

GULF GAS STATION

410 East 37th ST, SAVANNAH, GA 31401

PERMIT SET
05/19/21



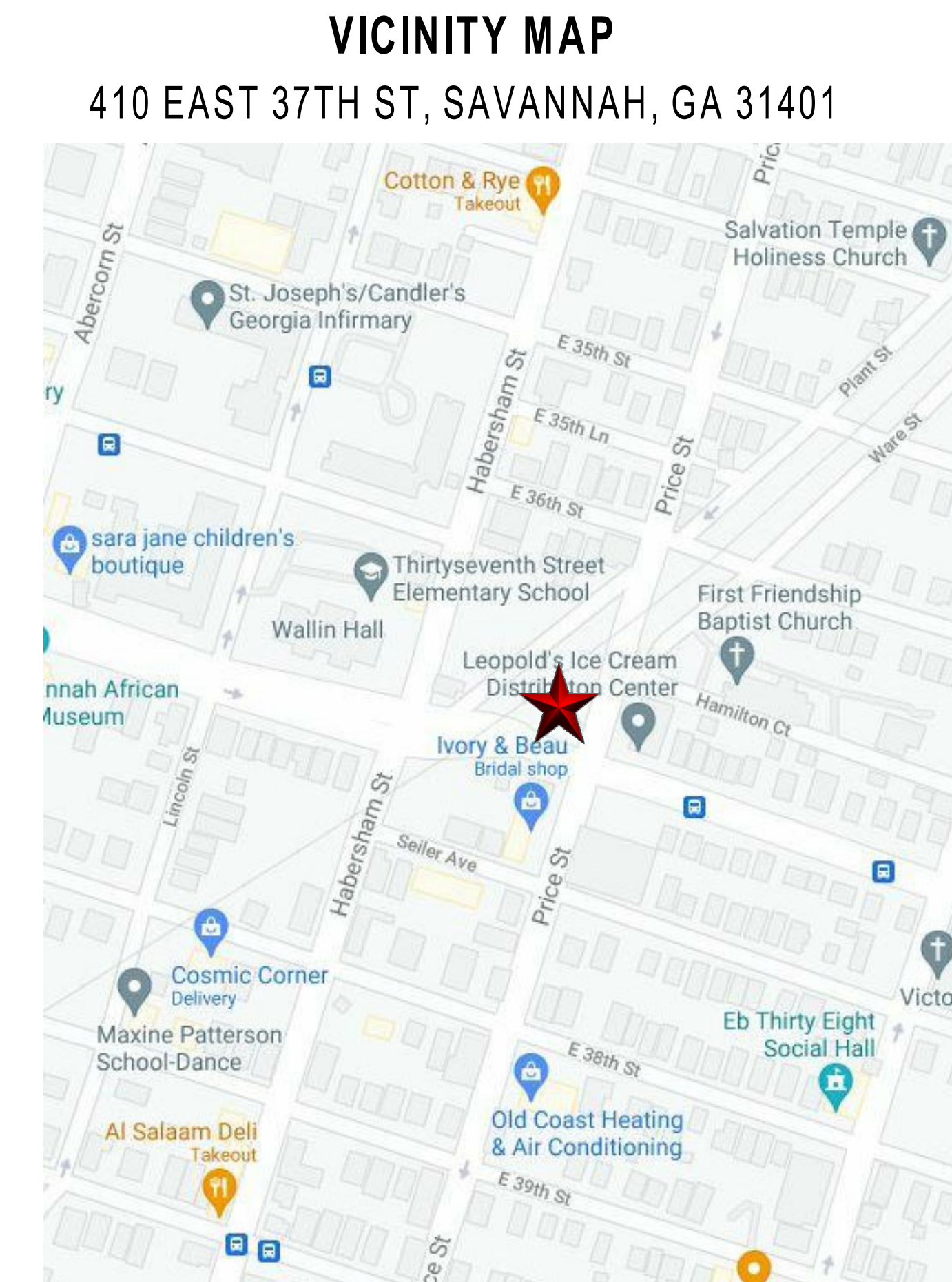
J. ELDER STUDIO
30 W. Broughton Street, Suite 201
Savannah, Georgia 31401
P 646.619.7494



JE
J. ELDER STUDIO

DRAWING SYMBOLS	
	BUILDING CROSS SECTION
	WALL SECTION
	DETAIL
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	DOOR TAG
	WINDOW TYPE
	DATUM ELEVATION
	WALL TYPE
	WALL FINISH TYPE

STANDARD ABBREVIATIONS			
@	AT	PSF	PER SQUARE FOOT
A.F.F.	ABOVE FINISH FLOOR	PSI	PER SQUARE INCH
ALT.	ALTERNATE	P.T.	PRESSURE TREATED
ALUM.	ALUMINUM	PERIM.	PERIMETER
ARCH.	ARCHITECT	PLUMB.	PLUMBING
B.F.F.	BELOW FINISH FLOOR	R.O.	ROUGH OPENING
BSMT	BASEMENT	RWC	RAIN WATER CONDUCTOR
BOT.	BOTTOM	REINF.	REINFORCED
BRD.	BOARD	REQ'D	REQUIRED
CMU	CONCRETE MASONRY UNIT	RESP.	RESPONSIBLE
CLG.	CEILING	RET.	RETURN
CONC.	CONCRETE	RM.	ROOM
CONST.	CONSTRUCTION	S.F.	SQUARE FEET
C.J.	CONTROL JOINT	S.S.R.	STANDING SEAM ROOF
DBL	DOUBLE	SCH.	SCHEDULE
DWG.	DRAWING	STL.	STEEL
DS	DOWN SPOUT	T.O.	TOP OF
DTL	DETAIL	T&G	TONGUE & GROOVE
E.C.	ELECTRICAL CONTRACTOR	TEMP.	TEMPORARY
ELECT.	ELECTRICAL	TYP.	TYPICAL
ELEV.	ELEVATOR	U.G.	UNDERGROUND
EQUIV.	EQUIVALENT	U.O.N.	UNLESS OTHERWISE NOTED
EXIST.	EXISTING	VWC.	VINYL WALLCOVERING
EXPAN.	EXPANSION	VERT.	VERTICAL
EXT.	EXTERIOR	W/	WITH
F.E.	FIRE EXTINGUISHER	W/O	WITHOUT
F.E.C.	FIRE EXTINGUISHER CABINET	W.W.F.	WELDED WIRE FABRIC
F.F.	FINISH FLOOR	WD.	WOOD
FIN.	FINISH		
FLR.	FLOOR		
FOUND.	FOUNDATION		
FRMNG.	FRAMING		
FRT	FIRE RETARDANT TREATED		
FT.	FOOT / FEET		
FTG.	FOOTING		
G.C.	GENERAL CONTRACTOR		
GWB.	GYPSON WALLBOARD		
GA.	GAUGE		
GALV.	GALVANIZED		
HDR.	HEADER		
HGT.	HEIGHT		
HORIZ.	HORIZONTAL		
I.D.	INTERIOR DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
I.J.	ISOLATION JOINT		
JNT.	JOINT		
L.F.	LINEAL FOOT		
M.C.	MECHANICAL CONTRACTOR		
MRB.	MOISTURE RESISTANT BOARD		
MANUF.	MANUFACTURED		
MAX.	MAXIMUM		
MIN.	MINIMUM		
M.O.	MASONRY OPENING		
MTL.	METAL		
N.I.C.	NOT IN CONTRACT		
N.I.S.	NOT IN SCOPE		
O.C.	ON CENTER		
P.C.	PLUMBING CONTRACTOR		



