEMBLY OF
 GOD OF POOLER, INC
 (DEED BOOK 3834, PAGE 896)

- NOTES:
- 1) ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS
 - 2) IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE
 - 3) THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.
 - 4) THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COSTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

IMPERVIOUS AREA CALCULATION

TOTAL SITE AREA: 84,886 SF
 PROPOSED IMPERVIOUS AREA: 52,474 SF
 TOTAL GREENSPACE AREA: 32,414 SF (38.2%)



NO.	REVISIONS

COASTAL ENGINEERING AND CONSULTING

6605 ABERCORN STREET, SUITE 210D
 SAVANNAH, GA 31405
 PH: (912) 964-4509

CAMPBELL AND SONS FUNERAL HOME
 POOLER, GEORGIA

CAMPBELL AND SONS FUNERAL HOME, INC.

SITE PLAN

SHEET NO.

C400



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Campbell & Sons Funeral Home, Inc. has petitioned the City of Pooler for a conditional use to construct a funeral home at 1019 W Hwy 80. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Funeral Homes are only allowed as a conditional use within commercial zoning districts.*

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: November 21, 2022

Subject: Minor Subdivision plat of Outparcel 5, Mosaic Towne Center (PIN# 5-1009-01-098)

Background & Discussion:

Travis Bazemore, with EMC Engineering, presented the plat to the P&Z Board for their review and recommendation. The intent is to create two (2) outparcels from a 1.75-acre parcel, located within the Mosaic Retail Center Development, off Pooler Parkway.

Planning and Zoning Recommendation:

P&Z recommends approval.

Staff Recommendation:

The minor subdivision plat meets the requirements of the subdivision ordinance. Therefore, staff recommends approval.

RECEIVED Pooler Subdivision Application

NOV 02 2022

File # 221324
Date Filed: 11/3/22

ZONING DEPARTMENT

This application along with the application fee of \$ 350.00 (see schedule of fees) is to be submitted to the Planning & Zoning Department.

NB-1

Check all that apply:

- Recombination
- Minor Subdivision
- Final Plat
- Revised Subdivision Plat
- Major Subdivision
- 5-Acre Tract

General Information

DREW FLEMING

- Owner or authorized agent: M & D PROPERTY VENTURES, LLC. Phone: 404-806-2755
- Property address: POOLER PIKE
- Mailing address: 2127 MITCHELL ROAD NE MARIETTA GA 30062

If agent, please attach authorization of property owner signed, dated and notarized.

- Have any previous applications been made for a subdivision affecting these same premises?
NO If yes, please give date and action taken below:
Date _____ Action taken: _____
- Copy of current tax bill showing payments or documentation certified by the City of Pooler.

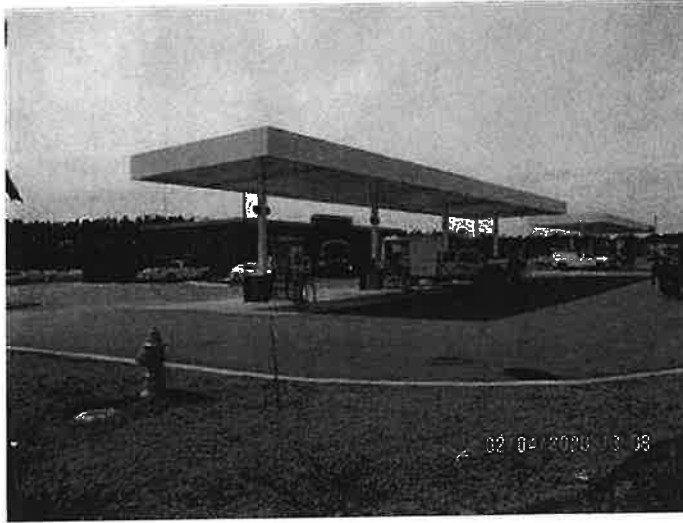
Action Requested

1. General location of property in question (the area, street number and location with respect to nearby public roads in common use).
INTERSECTION OF MOSIAC CIRCLE AND WESTBROOK LANE
2. Legal description of property (name of subdivision, block and lot number, etc.) Attach extra sheet if necessary.
PARCEL E REMAINING PT OF TCT 11 SOUTHWEST QUADARANT OF SAVANNAH QUARTERS
3. PIN # 51009 01098
4. Total area of property in question (acres or square feet) 1.75 ACRES
5. Existing land use (specify such as, grocery store, single family residence, vacant land, etc.)
VACANT COMMERCIAL PROPERTY
6. Desired land use of each parcel of property (specify as above)
COMMERCIAL DEVELOPMENT

- 6601:CHAIN LINK FENCE, GALVANIZED

364

RECEIVED
NOV 02 2022
ZONING DEPARTMENT





RECEIVED
NOV 02 2022
ZONING DEPARTMENT

AGENDA ITEM

Date: November 21, 2022

Subject: Site Plan/Landscape Plan for 1543 Dean Forest Road
(PIN # 5-0988-04-015A)

Background & Discussion:

Lamar Mercer, with Thomas & Hutton Engineering, presented the site plan to the P&Z Board for their and recommendation. The developer is proposing an expansion of the previously approved logistics terminal for trailers. Included in this development is the storm water infrastructure, septic drain field and water well to serve the existing 5,700 sq. ft. office building.

Planning and Zoning Recommendation:

P&Z recommended approval of the site plan/landscape plan for 1543 Dean Forest Road.

Staff Recommendation:

Staff recommends approval, contingent upon the Stormwater Agreement being recorded prior to a preconstruction meeting being scheduled.

NB-2

City of Pooler Site Plan Application

RECEIVED

JUL 20 2022

ZONING DEPARTMENT

Zip 31405

Applicant Information	Applicant <u>Thomas & Hutton Engineering Co.</u> Mailing address <u>50 Park of Commerce Way</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912) 721-4137</u> Fax () _____
Property Ownership	Property Owner(s) <u>1545 Dean Forest LLC</u> Mailing address <u>1545 Dean Forest Road</u> City <u>Pooler</u> State <u>Georgia</u> Zip <u>31408</u> Telephone <u>(912) 210-0165</u> Fax () _____
Contact Person	Contact Person(s) <u>Evan Dickson - Thomas & Hutton</u> Mailing address <u>50 Park of Commerce Way</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912) 721-4137</u> Fax () _____ E-mail <u>dickson.e@tandh.com</u>
Request	Location address ¹⁵⁴³ <u>1545 Dean Forest Road</u> Current Zoning <u>I-2</u> Parcel Identification Number <u>509-88-04-014 , 509-88-04-015</u> <u>509-88-04-015A</u> Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: <u>1545 Dean Forest LLC is proposing an expansion of the previously permitted logistics terminal for trailers. Included with this development is stormwater infrastructure, septic drainfield and water well to serve an existing 5,700 SF office building. The expansion of the site will occur to the south by adding parcel 509-88-04-015A.</u>
Participating Contractors	Please list the name and address of all participating contractors: (Surveyor, engineer, architect, installer, developer, etc.) Name <u>Felipe Toledo, P.E. - Thomas & Hutton</u> License # <u>47306</u> Mailing address <u>50 Park of Commerce Way</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912) 721-4137</u> Fax () _____ E-mail <u>toledo.f@tandh.com</u>

Recomb. Plat required -



November 2nd, 2022

Felipe I. Toledo, P.E.
Thomas & Hutton
50 Park of Commerce Way
Savannah, GA 31405

Dear Mr. Toledo,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted under the cover of ‘Transportation Logistics Terminal’, also known as ‘1545 Dean Forest Expansion’.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Oct. 2022
	Plat Drawing.....	Oct. 2022
	Lighting Plan.....	Oct. 2022
	Geotechnical Report.....	Oct. 2022
	Stormwater Management Report.....	Oct. 2022
	Stormwater Maintenance Agreement & Plan.....	Oct. 2022
	Traffic Memorandum.....	Oct. 2022
	USACE Nationwide Permit No. 39.....	Oct. 2022
	GASWCC Approval of ES&PC Plans.....	Oct. 2022
	GDOT Encroachment Permit.....	Oct. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

OPERATIONS

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City of Pooler
Kimberly Classen, CFM; City of Pooler
Liberto Chacon, PE; EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this 4th day of May, 2022, by and between 1545 Dean Forest, LLC, hereinafter "Landowner," and the City of Pooler, Georgia, hereinafter "City."

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real properties described as Northern Portion of Tract One and Tract Two A.M. Wall Tract Dean Forest Road, Chatham County Parcel Identification Numbers 5098804014 and 5098804015 as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 53 Page 284, and Southern Portion of Tract One A.M. Wall Tract Dean Forest Road, Chatham County Parcel Identification Number 5098804015A as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 2060 Page 168, addressed 1545 Dean Forest Road Savannah, GA 31408 hereinafter "Property"; and

WHEREAS, the Landowner is proceeding to build on and develop the property; and

WHEREAS, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within the confines of the Property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowner's association, agree the health, safety, and welfare of the residents of the city of Pooler, Georgia, require on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowner's association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1) The on-site stormwater maintenance facilities/infrastructure shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without express prior approval by the City.

2) The Landowner, its successors and assigns, including any homeowner's association, shall at all times adequately maintain the stormwater maintenance facilities/infrastructure. Such maintenance obligation shall include the obligation to properly maintain all pipes, channels or other conveyances built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.

3) The Landowner, its successors and assigns, including any homeowner's association, shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Landowner's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Landowner's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.

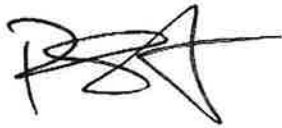
- 4) The Landowner, its successors and assigns, including any homeowner's association, hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Landowner, its successors and assigns, including any homeowner's association, shall be notified of the same.
 - 5) In the event the Landowner, its successors and assigns, including any homeowners association, fails to maintain the stormwater maintenance facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns, including any homeowners association. This provision shall not be construed to allow the City to erect any structure of permanent nature on the land of the Landowner, its successors and assigns, including any homeowner's association. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.
 - 6) The Landowner, its successors and assigns, including any homeowner's association, shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.
 - 7) In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, including any homeowners association, shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.
 - 8) This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner, its successors and assigns, including any homeowner's association, agrees to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.
 - 9) This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land and shall be binding on the Landowner, its successors and assigns, including any homeowner's association.
 - 10) This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, this Agreement shall be subordinate to any such applicable law(s).
 - 11) The Landowner and City hereby agree and expressly consent the provisions herein represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.
 - 12) This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument. Signatures via facsimile or scanned PDF signatures shall be deemed original signatures.
-

13) Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

WITNESS the following signatures and seals on the day and year first above written.

Name of Company: 1545 Dean Forest, LLC

By: Ryan Smith



Title: Owner

Sworn to and subscribed before me this 13th day of May, 2022.

Witness


Elizabeth W. Rose
Notary Public



ATTACHMENT A
“Inspection and Maintenance Schedule”

Routine Maintenance Activities Typically Associated with Stormwater Ponds *	
Activity	Schedule
<ul style="list-style-type: none"> • Water side slopes and buffers to promote plant growth and survival. • Inspect side slopes and buffers following rainfall events. Plant replacement vegetation in any eroded areas. 	<p>As Needed (Following Construction)</p>
<ul style="list-style-type: none"> • Remove any accumulated sediment and debris from inlet and outlet structures. 	<p>Monthly</p>
<ul style="list-style-type: none"> • Inspect side slopes and buffers for erosion. Plant replacement vegetation in any eroded areas. • Inspect side slopes and buffers for dead or dying vegetation. Plant replacement vegetation as needed. • Inspect side slopes and buffers for invasive vegetation and remove as needed. • If applicable, monitor wetland vegetation and perform replacement planting as necessary. 	<p>Annually (Semi-Annually During First Year)</p>
<ul style="list-style-type: none"> • Inspect for damage, paying particular attention to the control structure and side slopes. Repair as necessary. • Inspect side slopes for erosion and undercutting and repair as needed. • Check for signs of eutrophic conditions (e.g., excessive algal growth). • Check for signs of hydrocarbon accumulation and remove appropriately. • Monitor sediment markers for sediment accumulation in forebays and permanent pools. • Examine to ensure that inlet and outlet devices are free of sediment and debris and are operational. • Check all control gates, valves and other mechanical devices. 	<p>Annually</p>
<ul style="list-style-type: none"> • Remove sediment from forebay. 	<p>5 to 7 years or after 50% of the total forebay storage capacity has been lost</p>
<ul style="list-style-type: none"> • Monitor sediment markers for sediment accumulation and remove sediment when the permanent pool volume has become reduced significantly, or when the pond becomes eutrophic. 	<p>10 to 20 years or after 25% of the permanent pool volume has been lost</p>

* Source: Georgia Coast Stormwater Supplement – Section 8-32 – Maintenance Requirement (April 2009)

Routine Maintenance Activities Associated with Reinforced Concrete Pipes & Structures	
Activity	Schedule
<ul style="list-style-type: none"> Inspect to ensure that the pipe system is clear of sediment and debris. Remove any accumulated sediment and debris. 	Bi- Annual
<ul style="list-style-type: none"> Inspect to ensure that the structures are clear of sediment and debris. Remove any accumulated sediment and debris. 	Bi- Annual
<ul style="list-style-type: none"> Inspect Structures for standing water following rainfall events. Failure to completely drain within 72 hours after the end of a rainfall even may indicate system failure. Follow up inspection will be necessary. 	Bi- Annual (After Rainfall Events)

THIS SPACE RESERVED FOR THE
 CLERK OF SUPERIOR COURT

LEGEND

●	ADJ. QUANTITY MARK	○	CON. PERMANENT EASE
○	CUR. (E.C.) (SEE 800 NUMBER)	○	CON. PERMANENT EASE
○	ADJ. QUANTITY MARK	○	CON. PERMANENT EASE

LINE-TYPE LEGEND

—————	ADJ. QUANTITY MARK
—————	ADJ. QUANTITY MARK

HATCH PATTERN LEGEND

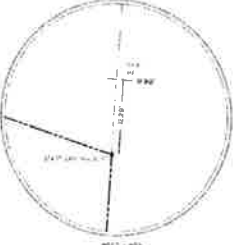
[Hatch Pattern]	ADJ. QUANTITY MARK
[Hatch Pattern]	ADJ. QUANTITY MARK

NOTES

1. THIS PLAN SHOWS THE RECOMBINATION OF THE LAND DESCRIBED IN THE ATTACHED INSTRUMENTS TO THE CITY OF POOLER, GEORGIA.
2. THE CITY OF POOLER HAS REVIEWED THIS PLAN AND HAS APPROVED THE RECOMBINATION OF THE LAND DESCRIBED IN THE ATTACHED INSTRUMENTS TO THE CITY OF POOLER, GEORGIA.
3. THE CITY OF POOLER HAS REVIEWED THIS PLAN AND HAS APPROVED THE RECOMBINATION OF THE LAND DESCRIBED IN THE ATTACHED INSTRUMENTS TO THE CITY OF POOLER, GEORGIA.

REFERENCE

ALL OF A 1/4 ACRES A PORTION OF THE SW 1/4 ACRES TRACT 1A...



CERTIFICATE OF OWNERSHIP AND DEDICATION

THE CITY OF POOLER HAS REVIEWED THIS PLAN AND HAS APPROVED THE RECOMBINATION OF THE LAND DESCRIBED IN THE ATTACHED INSTRUMENTS TO THE CITY OF POOLER, GEORGIA.

Ryan Smith 8-28-22

CITY OF POOLER APPROVAL

APPROVED BY THE MAYOR OF THE CITY OF POOLER:

[Signature]

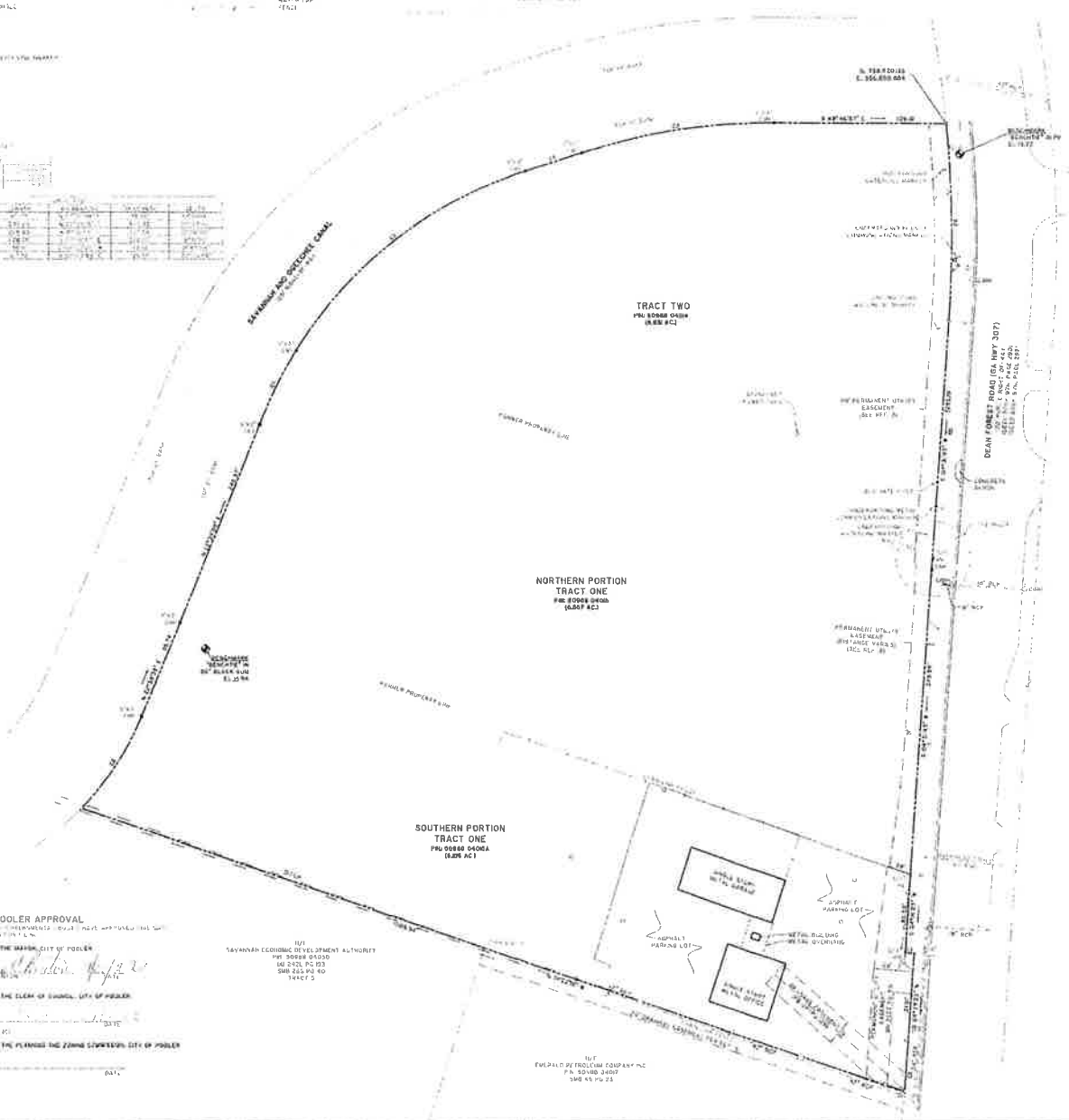
APPROVED BY THE CLERK OF SUPERIOR COURT OF POOLER:

SAVANNAH ECONOMIC DEVELOPMENT AUTHORITY

PREPARED BY: [Signature]

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF POOLER:

PREPARED BY: [Signature]



SURVEYOR'S CERTIFICATION

I, the undersigned, being a duly licensed Professional Engineer in the State of Georgia, do hereby certify that the foregoing is a true and correct copy of the original records on file in my office.

[Signature]

RECOMBINATION PLAT

17.604 ACRES

NORTHERN PORTION OF TRACT ONE

SOUTHERN PORTION OF TRACT ONE

AND TRACT TWO

A.M. WALL TRACT

DEAN FOREST ROAD

PREPARED BY: [Signature]

PREPARED FOR: 1545 DEAN FOREST, LLC

THOMAS & HUTTON

59 Park of Commerce Way
 Savannah GA 31404 • 912.234.5300
 www.thomasandhutton.com





CITY OF POOLER

100 Southwest Highway 80
Pooler, Georgia 31322
(912) 748-7261
www.pooler-ga.gov

Mayor
Rebecca C. Benton

CITY COUNCIL

Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

Robert H. Byrd, Jr. - City Manager

Steve Scheer - City Attorney

May 4, 2022

RECEIVED
JUL 20 2022
ZONING DEPARTMENT

Trinity Property Holdings, LLC
2821 Club Drive
Greensboro, GA 30642

RE: Zoning Map Amendment

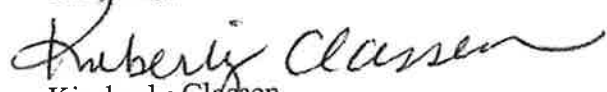
PIN: 5-0988-04-015A

Dear Sir/Madam:

During their regularly scheduled meeting on Monday, May 2, 2022, Mayor and Council approved your request to rezone 1545 Dean Forest Road from C-2 (Heavy Commercial) to I-2 (Heavy Industrial) Zoning District, based on the request meeting the criteria.

Enclosed is a copy of the resolution and a copy of the minutes wherein this action was taken. Also, please do not hesitate to call if I can be of further assistance to you.

Sincerely,


Kimberly Classen
Zoning Administrator

cc: Robbie Byrd ~ City Manager
Jim Collins ~ Thomas & Hutton Engineering
File

STATE OF GEORGIA)
COUNTY OF CHATHAM)

RESOLUTION

WHEREAS, Clifton-Dorsey, LLC, submitted by application to the City of Pooler on the 22nd day of March 2022, a request for a Zoning Map Amendment. Project # 220323; and,

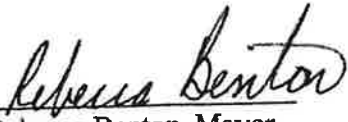
WHEREAS, Petitioner requests the following: to rezone 1827, 1831 & 1835 Dean Forest Road and two (2) outparcels on Old Louisville Road, known as Lots A & B, a portion of Lot 4, Section 4C of the D.R. Thomas Tract, from a C-2 (Heavy Commercial) and RA-1 (Residential Agricultural) Zoning Districts to an I-1 (Light Industrial) Zoning District. Parcel Identification Numbers 5-0924C-02-006, 5-0924C-02-007, 5-0924C-02-008, 5-0924C-02-014 & 5-0924C-02-015, and,

WHEREAS, all procedural requirements for the enactment of a Zoning Map Amendment to the City of Pooler Zoning Ordinance as required by Georgia Zoning Procedures Law O.C.G.A §36-66-1 *et seq.* have been met; and,

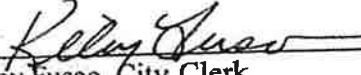
WHEREAS, in order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the standards listed in Appendix A, Article V, Section 10 of the City of Pooler Code of Ordinances have been reviewed and considered by the Planning and Zoning Commission, the Mayor, the Council, and the public.

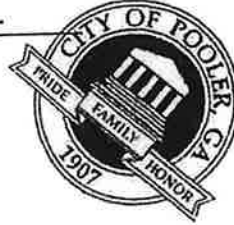
THEREFORE BE IT RESOLVED by the Mayor and Council duly assembled in open meeting to approve the Zoning Map Amendment, based on review of the criteria.

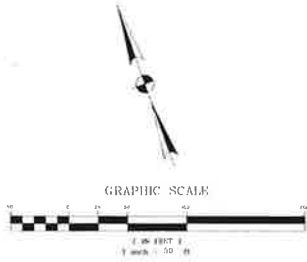
SO RESOLVED on the 2nd day of May 2022


Rebecca Benton, Mayor

Attested by:


Kiley Fusco, City Clerk





PAVEMENT LEGEND

- HEAVY DUTY CONCRETE 8" (100% TOTAL) (1" FASING) (CONCRETE)
- MEDIUM DUTY CONCRETE 7" (100% TOTAL) (1" FASING) (CONCRETE)
- LIGHT DUTY CONCRETE 6" (100% TOTAL) (1" FASING) (CONCRETE)
- ASPHALT CONCRETE 4" (100% TOTAL) (1" FASING) (CONCRETE)
- ASPHALT CONCRETE 3" (100% TOTAL) (1" FASING) (CONCRETE)
- ASPHALT CONCRETE 2" (100% TOTAL) (1" FASING) (CONCRETE)

SEE ALSO: PAVEMENT AND CURB/ELEVATIONS
PAVEMENT AND CURB/ELEVATIONS TO BE SHOWN IN THE FIELD BY THE CONTRACTOR.