GULF GAS STATION
AT
410 East 37th ST, SAVANNAH, GA 31401
COVER SHEET

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JOB NUMBER
Project Number

CONTRACT DATE

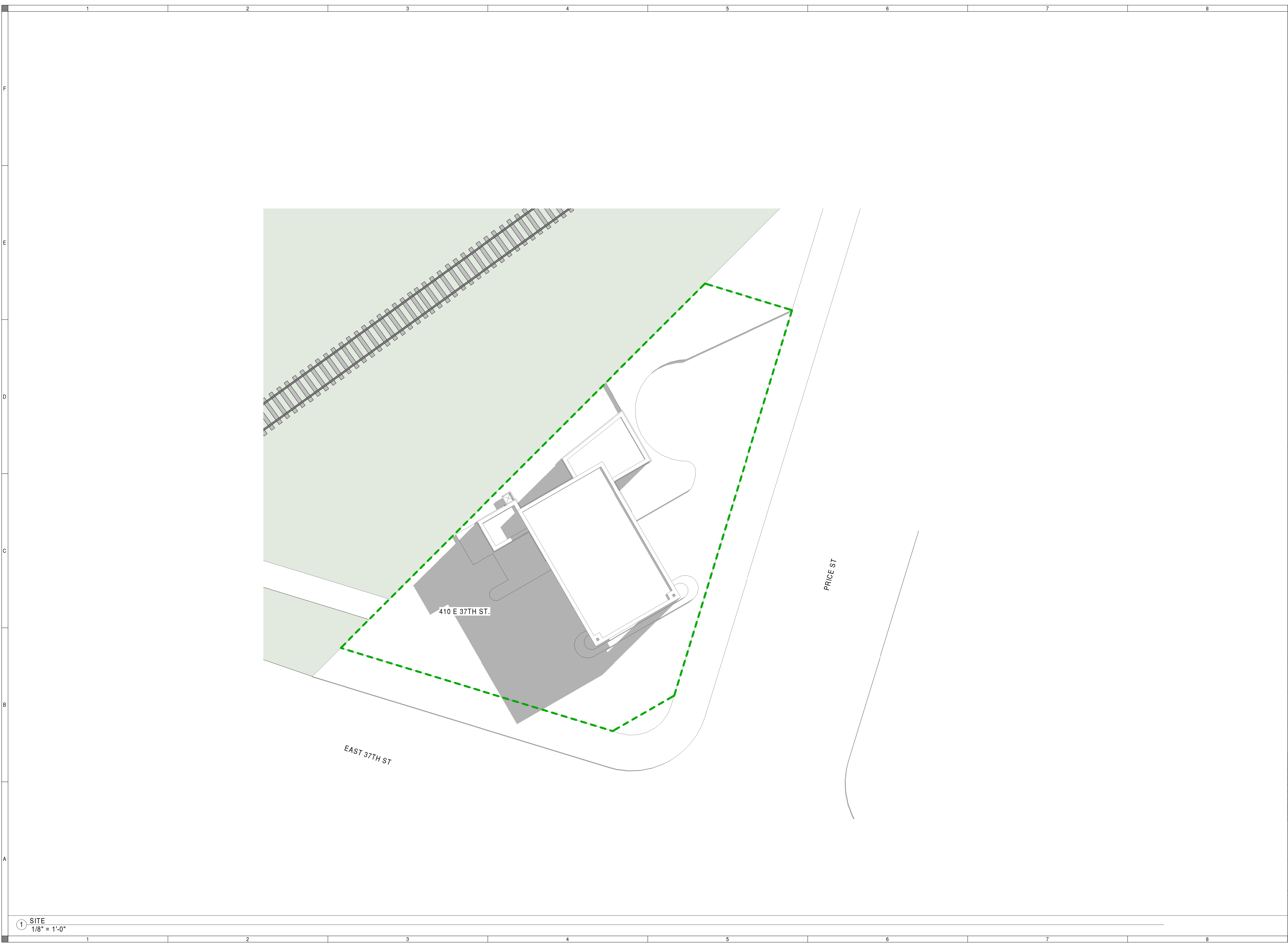
REVISIONS		
NO.	DESCRIPTION	DATE

ISSUE DATE
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CURRENT DRAWING STATUS
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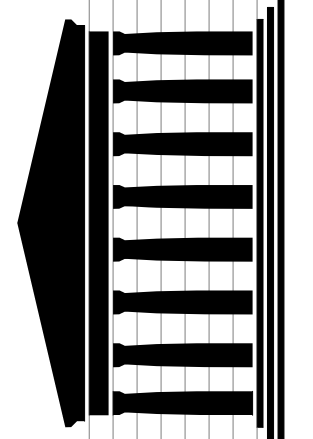
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NOTE:
FOR ADDITIONAL INFORMATION REFERENCE DEMOLITION PERMIT AND THE DEMOLITION PERMIT AMMENDMENT # 17-11251-BC



① SITE
1/8" = 1'-0"

SAVANNAH, GEORGIA 31401
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ARCHITECTURE · DESIGN · CONSTRUCTION

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AT
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SITE PLAN

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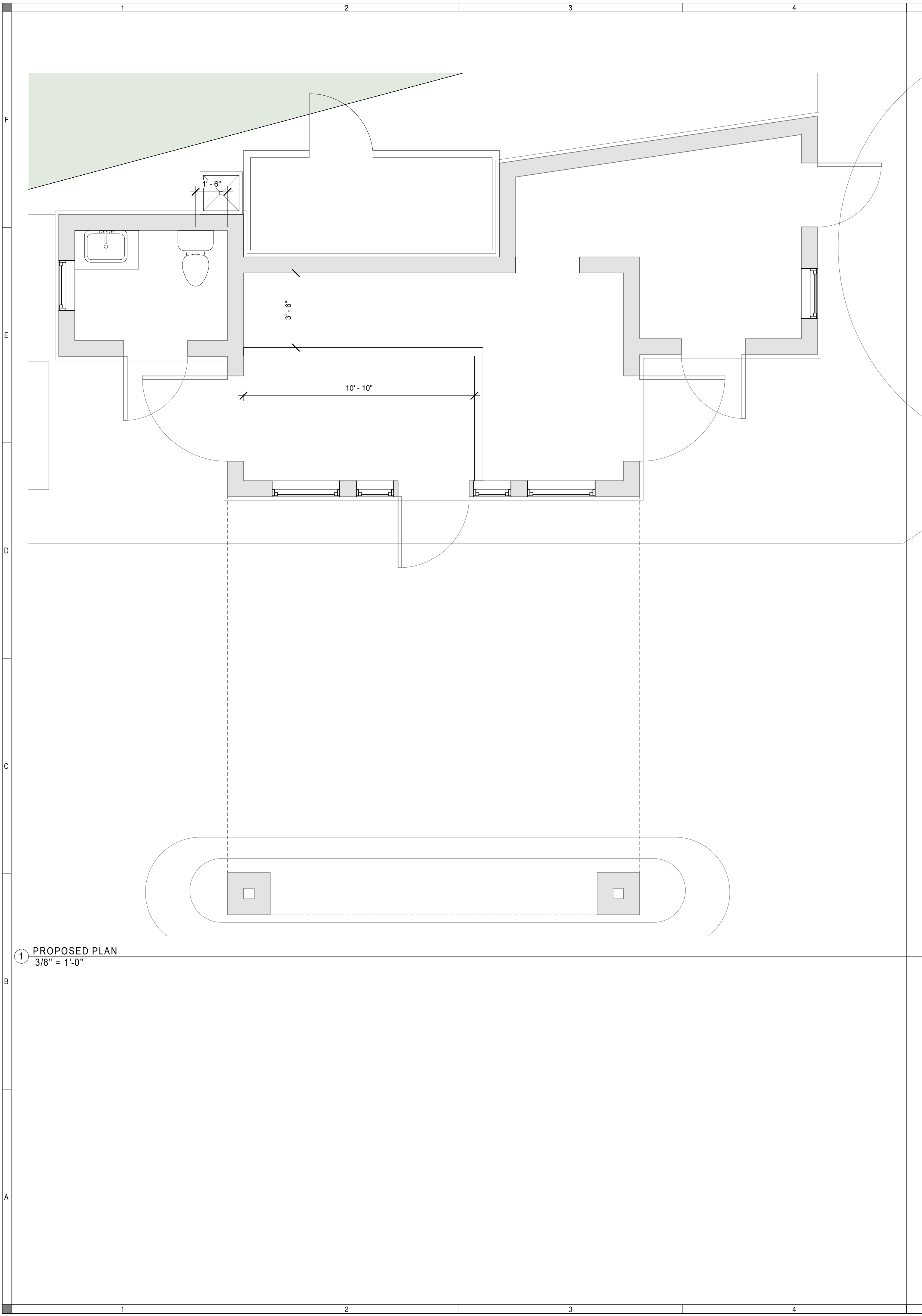
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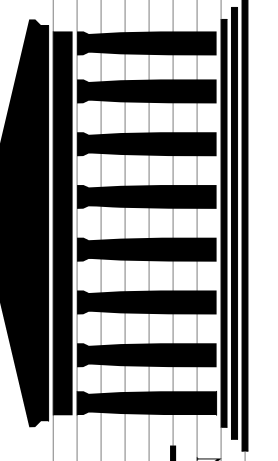
A050



1 PROPOSED PLAN
3/8" = 1'-0"

GENERAL NOTES

1. ALL WORK IS TO BE COORDINATED WITH THE OWNER. THE CONTRACTOR IS TO MEET WITH THE OWNER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR WILL PRESENT THE BUILDING PERMIT AND INSURANCE CERTIFICATES TO THE OWNER PRIOR TO STARTING CONSTRUCTION.
2. CHECK WITH THE OWNER FOR COORDINATION OF THE WORK UNDER THIS CONTRACT WITH WORK OF OTHER TRADES. OWNER'S REGULATIONS GOVERN ALL ASPECTS OF OUTSIDE CONTRACTORS WORKING ON THE PROPERTY.
3. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
5. VISIT THE SITE TO VERIFY EXISTING CONDITIONS. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS AT NO ADDITIONAL COST TO OWNER OR ARCHITECT. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
6. CONTRACTOR TO OBTAIN AND PROVIDE OWNER/ARCHITECT WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION. ALL FURNISHING IS BY OWNER, UNLESS OTHERWISE NOTED.
7. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF ARCHITECT/OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED.
8. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPACKLING, SANDED AND PREPPED FOR PAINTING.
9. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.
10. PROVIDE BLOCKING FOR ALL SHELVING, ACCESSORIES & MILWORK.
11. CONTRACTOR TO INCLUDE \$200 ALLOWANCE PER DOOR FOR NEW HARDWARE.
12. NEW MILLWORK AND BRASS CONDUIT TO BE PROVIDED BY SUBCONTRACTOR UNDER G.C. CONTRACT. OWNER TO APPROVE G.C.'S SELECTED SUBCONTRACTOR.


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GULF GAS STATION
 AT
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PROPOSED PLAN

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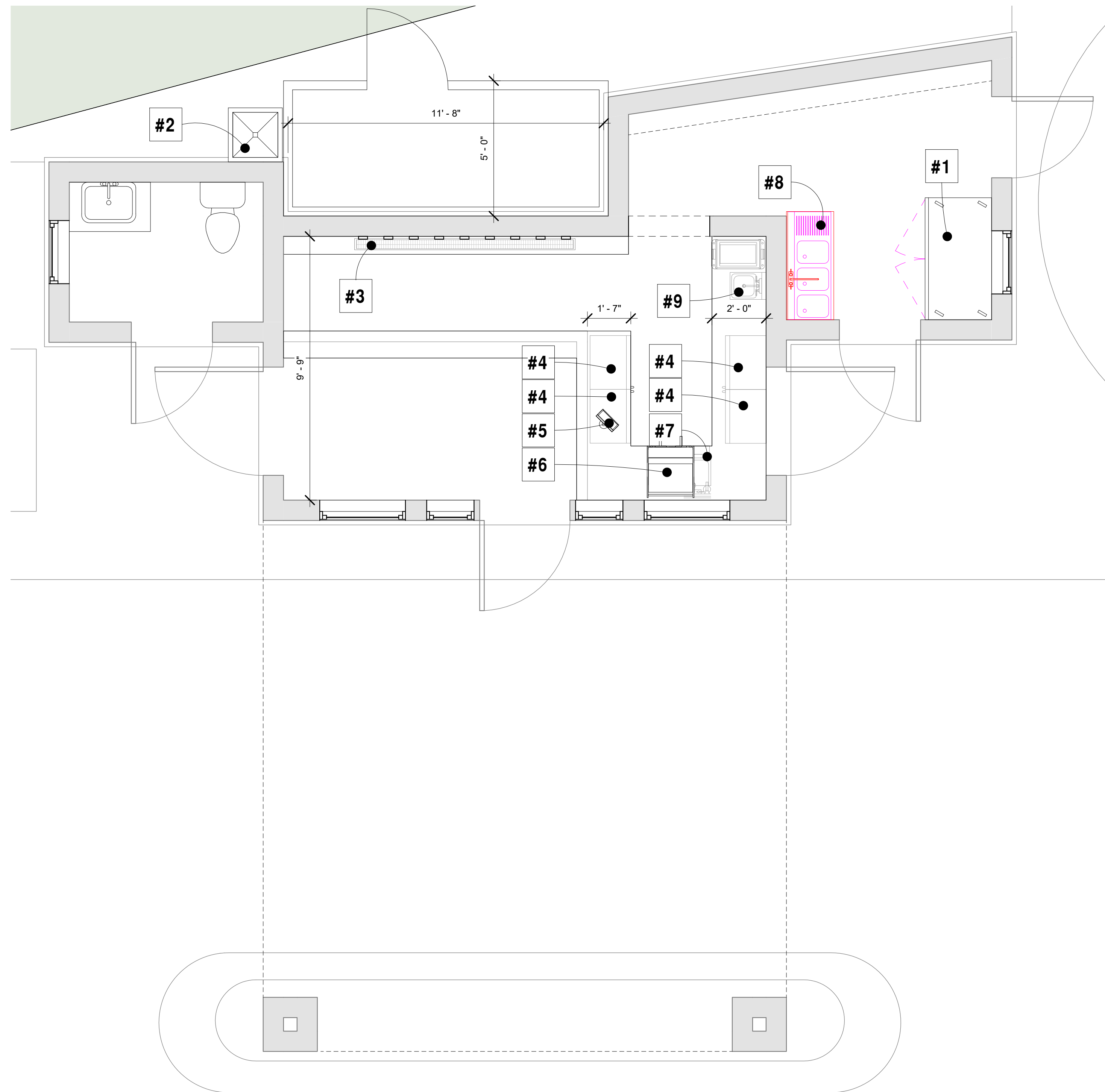
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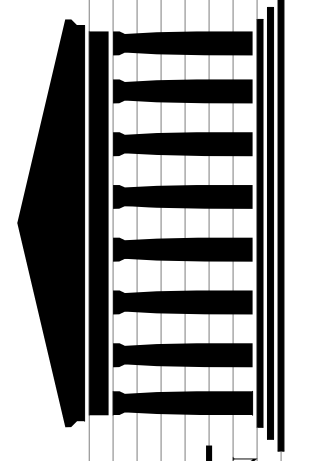
CURRENT DRAWING STATUS
PERMIT SET

A100



EQUIP NO.	TYPE	MODEL
#1	REACH IN COOLER	
#2	MOP SINK	
#3	BEER TAP RAIL	
#4	UNDERCOUNTER FRIDGE	HD24RS GLASS DOOR
#5	POS	
#6	ESPRESSO MACHINE	
#7	DUMP SINK	
#8	3 COMP SINK	
#9	HANDWASH SINK	

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY ROUGHINS & CONNECTIONS TO KITCHEN EQUIPMENT. KITCHEN EQUIPMENT TO BE PROVIDED & INSTALLED UNDER SEPARATE CONTRACT. CONTRACTOR SHALL COORDINATE LOCATIONS OF ROUGH-INS, ETC. W/ OWNER'S KITCHEN EQUIPMENT VENDOR AND BEVERAGE EQUIPMENT VENDOR.


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GULF GAS STATION
 AT
 410 East 37th St, Savannah, GA 31401
EQUIPMENT AND FURNITURE PLAN