PARKING SUMMARY

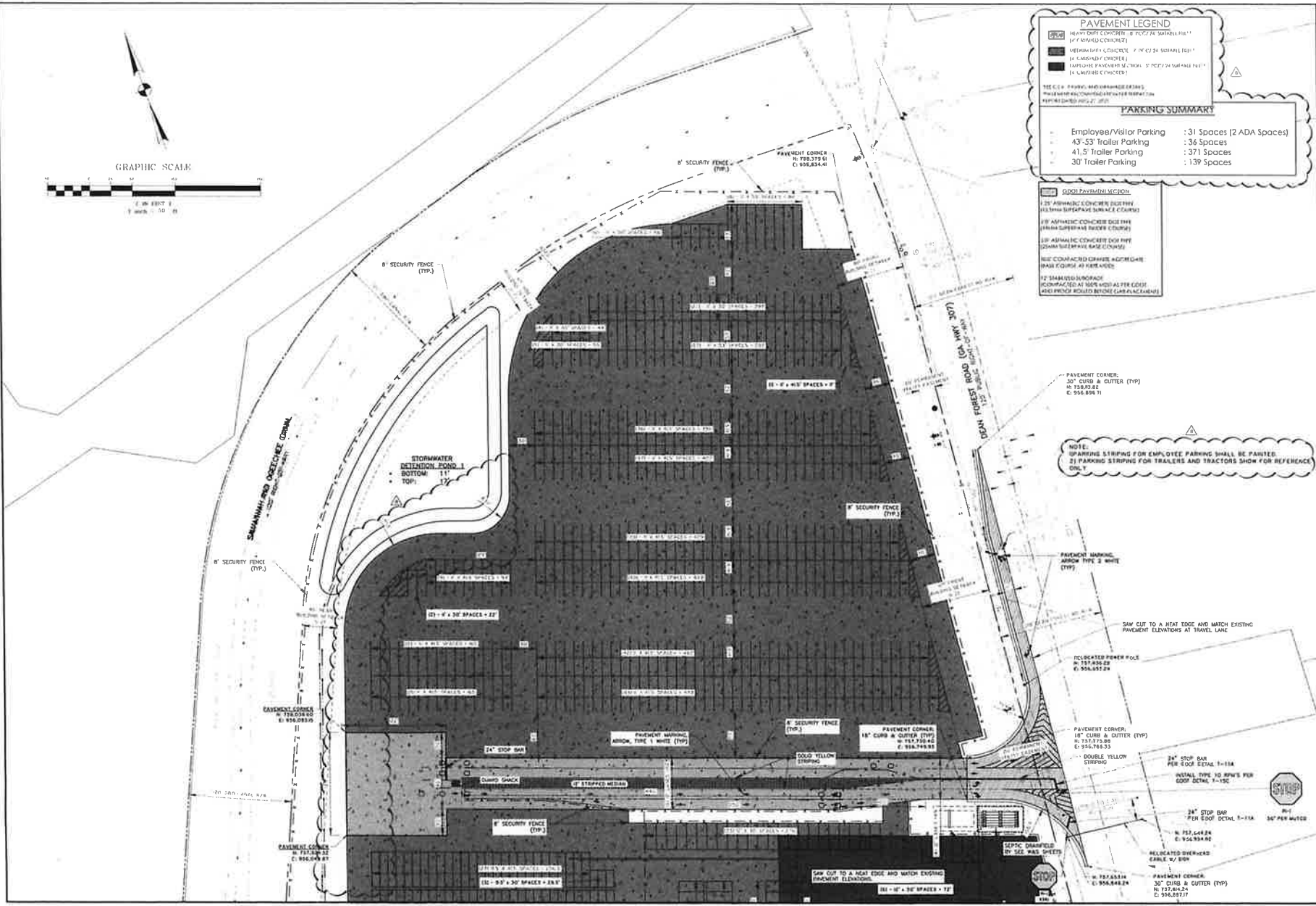
- Employee/Visitor Parking : 31 Spaces (2 ADA Spaces)
- 43'-53' Trailer Parking : 36 Spaces
- 41.5' Trailer Parking : 371 Spaces
- 30' Trailer Parking : 139 Spaces

GOOD PAVEMENT SECTION

- 1.5" ASPHALTIC CONCRETE SURFACE COURSE (25MM SUPERPAVE SURFACE COURSE)
- 1.5" ASPHALTIC CONCRETE BASE COURSE (25MM SUPERPAVE BASE COURSE)
- 1.5" ASPHALTIC CONCRETE SUB-BASE COURSE (25MM SUPERPAVE SUB-BASE COURSE)
- 1.5" ASPHALTIC CONCRETE BASE COURSE (25MM SUPERPAVE BASE COURSE)
- 1.5" ASPHALTIC CONCRETE SUB-BASE COURSE (25MM SUPERPAVE SUB-BASE COURSE)
- 1.5" ASPHALTIC CONCRETE SURFACE COURSE (25MM SUPERPAVE SURFACE COURSE)

SEE COMPACTED CURB AND GUTTER
BASE COURSE 48 HOURS AFTER
INSTALLATION AND BEFORE
PAVEMENT IS LAYED AT SIDE WALK AS PER COST
AND PRACTICE RESULTS BEFORE LAYING PAVEMENT

NOTE:
1) PARKING STRIPING FOR EMPLOYEE PARKING SHALL BE PAINTED
2) PARKING STRIPING FOR TRAILERS AND TRACTORS SHOWN FOR REFERENCE ONLY

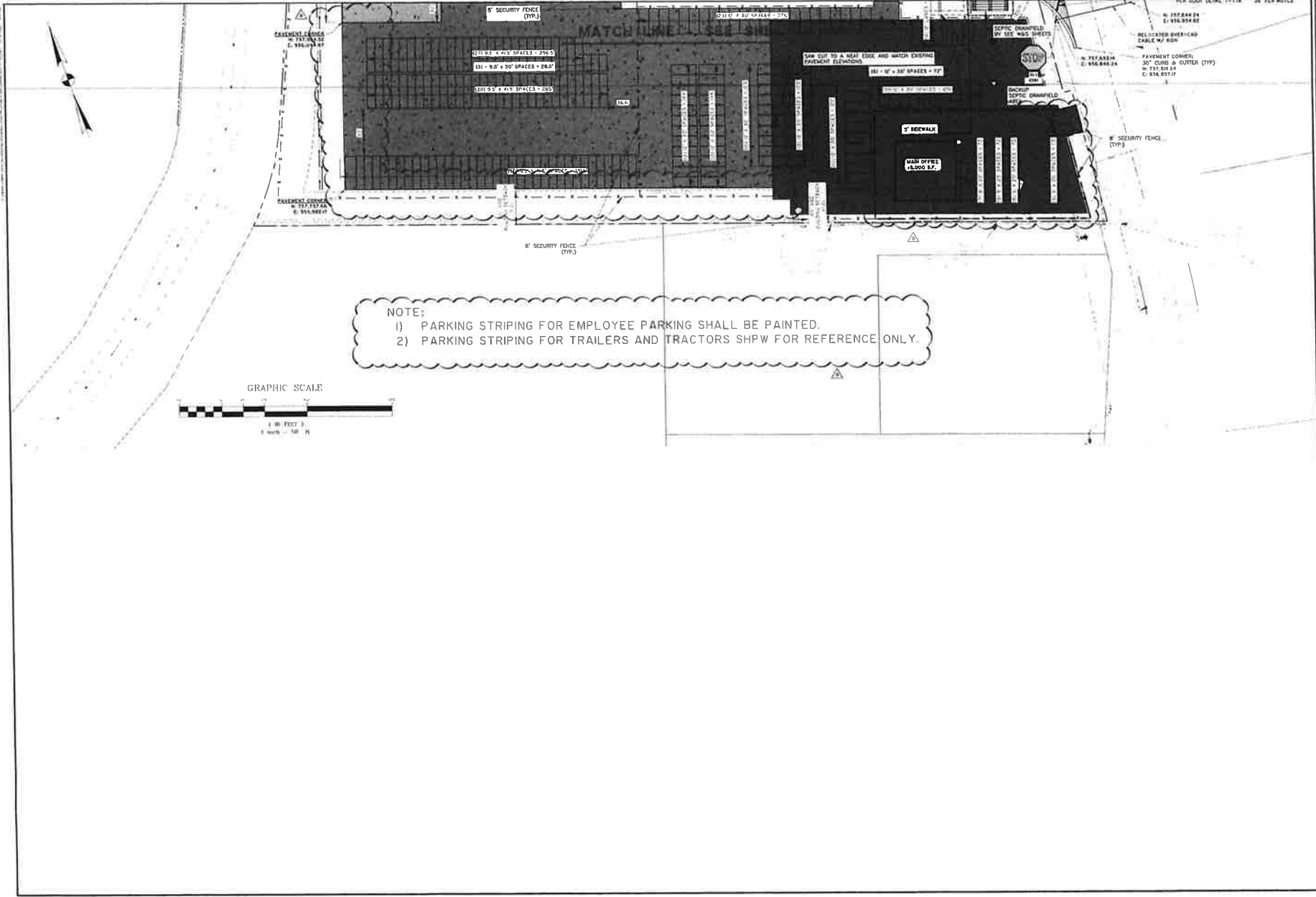


1. PROJECT NO.	1545 DEAN FOREST
2. PROJECT NAME	TRANSPORTATION LOGISTICS TERMINAL
3. PROJECT LOCATION	1545 DEAN FOREST, GAITHERSBURG, MD
4. PROJECT DATE	12/15/2018
5. PROJECT STATUS	AS BUILT
6. PROJECT TYPE	TRANSPORTATION
7. PROJECT OWNER	THOMAS HUTTON
8. PROJECT CONTACT	THOMAS HUTTON
9. PROJECT PHONE	410-286-1111
10. PROJECT FAX	410-286-1111
11. PROJECT EMAIL	THUTTON@THUTTON.COM
12. PROJECT WEBSITE	WWW.THUTTON.COM

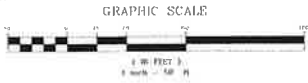
THOMAS HUTTON
30 Park of Commerce Way
Spartanburg, SC 29306-2204, USA
www.thomashutton.com

1545 DEAN FOREST LLC
TRANSPORTATION LOGISTICS TERMINAL
SITE LAYOUT, STRIPING & SIGNAGE PLAN

C1.1



NOTE:
 1) PARKING STRIPING FOR EMPLOYEE PARKING SHALL BE PAINTED.
 2) PARKING STRIPING FOR TRAILERS AND TRACTORS SHPW FOR REFERENCE ONLY.

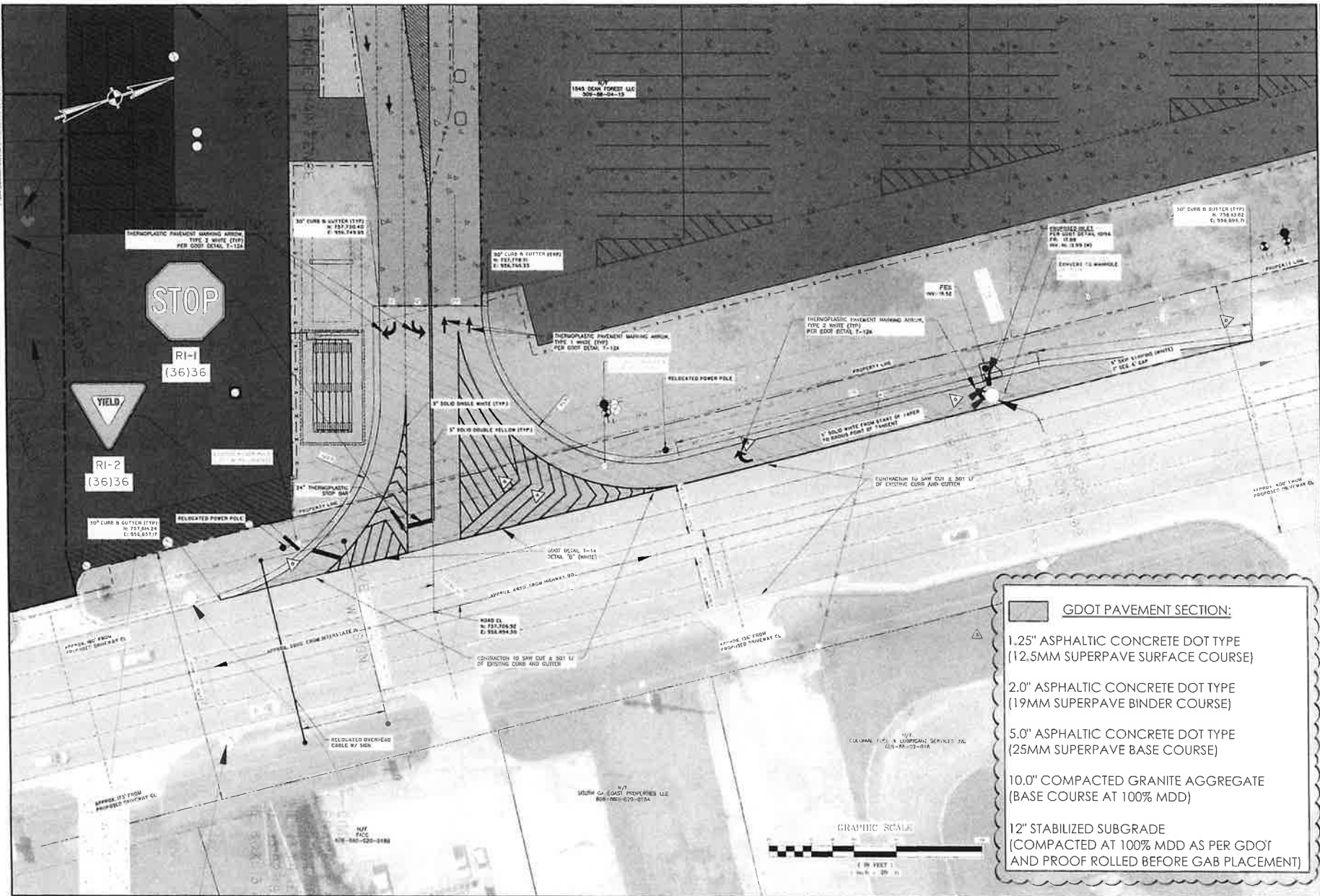


DATE: 08/20/2018
 TIME: 10:00 AM
 PROJECT: 1545 DEAN FOREST LLC
 DRAWING: SITE LAYOUT, STRIPING & SIGNAGE PLAN

THOMAS HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

1545 DEAN FOREST LLC
 PROJECT LOCATION
 TRANSPORTATION LOGISTICS TERMINAL
 SITE LAYOUT, STRIPING & SIGNAGE PLAN

C1.2



DATE: 08-14-23
 SCALE: AS SHOWN
 REVISIONS:
 1. ADD USER COMMENTS

THOMAS HUTTON
 50 Bay of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomashutton.com

1545 DEAN FOREST LLC.
 PROJECT: 230001
 TRANSPORTATION LOGISTICS TERMINAL
 GDOT DRIVEWAY ENCROACHMENT PLAN

DATE: 07/28/24
 DRAWN: JRM
 CHECKED: JRM
 APPROVED: JRM

GDOT1

TREE PROTECTION SUMMARY

Article VI, Code of Ordinances - Pooler, Georgia

MINIMAL TREE COVERAGE - Sec. 42-197

REQUIRED NUMBER OF TREES PER DEVELOPABLE ACRE	15
DEVELOPABLE LAND (excluding buffers, wetlands, and lakes)	17.6 AC
REQUIRED NUMBER OF TREES	264 TREES
TREES PROVIDED (6 existing + 258 planted)	264 TREES
PARKING LOT ISLAND COVERAGE - Sec. 42-200	
PARKING SPACES	31
TREES REQUIRED (1 tree per 12 spaces)	3
TREES PROVIDED	3

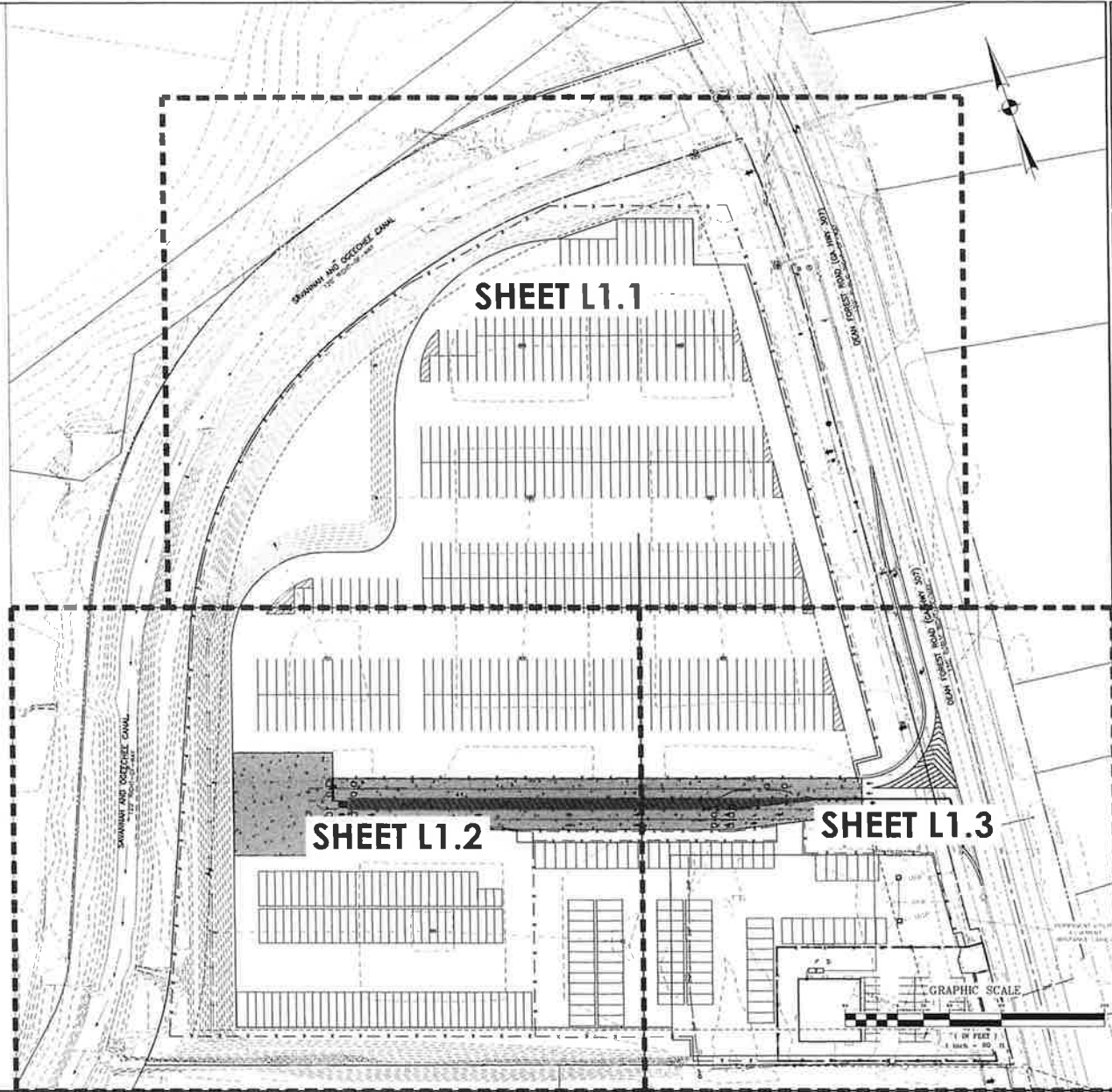
EXISTING TREES TO BE PROTECTED	
● 1 TREE	○ TREES
● 2 TREES (+ 34")	○ TREES
● 3 TREES (+ 34")	○ TREES
● 4 TREES (+ 34")	○ TREES
TOTAL TREES TO BE PROTECTED 6 TREES	

TREE MITIGATION SUMMARY

Article VI, Code of Ordinances - Pooler, Georgia

SECTION 42-198 - SIGNIFICANT TREES

INCHES OF SIGNIFICANT TREES REMOVED	197
INCHES OF MITIGATION PLANT BACK PROVIDED (6" cal. trees required for mitigation)	198
INCHES OF DEFICIT TO BE PAID TO THE TREE FUND	0



DATE	BY	APP'D

THOMAS HUTTON
 PROFESSIONAL ENGINEER
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.224-5300
 www.thomashutton.com

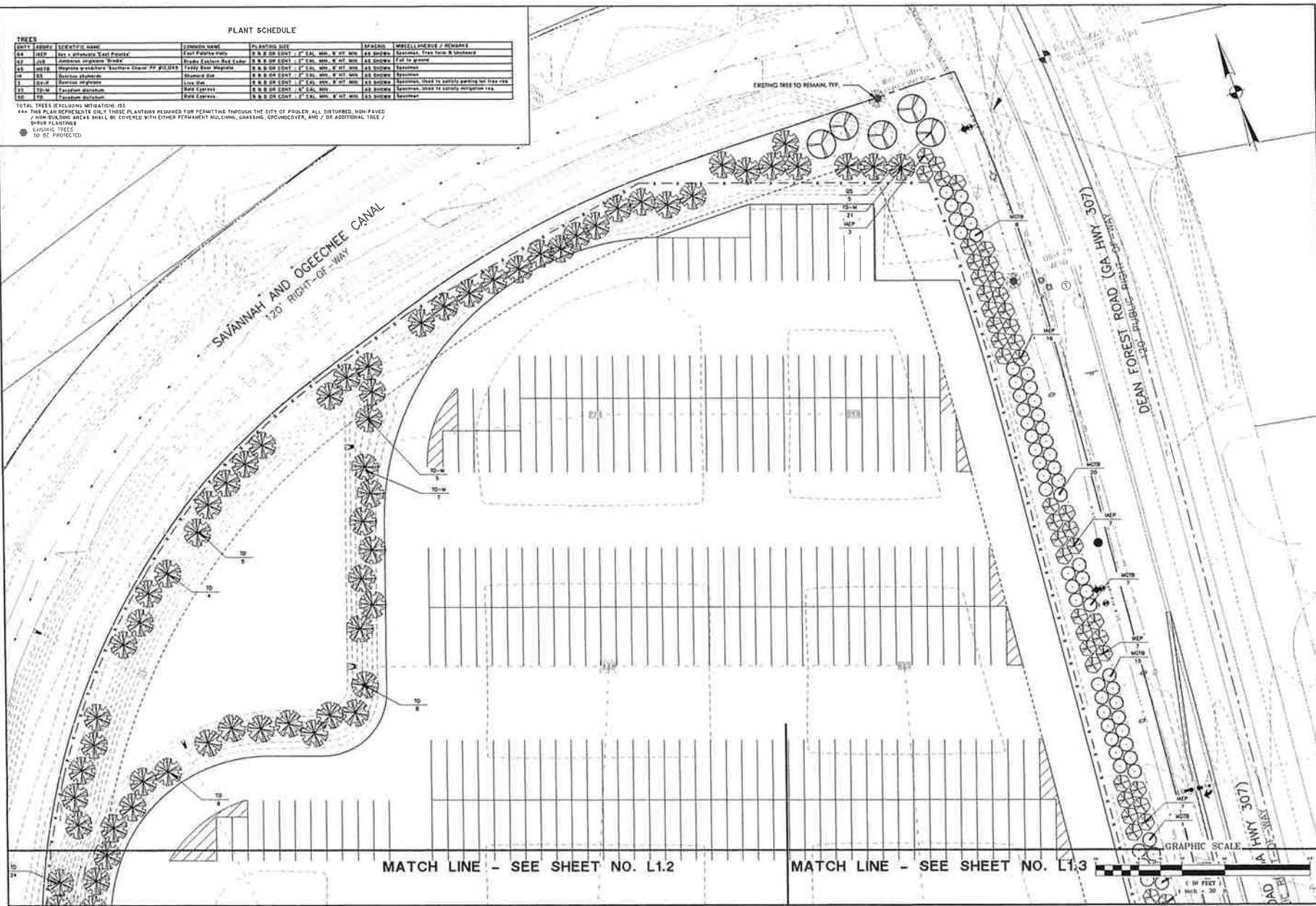
1545 DEAN FOREST LLC
 POOLER, GEORGIA
 TRANSPORTATION LOGISTICS TERMINAL
 OVERALL LANDSCAPE PLAN