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Project Number

CONTRACT DATE

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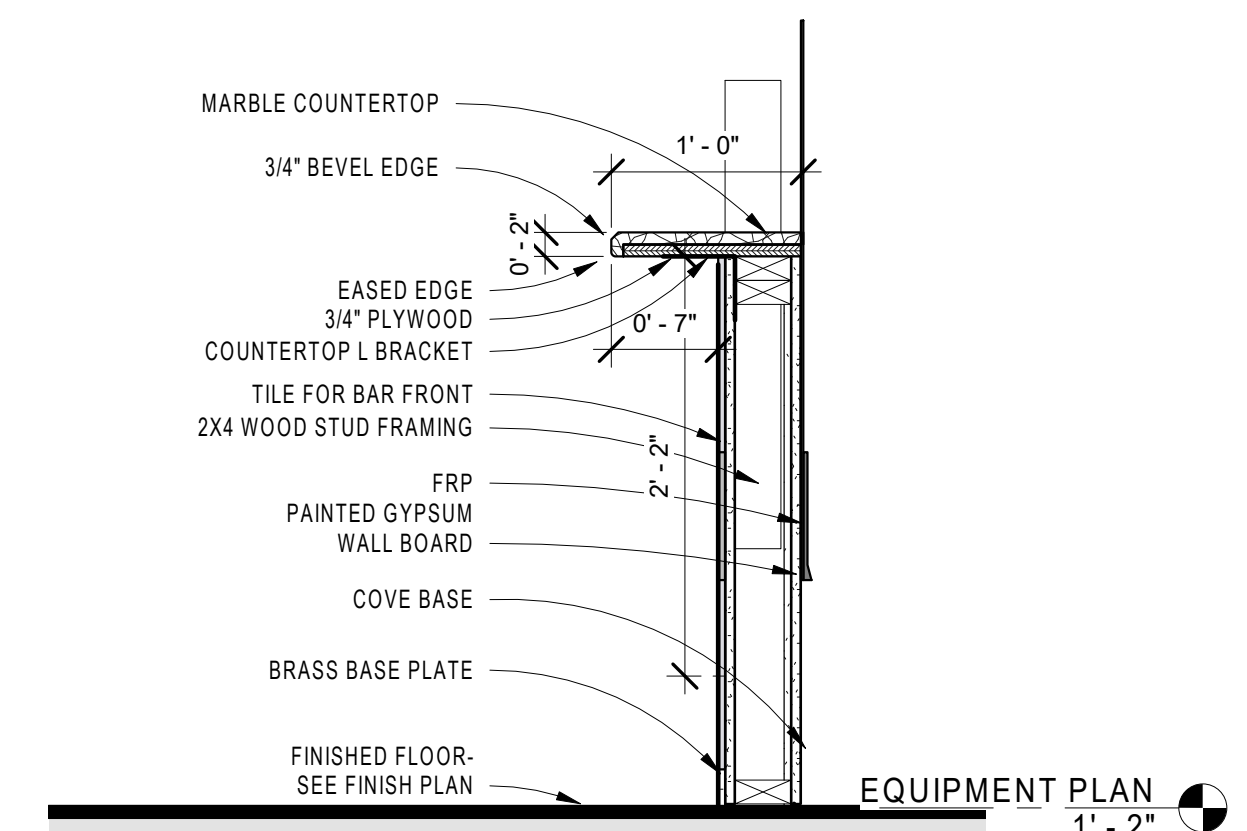
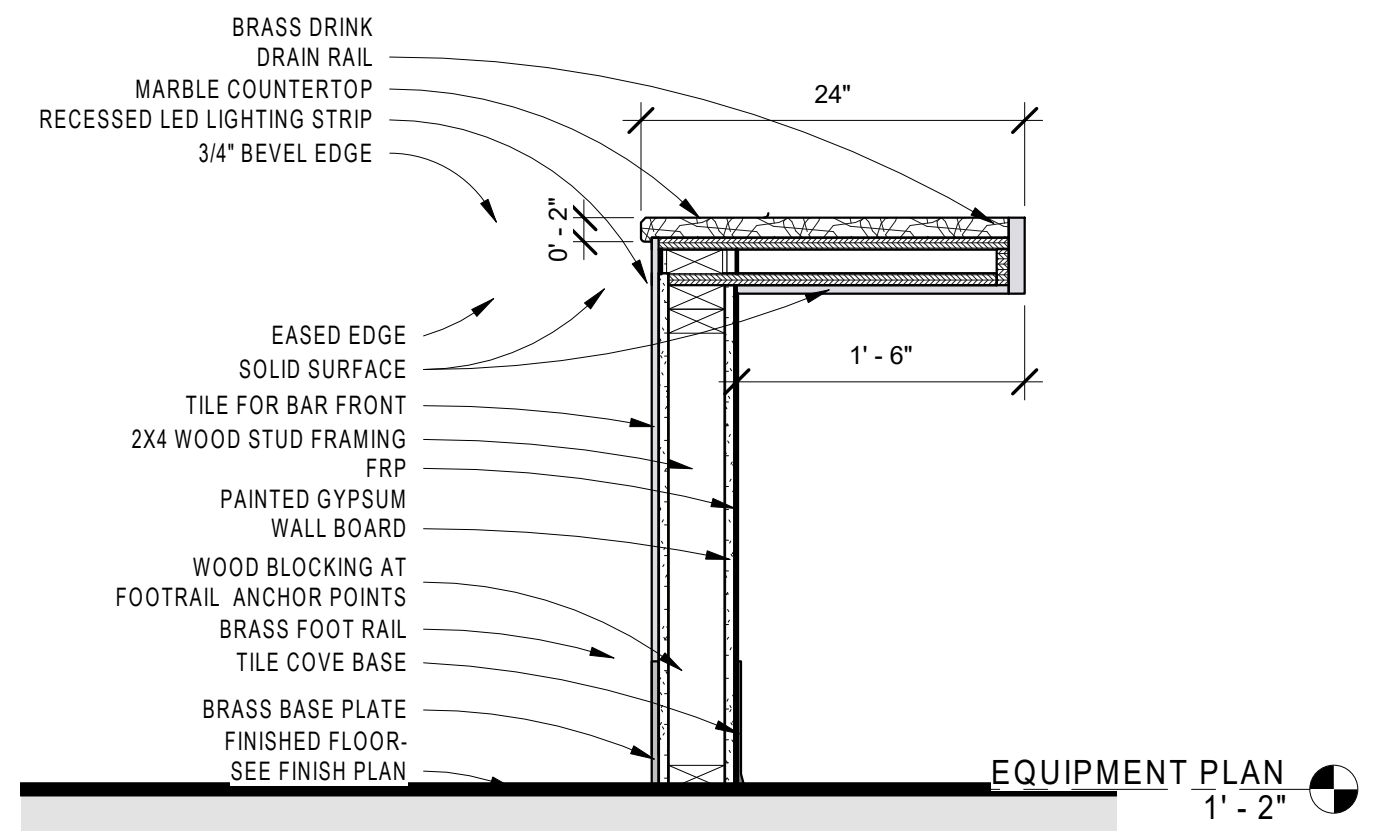
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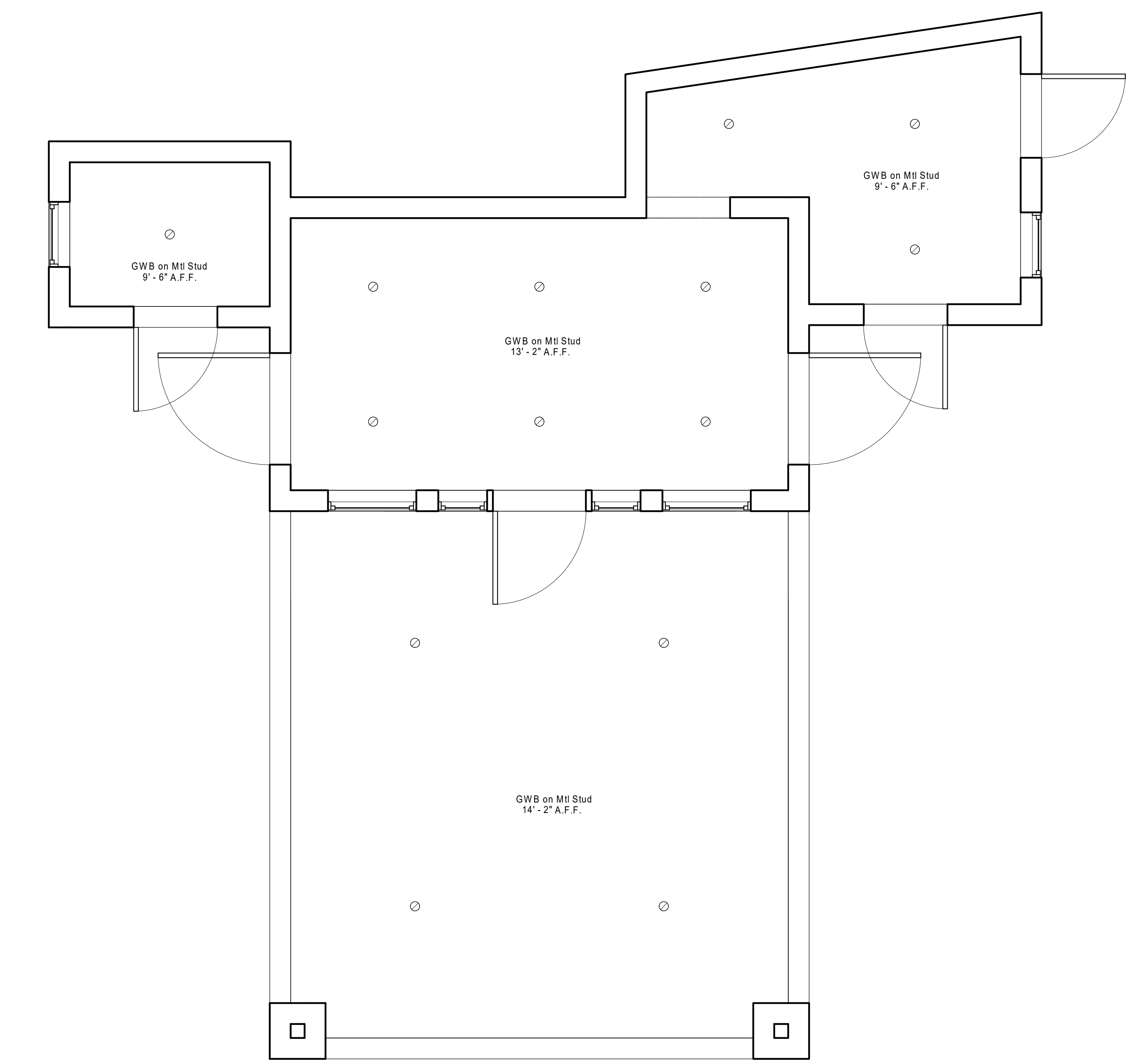
A101