DATE	BY	APP'D

L1.0

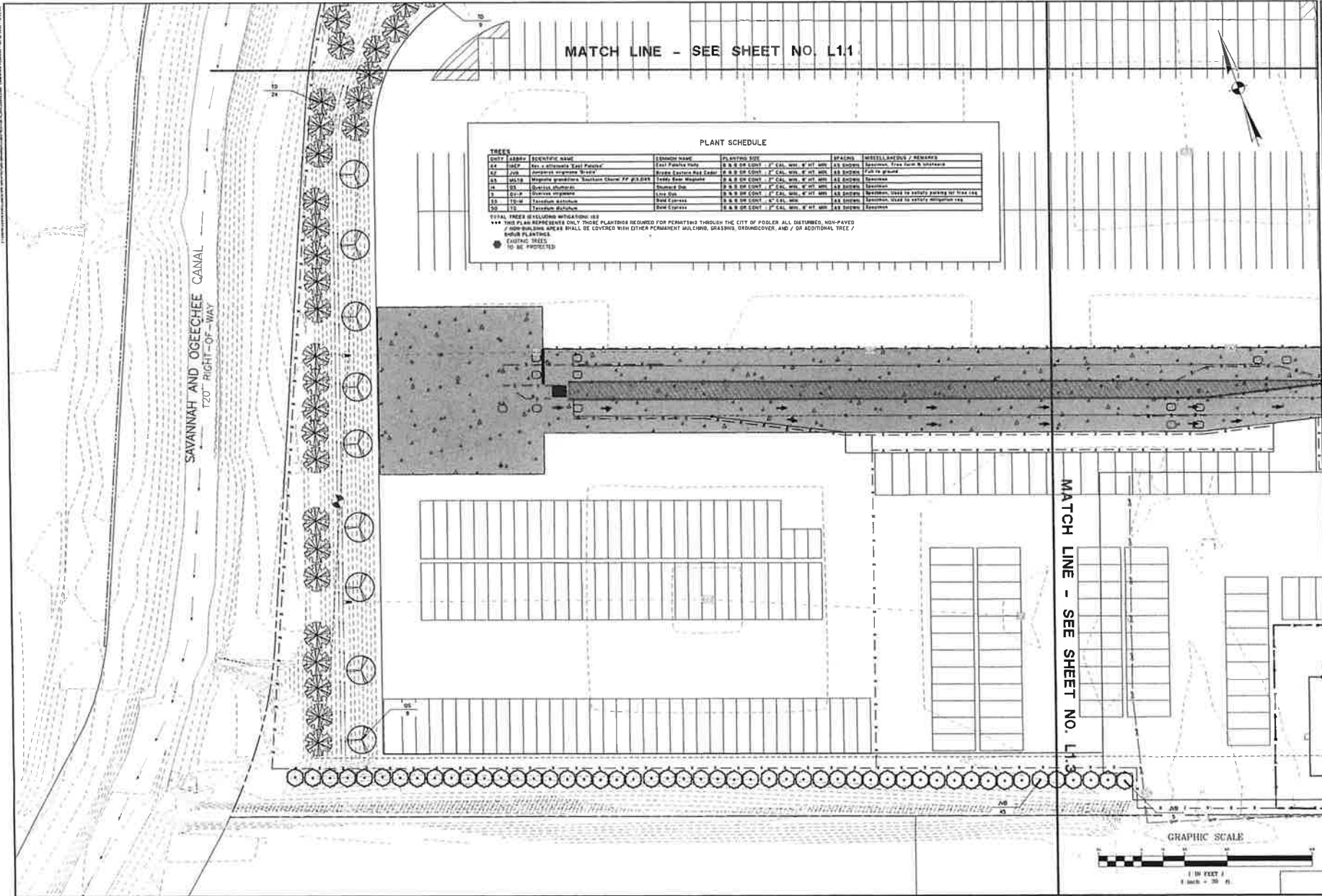
DATA	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	WHEELBARROW / REMARKS
04	TRP	<i>Thuja occidentalis</i> 'East Pointe'	East Pointe Holly	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen, Tree form & Unseasoned
05	TRP	<i>Camponotus caryocarpus</i> 'Savanna'	Savanna Cactus Tree Cane	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Tree to ground
06	TRP	<i>Myrica asplenifolia</i> 'Savanna Charm' PP #13,043	Savanna Charm Magnolia	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen
07	TRP	<i>Quercus alba</i>	White Oak	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen
08	TRP	<i>Quercus macrocarpa</i>	Live Oak	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen, Use to satisfy parking lot tree req.
09	TRP	<i>Liquidambar styraciflua</i>	Sweet Gum	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen, Use to satisfy parking lot tree req.
10	TRP	<i>Fraxinus americana</i>	White Ash	6" & 8" DB 2001, 1" Cal. Min. 8" HT. Min.	AS SHOWN	Specimen

TOTAL TREES (INCLUDING MITIGATION) IS 33
 *** THIS PLAN REPRESENTS ONLY THOSE PLANTINGS REQUIRED FOR PERMITTING THROUGH THE CITY OF POOLER. ALL DISTURBED, NON-PAVED / NON-BUILDING AREAS SHALL BE COVERED WITH EITHER PERMANENT MULCHING, GRASSING, GROUNDCOVER, AND / OR ADDITIONAL TREE / SHrub PLANTINGS
 ● SPRING TREES TO BE PROTECTED



THOMAS & HUTTON <small>INCORPORATED</small> 50 Park of Commerce Way Savannah, GA 31403-1464 www.thomasandhutton.com	1545 DEAN FOREST LLC <small>POOLER, GEORGIA</small> TRANSPORTATION LOGISTICS TERMINAL PERMIT PLANTING PLAN
--	--

L1.1



MATCH LINE - SEE SHEET NO. L1.1

PLANT SCHEDULE

NO.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	REMARKS / NOTES
14	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
15	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
16	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
17	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
18	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
19	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
20	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
21	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000
22	○	<i>Sty. x. alternata</i> East Palmetto	East Palmetto	8" x 8" x 24"	7' x 7' x 24"	43.500000

TOTAL TREES REQUIRING INSTALLATION: 143

*** THIS PLAN REPRESENTS ONLY THOSE PLANTINGS REQUIRED FOR PERMITTING THROUGH THE CITY OF POOLER. ALL DISTURBED, NON-PAVED / NON-BUILDING AREAS SHALL BE COVERED WITH OTHER PERMANENT MULCHING, GRASSING, ORLANDCOVER, AND / OR ADDITIONAL TREE / SHRUB PLANTINGS.

EXISTING TREES TO BE PROTECTED



DATE: 11/11/2014
 TIME: 10:00 AM
 PROJECT: 1545 DEAN FOREST LLC
 DRAWING: PERMIT PLANTING PLAN
 SHEET: L1.2

THOMAS HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.264.5300
 www.thomashutton.com

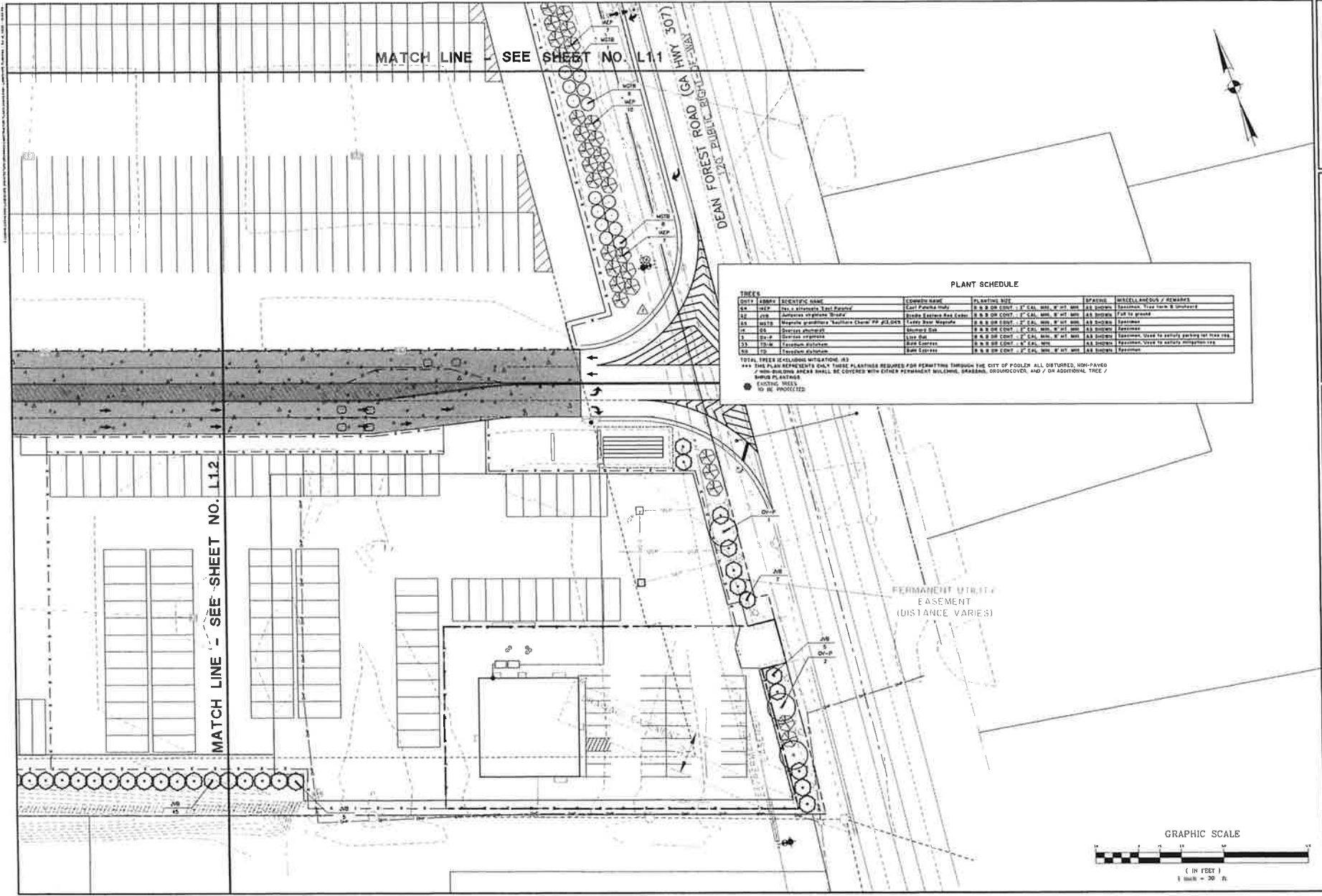
1545 DEAN FOREST LLC
 TRANSPORTATION LOGISTICS TERMINAL
 PERMIT PLANTING PLAN

NO. 1
 DATE: 11/11/2014
 DRAWN: THH
 CHECKED: THH
 APPROVED: THH
 TITLE: L1.2

L1.2



MATCH LINE - SEE SHEET NO. L1.3



PLANT SCHEDULE

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPECIES	NOTES / REMARKS
50	100	<i>Thuja occidentalis</i> 'Sawyer'	Eastern White Pine	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Plantation. Tree with 8' minimum.
10	101	<i>Juniperus horizontalis</i>	Creeping Juniper	1.5" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Plant to ground.
10	102	<i>Wrightia grandiflora</i> 'Southern Charm' PP #13,041	Flame Tree Magnolia	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen.
10	103	<i>Quercus alba</i>	White Oak	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen.
10	104	<i>Quercus prinus</i>	Prickly Pear	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen.
10	105	<i>Quercus laevis</i>	Live Oak	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen. Use to establish parking lot tree line.
10	106	<i>Quercus falcata</i>	Swamp White Oak	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen. Use to establish parking lot tree line.
10	107	<i>Quercus coccinea</i>	Scarlet Oak	6" x 6" x 6" CONT. / 2" CAL. MIN. @ 10' MIN.	AS SUPPLY	Specimen.

TOTAL TREES INCLUDING MITIGATION: 83
 *** THIS PLAN REPRESENTS ONLY THOSE PLANTINGS REQUIRED FOR PERMITTING THROUGH THE CITY OF POOLER. ALL DISTURBED, UNPAVED
 AND BARE SOILS ARE TO BE COVERED WITH OTHER PERMANENT MULCHING, SHADING, GROUND COVER, AND / OR ADDITIONAL TREE /
 PLANTING. SEE SPECIFICATIONS FOR DETAILS.
 TO BE PROTECTED



THOMAS HUTTON
 50 Peachtree Corners Way
 Suwanee, GA 30078 • 91.2.234.5300
 www.thomashutton.com

1545 DEAN FOREST LLC
 POOLER, GEORGIA

TRANSPORTATION LOGISTICS TERMINAL
 PERMIT LANDSCAPE PLAN

DATE: 11/15/2023
 DRAWN: JH
 CHECKED: JH
 REVIEWED: JH
 APPROVED: JH
 SCALE: 1" = 30'

L1.3



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; *and*
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: November 21, 2022

Subject: Site Plan/Landscape Plan for Durham Park Office located on Durham Park Blvd. (PIN # 5-0988-04-015A)

Background & Discussion:

John Farmer, with Fretus Engineering, presented the site plan/landscape plan to the P&Z Board for their review and recommendation. The project will consist of a 24,000 sq. ft. building with 12 units, the infrastructure to support it, and 89 parking spaces.

Planning and Zoning Recommendation:

P&Z recommended approval of the site plan/landscape plan for Durham Park Office located on Durham Park Blvd, contingent upon \$39,600.00 into the tree fund.

Staff Recommendation:

Staff recommends approval, contingent upon the Stormwater Agreement being recorded prior to a preconstruction meeting being scheduled and \$39,600.00 being paid into the tree fund.



RECEIVED

DEC 15 2021

NB-3

Project # 211383

ZONING DEPARTMENT

Site Plan Application

(page 1 of 3)

Applicant JOHN FARMER % FRETUS ENGINEERING, LLC
Mailing address P.O. BOX 13091
City SAVANNAH State GA Zip 31416
Telephone (912) 228-2982 Fax ()

Property Owner(s) YASH DASAI
Mailing address 118 PIPEMAKERS CIRCLE, SUITE 100
City ~~SA~~ POOLER State GA Zip 31322
Telephone () Fax ()

Contact Person(s) (SAME AS APPLICANT)
Mailing address _____
City _____ State _____ Zip _____
Telephone () Fax () E-mail _____

Location address PARCEL 4 DURHAM PARK BOULEVARD
Current Zoning PUD Parcel Identification Number 5-1013-01-061

Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: 2.95-AC. AREA TO BE DEVELOPED FOR OFFICES



November 1st, 2022

John W. Farmer, P.E.
Fretus Engineering
PO Box 13091
Savannah, GA 31416

Dear Mr. Farmer,

I am pleased to provide you with a recommendation for Approval of the site development plans for 'Durham Park Office', which appears below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Oct. 2022
	Survey Drawing.....	Jun. 2022
	Plat Drawing.....	Oct. 2022
	Lighting Plan.....	Jun. 2022
	Geotechnical Report.....	Jun. 2022
	Stormwater Management Report.....	Jun. 2022
	Stormwater Maintenance Agreement & Plan.....	Oct. 2022
	Traffic Memorandum.....	Oct. 2022
	Turning Exhibit.....	Oct. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.





EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City of Pooler
Kimberly Classen, CFM; City of Pooler
Liberto Chacon, PE; EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	59.34'	487.47'	19.68'	39.33'	N 13°25'4" E	5°37'28"
C2	17.93'	155.99'	8.97'	17.92'	N 14°41'45" E	6°30'00"
C3	66.97'	1091.49'	43.49'	66.97'	N 49°32'07" E	130°00"
C4	181.48'	2560.00'	92.50'	178.48'	S 89°27'43" W	81°49'20"
C5	57.83'	189.00'	29.23'	57.53'	N 11°02'43" W	20°22'18"
C6	6.62'	236.00'	3.31'	6.62'	N 88°47'06" W	1°31'01"
C7	52.48'	147.00'	26.52'	52.20'	S 11°07'43" E	20°27'18"

LINE	BEARING	LENGTH
L1	N 21°16'21" W	46.53'
L2	N 00°48'05" W	56.53'
L3	S 18°12'04" W	47.94'
L4	N 88°01'41" W	181.24'
L5	N 48°28'04" E	73.81'
L6	N 21°20'02" W	74.10'
L7	N 00°48'00" W	78.53'
L8	N 21°20'02" E	31.94'
L9	N 13°02'24" E	44.62'
L10	N 00°48'00" W	87.90'
L11	N 44°10'50" E	14.14'
L12	N 00°48'00" E	248.34'
L13	S 00°23'00" E	59.50'
L14	S 21°16'21" E	46.51'

THIS SPACE RESERVED FOR THE EXCLUSIVE USE OF THE CLERK OF SUPERIOR COURT

LEGEND:

- NT.S. NOT TO SCALE
- R/W RIGHT-OF-WAY
- Ac. ACRES
- CONC. D. CONCRETE MONUMENT, OLD (FOUND)
- AVM AIR VALVE MARKER
- CI CURB INLET
- CO CLEANOUT
- ICV IRRIGATION CONTROL VALVE
- LP LIGHT POLE
- SDMH STORM DRAIN MANHOLE
- SLSN SEWER LINE SIGN
- SSMH SANITARY SEWER MANHOLE
- TEL TELEPHONE BOX
- UCSN UNDERGROUND CABLE SIGN
- W. WATER LATERAL
- WV WATER VALVE

REFERENCE PLAT:

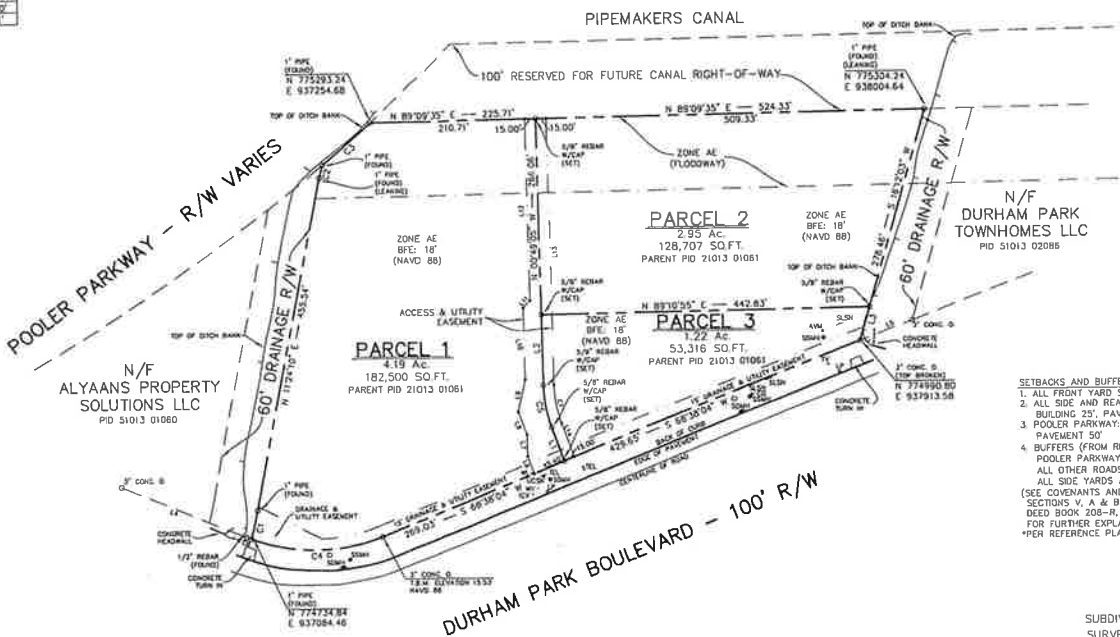
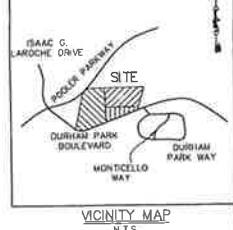
- TRACTS 1, 2, 3, & 4, GODLEY COMMONS, A SUBDIVISION OF PARCEL R-8 OF INTERNATIONAL PAPER REALTY CORPORATION'S S.A. ALLEN TRACT, 8th C.M.D., CITY OF POOLER, CHATHAM COUNTY, STATE OF GEORGIA, DATED: 1-22-08, BY: TERRY MACK COLEMAN, C.A.R.L.S. NO. 2486, RECORDED: SUB 39-5, PGS. 94-A & 94-B, 02/27/2008
- AN ALTA/ACSM LAND TITLE SURVEY OF TRACT 4, GODLEY COMMONS, BEING A SUBDIVISION OF PARCEL R-8 OF INTERNATIONAL PAPER REALTY CORPORATION'S S.A. ALLEN TRACT, 8th C.M.D., CITY OF POOLER, CHATHAM COUNTY, STATE OF GEORGIA, DATED: 2/10/2016, BY: TERRY MACK COLEMAN, C.A.R.L.S. NO. 2486, RECORDED: NOT RECORDED.

NOTES:

- THIS SURVEY COMPLES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA, ANNOTATED (O.C.G.A. 13-6-87) AS AMENDED BY HB1004 (2016), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 42,000 FEET MINIMUM, AND AN ANGULAR ERROR OF 5 SECONDS PER ANGLE POINT MAXIMUM.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 122,000 FEET.
- AREA WAS DETERMINED BY THE COORDINATE METHOD.
- EQUIPMENT USED: TOPCON ROBOTIC
- NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE, THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- ACCORDING TO FEMA FLOOD MAP, 13051C0018H, EFFECTIVE DATE: 07/07/2014, BASE FLOOD ELEVATION: 18', HAZD 88. A PORTION OF THIS PROPERTY IS LOCATED IN ZONE AE (FLOODWAY).
- THE WATER SYSTEM IS PRIVATELY OWNED AND MAINTAINED AFTER THE METERS.
- THE SANITARY SEWER ON THIS SITE IS PRIVATELY MAINTAINED.
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THEREFORE, THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DULICATED ON THIS SURVEY.

APPROVED BY THE POOLER PLANNING AND ZONING COMMISSION

CHAIRMAN	DATE
APPROVED BY THE MAYOR AND ALDERMAN FOR THE CITY OF POOLER	
MAYOR	DATE
COUNCILWOMAN	DATE
COUNCILWOMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE



- SETBACKS AND BUFFERS:**
- ALL FRONT YARD SETBACKS 60'
 - ALL SIDE AND REAR SETBACKS: BUILDING 25', PAVING 15'
 - POOLER PARKWAY: PAVEMENT 50'
 - BUFFERS (FROM RIGHT-OF-WAY): POOLER PARKWAY 50', ALL OTHER ROADS 20', ALL SIDE YARDS AND REAR YARDS 15'
- (SEE COVENANTS AND RESTRICTIONS SECTIONS V, A & B RECORDED IN DEED BOOK 208-R, PAGES 384-385 FOR FURTHER EXPLANATION OF BUFFER AREAS) REFER REFERENCE PLAT #1, SUB 39-5, PAGE 94-A

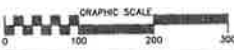
SURVEYOR CERTIFICATION

AS REQUIRED BY SUBSECTION (C) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THE PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

TERRY E. HATCHELL, C.A.R.L.S. NO. 2663 DATE



PREPARED FOR: RIVER CITY CONSTRUCTORS



SUBDIVISION SURVEY OF
PARCELS 1, 2 & 3
DURHAM PARK BOULEVARD
 A SECTION OF
TRACT 4
GODLEY COMMONS
 8th G.M. DISTRICT
 CITY OF POOLER, CHATHAM COUNTY, GEORGIA
 SCALE: 1" = 100' PLAT DATE: 05/15/2022 JOB NO: GA220008
 FIELD DATE: 05/27/2022



SURVEYING CONSULTANTS
 17 Sherburne Drive, Suite C, Milledgeville, SC 29810
 SC Telephone: (843) 815-3304 FAX: (843) 815-3205
 GA Telephone: (812) 858-2775
 www.SurveyingConsultants.com
 Email: SC@SurveyingConsultants.com
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CONSTRUCTION PLANS FOR DURHAM PARK OFFICE

DURHAM PARK BOULEVARD
POOLER, GEORGIA 31322
JULY 20, 2021

FE, LLC PROJECT NO. 016-052-20



TOTAL PROJECT IMPERVIOUS AREA: 1.82 AC. (61.7% OF OVERALL SITE AREA)
TREE FUND: \$39,600 OR \$1,200 PER OAK TREE (33 TREES)

PREPARED FOR:
PANTHEON ADD
MR. CLIF COOPER
216 E. BAY STREET
SAVANNAH, GEORGIA 31401
PH: (912) 376-5600

PROPERTY OWNER AND RESPONSIBLE PARTY:

STATURE INVESTMENTS
MR. YASH DESAI
110 PIPEMAKERS CIRCLE
SUITE 100
POOLER, GEORGIA 31322
PH: (912) 988-1320



FRETUS ENGINEERING

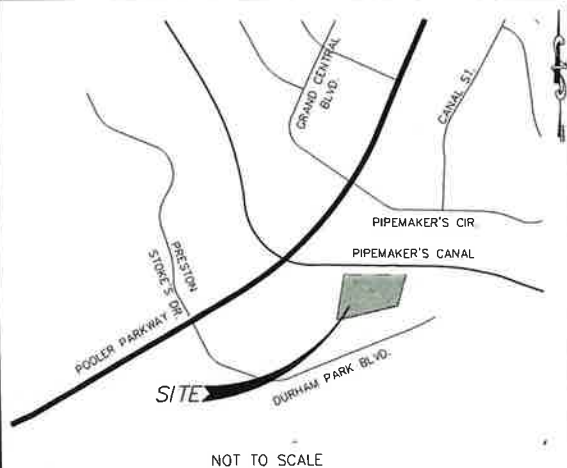
P. O. BOX 13991
SAVANNAH, GEORGIA 31416-0091
PHONE: (912) 226-2992

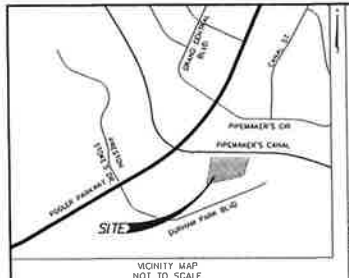
NOTE:
THE FEE FOR THE CONSTRUCTION PLAN
AND SPECIFICATIONS IS NON-REFUNDABLE
AFTER APPROVAL IF CONSTRUCTION IS NOT
ACTIVELY INITIATED.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	EROSION, SEDIMENT, AND POLLUTION CONTROL NOTES
4	EROSION, SEDIMENT, AND POLLUTION CONTROL NOTES
5	EROSION, SEDIMENT, POLLUTION CONTROL NOTES, AND SCHEDULE
6	DEMOLITION, TREE SURVEY, EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN - INITIAL PHASE
7	EROSION, SEDIMENT, POLLUTION CONTROL PLAN - INTERMEDIATE PHASE
8	EROSION, SEDIMENT, POLLUTION CONTROL PLAN - FINAL PHASE
9	STAKING PLAN
10	PAVING, GRADING, AND DRAINAGE PLAN
11	STORM DRAINAGE PROFILES
12	WATER DISTRIBUTION AND SANITARY SEWER COLLECTION PLAN
13	LANDSCAPE PLAN
13A	LANDSCAPE DETAILS
14 - 17	CONSTRUCTION DETAILS
PM-0.1	PHOTOMETRIC PLAN

VICINITY MAP





PIPERMAKERS CANAL RIGHT-OF-WAY

100' RESERVED FOR FUTURE CANAL RIGHT-OF-WAY

INITIAL PHASE NOTES:

PRIOR TO LAND DISTURBING ACTIVITY, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY OF PROPER PUBLIC WORKS DEPARTMENT.