① EQUIPMENT PLAN
3/8" = 1'-0"

② BAR SECTION AT POS
1" = 1'-0"

③ BAR SECTION AT BEER RAIL
1" = 1'-0"





① GROUND LEVEL
3/8" = 1'-0"

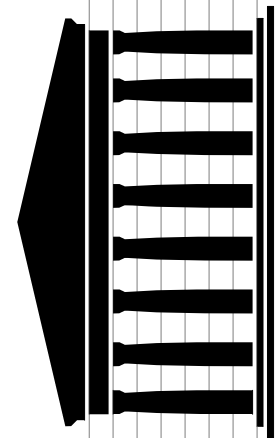
LIGHTING FIXTURE SCHEDULE		
EQUIPMENT NO.	TYPE	MOUNTING HEIGHT
L1	4" RECESSED LED DIRECTIONAL CAN LIGHT	CEILING MOUNTED
L2		CEILING MOUNTED
L3		CEILING MOUNTED
L4		4' FFF
L5		CEILING MOUNTED
L6		CEILING MOUNTED
L7		6' 8" FFF
L8		6' 8" FFF
L9		CEILING MOUNTED
L10		TBD - CONFIRM WITH ARCHITECT
L11		4' FFF

NOTE:
 1. SEE LIGHT CUT SHEETS FOR FIXTURE INFORMATION
 2. UNLESS OTHERWISE NOTED, ALL INTERIOR LIGHTS TO BE COMPATIBLE WITH VERA EDGE LIGHTING SYSTEM.
 3. UNLESS OTHERWISE NOTED ALL INTERIOR CEILING FINISHES TO BE PAINTED HIGH GLOSS - COORDINATE COLOR WITH OWNER.

- CEILING COORDINATION NOTES**
- ALL EXPOSED DUCTWORK AND CEILING TO BE PAINTED - COLOR- COVENTRY GREY.
 - INDICATED LOCATIONS OF ALL COMPONENTS ARE APPROXIMATE AND MUST BE COORDINATED WITH ALL SUBCONTRACTORS DURING SUBMITTALS AND PRIOR TO INSTALLATION. ANY MODIFICATIONS TO LOCATIONS MUST BE APPROVED BY ARCHITECT.
 - ANY LIGHTS ARE SHOWN FOR ARCHITECTURAL DESIGN INTENT. COORDINATE ALL FRAMING FOR LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTS, AND FIXTURES.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY SYSTEMS PIPING, CONDUIT, DUCTWORK, DEVICES, ETC. WITH ARCHITECTURAL DRAWINGS. INDICATED LOCATIONS OF ALL COMPONENTS ARE APPROXIMATE AND MUST BE COORDINATED WITH ALL TRADES DURING SUBMITTALS AND PRIOR TO INSTALLATION.
 - EXISTING SPRINKLER LAYOUT AND SPRINKLER HEAD LOCATIONS TO REMAIN AND BE PROTECTED.
 - ALL CEILING HEIGHTS ARE FROM FINISH FLOOR ELEVATION OF SPACE THEY DESCRIBE UNLESS OTHERWISE NOTED.

CEILING TYPE LEGEND	
GYP	PAINTED GYPSUM BOARD
ACT	ACOUSTICAL CEILING TILE

LIGHTING SYMBOLS LEGEND			
	PENDANT TYPE 1		WALL SCONCE
	PENDANT TYPE 2		4" RECESSED DOWN LIGHT
	PENDANT TYPE 3		PENDANT TYPE 2
	PENDANT TYPE 4		BACK LIT MIRROR


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GULF GAS STATION
 AT
410 East 37th ST, SAVANNAH, GA 31401
REFLECTED CEILING

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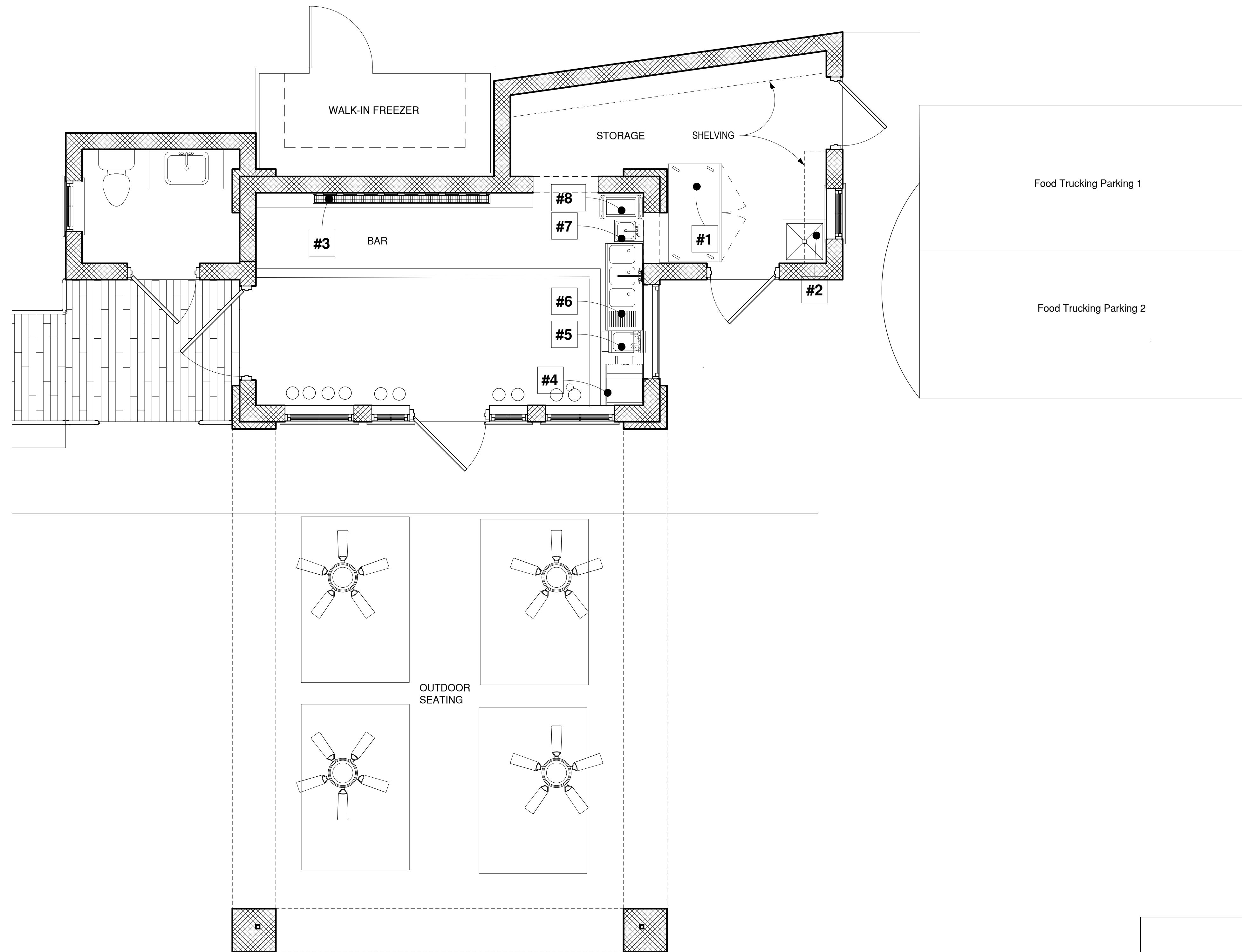
REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE
05/19/21

CURRENT DRAWING STATUS
PERMIT SET

A102



EQUIPMENT LIST - 02		
EQUIP NO.	TYPE	MODEL
#1	REACH IN COOLER	
#2	MOP SINK	
#3	BEER TAP RAIL	
#4	ESPRESSO MACHINE	
#5	DUMP SINK	
#6	3 COMP SINK	
#7	HANDWASH SINK	
#8	TRASH CAN	
#9		
#10		
#11		
#12		
#13		
#14		

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY ROUGHINS & CONNECTIONS TO KITCHEN EQUIPMENT. KITCHEN EQUIPMENT TO BE PROVIDED & INSTALLED UNDER SEPARATE CONTRACT. CONTRACTOR SHALL COORDINATE LOCATIONS OF ROUGH-INS, ETC. W/ OWNER'S KITCHEN EQUIPMENT VENDOR AND BEVERAGE EQUIPMENT VENDOR.

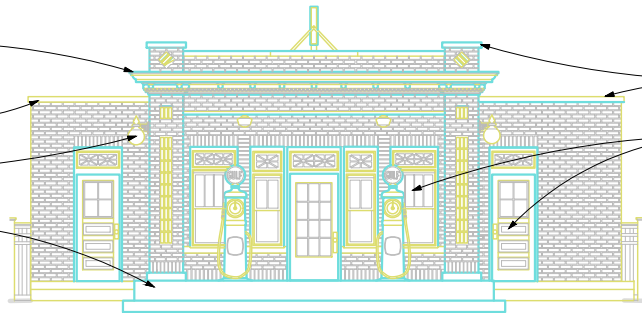
LAYOUT: 11x8.5	
410 E 37TH ST, SAVANNAH, GA	
RK	RK CONSTRUCTION & DEV.
	GULF STREAM STATION PLAN
REVISIONS	DRAFT#: 1/6
09/02/22	SCALE ~3/8"=1'-0"

EXISTING TIN CORNICE TO BE REPAIRED AND/OR REPLACED IN KIND AS NEEDED.

EXISTING TIN CORNICE TO BE REPAIRED AND/OR REPLACED IN KIND AS NEEDED.

CUSTOM LIGHTING FIXTURES REPLICATED TO MATCH ORIGINALS

EXISTING CURB TO BE REPAIRED AS NEEDED



CLEAN AND REPAIR COPING AS NEEDED

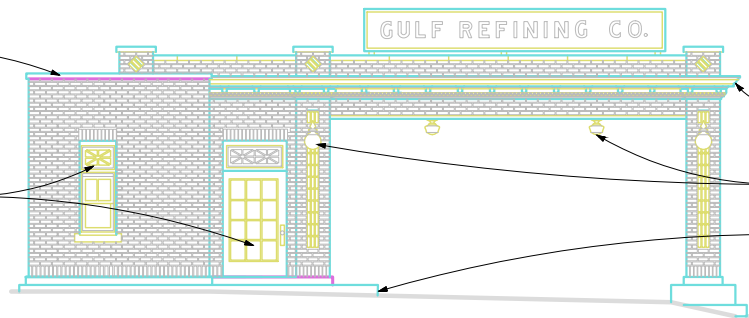
NEW CUSTOM WOOD WINDOWS AND DOORS (DESIGN BASED ON HISTORIC PHOTOS, AND EXISTING REMNANTS OF HISTORIC WINDOWS OF PROPERTY). WINDOWS AND DOORS TO BE PROVIDED BY HISTORIC SAVANNAH FOUNDATION.

GENERAL NOTE: EXISTING BRICK TO BE CLEANED AND REPOINTED AS NEEDED

1 NORTH ELEVATION
1/4" = 1'-0"

CLEAN AND REPAIR COPING AS NEEDED

NEW CUSTOM WOOD WINDOWS TO MATCH HISTORIC WINDOWS AND DOORS (DESIGN BASED ON HISTORIC PHOTOS, AND EXISTING REMNANTS OF HISTORIC WINDOWS OF PROPERTY). WINDOWS AND DOORS TO BE PROVIDED BY HISTORIC SAVANNAH FOUNDATION.



EXISTING TIN CORNICE TO BE REPAIRED AND/OR REPLACED IN KIND AS NEEDED.

CUSTOM LIGHTING FIXTURES REPLICATED TO MATCH ORIGINALS

EXISTING CURB TO BE REPAIRED AS NEEDED

GENERAL NOTE: EXISTING BRICK TO BE CLEANED AND REPOINTED AS NEEDED

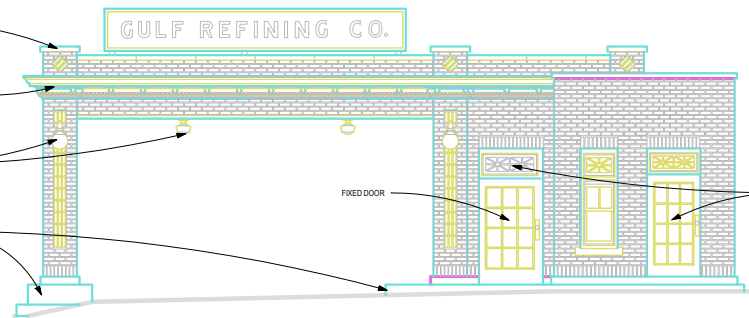
2 EAST ELEVATION
1/4" = 1'-0"

CLEAN AND REPAIR COPING AS NEEDED

EXISTING TIN CORNICE TO BE REPAIRED AND/OR REPLACED IN KIND AS NEEDED.

CUSTOM LIGHTING FIXTURES REPLICATED TO MATCH ORIGINALS

EXISTING CURB TO BE REPAIRED AS NEEDED



FIXED DOOR

NEW CUSTOM WOOD WINDOWS TO MATCH HISTORIC WINDOWS AND DOORS (DESIGN BASED ON HISTORIC PHOTOS, AND EXISTING REMNANTS OF HISTORIC WINDOWS OF PROPERTY). WINDOWS AND DOORS TO BE PROVIDED BY HISTORIC SAVANNAH FOUNDATION.

GENERAL NOTE: EXISTING BRICK TO BE CLEANED AND REPOINTED AS NEEDED

3 WEST ELEVATION
1/4" = 1'-0"

GULF STATION
RESTORATION

410 E 37TH ST, SAVANNAH, GA.

EXTERIOR
ELEVATIONS

PROJECT NO. Project
Number
DATE Issue Date
DRAWING NO.

A201

CURRENT DRAWING STATUS
FOR
CONSTRUCTION

**GULF STATION
RESTORATION**

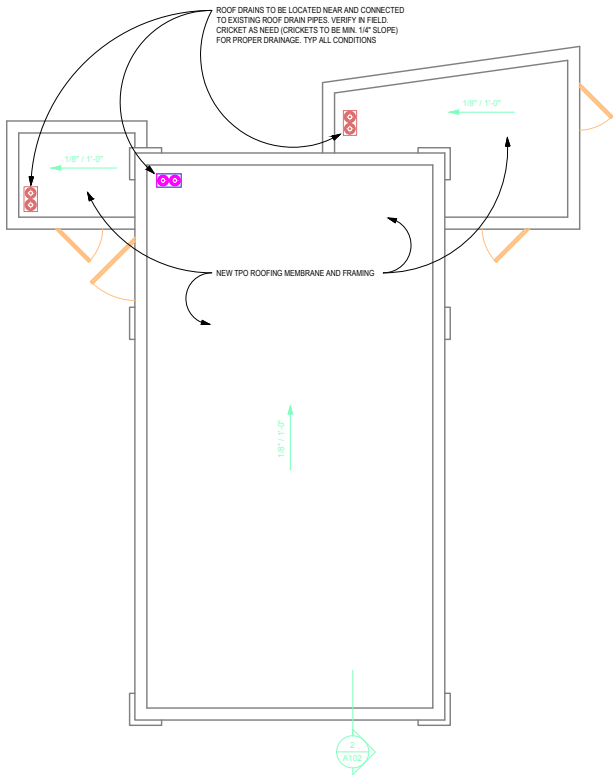
410 E 37TH ST, SAVANNAH, GA.