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURNING AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMITS SHALL BE PRESENT ON THE SITE AT ALL TIMES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, LIMITS OF LAND DISTURBANCE SHALL CLEARLY AND ACCURATELY BE DEMARCATED WITH STAKES, SUBJECTS OR OTHER APPROPRIATE MEANS, AND SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. LAND DISTURBANCE SHALL OCCUR OUTSIDE THE LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY:

1. THE CONSTRUCTION EXIT SHALL BE PLACED AS SHOWN ON THE PLANS.
2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXIT, ALL PERIMETER EROSION CONTROL AND SEDIMENTATION MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE EROSION CONTROL PLAN.
3. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITY.

WITHIN SEVEN (7) DAYS AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES, THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT PROFESSIONAL APPROVES THE INSTALLATION OF SOIL EROSION CONTROL MEASURES IF UNDESIRABLE CONDITIONS EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE PROJECT PROFESSIONAL DURING THE SITE INSPECTION.

AFTER APPROVAL OF INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRUBBING ACTIVITIES AS CLEARING SEQUENTS. THE CONTRACTOR SHALL CONSTRUCT THE SEDIMENT POND AS SHOWN ON PLANS.

THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURST OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.

PH-~~XXXXXXXXXX~~ PERMITS FOLLOWS THE REQUIREMENTS OF SECTION 10-2-10 OF THE OFFICIAL CODE OF ORDINANCES, STATE OF GEORGIA, STANDARD VERSION.

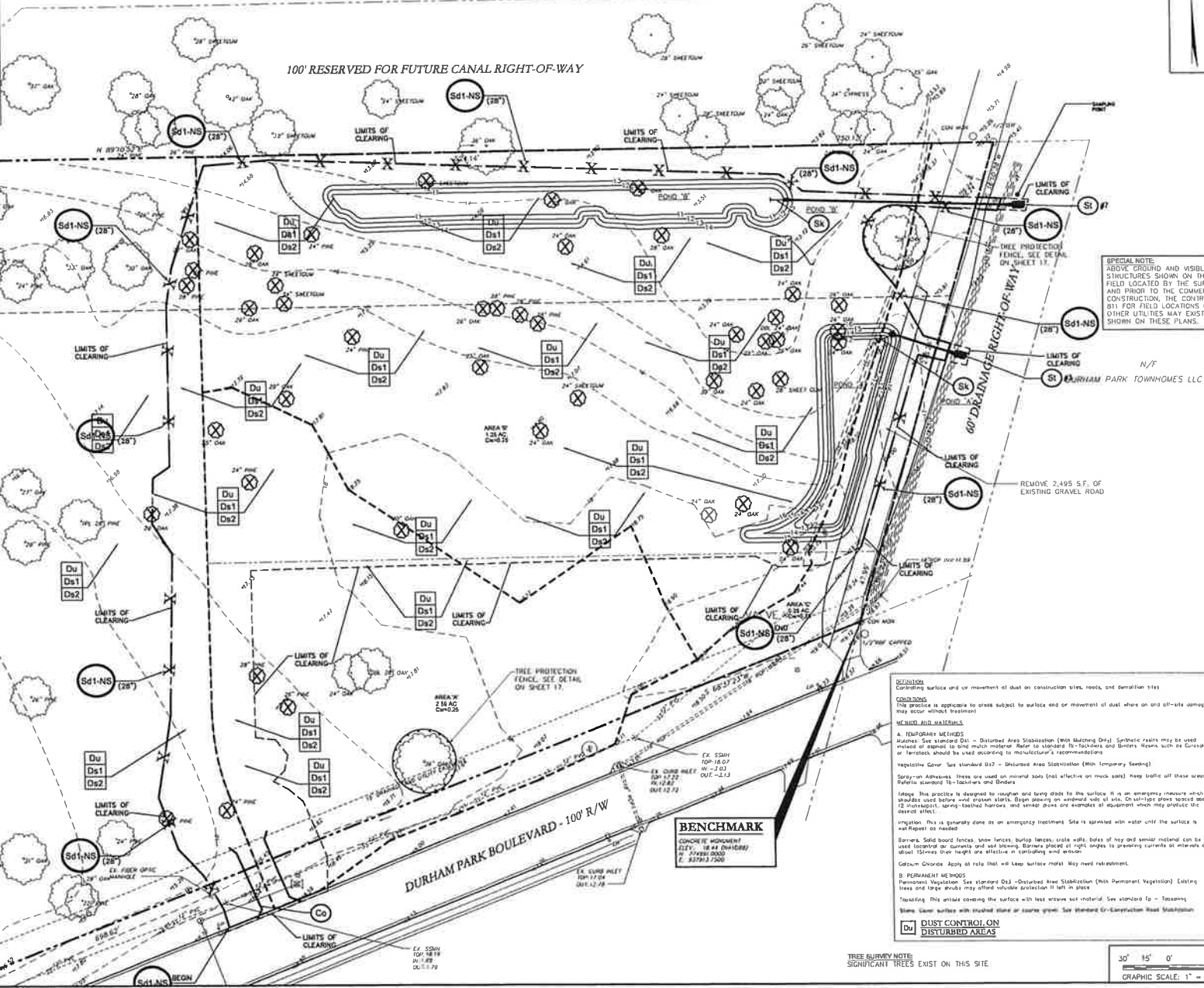
MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE. ALL DISTURBED AREAS LEFT UNCOVERED MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.

SEDIMENT AND EROSION CONTROL MEASURES MUST BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPAIRED IF SEDIMENT ACCUMULATION HAS REACHED HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING ON FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-2" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM A VEHICLE ONTO PUBLIC RIGHT-OF-WAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE PROPER FUNCTIONING.

TASKS TO BE INSTALLED OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED PLANS.



SPECIAL NOTE: ABOVE GROUND AND VISIBLE UTILITY STRUCTURES SHOWN ON THESE PLANS WERE FIELD LOCATED BY THE SURVEYOR BY LAW AND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL CALL 811 FOR FIELD LOCATIONS OF ALL UTILITIES AS OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS.

SECTION
Controlling surface and/or movement of dust on construction sites, roads, and demolition sites

CONDITIONS
This practice is applicable to areas subject to surface and/or movement of dust where on and off-site damage may occur without treatment.

METHOD AND MATERIALS

A. TEMPORARY METHODS
Mulches: See standard D1 - Disturbed Area Stabilization (With Mulching Detail). Synthetic mulches may be used instead of straw, to bind mulch-inert matter. Refer to standards for Tackifiers and Bonders. Resins such as Curator or Herkules should be used according to manufacturer's recommendations.
Respective Cover: See standard D12 - Disturbed Area Stabilization (With Temporary Seeding).

Spray-on Adhesives: These are used on mineral soils (not effective on rocky soils). Keep bottle off these areas. Refer to standard 10-Tackifiers and Bonders.

Flags: This practice is designed to roughen and bind soils to the surface. It is an emergency measure which should be used before wind erosion begins. Signs placed on windward side of site. On-site flag stakes should be 12" high, 1/2" diameter, spring-tooled handles, and snap caps on end, examples of equipment which may produce the desired effect.

Urgation: This is generally done on an emergency treatment. Site is sprayed with water until the surface is wet to the touch.

Barriers: Solid board fences, snow fences, brush fences, rock walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 100 feet. Barriers over height one effective in controlling wind erosion.

Gravel: Coarse. Apply at rate that will keep surface moist. May need replacement.

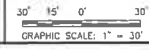
B. PERMANENT METHODS
Permanent Vegetation: See standard D13 - Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and trees should be retained wherever possible. See standard 10 - Topsoiling.

Stems: Same as surface with treated stems or coarse gravel. See standard 01 - Construction Road Stabilization.

DUST CONTROL ON DISTURBED AREAS

BENCHMARK
CONCRETE MONUMENT
ELEV. 18.44 (NAD83)
NAD83 POINT NO. 2
E. 317913.7500

THIS SURVEY NOTE:
SIGNIFICANT TREES EXIST ON THIS SITE



P.O. BOX 13081
SAVANNAH, GA 31416-0081
PH. (912) 232-7982
www.vefretz.com

LEVEL # SURVEY DESIGN PROFESSIONAL: 2222

GEORGIA
Professional Engineer
No. 2222
State of Georgia
License No. 2222

PROJECT TITLE:
DURHAM PARK OFFICE

OWNER:
YANUSI GROUP

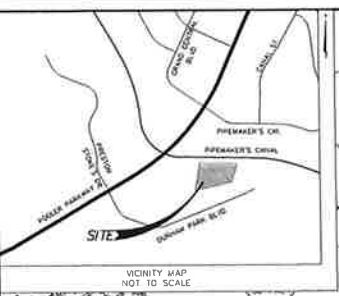
DESIGNED BY:
HANTERSON AND JONES, 845 WEST STREET, SAVANNAH, GA 31401

PROJECT LOCATION:
DURHAM PARK BLVD., POULDA, GEORGIA 31426

DEMOLITION, TREE SURVEY, EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN INITIAL PHASE

SCALE: SHEET NO. 6 OF 17
DATE: 07/20/21
DRAWN BY: JF
CHECKED BY: JF

SHEET **6** OF 17



100' RESERVED FOR FUTURE CANAL RIGHT-OF-WAY

INTERMEDIATE PHASE NOTES:

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREBY LIMITED DURATION, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED.

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID BURNING OR SLIDING INTO THE BUFFER AREAS.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL UNPAVED AREAS CREATED BY HARVEST STAGES DURING CONSTRUCTION, AND ALLEN THE LOCATION OF EROSION CONTROL DEVICES, ADDITIONALLY, THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION.

THE CONTRACTOR SHALL ESTABLISH BARRIERS AT THE TOP OF ALL SLOPES UNDER CONSTRUCTION CUT AND FILL SLOPES SHALL NOT EXCEED 3:1.

STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET POINTS AS SOON AS THE FLARED END SECTIONS ARE CONSTRUCTED.

ALL DRAINAGE CHANALS AND GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS DEVELOPED. VEGETATION ON TEMPORARY DRAINAGE SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE. ALL DISTURBED AREAS LEFT UNVEGETATED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNIT, PERMANENT DRAINAGE OR EXISTING SEDIMENT SHALL BE CLEANED OUT OF THE POND WHEN IT REACHES ONE THIRD OF THE DEPTH OF THE BASIN.

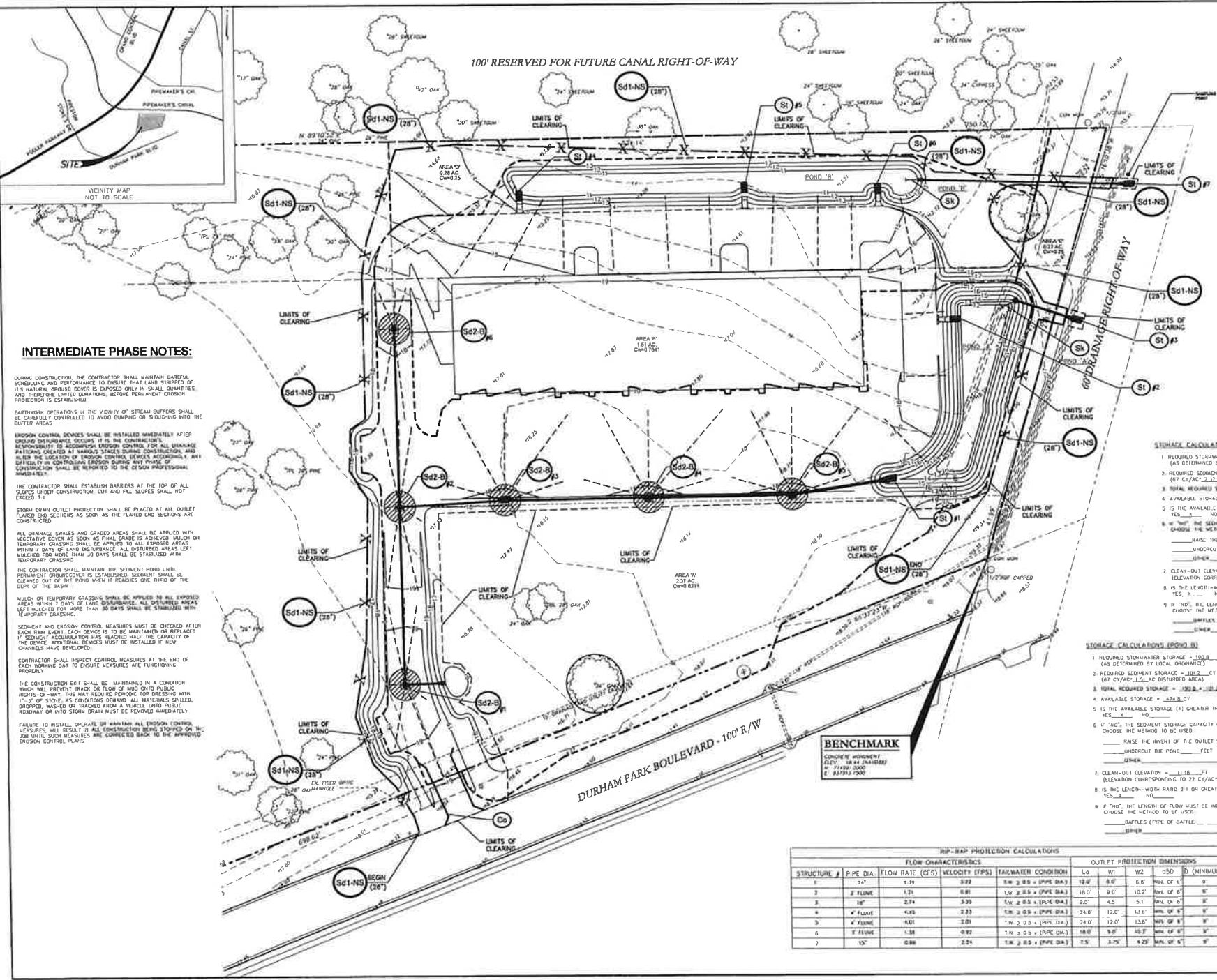
VEGETATION ON TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE. ALL DISTURBED AREAS LEFT UNVEGETATED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

SEDIMENT AND EROSION CONTROL MEASURES MUST BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TURNING TOP DRESSING WITH 1" - 3" OF STONE. AS CONDITIONS DEMAND, ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM A VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

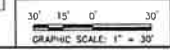
FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL EROSION CONTROL BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED DESIGN CONTROL PLANS.



- STORAGE CALCULATIONS (POND A)**
- REQUIRED STORMWATER STORAGE = 138.9 C.Y. (AS DETERMINED BY LOCAL ORDINANCE)
 - REQUIRED SEDIMENT STORAGE = 158.8 C.Y. (67 C.Y./AC x 2.32 AC DISTURBED AREA)
 - TOTAL REQUIRED STORAGE = 297.8 + 138.9 = 436.7 C.Y.
 - AVAILABLE STORAGE = 1,226 C.Y.
 - IS THE AVAILABLE STORAGE (4) GREATER THAN THE TOTAL REQUIRED STORAGE (3)? YES NO
 - IF "NO", THE SEDIMENT STORAGE CAPACITY OF THE POND MUST BE INCREASED CHOOSE THE METHOD TO BE USED:
 - BASE THE WIDTH OF THE OUTLET STRUCTURE _____ FEET
 - UNDERCUT THE POND _____ FEET
 - OTHER _____
 - CLEAN-OUT ELEVATION = 125.5 FT (ELEVATION CORRESPONDING TO 27 C.Y./AC x 2.32 AC DISTURBED AREA)
 - IS THE LENGTH-WIDTH RATIO 2:1 OR GREATER? YES NO
 - IF "NO", THE LENGTH OF FLOW MUST BE INCREASED CHOOSE THE METHOD TO BE USED:
 - BUFFLES (TYPE OF BUFFLE _____)
 - OTHER _____
- STORAGE CALCULATIONS (POND B)**
- REQUIRED STORMWATER STORAGE = 138.9 C.Y. (AS DETERMINED BY LOCAL ORDINANCE)
 - REQUIRED SEDIMENT STORAGE = 102.2 C.Y. (67 C.Y./AC x 1.51 AC DISTURBED AREA)
 - TOTAL REQUIRED STORAGE = 241.1 + 102.2 = 343.3 C.Y.
 - AVAILABLE STORAGE = 221.8 C.Y.
 - IS THE AVAILABLE STORAGE (4) GREATER THAN THE TOTAL REQUIRED STORAGE (3)? YES NO
 - IF "NO", THE SEDIMENT STORAGE CAPACITY OF THE POND MUST BE INCREASED CHOOSE THE METHOD TO BE USED:
 - BASE THE WIDTH OF THE OUTLET STRUCTURE _____ FEET
 - UNDERCUT THE POND _____ FEET
 - OTHER _____
 - CLEAN-OUT ELEVATION = 111.8 FT (ELEVATION CORRESPONDING TO 22 C.Y./AC x 1.51 AC DISTURBED AREA)
 - IS THE LENGTH-WIDTH RATIO 2:1 OR GREATER? YES NO
 - IF "NO", THE LENGTH OF FLOW MUST BE INCREASED CHOOSE THE METHOD TO BE USED:
 - BUFFLES (TYPE OF BUFFLE _____)
 - OTHER _____

ROP-RAP PROTECTION CALCULATIONS

STRUCTURE #	PIPE DIA.	FLOW CHARACTERISTICS			OUTLET PROTECTION DIMENSIONS				
		FLOW RATE (CFS)	VELOCITY (FPS)	TAILWATER CONDITION	Lo	W1	W2	ASD	D (MINIMUM)
1	24"	9.32	3.22	T.W. 2 0.5" (PPC DIA.)	12'0"	8'0"	6'5"	MIN. OF 6"	9"
2	18"	1.21	0.81	T.W. 2 0.5" (PPC DIA.)	18'0"	9'0"	10'2"	MIN. OF 6"	8"
3	18"	2.74	3.39	T.W. 2 0.5" (PPC DIA.)	9'0"	4'5"	5'1"	MIN. OF 6"	8"
4	6" FLANGE	4.93	2.33	T.W. 2 0.5" (PPC DIA.)	24'0"	12'0"	13'5"	MIN. OF 8"	8"
5	6" FLANGE	4.93	2.81	T.W. 2 0.5" (PPC DIA.)	24'0"	12'0"	13'5"	MIN. OF 8"	8"
6	8" FLANGE	1.58	0.92	T.W. 2 0.5" (PPC DIA.)	18'0"	9'0"	10'2"	MIN. OF 6"	8"
7	15"	0.88	2.24	T.W. 2 0.5" (PPC DIA.)	3'5"	3'5"	4'25"	MIN. OF 6"	8"



PREUS ENGINEERING

1101 NEW 188TH
SAVANNAH, GA 31416-0001
PH. (912) 226-2302
WWW.PREUSENGINEERING.COM

GEORGINA
1101 NEW 188TH
SAVANNAH, GA 31416-0001
PH. (912) 226-2302
WWW.PREUSENGINEERING.COM

LEVEL 1 CERTIFIED DESIGN PROFESSIONAL #8720

811
ANDREW WALKER, LICENSED PROFESSIONAL ENGINEER
CALL BEFORE YOU DIG
DIAL 811 OR
811.SAVANNAH.GA
PROFESSIONAL #1111

PROJECT #1111
DATE 11/11/22
DRAWN BY: JPM
CHECKED BY: JPM

SPECIAL NOTE:
ABOVE GROUND AND VISIBLE UTILITY STRUCTURES SHOWN ON THESE PLANS WERE FIELD LOCATED BY THE SURVEYOR. BY LAW AND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 FOR FIELD LOCATIONS OF ALL UTILITIES AS OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS.

NOTES:
1. THIS PERMIT FOR THE CONSTRUCTION OF STORMWATER MANAGEMENT STRUCTURES IS VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE. IF CONSTRUCTION DOES NOT BEGIN WITHIN 180 DAYS, THE PERMIT WILL EXPIRE AND A NEW PERMIT MUST BE OBTAINED.

DURHAM PARK PARK OFFICE

OWNER: DURHAM PARK

DESIGNER: PREUS ENGINEERING

PROJECT LOCATION: DURHAM PARK BLVD, SAVANNAH, GA 31416

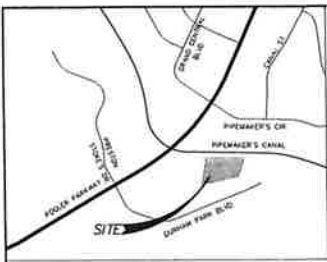
PROJECT NUMBER: DURHAM PARK BLVD, SAVANNAH, GA 31416

DATE: 11/11/22

EROSION, SEDIMENT AND POLLUTION CONTROL PLAN INTERMEDIATE PHASE

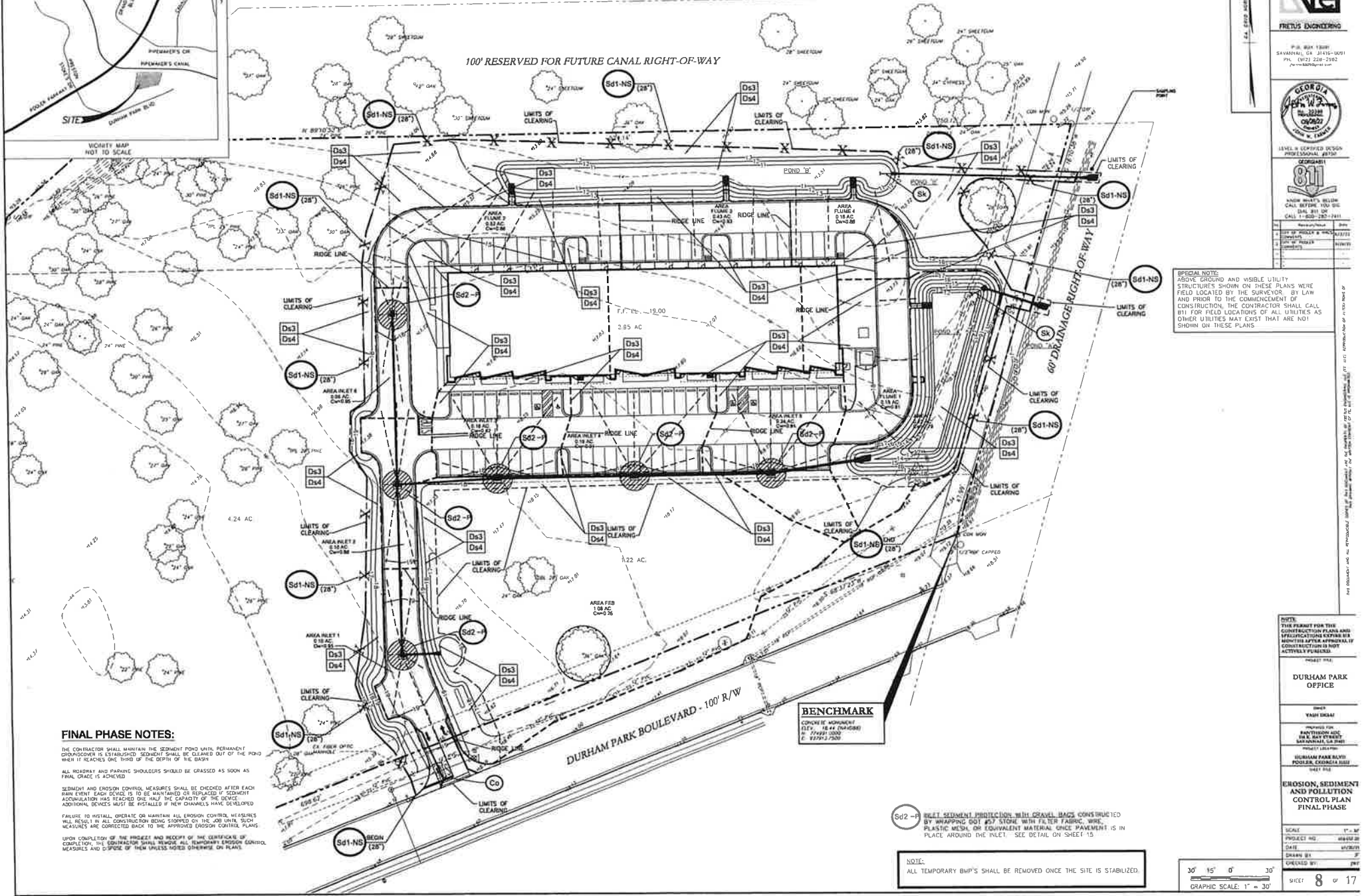
SCALE: AS SHOWN
PROJECT NO: 24-0000-00
DATE: 11/11/22
DRAWN BY: JPM
CHECKED BY: JPM

SHEET 7 OF 17



PIPEMAKERS CANAL RIGHT-OF-WAY

100' RESERVED FOR FUTURE CANAL RIGHT-OF-WAY



SPECIAL NOTE:
 ABOVE GROUND AND VISIBLE UTILITY STRUCTURES SHOWN ON THESE PLANS WERE FIELD LOCATED BY THE SURVEYOR, BY LAW AND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL CALL BY FIELD LOCATIONS OF ALL UTILITIES AS OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THESE PLANS.

FINAL PHASE NOTES:

THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNTIL PERMANENT DRAINAGE IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE POND WHEN IT REACHES ONE THIRD OF THE DEPTH OF THE BASIN.

ALL HIGHWAYS AND PARKING SHOULDER SHOULD BE GRASSED AS SOON AS PAIN CRUEL IS ACHIEVED.

SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

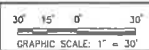
FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

UPON COMPLETION OF THE PROJECT AND RECEIPT OF THE CERTIFICATE OF COMPLETION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED OTHERWISE ON PLANS.

BENCHMARK
 CONCRETE MONUMENT
 ELEV. 104.44 (NAVD83)
 N. 774941.0000
 E. 822912.7500

Sd2-F INLET SEDIMENT PROTECTION WITH GRAVEL BAGS CONSTRUCTED BY WRAPPING Sd2 SLOPE WITH FILTER FABRIC, WIDE PLASTIC MESH, OR EQUIVALENT MATERIAL ONCE PAVEMENT IS IN PLACE AROUND THE INLET. SEE DETAIL ON SHEET 15.

NOTE:
 ALL TEMPORARY BMP'S SHALL BE REMOVED ONCE THE SITE IS STABILIZED.



VE
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 PH. (912) 228-7592
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 844.811.0000
 CALL 1-800-281-2811

DATE: 08/20/2024
 DRAWN BY: JNF
 CHECKED BY: JNF

PROJECT FILE:
 DURHAM PARK OFFICE
 SHEET: VNSH000AM
 PROJECT NO: RAN70000.ADC
 200 S. EAST STREET
 SARASOTA, FL 34230

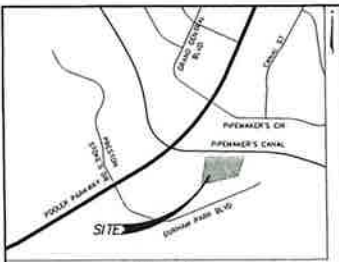
PROJECT LOCATION:
 DURHAM PARK BLVD
 POOLER, GEORGIA 31007

DATE PLOTTED:
 08/20/2024

EROSION, SEDIMENT AND POLLUTION CONTROL PLAN FINAL PHASE

SCALE: 1" = 30'
 PROJECT NO: RAN70000.ADC
 DATE: 08/20/2024
 DRAWN BY: JNF
 CHECKED BY: JNF

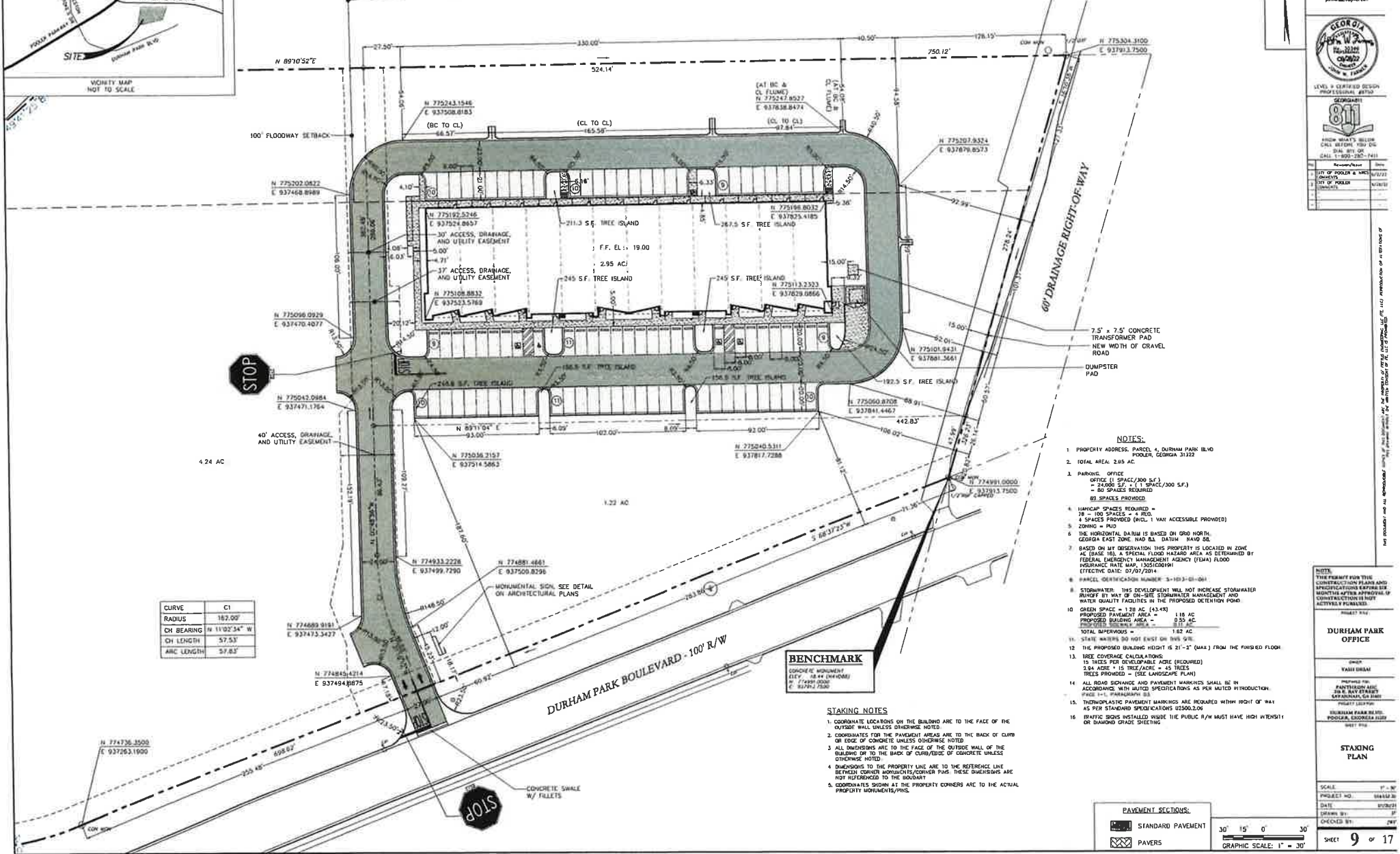
SHEET **8** OF 17



VICINITY MAP
NOT TO SCALE

PIPEMAKERS CANAL RIGHT-OF-WAY

100' RESERVED FOR FUTURE CANAL RIGHT-OF-WAY



CURVE	C1
RADIUS	162.00'
CH BEARING	N 11°02'34" W
CH LENGTH	57.53'
ARC LENGTH	57.83'

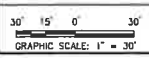
BENCHMARK
CONCRETE MONUMENT
ELEV. 18.44 (TYP. ABOVE)
P. 93791.7500

- STAKING NOTES**
1. COORDINATE LOCATIONS ON THE BUILDING ARE TO THE FACE OF THE OUTSIDE WALL UNLESS OTHERWISE NOTED.
 2. COORDINATES FOR THE PAVEMENT AREAS ARE TO THE BACK OF CURBS OR EDGE OF CONCRETE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO THE FACE OF THE OUTSIDE WALL OF THE BUILDING OR TO THE BACK OF CURB/EDGE OF CONCRETE UNLESS OTHERWISE NOTED.
 4. DIMENSIONS TO THE PROPERTY LINE ARE TO THE REFERENCE LINE BETWEEN CORNER MONUMENTS/CORNER PINS. THESE DIMENSIONS ARE NOT REFERENCED TO THE MONUMENT.
 5. COORDINATES SHOWN AT THE PROPERTY CORNERS ARE TO THE ACTUAL PROPERTY MONUMENTS/PINS.

NOTES:

1. PROPERTY ADDRESS: PARCEL 4, DURHAM PARK BLVD POOL, GEORGIA 31322
2. TOTAL AREA: 2.68 AC
3. PARKING: OFFICE
 (1) SPAC/300 S.F. = 24.00 SP. (1) SPAC/200 S.F.) = 80 SPACES REQUIRED
 89 SPACES PROVIDED
4. HANDICAP SPACES REQUIRED = 18 = 100 SPACES = 4 REQ.
 4 SPACES PROVIDED (INCL. 1 VAN ACCESSIBLE PROVIDED)
5. ZONING = PUD
6. THE HORIZONTAL DATUM IS BASED ON GRID NORTH, GEORGIA EAST ZONE 18A B3 DATUM HANO 02.
7. BASED ON MY OBSERVATION, THIS PROPERTY IS LOCATED IN ZONE A1 (BASE 10), A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, 13051C0191 EFFECTIVE DATE: 07/07/2014
8. PARCEL IDENTIFICATION NUMBER: S-103-01-041
9. STORMWATER: THIS DEVELOPMENT WILL NOT INCREASE STORMWATER RUNOFF BY WAY OF ON-SITE STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES IN THE PROPOSED DEVELOPMENT.
10. GREEN SPACE = 1.28 AC (43.4%)
 PROPOSED PAVEMENT AREA = 1.18 AC
 PROPOSED BUILDING AREA = 0.55 AC
 TOTAL IMPERVIOUS = 1.82 AC
11. STAKE MARKERS DO NOT EXIST ON THIS SITE.
12. THE PROPOSED BUILDING HEIGHT IS 21'-2" (MAX.) FROM THE FINISHED FLOOR.
13. TREE COVERAGE CALCULATIONS:
 15 TREES PER DEVELOPABLE ACRE (REQUIRED)
 2.84 ACRE = 15 TREE/ACRE = 43 TREES
 TREES PROVIDED = (SEE LANDSCAPE PLAN)
14. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH AUSTCO SPECIFICATIONS AS PER MUTCD #10 PRODUCTION, PAGE 1-1, PARAGRAPH 3.3.
15. TRIPWIRE/STAKE MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY AS PER STANDARD SPECIFICATIONS 02500.2.06
16. TRAFFIC SIGNS INSTALLED WITHIN THE PUBLIC R/W MUST HAVE HIGH VISIBILITY OR DIAMOND GRADE SHEETING.

PAVEMENT SECTIONS:
 [Symbol] STANDARD PAVEMENT
 [Symbol] PAVERS



P.O. BOX 1338
SAVANNAH, GA 31416-0091
PH: (912) 228-2802
www.pretus.com



REVISIONS

NO.	DATE	DESCRIPTION
1	07/20/14	ISSUED FOR PERMITS

PROJECT DATA

PROJECT NO.	14002
DATE	07/20/14
DRAWN BY	JF
CHECKED BY	AW

PROJECT TITLE

TITLE OF PROJECT & ADDRESS	14002
CITY OF PROJECT	SAVANNAH
COUNTY	CHATHAM

DURHAM PARK OFFICE
 OWNER: FARMERBANK
 PROJECT TITLE: DURHAM PARK OFFICE
 SHEET NO: 9 OF 17

STAKING PLAN
 SCALE: 1" = 30'
 PROJECT NO: 14002
 DATE: 07/20/14
 DRAWN BY: JF
 CHECKED BY: AW

C. A. SIBBARD

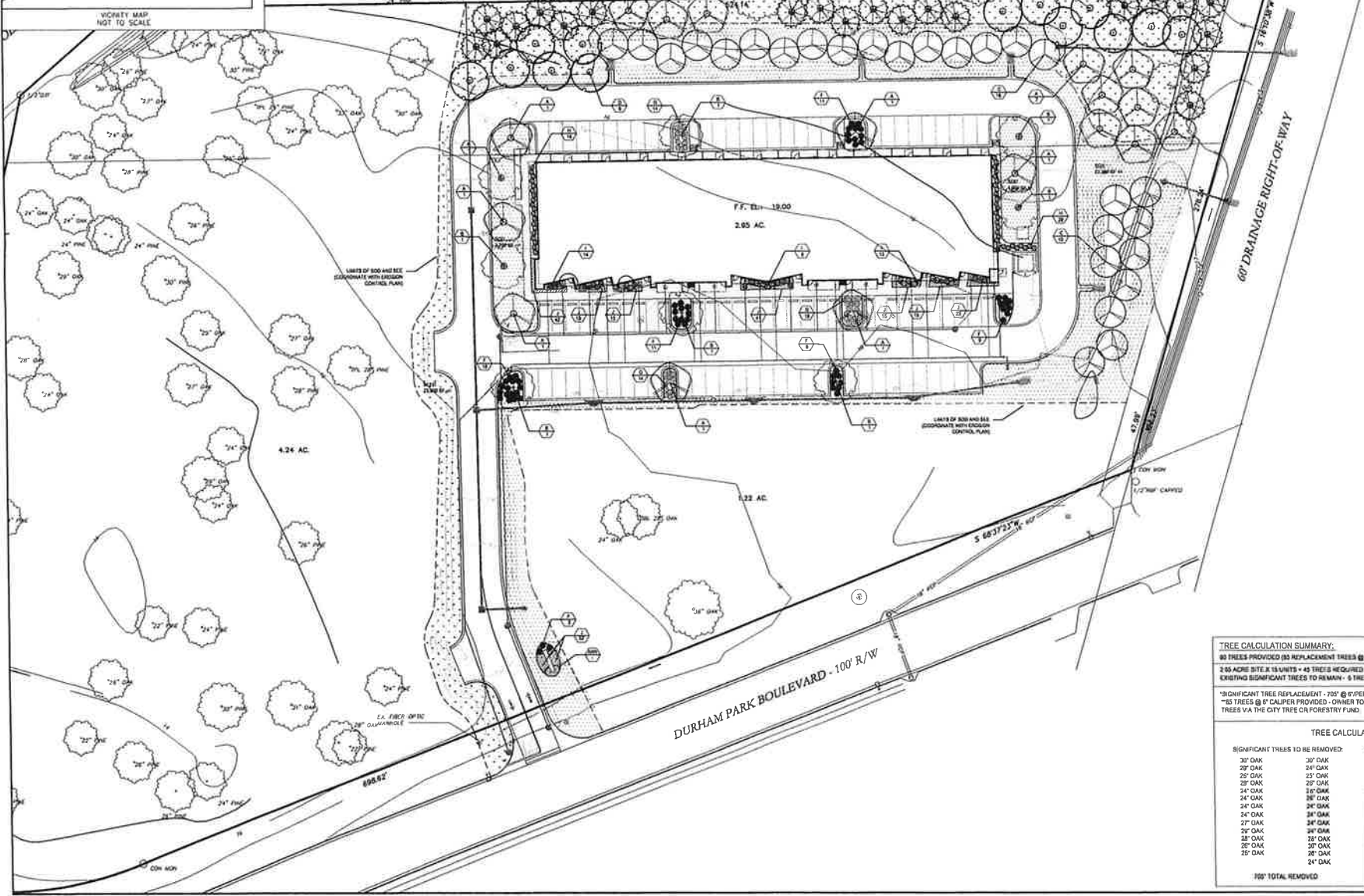


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SECRET MAP NOT TO SCALE



TREE CALCULATION SUMMARY:
 90 TREES PROVIDED (80 REPLACEMENT TREES @ 8" CAL. & 10 EXISTING)
 2.85 ACRES SITE @ 18 UNITS = 45 TREES REQUIRED
 EXISTING SIGNIFICANT TREES TO REMAIN - 6 TREES (2" OAK = 3 TREES)

*SIGNIFICANT TREE REPLACEMENT - 705' @ 6" PER TREE = 110 TREES REQUIRED
 **AS TREES @ 8" CALIPER PROVIDED - OWNER TO PROVIDE % REMAINING TO TREES VIA THE CITY TREE OR FORESTRY FUND.

TREE CALCULATIONS:

SIGNIFICANT TREES TO BE REMOVED:	SIGNIFICANT TREES TO BE SAVED:
30" OAK	30" OAK
28" OAK	24" OAK
26" OAK	25" OAK
25" OAK	20" OAK
24" OAK	18" OAK
24" OAK	18" OAK
24" OAK	24" OAK
24" OAK	24" OAK
24" OAK	34" OAK
24" OAK	28" OAK
24" OAK	28" OAK
24" OAK	28" OAK
24" OAK	28" OAK
24" OAK	24" OAK

705' TOTAL REMOVED

NOTE:
 THIS PLAN FOR THE CONSTRUCTION OF AREAS AND MODIFICATIONS EXPIRES SIX MONTHS AFTER APPROVAL OF CONSTRUCTION PLANS IF ACTIVITY IS PENDING.

PROJECT TITLE: DURHAM PARK OFFICE

DRAWN BY: RABBIT DESIGN

PROJECT NO: DURHAM PARK OFFICE, 815 E. 94TH STREET, SAVANNAH, GA 31906

DATE: 08/15/23

DURHAM PARK BELLS, POGORA, CASPERIA HUB

SCALE: 1" = 30'

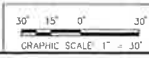
PROJECT NO: 208 HEL 20

DATE: 08/15/23

DRAWN BY: [Signature]

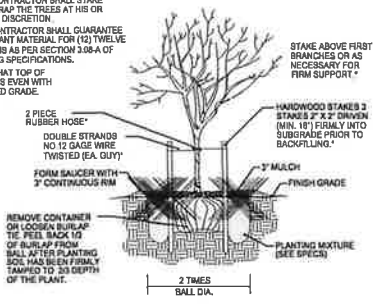
CHECKED BY: [Signature]

LANDSCAPE PLAN



NOTE:

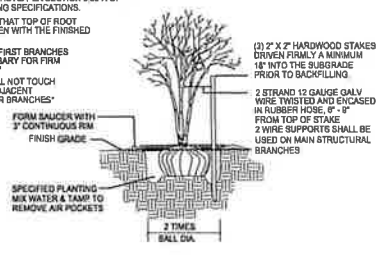
- THE CONTRACTOR SHALL STAKE AND WRAP THE TREES AT HIS OR HER OWN DISCRETION.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.06-A OF PLANTING SPECIFICATIONS.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.



LARGE TREE PLANTING AND STAKING DETAIL
 not to scale

NOTE:

- THE CONTRACTOR SHALL STAKE AND WRAP THE TREES AT HIS OR HER OWN DISCRETION.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.06-A OF PLANTING SPECIFICATIONS.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT.
- WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES.



SMALL & MULTI-TRUNK TREE PLANTING & STAKING DETAIL
 not to scale

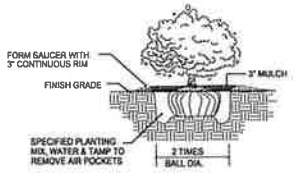
PLANT DETAILS

GENERAL NOTES:

- QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN QUANTITIES. IF THERE IS A CONFLICT BETWEEN QUANTITIES AND SPACING, SPACING SHALL PREVAIL.
- ALL AREAS NOT COVERED BY CONSTRUCTION OR PLANT BED AREAS, SHALL BE PLACED IN GRASSING. SEE PLAN FOR SOD VS. SEEDED AREAS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FROM THE PROPER AUTHORITIES BEFORE BEGINNING ANY WORK WITHIN THE R.O.W. OR OFF SITE.
- WEED BARRIER FABRIC (SHALL BE PLACED IN ALL PLANT BEDS EXCEPT GROUND COVER BEDS) BLACK POLYPROPYLENE SHEET 27 MILS THICK (SEE SPECS).
- CONTRACTOR TO TREAT NEW PLANT MIX WITH WEED PREVENTER AS RECOMMENDED BY MANUFACTURER (SEE SPECS).
- PLACE PLANT IN PIT SO THAT ROOT FLARE IS EVEN WITH FINISHED GRADE. IT MAY BE NECESSARY TO REMOVE SOIL FROM TOP OF ROOTBALL IN ORDER TO EXPOSE ROOT FLARE.
- ALL TREES IN PROXIMITY OF INTERSECTIONS, DRIVEWAYS AND SIDEWALKS SHALL BE DE-LIMBED TO 7 FEET TO ENSURE SIGHT DISTANCE.

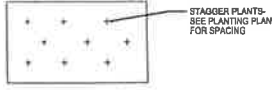
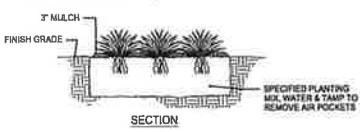
NOTE:

- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.



SHRUB PLANTING DETAIL
 not to scale

NOTE: ENTIRE PLANTING BED SHALL BE TILLED AND PREPARED AS SPECIFIED.



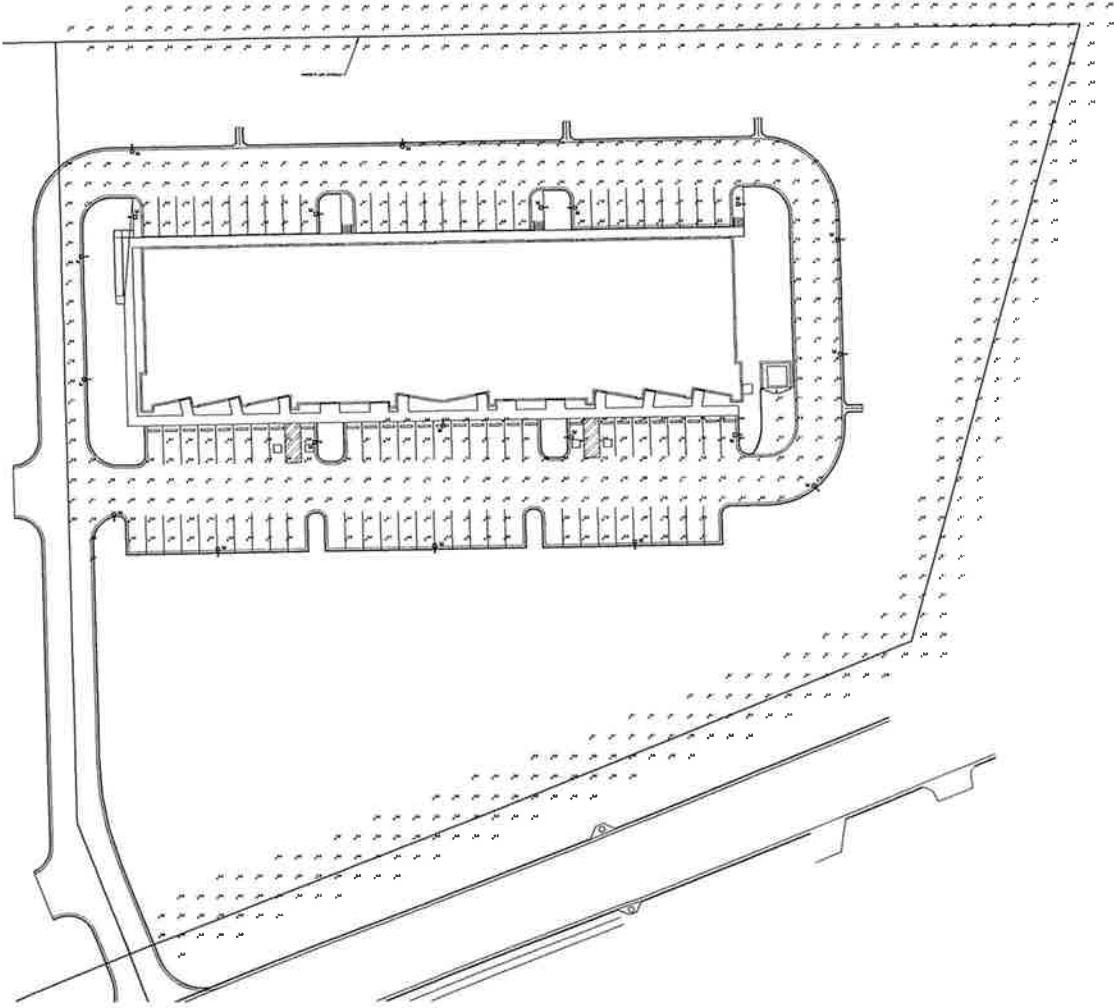
PLANTING BED DETAIL
 not to scale

PLANT SCHEDULE

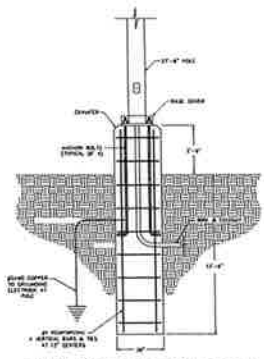
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	QUERCUS PHELLOS 'HIGHTOWER'	HIGHTOWER WILLOW OAK	17	8" CAL	AS SHOWN
B	ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM	8	8" CAL	AS SHOWN
C	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	BALD CYPRESS	26	8" CAL	AS SHOWN
D	PLATANUS OCCIDENTALIS	SYCAMORE	13	8" CAL	AS SHOWN
E	ILEX 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	21	8" CAL	AS SHOWN
F	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY GRASS	58	3 GAL	AS SHOWN
G	LOROPETALUM CHINENSIS 'PURPLE DAYDREAM'	DWARF LOROPETALUM	46	3 GAL	AS SHOWN
H	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	48	3 GAL	AS SHOWN
I	THUJA OCCIDENTALIS 'CONGARE'	FIRE CHIEF ARBORVITAE	36	3" CAL	AS SHOWN
J	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	213	1 GAL	18" O.C.
ANR	ANNUALS (TBD BY OWNER)				
	BERMUDA HYDROSEED	BERMUDA HYDROSEED	±23,800 S.F.		
	BERMUDA SOD	BERMUDA SOD	±28,800 S.F.		
	PINESTRAW MULCH	PINESTRAW MULCH	3" MIN DEPTH		

POLE-MOUNTED LIGHT FIXTURE SCHEDULE					
FIXTURE ID	DESCRIPTION	LAMP TYPE	LAMP QUANTITY	WATTAGE	ADDITIONAL INFORMATION
M	LED POLE MOUNTED FIXTURE LSI CAT # MRS LED 24L SL 3 40 70CRI BRZ	LED	1	194	POLE MOUNTED AT 30'-0" ABOVE GRADE
N	LED POLE MOUNTED FIXTURE LSI CAT # MRS LED 13L SL 3 40 70CRI BRZ	LED	1	111	POLE MOUNTED AT 20'-0" ABOVE GRADE

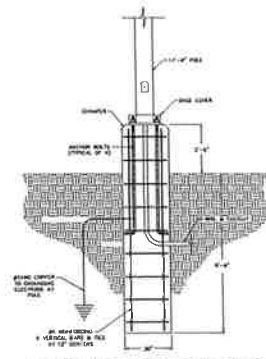
STATISTICS			
Description	Symbol	Avg	Avg/Min
Zone #1	*	5.8 fc	2.7:1



PHOTOMETRIC PLAN
1" = 30'-0"



POLE & BASE DETAIL (FIXTURE M)



POLE & BASE DETAIL (FIXTURE N)



DURHAM PARK
AT
DURHAM PARK BLDG., POOLER, GA
PHOTOMETRIC PLAN

ALL INFORMATION SHOWN ON THIS PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT AND IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

JOB NUMBER
2107

CONTRACT DATE
MARCH 23, 2021

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE
05/13/2021

CURRENT DRAWING STATUS
ISSUED FOR CONSTRUCTION

PM-0.1



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; *and*
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: November 21, 2022

Subject: Site Plan/Landscape Plan for 125 Distribution Drive
(PIN # 5-0924-04-015)

Background & Discussion:

The intent is to construct a warehouse and transportation facility on approximately 12.66 acres with 346 trailer parking spaces.