**ROOF PLAN AND
DETAILS**

PROJECT NO. Project
DATE Number
DRAWING NO. Issue Date

A102

CURRENT DRAWING STATUS
**FOR
CONSTRUCTION**



① ROOF PLAN
1/4" = 1'-0"

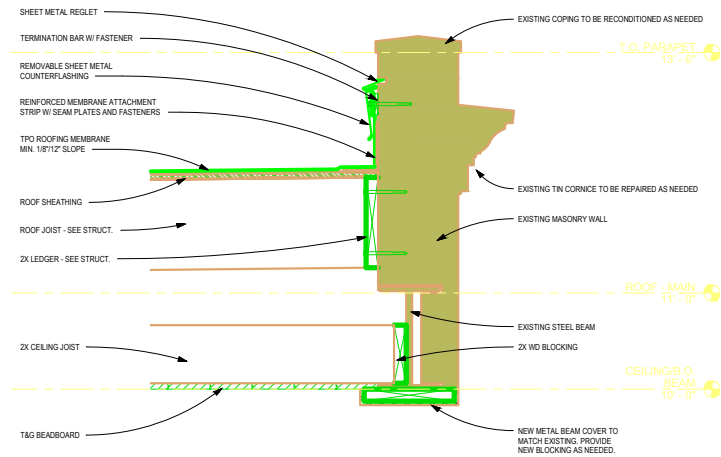
ROOF PLAN NOTES

- LOCATIONS AND SIZES OF MECHANICAL EQUIPMENT ARE APPROXIMATE. SEE STRUCTURAL AND MECHANICAL DRAWINGS FOR ACTUAL LOCATIONS.
- SEE PLUMBING DRAWINGS FOR VENTS THROUGH ROOF LOCATIONS.
- SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
- SLOPE ALL LOW SLOPED ROOFS TO ROOF DRAINS WITH MINIMUM SLOPE OF 1/8" PER FOOT.
- PROVIDE CRICKETS AT ALL CURBS AND EQUIPMENT RAILS SET PERPENDICULAR TO ROOF SLOPE WHICH ARE GREATER THAN 24" WIDE.
- SLOPE ALL COPINGS BACK TO ROOF U.O.
- COPING CORNERS TO BE PREFABRICATED PIECES WITH EQUAL RETURNS A MINIMUM OF 18" IN LENGTH. TOP HORIZONTAL JOINTS TO BE STANDING SEAM. VERTICAL JOINTS TO BE FLAT JOINTS.
- WOOD BLOCKING SHOWN IN ROOF DETAILING SHALL BE PRESERVATIVE TREATED. USE SUITABLE FASTENERS WITH THE PRESERVATIVE TREATED WOOD.
- EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE, U.O. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
- IF NOT DETAILED, APPLY MOST STRINGENT CONDITION OF NRCA AND SMACNA (CURRENT EDITIONS) STANDARDS FOR ROOF DETAIL CONDITIONS.

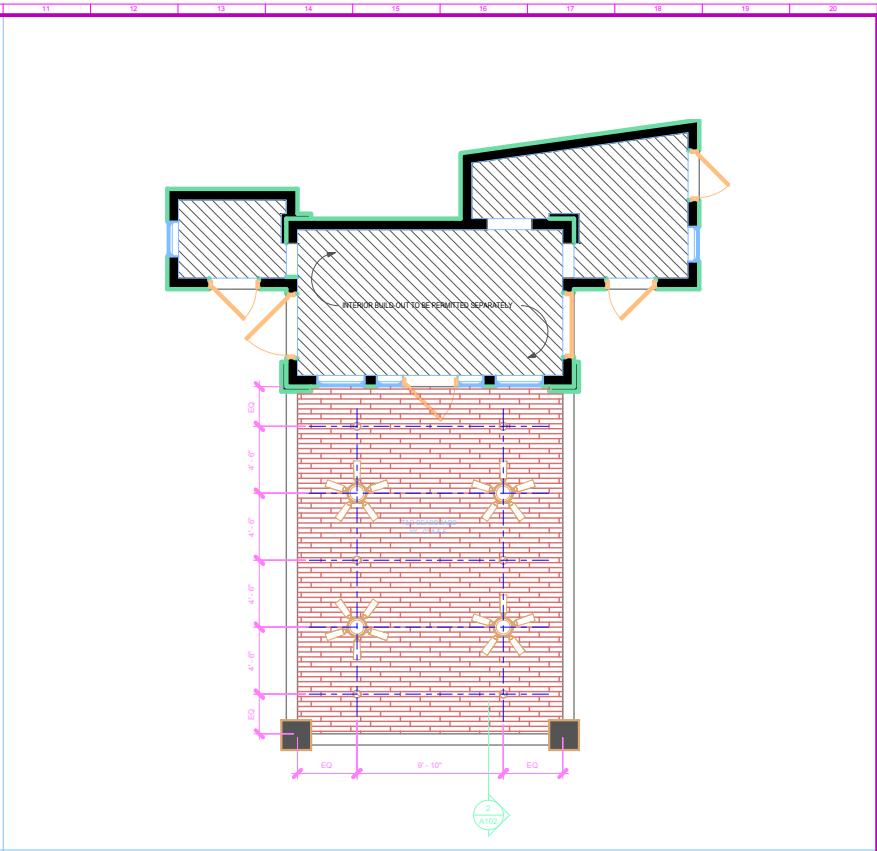
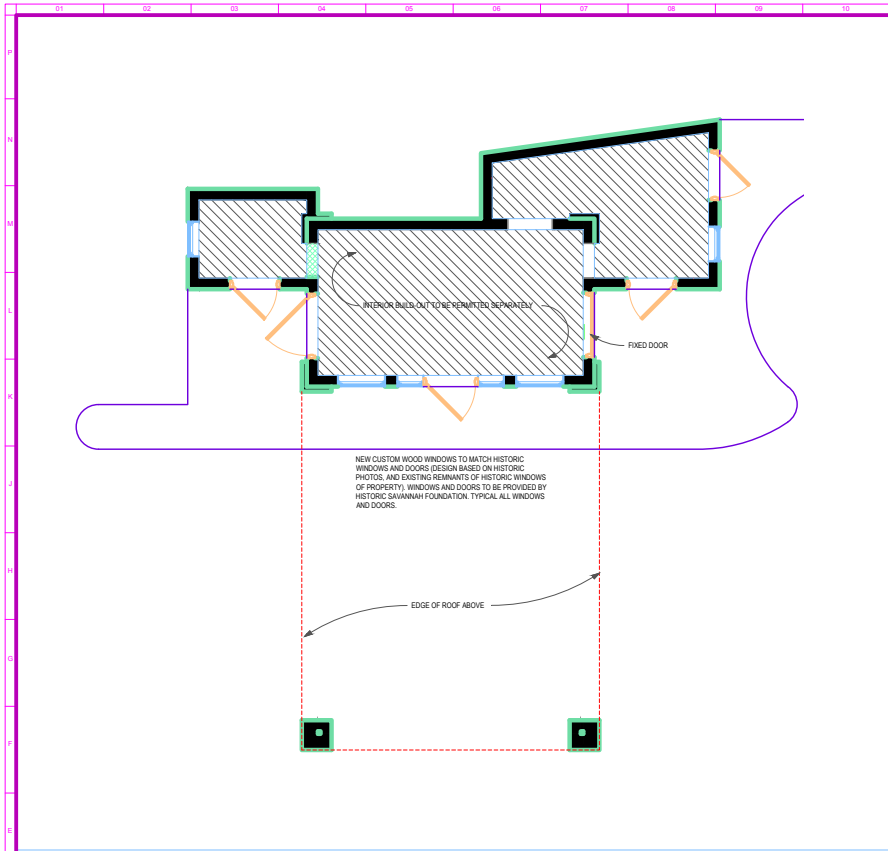
ROOFING SPECIFICATIONS

- 80 MIL (GAF OR CARLSLE ONLY) - MINIMUM 20 YEAR MFG WARRANTY.
- ALL EQUIPMENT HAS TO BE ON STANDS WITH ROUND LEGS OR CURBS. APPROPRIATE PIPE SPLIT FLASHING TO BE USED AT ROUND LEGS/STANDS (NO SQUARE PENETRATIONS OR TUBING TO BE USED PER MANUFACTURERS RECOMMENDATIONS/DETAILS).
- ALL PIPE WORK, REFRIGERANT LINES, SIMILAR ITEMS MUST BE ON ROOF BLOCKS, DURABLE OR APPROVED SUBSTITUTE, (WITH APPROVED RUNS BY OWNER/ARCHITECT & ENGINEER).
- ALL PENETRATIONS MUST BE COORDINATED WITH ROOFING CONTRACTOR AND MEET ROOFING MANUFACTURERS REQUIREMENTS/DETAILS. APPROPRIATE PIPE SPLIT FLASHING TO BE USED PER MANUFACTURERS RECOMMENDATIONS.
- MECHANICAL PENETRATIONS FOR ELECTRICAL, HVAC, NETWORK, ETC. SHOULD BE THROUGH GOOSE NECKS. ANY PITCH POCKETS MUST BE APPROVED BY OWNERS REP. ANY GOOSENECK DEVICE TO BE PAINTED. COORDINATE WITH OWNER/ARCHITECT.
- ALL PIPE RUNS AND PENETRATIONS TO BE SUBMITTED FOR APPROVAL BY OWNERS REP.
- ROOF TOP CONDENSATE MUST BE DRAINED FROM UNIT INTO 1/2" MINIMUM PVC HUB AND ROUTED ON PIPE STANDS TO AN APPROVED DRAIN. APPROVALS TO COME FROM OWNER/ARCHITECT AND ENGINEER.
- ANY PIECE OF EQUIPMENT OR PROTRUSION (I. E. HATCH) MUST BE CRICKETED AND MEET ROOFING MANUFACTURERS REQUIREMENTS/DETAILS.