Planning and Zoning Recommendation:

P&Z recommended approval of the site plan/landscape plan for 125 Distribution Drive.

Staff Recommendation:

Staff recommends approval, contingent upon the Stormwater Agreement being recorded prior to a preconstruction meeting being scheduled and \$34,800.00 being paid into the tree fund.

RECEIVED

MAY 13 2022

ZONING DEPARTMENT

NB-4

Project #

220584

City of Pooler Site Plan Application (pg. 1 of 2)

Applicant Information	Applicant <u>Savannah Terminal, LLC</u> Mailing address <u>2820 16th Street</u> City <u>North Bergen</u> State <u>New Jersey</u> Zip <u>07047</u> Telephone <u>(201)220-1900</u> Fax () _____
Property Ownership	Property Owner(s) <u>Savannah Terminal, LLC</u> Mailing address <u>2820 16th Street</u> City <u>North Bergen</u> State <u>New Jersey</u> Zip <u>07047</u> Telephone <u>(201)220-1900</u> Fax () _____
Contact Person	Contact Person(s) <u>Coleman Company - Patrick Warner</u> Mailing address <u>1480 Chatham Parkway, Suite 100</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31405</u> Telephone <u>(912)200-3041</u> Fax () _____ E-mail <u>pwarner@cci-sav.com</u>
Request	Location address <u>125 Distribution Drive</u> Current Zoning <u>I-1 Industrial</u> Parcel Identification Number <u>50924 04015</u> Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: <u>Warehouse and transportation facility</u>
Participating Contractors	Please list the name and address of all participating contractors: (Surveyor, engineer, architect, installer, developer, etc.) Name _____ License # _____ Mailing address _____ City _____ State _____ Zip _____ Telephone () _____ Fax () _____ E-mail _____



October 18th, 2022
CC: Liberto Chacon, P.E.
Brian Crooks, AICP
Kimberly Classen, CFM

Patrick J. Warner, P.E.
Coleman Company
1480 Chatham Pkwy, Suite 100
Savannah, GA 31405

Dear Mr. Warner,

I am pleased to provide you with a recommendation for Approval of the Site Development Plans for Lot 3 – Dean Forest Business Park, which appears below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Sep. 2022</i>
	Geotechnical Report.....	<i>Sep. 2022</i>
	Stormwater Maintenance Agreement.....	<i>Sep. 2022</i>
	Stormwater Exhibits.....	<i>Sep. 2022</i>
	GSWCC Approval of ES&PC Plans.....	<i>Sep. 2022</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



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OPERATIONS

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT

RECEIVED

SEP 09 2022

ZONING DEPARTMENT

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this 08 day of September, 2022, by and between National Retail Systems, Inc hereinafter "Landowner," and the City of Pooler, Georgia, hereinafter "City."

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property described as Chatham County Parcel Identification Number(s) 50924 04015 as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 383Q Page 392, hereinafter "Property"; and

WHEREAS, the Landowner is proceeding to build on and develop the property; and **WHEREAS**, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within the confines of the Property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowner's association, agree the health, safety, and welfare of the residents of the city of Pooler, Georgia, require on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowner's association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

- 1) The on-site stormwater maintenance facilities/infrastructure shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without express prior approval by the City.
- 2) The Landowner, its successors and assigns, including any homeowner's association, shall at all times adequately maintain the stormwater maintenance facilities/infrastructure. Such maintenance obligation shall include the obligation to properly maintain all pipes, channels or other conveyances built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.
- 3) The Landowner, its successors and assigns, including any homeowner's association, shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Landowner's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Landowner's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.

4) The Landowner, its successors and assigns, including any homeowner's association, hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Landowner, its successors and assigns, including any homeowner's association, shall be notified of the same.

5) In the event the Landowner, its successors and assigns, including any homeowners association, fails to maintain the stormwater maintenance facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns, including any homeowners association. This provision shall not be construed to allow the City to erect any structure of permanent nature on the land of the Landowner, its successors and assigns, including any homeowner's association. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.

6) The Landowner, its successors and assigns, including any homeowner's association, shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.

7) In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, including any homeowners association, shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.

8) This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner, its successors and assigns, including any homeowner's association, agrees to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.

9) This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land and shall be binding on the Landowner, its successors and assigns, including any homeowner's association.

10) This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, this Agreement shall be subordinate to any such applicable law(s).

11) The Landowner and City hereby agree and expressly consent the provisions herein represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.

12) This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument. Signatures via facsimile or scanned PDF signatures shall be deemed original signatures.

13) Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

WITNESS the following signatures and seals on the day and year first above written.

Name of Company

By _____

Title _____

Sworn to and subscribed before me this _____ day of _____, _____.

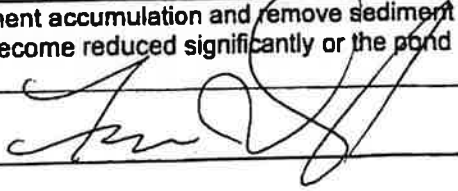
Witness

Notary Public

**STORMWATER MANAGEMENT SYSTEM
INSPECTION & MAINTENANCE SCHEDULE**

Activity	Schedule
Reinforced Concrete Pipes & Structures	
Inspect to ensure that the pipe system is clear of sediment and debris. Remove any accumulated sediment and debris	Bi-Annual
Inspect to ensure that the structures are clear of sediment and debris. Remove any accumulated sediment and debris	Bi-Annual
Inspect for deterioration and/or cracking. Repair or replace any damaged pipe or structures as needed.	Bi-Annual
Inspect structures for standing water following rainfall events. Failure to completely drain within 72 hours after the end of a rainfall event may indicate system failure. Follow up inspection will be necessary.	Bi-Annual (After Rainfall Events)
Detention Pond	
<ul style="list-style-type: none"> - Water side slopes and buffers to promote plant growth & survival - Inspect pond following rainfall events. Plant replacement vegetation in any eroded areas. 	As Needed (Following Construction)
<ul style="list-style-type: none"> - Remove accumulated trash and debris. - Replace mulch in bioretention area as needed. - Remove any accumulated sediment and debris from inlet and outlet structures. 	Monthly
<ul style="list-style-type: none"> - Inspect pond for erosion. Plant replacement vegetation in any eroded areas. - Inspect pond for dead or dying vegetation. Plant replacement vegetation as needed. - Inspect ponds for invasive vegetation and remove as needed. - Inspect inflow area for sediment accumulation. Remove any accumulated sediment or debris. 	Annually (Semi-Annually During First Year)
<ul style="list-style-type: none"> - Inspect for damage, paying particular attention to the control structure and side slopes. Repair as necessary. - Inspect side slopes for erosion and undercutting. Repair as needed. - Check for signs of eutrophic conditions (e.g. excessive algal growth) - Check for hydrocarbon accumulation and remove appropriately - Monitor for sediment accumulation. - Examine to ensure that inlet and outlet devices are free of sediment and debris and are operational. - Check all control gates, valves, and other mechanical devices. 	Annually
<ul style="list-style-type: none"> - Monitor sediment accumulation and remove sediment when the pool volume has become reduced significantly or the pond becomes eutrophic. 	10 to 20 years or after 25% of the permanent pool volume has been lost.

Owner Signature _____
 Name:
 Date:



Owner Mailing Address:

Owner Phone Number:

*\$34,800.00
tree fund
fee!*

CONSTRUCTION PLANS FOR DISTRIBUTION DRIVE

PREPARED FOR NATIONAL RETAIL SYSTEMS INC.

EXISTING TREES TO BE PRESERVED, LOGS
 PLANTED TREES PROPOSED
 SEE 2-DIMENSIONAL TREE SCHEDULES - SEE PLANS LIST SHEET L1.2
 * ZONATION TO THE CITY OF POOLER TREE FUND IS REQUESTED IN THE FOLLOWING AMOUNT:
 20 AMPL. 2 CAL. SIGNIFICANT TREE REPLACEMENT @ \$1,200 PER TREE = \$24,000

THE DESIGNER CERTIFIES THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ORDINANCES.
 PATRICIA WAINWATER
 PATRICK WAINWATER, P.E. - COLEMAN COMPANY

IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DE FACTO, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.
 THE OWNER CERTIFIES THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.
 TONY SCORBO
 TONY SCORBO - NATIONAL RETAIL SYSTEMS INC.

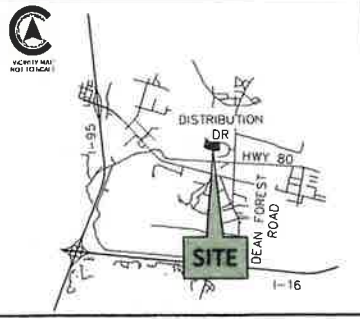


REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
DISTRIBUTION DRIVE
LOCATED IN POOLER, GEORGIA
PREPARED FOR NATIONAL RETAIL SYSTEMS INC.

JOB NUMBER: 20 005
DATE: 02/17/22
DRAWN BY: HKL
CHECKED BY: PJW
SCALE: AS NOTED

VICINITY MAP (N.T.S.)



REVISIONS

PROJECT SITE DATA

PROJECT ADDRESS	125 DISTRIBUTION DRIVE
PROJECT CITY, STATE	POOLER, GEORGIA
OWNER/REPRESENTATIVE	NATIONAL RETAIL SYSTEMS INC
PROPERTY AREA:	52.93 AC
DISTURBED AREA:	12.66 AC
ZONING	L-1
VERTICAL DATUM	NAVD88
HORIZONTAL DATUM	NAD83
FLOOD ZONE:	AE
WATER & SEWER PROVIDER	CITY OF POOLER
PINS	50924 04022
SURVEY PREPARED BY:	COLEMAN COMPANY, INC
GEOTECHNICAL BY:	N/A
ARCHITECT	N/A
CONSTRUCTION EXIT LOCATION	32.1008, 81.2001

SHEET INDEX

SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
COV	COVER	LS 0	EXISTING CONDITIONS
CS 0	CONSTRUCTION NOTES	LS 1, LS 2	LANDSCAPE PLAN
CS 0	EXISTING CONDITIONS	LS 3	LANDSCAPE DETAILS
CS 1	DEMOLITION PLAN	LM 1	LIGHTING PLAN
CS 0	STAKING PLAN		
CS 0	PAVING AND GRADING		
CS 0	DRAINAGE PLAN		
CS 0	PROFILES		
CS 0	CONSTRUCTION DETAILS		
CS 1 0	INITIAL ES&PC PLAN		
CS 2 0	INTERIM ES&PC PLAN		
CS 3 0	FINAL ES&PC PLAN		
CS 4 0 CS 4 1	EROSION CONTROL DETAILS		
CS 0 CS 1	MPDES PERMIT NOTES		

COVER

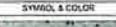



SHEET:

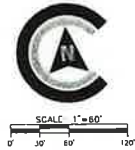
COV

NOTES:

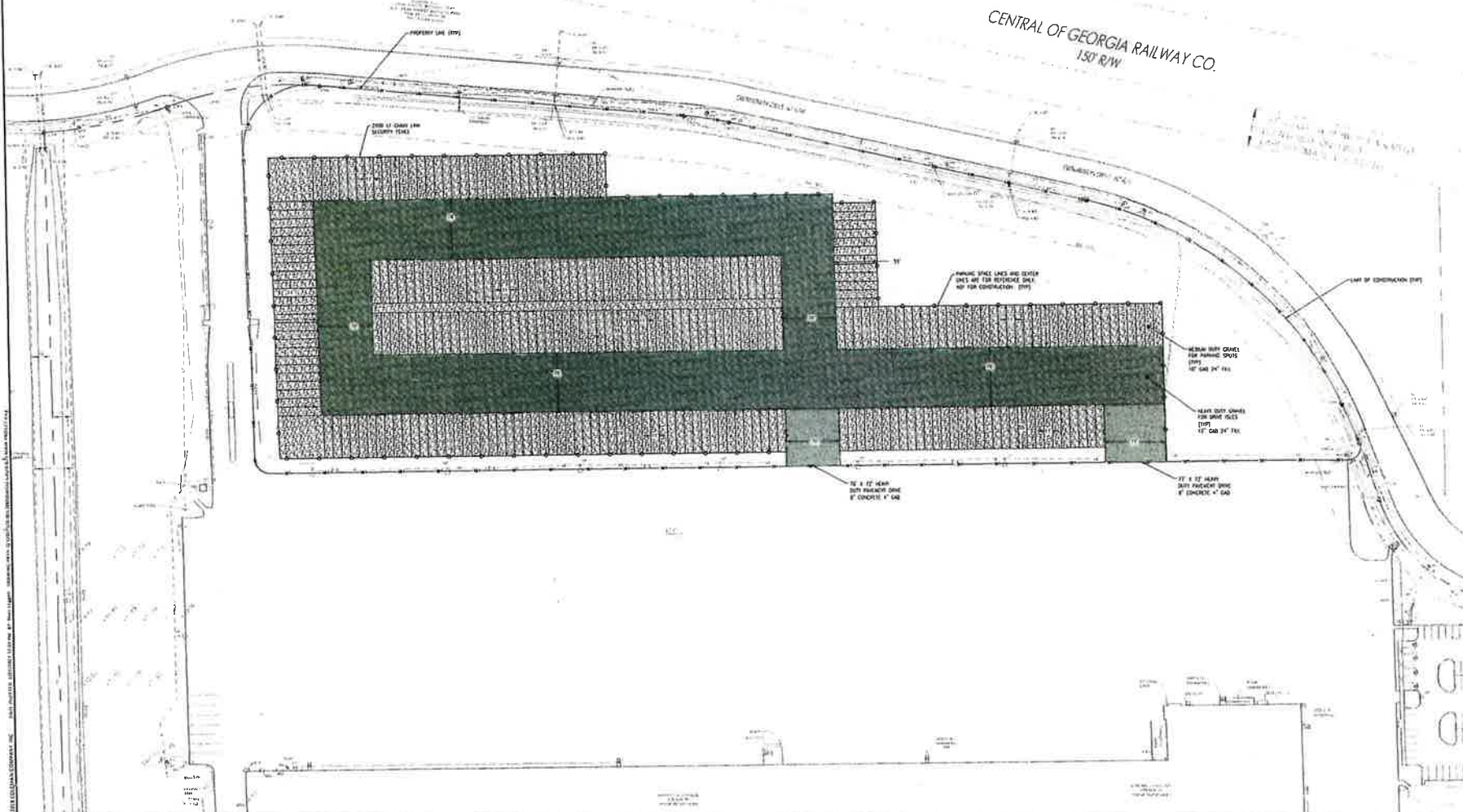
- 1. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS.
- 2. APPLICANT AND CONTRACTOR SHALL ENSURE CONSTRUCTION OF SIDEWALKS, ADA PARKING, AND ACCESSIBLE ROUTES ARE IN COMPLIANCE WITH FEDERAL ADA STANDARDS, LATEST EDITION.
- 3. THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY.

ADDED TRAILER PARKING: 346 ADDITIONAL SPACES PROVIDED

PAVMENT SECTIONS	
PAVEMENT NAME	SYMBOL & COLOR
CONCRETE DRIVE	
CONCRETE LANDING PAD	
MEDIUM DUTY GAB	
HEAVY DUTY GAB	



Know what's below.
Call before you dig.



RELEASED FOR CONSTRUCTION

REVISIONS

CIVIL CONSTRUCTION PLANS FOR
DISTRIBUTION DRIVE
 LOCATED IN POOLE, GEORGIA
 PREPARED FOR NATIONAL RETAIL SYSTEMS INC.

JOB NUMBER: 20-005
 DATE: 02/17/22
 DRAWN BY: HIL
 CHECKED BY: PJW
 SCALE: AS NOTED

STAKING PLAN

SHEET:
C3.0

RELEASED FOR CONSTRUCTION



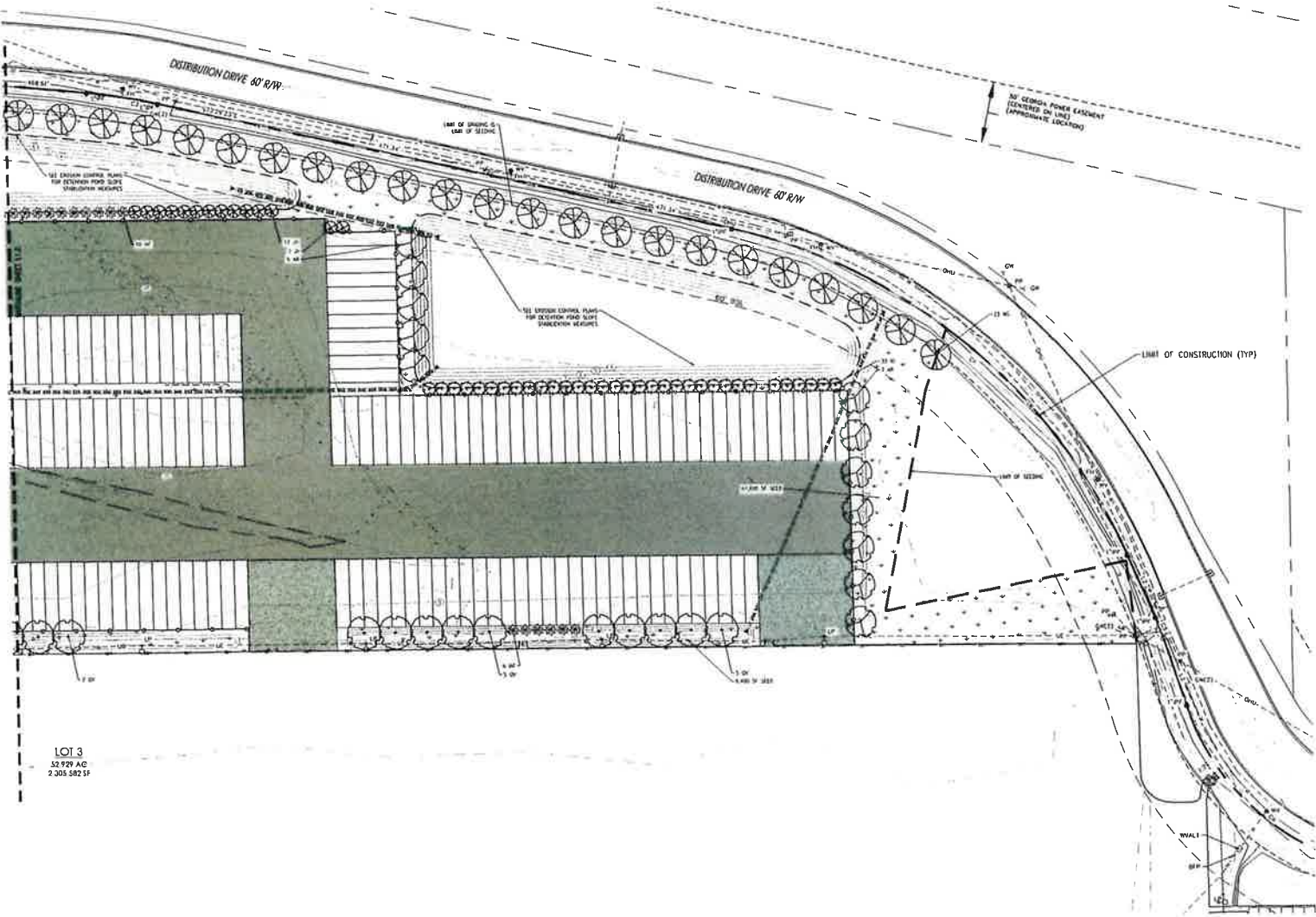
REVISIONS:

LANDSCAPE PLANS FOR
125 DISTRIBUTION DRIVE
LOCATED IN POOLER, GEORGIA

JOB NUMBER: 20 005
DATE: 3/22/2022
DRAWN BY: LIS
CHECKED BY: CSS
SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L1.1



LOT 3
52,929 AC
2,305,582 SF

PLANT KEY

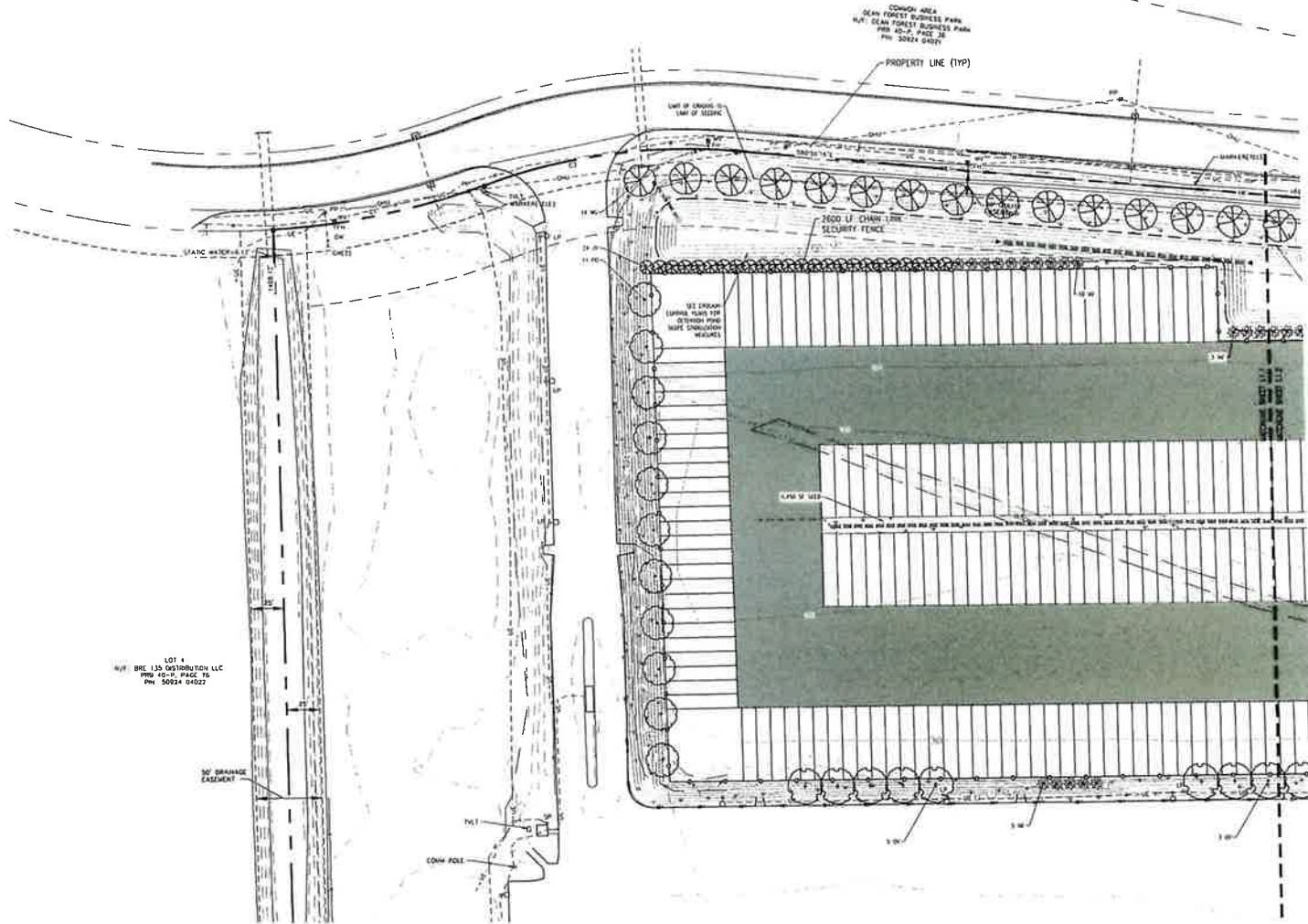
KEY	BOTANICAL NAME	COMMON NAME
ERB1	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT
ERB2	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT
ERB3	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT
ERB4	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT
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ERB99	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT
ERB100	ASTER BERMUDA WED SLIGHT	BETA SLIGHT BETA SLIGHT



SCALE: 1" = 40'



Know what's below.
Call before you dig.



LOT 4
 B/E 135 DISTRIBUTION LLC
 P/W 40-18-19-30-10
 P/W 50024 04027

30' DRAINAGE
 EASEMENT

CONV POLE

COMMON AREA
 DEAN FOREST BUSINESS PARK
 H/W: DEAN FOREST BUSINESS PARK
 P/W: 40-18-19-30-10
 P/W: 50024 04027

PROPERTY LINE (TYP)

LIMIT OF GRASS TO
 LIMIT OF MESSIC

2600 LF CHAIN-LINK
 SECURITY FENCE

USE ENDROW
 (SPRING PLANT TYP
 10' TYPICAL FROM
 MESSIC DRAINAGE
 CHANNEL)

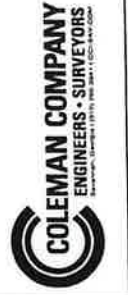
LIMIT OF MESSIC

PLANT KEY

REF	BOTANICAL NAME	COMMON NAME
TREES		
AK	ALER MUGILUM WED SURVEY	RED SLACKY T REE WAMPIS
AM	ALF + ASTRALANTA WOSTER	FOSTER HONEY
CS	TELEORICA	ROADSIDE HONEY
IV	AMOPHILUS VIRGARIANA	ROYAL TEEB
MS	MANGOLIA GRANDIFLORA	SOUTHERN MAGNOLIA
PD	PLATANUS OCCIDENTALIS	AM ANAKBI
QU	QUERCUS VIRGINIANA	WHITE OAK
SECO	STENOCHLOA GYMNORHIZA	CENTRE PEEGE GRASS



SCALE 1" = 40'



RELEASED FOR CONSTRUCTION



REVISIONS

LANDSCAPE PLANS FOR
 125 DISTRIBUTION DRIVE
 LOCATED IN POOLER, GEORGIA

JOB NUMBER: 20-005
 DATE: 3/22/2022
 DRAWN BY: LIS
 CHECKED BY: CSS
 SCALE: AS NOTED

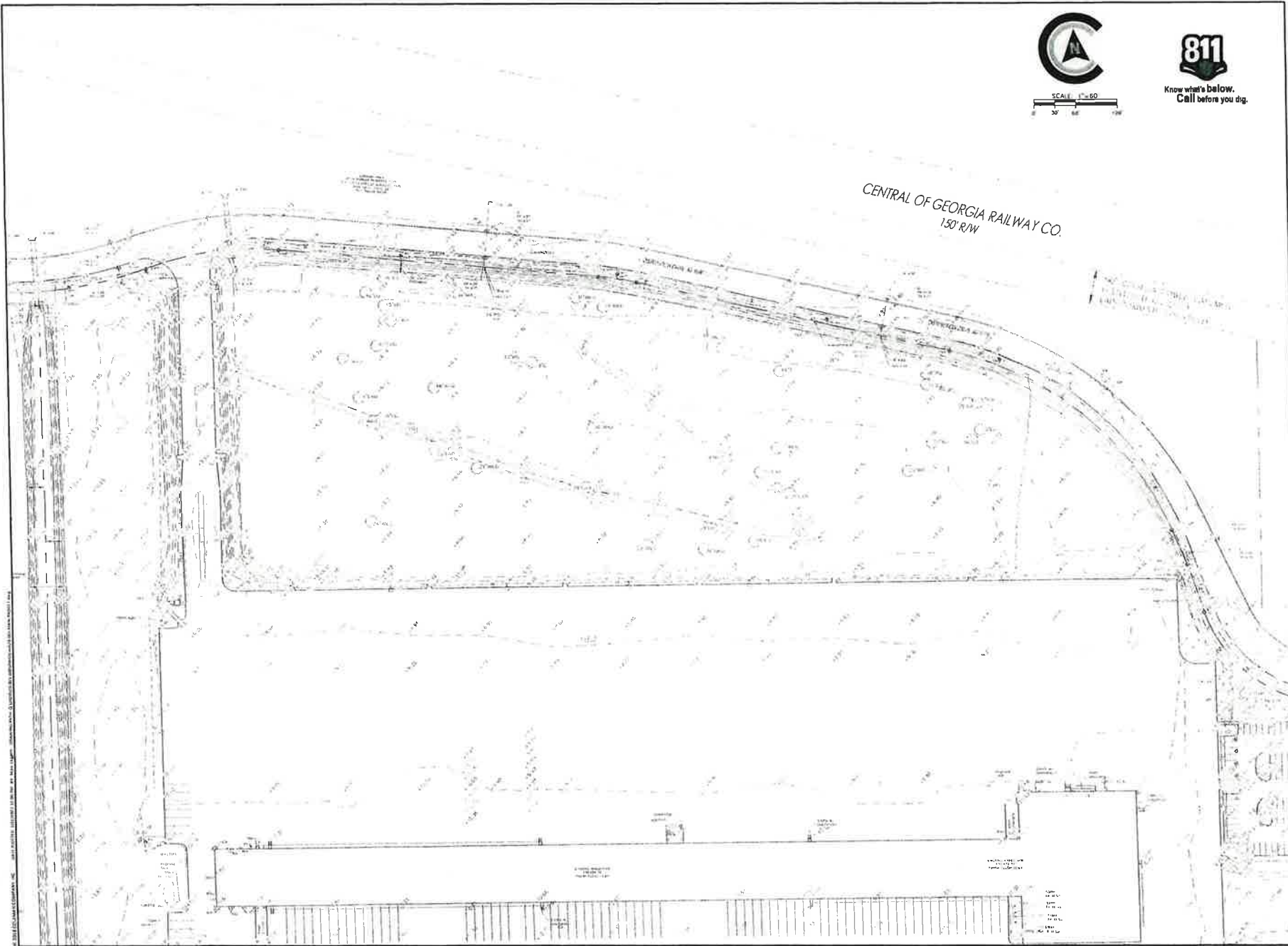
LANDSCAPE
 PLAN

SHEET:

L1.2



Know what's below.
 Call before you dig.



SCALE: 1"=60'
30' 60' 120'



Know what's below.
Call before you dig.

CENTRAL OF GEORGIA RAILWAY CO.
150' R/W



RELEASED FOR CONSTRUCTION



REVISIONS

CIVIL CONSTRUCTION PLANS FOR
DISTRIBUTION DRIVE
LOCATED IN POOLER, GEORGIA
PREPARED FOR NATIONAL RETAIL SYSTEMS INC.

JOB NUMBER: 20 005
DATE: 02/17/22
DRAWN BY: HEL
CHECKED BY: P.J.W
SCALE: AS NOTED

EXISTING
CONDITIONS

SHEET:
C2.0



Know what's below.
Call before you dig.



RELEASED FOR CONSTRUCTION



REVISIONS

NO.	DESCRIPTION

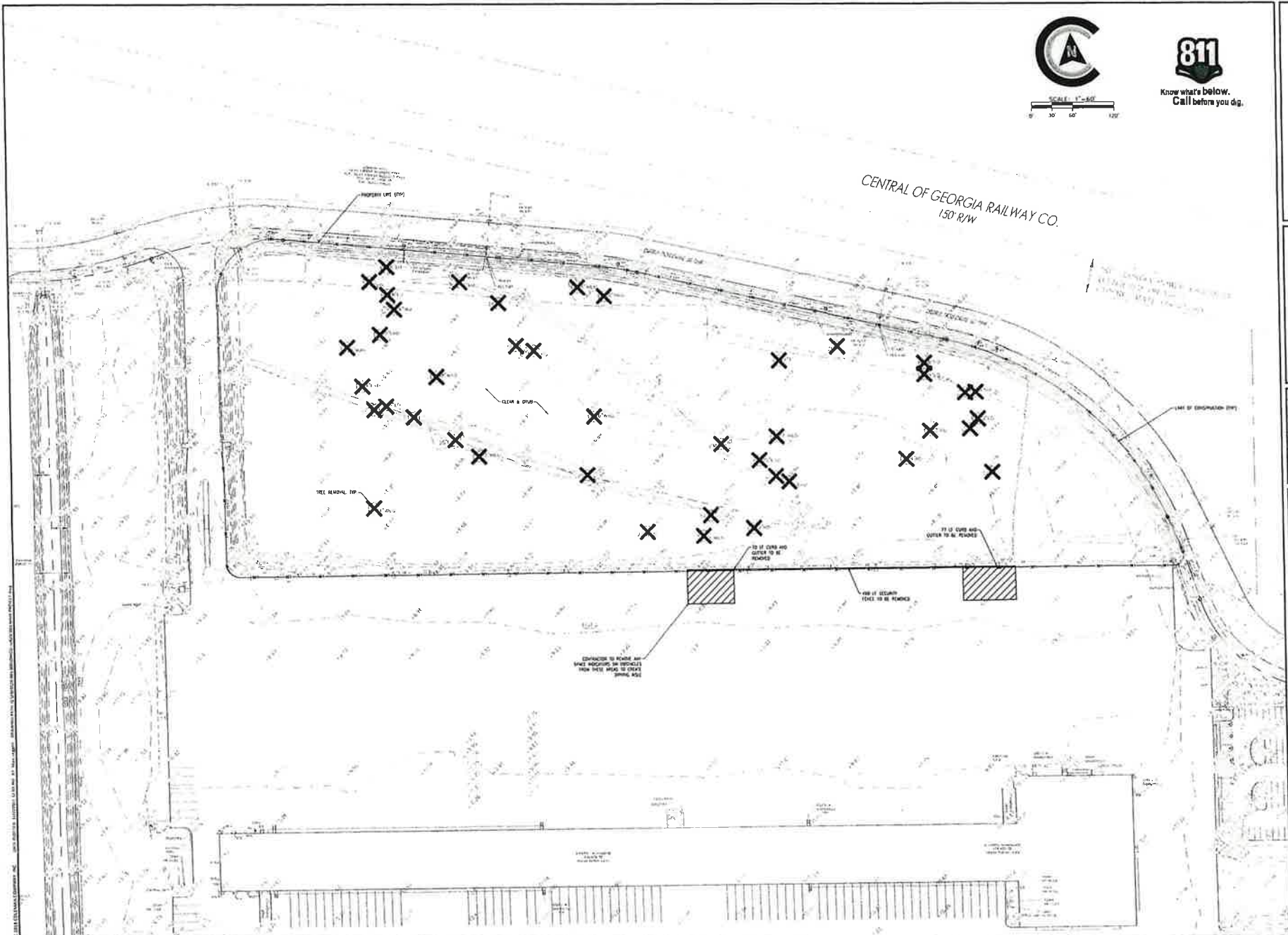
CIVIL CONSTRUCTION PLANS FOR
DISTRIBUTION DRIVE
LOCATED IN POOLER, GEORGIA
PREPARED FOR NATIONAL RETAIL SYSTEMS INC.

JOB NUMBER: 20 005
DATE: 02/17/22
DRAWN BY: JKL
CHECKED BY: PJW
SCALE: AS NOTED

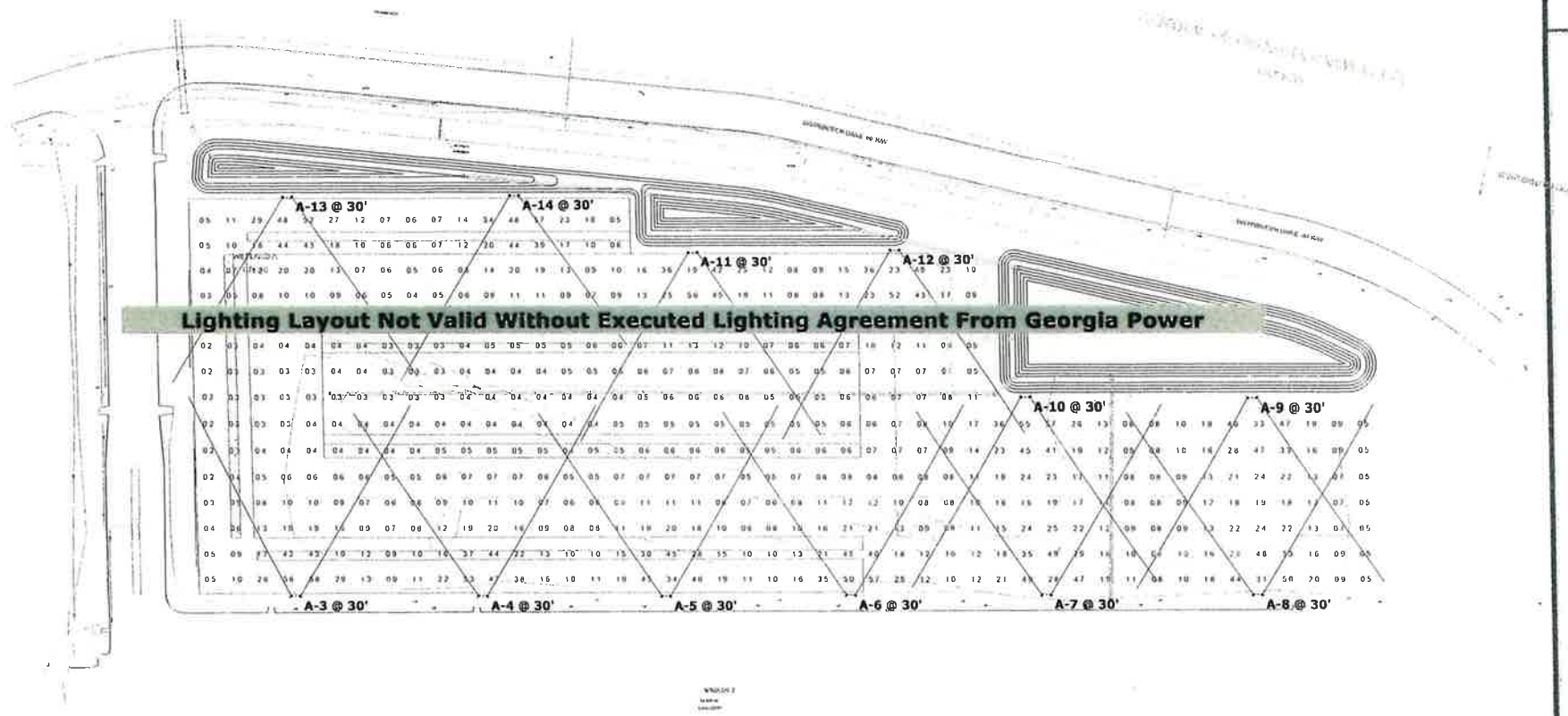
DEMOLITION PLAN

SHEET:

C2.1



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Plan View
Scale: 1" = 10'

Symbol	Unit	Qty	Description	Lotus Building	Manufacturer	Manufacturer Part #	Lotus Building Part #	Lotus Building Qty	Lotus Building Unit
⊙	A	12	LED700 - LUMINA (PROTEK COOPER) LIGHTING	LED700 - LUMINA (PROTEK COOPER) LIGHTING	LED70003000 LUMINA	LED70003000	LED70003000	12	12

Statistics	
Maximum Footcandle	12.0
Minimum Footcandle	0.0
Average Footcandle	1.3
Standard Deviation	1.3
Footcandle Variance	1.7

- Notes**
1. Readings are shown in units of maintained footcandles
 2. Total Light Loss Factor (LLF) = 0.12 LLF for LED
 3. Test Plane = 0' Above Grade
 4. Fixture Mounting Height = 30' Above grade
 5. Fixture Spacing = See Plan view
 6. This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
 7. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Disclaimer:
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Frasier Photometrics is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end user to consult with a professional engineering advisor to determine whether the lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Frasier Photometrics be held responsible for any loss resulting from any use of this lighting design.



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; and
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: November 21, 2022

Subject: Site Plan/Landscape Plan for Parlor Mini-Storage on Pine Barren Road (PIN # 5-1023-01-012)

Background & Discussion:

Dan Fischer, with EMC Engineering, presented the site plan/landscape plan to the P&Z Board for their review and recommendation. The project will consist of 56,540 sq. ft. of storage and the associated parking on approximately three (3) acres. There will be 412 units, of which 207 will be climate controlled.

Planning and Zoning Recommendation:

P&Z recommended approval of the site plan/landscape plan for Parlor Mini Storage, contingent upon review of tapping into the City's water system with the engineer.

Staff Recommendation:

Staff concurs with P&Z and recommends approval, contingent upon approval of the water main extension and receipt of the approved plan and permit for the proposed right turn deceleration lane into this site from the City of Bloomingtondale.



RECEIVED

MAY 02 2022

NB-5

Project # 220556

ZONING DEPARTMENT

Site Plan Application

(page 1 of 3)

Applicant Brian Newberry

Mailing address 1909 Hwy 80 West

City Garden City State GA Zip 31408

Telephone (912) 978 - 2057 Fax ()

Property Owner(s) Cathy Parlor

Mailing address 1909 Hwy 80 West

City Garden City State GA Zip 31408

Telephone (912) 375-4780 Fax ()

Contact Person(s) Dan Fischer

Mailing address EMC Engineering Services, INC., 27 Chatham Center S, Suite A

City Savannah State GA Zip 31405

Telephone (912) 232-6533 Fax () E-mail dan_fischer@emc-eng.com

Location address 1407 Pine Barren Road

Current Zoning C2 Parcel Identification Number 5102301012 (A, B, C)

Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: Proposed Mini-Storage facility.

Blank lines for additional information.



CITY OF POOLER

100 Southwest Highway 80
Pooler, Georgia 31322
(912) 748-7261
www.pooler-ga.gov

RECEIVED
AUG 01 2022
ZONING DEPARTMENT

Mayor
Rebecca C. Benton

CITY COUNCIL

Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

Robert H. Byrd, Jr. - City Manager
Steve Scheer - City Attorney

August 4, 2021

Cathy Parlor
1909 US Highway 80 West
Garden City, GA 31408

RE: Zoning Map Amendment

PIN: 5-1023-01-012, 5-1023-01-012A, 5-1023-01-012B, 5-1023-01-012C

Dear Ms. Parlor:

During their regularly scheduled meeting on Monday August 2, 2021, Mayor and Council approved your request to rezone approximately 5 acres located at 1403, 1405, 1407 and 1411 Pine Barren Road from MH-1 to C-2, contingent upon submission of a recombination plat, sufficient fire protection, a three-lane road with left and right turn lanes per the Kimley-Horn Pine Barren traffic study, based on the request meeting the criteria.

Enclosed is a copy of the resolution and a copy of the minutes wherein this action was taken. Also, please do not hesitate to call if I can be of further assistance to you.

Sincerely,

Kimberly Classen
Zoning Administrator

cc: Robbie Byrd ~ City Manager
Phillip McCorkle
File



November 8th, 2022

Alec B. Metzger, P.E.
EMC Engineering Services
27 Chatham Center South, Suite A
Savannah, GA 31405

Dear Mr. Metzger,

I am pleased to provide you with a recommendation for Conditional Approval of the site development plans for 'Parlor Mini Storage', which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Oct. 2022
	Stormwater Management Report.....	Oct. 2022
	Stormwater Maintenance Agreement.....	Aug. 2022
	Geotechnical Report.....	Aug. 2022
	Zoning Approval Letter.....	Aug. 2022
	Tree Survey.....	Aug. 2022
	Well Report.....	Jul. 2022
	Septic Report.....	Jul. 2022
	Lighting Plan.....	Oct. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.





EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend **Approval** of the site development plans, subject to the following conditions:

1. The City of Pooler shall be in receipt of the Chatham County Health Department Permit Approval/Certification that the existing water well is suitable for drinking water.
2. The City of Pooler shall be in receipt of the City of Bloomingdale Approved Plan & Permit for the proposed right turn deceleration lane into site.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City of Pooler
Kimberly Classen, CFM; City of Pooler
Liberto Chacon, PE; EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

Participant ID: 4723963158

BK 2947 PG 404 - 407

ABOVE SPACE FOR RECORDING INFORMATION ONLY

**STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT**

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this 18TH day of July, 2022, by and between **EXCLUSIVE GROUNDS SOLUTIONS, LLC**, a Georgia limited liability company (hereinafter "Landowner") and the **CITY OF POOLER, GEORGIA** (hereinafter the "City").

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property described as Chatham County Parcel Identification Number 5-1023-01-012, known as 1407 Pine Barren Road, 5.00 ACRES, LOT 1-A, CITY OF POOLER, CHATHAM COUNTY, GEORGIA.

WHEREAS, the Landowner is proceeding to build on and develop the Property; and

WHEREAS, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within common areas to be located on the Property; and

WHEREAS, the City and the Landowner agree the health, safety, and welfare of the residents of the City of Pooler, Georgia, require that on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner or other responsible party designated by the Landowner, including any incorporated property owner's association (an "Association").

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. At such time as the Landowner develops the Property, the Landowner shall construct the on-site stormwater maintenance facilities/infrastructure in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without the express prior approval by the City.

2. The Landowner, as developer of the Property, or any person(s) or entity(ies) to whom it specifically assigns its rights by recorded assignment in the Chatham County, Georgia real estate records, including any Association, or alternatively, any person(s) or entity(ies) to whom the Landowner transfers fee simple title to any common areas containing stormwater maintenance facilities/infrastructure by instrument recorded in the Chatham County, Georgia real estate records (the "Responsible Party"), shall at all times adequately maintain the stormwater maintenance facilities/infrastructure located on the Property. For avoidance of doubt, the obligations contained in this Agreement shall not run with the title to residential building lots subdivided from the Property and sold to third parties merely by virtue of such ownership, unless said obligations are specifically assigned to said owners of residential building lots by instrument recorded in the Chatham County, Georgia real estate records. However, nothing contained herein shall restrict the Landowner or Association from allocating maintenance responsibilities to individual lot owners by recorded declaration or agreement.

3. The Responsible Party shall be obligated to properly maintain all pipes, channels or other conduits built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.

4. The Responsible Party shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Responsible Party's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Responsible Party's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.

5. The Landowner hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Responsible Party shall be notified of the same.

6. In the event the Responsible Party fails to maintain the stormwater maintenance

facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps are necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Responsible Party. This provision shall not be construed to allow the City to erect any structure of a permanent nature on the Property. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.

7. The Responsible Party shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.

8. In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Responsible Party shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.

9. This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner or other Responsible Party agree to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.

10. This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land with respect to any common areas subdivided from the Property and shall be binding on the Responsible Party. For avoidance of doubt, the obligations contained in this Agreement shall not run with the title to residential building lots subdivided from the Property and sold to third parties merely by virtue of such ownership, unless said obligations are specifically assigned to said owners of residential building lots by instrument recorded in the Chatham County, Georgia real estate records.

11. This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, the federal, state or local law shall control.


12. The Landowner and City hereby acknowledge and agree that the provisions herein and the plans and specifications in any applicable development plan approved by the City represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.

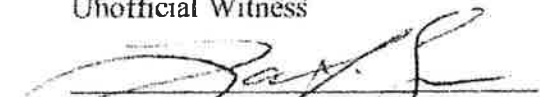
13. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument.

14. Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement under seal the day and year written above.