② PARAPET DETAIL
1 1/2" = 1'-0"



② PARAPET DETAIL
1 1/2" = 1'-0"



① FIRST FLOOR PLAN
1/4" = 1'-0"

② FIRST FLOOR RCP
1/4" = 1'-0"

FLOOR PLAN NOTES

- EXTERIOR DIMENSIONS AT MASONRY VENEER ARE TO FACE OF MASONRY, U.N.O.
- EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.
- EXTERIOR DIMENSION AT PRECAST ARE TO FACE OF PRECAST.
- INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND CENTERLINES OF COLUMNS, U.N.O.
- LOCATE DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL U.N.O.
- FIRE AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE. PIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO STRUCTURE ABOVE.
- WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
- INSTALL BLOCCING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRM AND RELATED CONSTRUCTION AS NEEDED.
- SEE LIFE SAFETY PLANS FOR REQUIRED FIRE SEPARATION WALLS.
- SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.
- SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.
- ALL ROOM SEPARATION WALLS TO HAVE GYPSUM AND ACOUSTIC BATT TO CEILING. ACOUSTIC BATT TO BE USED IN GYPSUM CEILINGS.

RCP NOTES

- SEE SHEET G-002 FOR PARTITION TYPES AND HEIGHT OF PARTITIONS ABOVE CEILING.
- SEE FINISH SCHEDULE FOR CEILING TYPES AND MATERIALS IN EACH ROOM / AREA.
- PERIMETER TRACK FOR ALL ACOUSTICAL CEILING GRIDS TO BE 2" WIDE (4" WHERE CEILING IS A "CLOUD") INSTALLED IN ACCORDANCE WITH IBC AND CISCA GUIDELINES.
- DIMENSIONS ARE TO FACE OF STUD OR MASONRY, U.N.O.
- CEILING GRID/TILES TO BE CENTERED IN ALL ROOMS UNLESS NOTED OTHERWISE. PARTIAL TILES AT ROOM PERIMETERS SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION.
- CEILING HEIGHTS SHOWN ON THE REFLECTED CEILING PLANS ARE NON-TYPICAL AND SPECIFIC TO THE AREA INDICATED. REFER TO INTERIOR ELEVATIONS FOR THE HEIGHTS OF SOFFITS ABOVE CASEWORK.
- SEE ELECTRICAL, FIRE ALARM AND FIRE PROTECTION DRAWINGS FOR SPECIAL SYSTEMS, SMOKE DETECTORS, LIGHTING AND WALL MOUNTED FIXTURES NOT SHOWN ON RCP SHEETS. COORDINATE LOCATIONS OF ALL FIXTURES NOT INDICATED WITH LAYOUT INDICATED ON RCP SHEETS.
- LIGHT FIXTURES AND MECHANICAL DIFFUSERS ARE SHOWN FOR POSITIONING IN FINISH CEILING SYSTEM. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES, MECHANICAL DIFFUSERS, WALL MOUNTED FIXTURES AND INSTALLATION OF FIXTURES IN SPACES WITHOUT CEILINGS. LIGHTING AND HVAC DIFFUSERS ARE SHOWN FOR COORDINATION ONLY. (SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION).
- ALL LOW CEILINGS TO RECEIVE CONCEALED SPRINKLER HEADS. (CONCEALED HEAD CAPS TO BE COLOR OF SURROUNDING CEILING)
- SEE MECHANICAL FLOOR PLANS FOR EXTENT OF EXPOSED DUCTWORK IN EXPOSED STRUCTURE AREAS WITHOUT CEILINGS. EXTEND PERIMETER WALLS AND FINISH TO STRUCTURE ABOVE AT EXPOSED STRUCTURE AREAS. PAINT ALL EXPOSED DUCTWORK, PIPING, HANGERS, ETC...
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS INDICATED.
- CENTER LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, GENERAL ALARM SPRINKLER/TROUBLE & MISC DEVICES IN CEILING TILES WHERE THEY ARE LOCATED. ALIGN MULTIPLE ITEM CENTER OR EDGES.
- LOCATE MECHANICAL GRILLES AND DIFFUSERS SHOWN IN CORNERS OR NEAR WALL TO 12" OFF WALLS, U.N.O.
- INSTALL ACCESS PANELS IN GYPSUM BOARD CEILINGS AT DUCT DAMPER CONTROLS, DUCT MOUNTED SMOKE DETECTORS, MANUAL DUCT CONTROLS, ETC. ONLY AS NOTED.
- ALL SINGLE LIGHT FIXTURES SHALL BE CENTERED IN THE CEILING WITHIN THEY OCCUR.
- LIGHTS LOCATED IN STAIRS SHALL OCCUR AT EACH FLOOR AND INTERMEDIATE LANDINGS.
- LOCATE SPRINKLER HEADS IN THE CENTER ZONE OF THE CEILING TILE. ALIGN CORRIDOR SPRINKLER HEADS IN THE SAME LINE PARALLEL TO THE WALL WITHIN EACH SPECIFIC CEILING CONSTRUCTION, U.N.O.
- SPRINKLER HEADS, OTHER THAN CONCEALED, SHALL BE FULLY RECESSED (CENTER IN CEILING TILE).

CEILING SYMBOLS LEGEND

SYMBOL	DESCRIPTION	APPROX WATTAGE
PNT GYP 9'-0"	CEILING FINISH & HEIGHT ABOVE FINISHED FLOOR	
⊙	RECESSED LIGHT FIXTURE. REFER TO CONSULTANT SPECIFICATIONS FOR INFORMATION.	REFER TO ELECTRICAL DRAWINGS
⊕	LARGE PENDANT LIGHT FIXTURE. REFER TO ARCH. SPECIFICATIONS FOR INFORMATION.	75W MAX OR LED EQUIV.
⊕	PENDANT LIGHT FIXTURE. REFER TO ARCH. SPECIFICATIONS FOR INFORMATION.	40W MAX OR LED EQUIV.
⊕	WALL MOUNTED SCONCE. REFER TO ARCH. SPECIFICATIONS FOR INFORMATION.	75W MAX OR LED EQUIV.

CEILING COORDINATION NOTES

- ALL EXPOSED DUCTWORK AND CEILING TO BE PAINTED
- INDICATED LOCATIONS OF ALL COMPONENTS ARE APPROXIMATE AND MUST BE COORDINATED WITH ALL SUBCONTRACTORS DURING SUBMITTALS AND PRIOR TO INSTALLATION. ANY MODIFICATIONS TO LOCATIONS MUST BE APPROVED BY ARCHITECT
- ANY LIGHTS ARE SHOWN FOR ARCHITECTURAL DESIGN INTENT. COORDINATE ALL FRAMING FOR LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTS, AND FIXTURES.
- GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY SYSTEMS PIPING, CONDUIT, DUCTWORK, DEVICES, ETC. WITH ARCHITECTURAL DRAWINGS. INDICATED LOCATIONS OF ALL COMPONENTS ARE APPROXIMATE AND MUST BE COORDINATED WITH ALL TRADES DURING SUBMITTALS AND PRIOR TO INSTALLATION.
- ALL CEILING HEIGHTS ARE FROM FINISH FLOOR ELEVATION OF SPACE THEY DESCRIBE UNLESS OTHERWISE NOTED.

FIRST FLOOR PLAN

PROJECT NO.
DATE
DRAWING NO.

Project Number Issue Date

A101

CURRENT DRAWING STATUS
FOR CONSTRUCTION