Signed, sealed, and delivered
in the presence of:

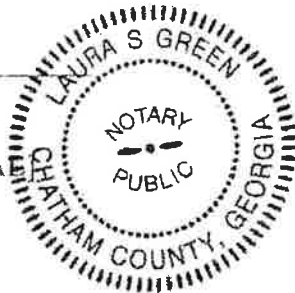

Unofficial Witness


Notary Public

My Commission Expires:

8/28/2023

[NOTARIAL SEAL




LANDOWNER:

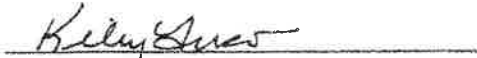
EXCLUSIVE GROUNDS, LLC,
a Georgia limited liability company

By: 

Its: OWNER

Signed, sealed and delivered
in the presence of:

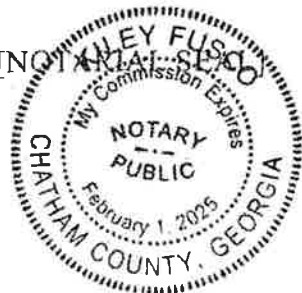

Unofficial Witness


Notary Public

My Commission Expires:


FEB 1, 2025

[NOTARIAL SEAL



CITY:

CITY OF POOLER, GEORGIA

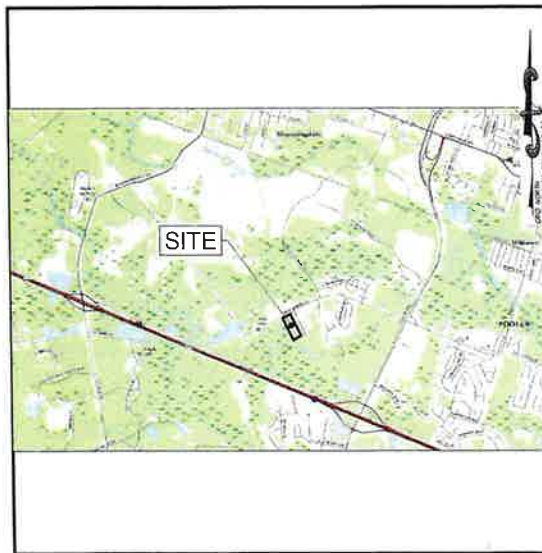
By: 

Its: Mayor

SITE DEVELOPMENT PLANS FOR PARLOR MINI STORAGE POOLER, CHATHAM COUNTY, GEORGIA

Prepared for
PINE BARREN SELF STORAGE LLC

PROJECT DATA	
OWNER/DEVELOPER	PINE BARREN SELF STORAGE LLC 1616 US HWY 80W DAMON CITY, GA 31406
DATE CONTACT	BRIAN NEWGERRY (912) 878-2027
TAX MAP & PARCEL NUMBER	16161616
PARCEL AREA	5.00 AC
ZONING CLASSIFICATION	C2
PROPOSED USE	MINI SELF STORAGE FACILITY
IMPERVIOUS AREA	2.37 AC
DISTURBED AREA	3.00 AC
TOTAL BUILDING AREA	54,200 SF
PARKING SPACES REQUIRED	4
PARKING SPACES PROVIDED	4



VICINITY MAP
NOT TO SCALE

PROJECT LOCATION:
PINE BARREN RD
POOLER, CHATHAM COUNTY, GEORGIA
EMC PROJECT# 20-0143
MARCH 2022

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	STAKING PLAN
5	PAVING, GRADING & DRAINAGE PLAN
6	STORM DRAINAGE PROFILES
7	INITIAL EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
8	INTERMEDIATE EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
9	FINAL EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
10	EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES
11	EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES
12	LANDSCAPE PLAN
13	CONSTRUCTION DETAILS
14	CONSTRUCTION DETAILS

I, ALEC B. METZGER, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA, HEREBY CERTIFY THAT THE GRADING AND DRAINAGE PLANS FOR THE PROJECT KNOWN AS SOUTHERN PIPE LYING IN POOLER, CHATHAM COUNTY, GEORGIA, HAVE BEEN PREPARED UNDER MY SUPERVISION TO MEET THE REQUIREMENTS OF THE CITY OF POOLER'S STORMWATER MANAGEMENT ORDINANCE AND THE LATEST EDITION OF THE COASTAL STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ORDINANCE, AND STATE THAT IN MY OPINION, THE CONSTRUCTION OF SAID PROJECT SHALL NOT PRODUCE STORM DRAINAGE CONDITIONS THAT WILL CAUSE DAMAGE OR ADVERSELY AFFECT THE SURROUNDING PROPERTIES.

 7-28-2022
ENGINEER'S SIGNATURE DATE

ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

7-28-2022
OWNER'S SIGNATURE DATE

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, METER BOXES, ETC. SHOWN ON DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPLY WITH ALL UTILITIES IN THE AREA. UTILITIES IN SERVICE OR MANHOLES THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED. HOWEVER, THE SURVEYOR CERTIFIES THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

REVISION	DESCRIPTION	DATE



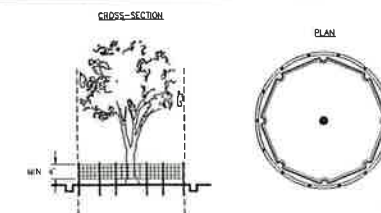
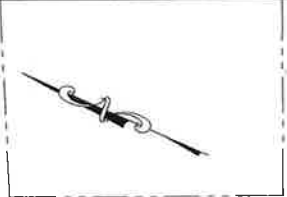
EMC ENGINEERING SERVICES, INC.
ENVIRONMENTAL - MARINE - CIVIL - SURVEY



EMC ENGINEERING SERVICES, INC.
27 CHATHAM CENTER SOUTH, SUITE A
SAVANNAH, GEORGIA 31405
PHONE: (912) 332-6533
FAX: (912) 332-4300
www.emc-eng.com

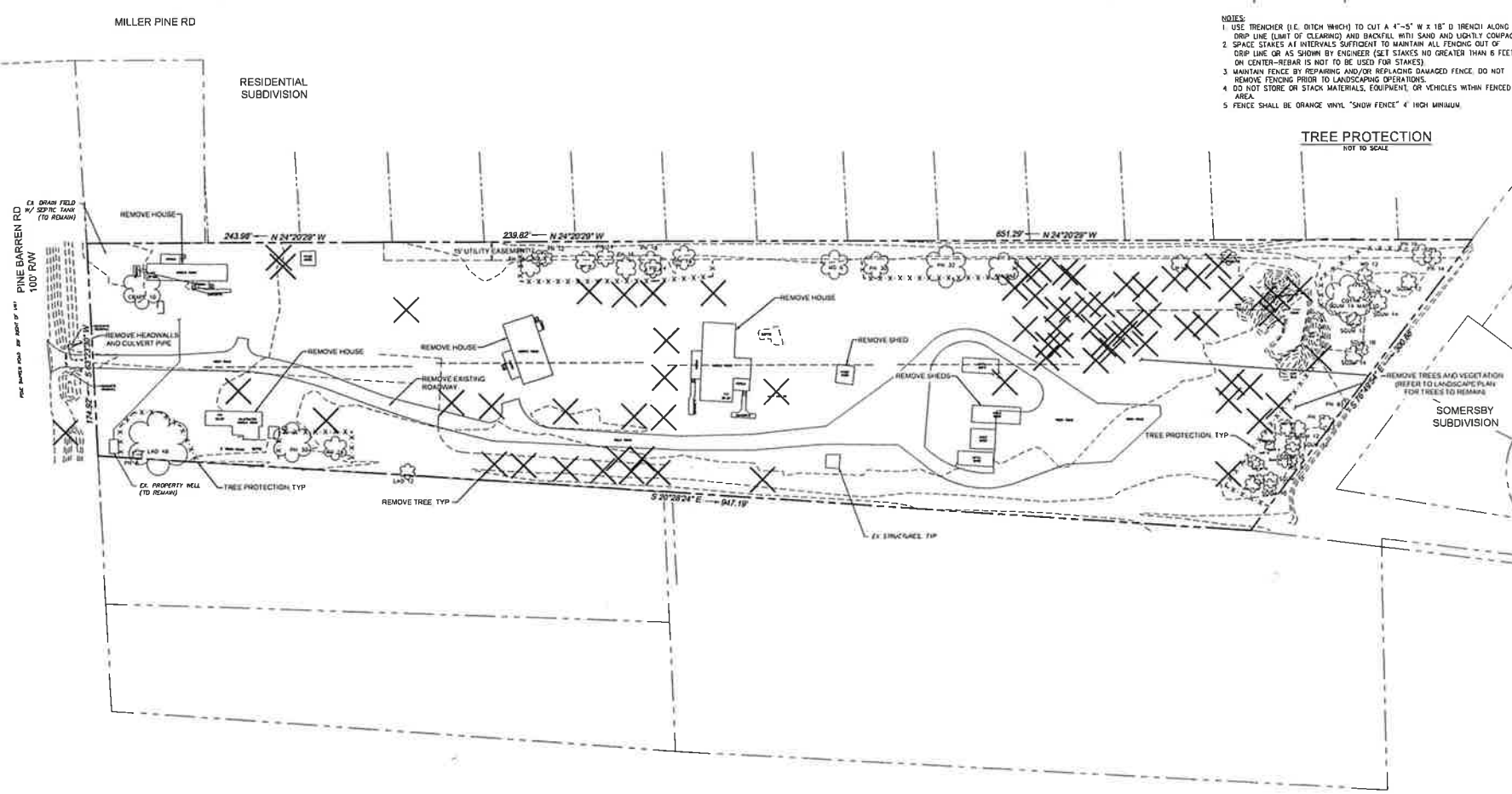
ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS • SAVANNAH
STALEY • TALLADEGA • TUCKER • VALDOSTA • WADSWORTH • WOODBRIDGE

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- NOTES:**
1. USE TRENCHER (I.E. DITCH WHICH) TO CUT A 4"-5" W X 18" D TRENCH ALONG DRIP LINE (LIMIT OF CLEARING) AND BACKFILL WITH SAND AND LIGHTLY COMPACT
 2. SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES)
 3. MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.
 4. DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA.
 5. FENCE SHALL BE ORANGE VINYL "SNOW FENCE" 4' HIGH WITH 100UM.

TREE PROTECTION
NOT TO SCALE



NO	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.
27 Claxton Center Square, Suite A
Pooler, Georgia 31322
Ph: 912.732.8533
Fax: 912.733.5960
www.emc-eng.com



EXISTING CONDITIONS & DEMOLITION PLAN
PARLOR MINI STORAGE
PINE BARREN RD
POOLER, CHATHAM COUNTY, GEORGIA
Prepared for:
PINE BARREN SELF STORAGE LLC

PROJECT NO	2018143
DRAWN BY	MCS
DESIGNED BY	MCS
SURVEYED BY	BRICHER
SURVEY DATE	11/16/2020
CHECKED BY	EM
SCALE	1" = 40'
DATE	3/2/22

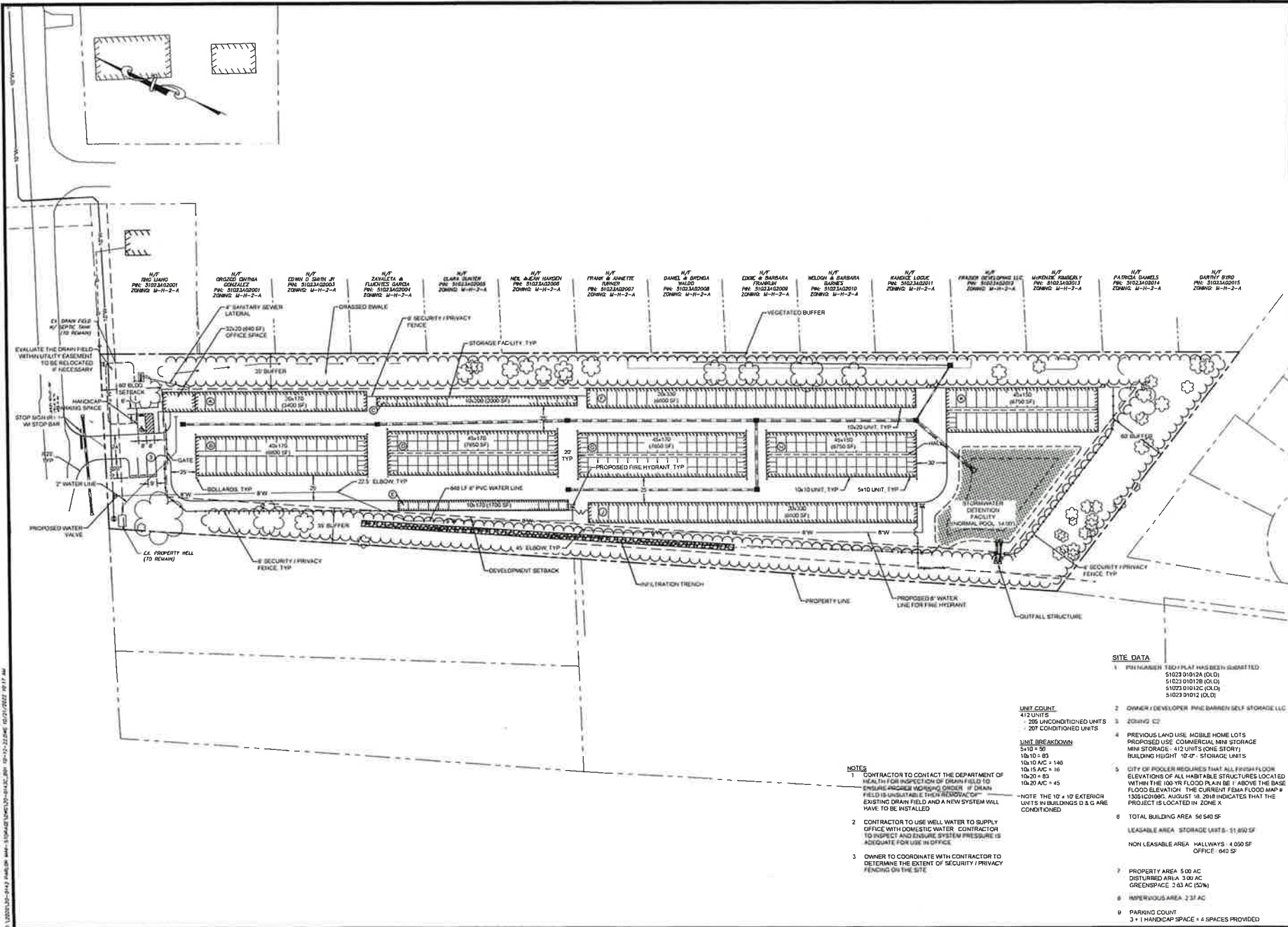
EXISTING TREE LEGEND

MAP	- MAPLE
PW	- PINE
WD	- WATER OAK
SQUM	- SWEET GUM
HQ	- MAGNOLIA
LAO	- LAURAL OAK
COTW	- COTTONWOOD

A TREE SURVEY OF THE PROPERTY WAS COMPLETED BY BREWER LAND SURVEYING IN NOVEMBER 2020. THERE WERE SIGNIFICANT TREES (AS DEFINED IN CITY OF POOLER CODE OF ORDINANCES, QUARTER 42 - ENVIRONMENT, ARTICLE 11 - TREE PROTECTION, SECTION 42.188 - SIGNIFICANT TREES) FOUND WITHIN THE BOUNDARY OF THE PROPERTY.

REGISTERED LANDSCAPE ARCHITECT

© 1/20/2021 10:44:47 AM: C:\DWG\2021\2021-11-16\2021-11-16-11-16-11-16.dwg



NO	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.
 27 Oakwood Lane, Suite A
 Pooler, GA 31028-5633
 Ph: (912) 252-5633
 Fax: (912) 252-5633
 www.emceng.com

EMC
 ENGINEERING
 SERVICES, INC.

STAKING PLAN
PARLOR MINI STORAGE
 PINE BARREN RD
 POOLER, CHATHAM COUNTY, GEORGIA
 Prepared for
PINE BARREN SELF STORAGE LLC

SITE DATA

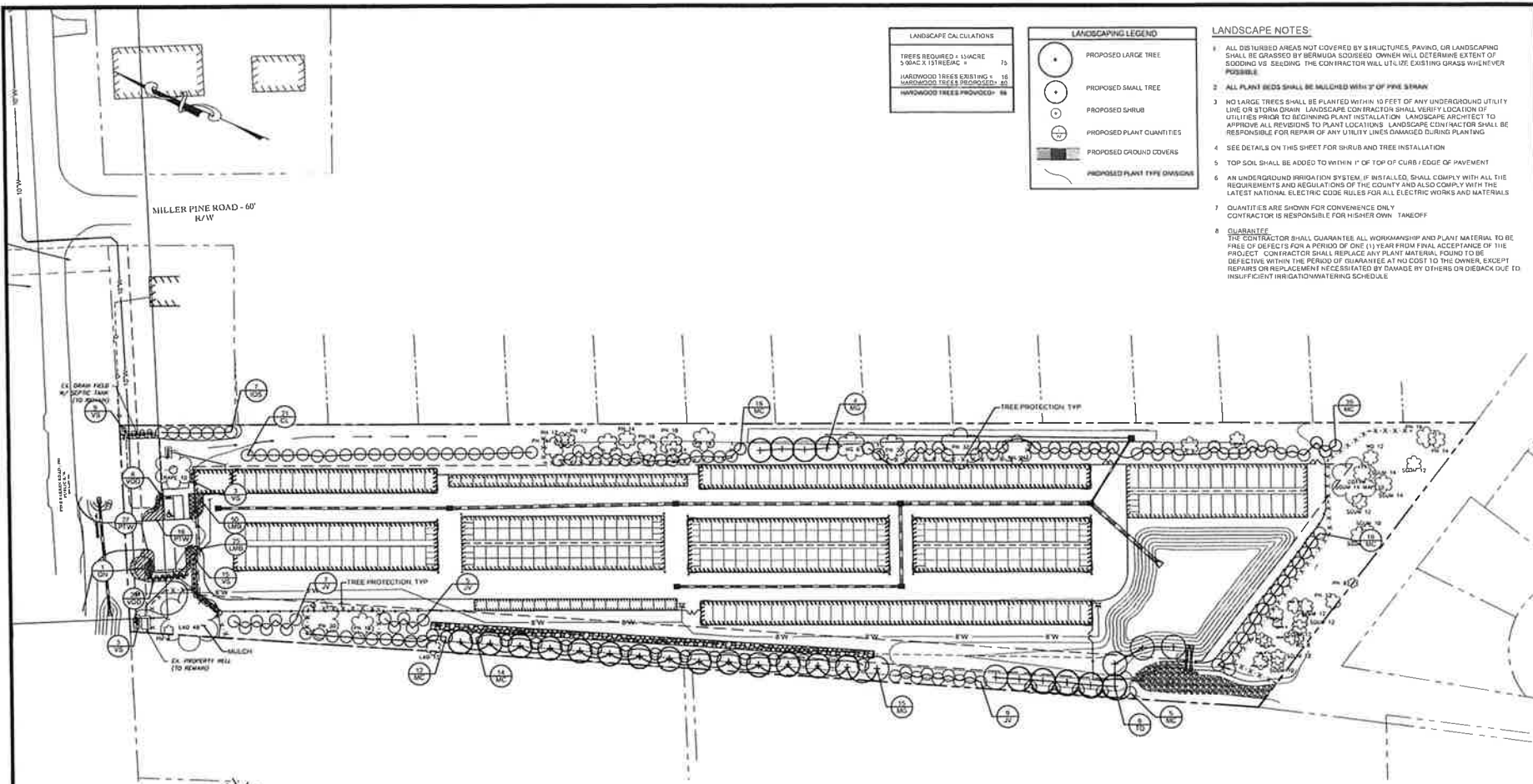
1. PERMITS: TIED PLAT HAS BEEN SUBMITTED
 51023 01012A (O.L.)
 51023 01012B (O.L.)
 51023 01012C (O.L.)
 51023 01012 (O.L.)
2. OWNER / DEVELOPER: PINE BARREN SELF STORAGE LLC
3. ZONING: CS
4. PREVIOUS LAND USE: MOBILE HOME LOTS
 PROPOSED USE: COMMERCIAL MINI STORAGE
 MINI STORAGE - 412 UNITS (ONE STORY)
 BUILDING HEIGHT: 10'-0" - STORAGE UNITS
5. CITY OF POOLER REQUIRES THAT ALL FINISH FLOOR ELEVATIONS OF ALL HABITABLE STRUCTURES LOCATED WITHIN THE 100-YR FLOOD PLAIN BE 1' ABOVE THE BASE FLOOD ELEVATION. THE CURRENT FEMA FLOOD MAP # 13061C0100C, AUGUST 16, 2018 INDICATES THAT THE PROJECT IS LOCATED IN ZONE X
6. TOTAL BUILDING AREA: 56,540 SF
 LEASABLE AREA - STORAGE (ABTS): 51,800 SF
 NON LEASABLE AREA - HALLWAYS: 4,050 SF
 OFFICE: 640 SF
7. PROPERTY AREA: 5.00 AC
 DISTURBED AREA: 3.98 AC
 GREENSPACE: 2.63 AC (52%)
8. IMPERVIOUS AREA: 231 AC
9. PARKING COUNT:
 3 + 1 HANDICAP SPACE + 4 SPACES PROVIDED

UNIT COUNT
 412 UNITS
 - 205 UNCONDITIONED UNITS
 - 207 CONDITIONED UNITS

UNIT BREAKDOWN
 5x10 = 50
 10x10 = 83
 10x10 AC = 148
 10x15 AC = 16
 10x20 = 83
 10x20 AC = 45

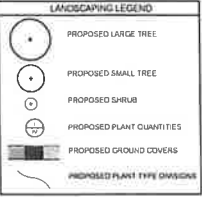
- NOTES**
1. CONTRACTOR TO CONTACT THE DEPARTMENT OF HEALTH FOR INSPECTION OF DRAIN FIELD TO ENSURE PROPER METERING ORDER. IF DRAIN FIELD IS UNSATISFACTORY, REMEDIATION OF EXISTING DRAIN FIELD AND A NEW SYSTEM WILL HAVE TO BE INSTALLED.
 2. CONTRACTOR TO USE WELL WATER TO SUPPLY OFFICE WITH DOMESTIC WATER. CONTRACTOR TO INSPECT AND ENSURE SYSTEM PRESSURE IS ADEQUATE FOR USE IN OFFICE.
 3. OWNER TO COORDINATE WITH CONTRACTOR TO DETERMINE THE EXTENT OF SECURITY / PRIVACY FENCING ON THE SITE.

C:\Users\jmc\OneDrive\Documents\Projects\2023\23-001\23-001.dwg (10/17/2023 10:17 AM)



LANDSCAPE CALCULATIONS

TREES REQUIRED - 1/4" SCALE	75
5 0" AC X 1 1/2" TREE AC	
HARDWOOD TREES EXISTING - 10	
HARDWOOD TREES PROPOSED - 88	



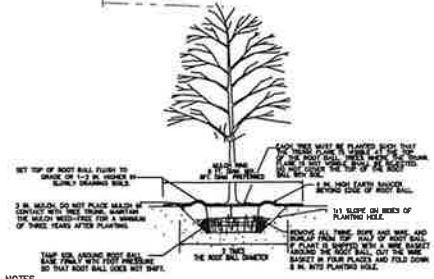
- LANDSCAPE NOTES**
- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, OR LANDSCAPING SHALL BE GRASSED BY BERBERIS SOONEST. OWNER WILL DETERMINE EXTENT OF SOODING VS SEEDING. THE CONTRACTOR WILL UTILIZE EXISTING GRASS WHENEVER POSSIBLE.
 - ALL PLANT BEDS SHALL BE MULCHED WITH 2" OF PINE STRAW.
 - NO LARGE TREES SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
 - SEE DETAILS ON THIS SHEET FOR SHRUB AND TREE INSTALLATION.
 - TOP SOIL SHALL BE ADDED TO WITHIN 1" OF TOP OF CURB / EDGE OF PAVEMENT.
 - AN UNDERGROUND IRRIGATION SYSTEM, IF INSTALLED, SHALL COMPLY WITH ALL THE REQUIREMENTS AND REGULATIONS OF THE COUNTY AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
 - QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR HIGHER OWN TAKEOFF.
 - GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DISEASE DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.

DATE: _____

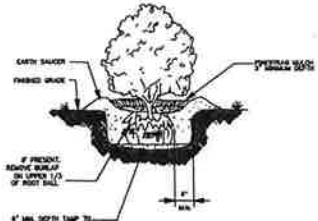
NO.	REVISION DESCRIPTION



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 Atlanta, Georgia 30320
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- NOTES**
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LABEL CO-DOMINANT LEADERS AND BRANCHES OR DEAD BRANCHES. CUT BRANCHES THIN AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE SIDE OF THE CROWN.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).



- NOTES**
- CLEARLY PRUNE ONLY DAMAGED, DISEASED AND OR DEAD BRANCHES IF NECESSARY.
 - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT (SEE STAKING DETAILS).

EXISTING TREE LEGEND

- MAP - MAPLE
- HO - WATER OAK
- SOM - SWEET GUM
- MG - MAGNOLIA
- LAO - LAURAL OAK
- COTW - COTTONWOOD

PLANT SCHEDULE

ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
GRD CVR						
1	PROPEL MASCAN SHO BLUE	IRVINGIA GLOBOSE	75	1 GAL	2' O C	
SHRUBS						
16	SHRUBIA CERIFERA	WAX MYRTLE	104	7 GAL	10' O C	
17	PHITOPORUM TORRA WHEELER'S DWARF	WHEELER'S PITTOPORIUM	43	3 GAL	3' O C	
18	VEURUM GHOVATIA MRS. SCHILLER'S DELIGHT	WALTER'S VEURUM	26	3 GAL	3' O C	
19	VEURUM SUSPENSUM	SANDAKWIA VEURUM	30	3 GAL	4' O C	
TREES						
1	CLIPRESSUS A L E VLANDI	LEVYLAND CYPRESS	21	2" CAL	AS SHOWN 14' O C	
2	ILEX OPACA SAWANNAH	SAVANNAH HOLLY	7	2" CAL	AS SHOWN 10' O C	
3	LAPHURUS VIRGINIANA	RED CEDAR	31	2" CAL	AS SHOWN 10' O C	
4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	10	2 1/2" CAL	AS SHOWN	
5	QUERCUS NUTTALLI	NUTTALL OAK	1	2 1/2" CAL	AS SHOWN	
6	TAXODIUM DISTICHUM	BALD CYPRESS	5	2" CAL	AS SHOWN	
Total Hardwood Trees			78			

LANDSCAPE PLAN
PARLOR MINI STORAGE
 PINE BARREN RD
 POOLER, CHATHAM COUNTY, GEORGIA
 Prepared for:
 PINE BARREN SELF STORAGE LLC

PROJECT NO: 202013
 DRAWN BY: WCS
 DESIGNED BY: WCS
 SURVEYED BY: BETHSHEA
 SURVEY DATE: 11/19/2020
 CHECKED BY: DMF
 SCALE: 1" = 40'
 DATE: 05/27/21



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; **and**
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.