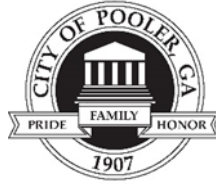


CITY COUNCIL Regular Meeting – Agenda

February 6, 2023 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA 31322

- I. ROLL CALL/DECLARATION OF QUORUM
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. **City Council Meeting Minutes of January 17, 2023**
 - B. **City Council Executive Session Minutes of January 17, 2023**
 - C. **Special Event Permit Application for the Greater Pooler Area Chamber of Commerce on March 17, 2023** *(requesting fee waiver)*
 - D. **Special Event Permit for Kandie Spence / Georgia Skin and Cancer Clinic on April 15, 2023**
 - E. **Special Event Permit Application for Pooler Juneteenth Celebration Run Committee, Inc. on June 10, 2023** *(requesting fee waiver)*
 - F. **Special Event Permit Application for Pooler Juneteenth Celebration Committee, Inc. on June 17, 2023** *(requesting fee waiver)*
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. **Proclamation for the 101st Birthday of Catherine Boxxe DeWitt**
 - B. **Resolution R2023-02.A - Amendment to the 2023 Schedule of Fees**
- VIII. OLD BUSINESS
 - A. **Site Plan for My Place Hotel at 14 Mill Creek Circle**
 - B. **Site Plan for Nine Squares (1541 Pooler Parkway)**
- IX. NEW BUSINESS
 - A. **Conditional Use Request for Industrial & Equipment Sales at 55 Coleman Boulevard** *(Public Hearing, Action)*

- B. **Zoning Map Amendment for 2.55 Acres at Old Central Road from R1-A to I-1** *(Public Hearing, Action)*
 - C. **Building Height Variance for Towne Place Suites on Half Moon Way** *(Public Hearing, Action)*
 - D. **Site Plan for Outparcel 2, Tanger Outlets**
 - E. **Site Plan for Towne Place Pooler Hotel on Half Moon Way**
 - F. **Acceptance of Performance Bond and Final Plat for Harmony Townhomes**
 - G. **Sale of 2015 Ford 550 Crime Scene/Command Truck to Jones County**
- X. EXECUTIVE SESSION
- XI. ADJOURNMENT



CITY COUNCIL Regular Meeting – Minutes

January 17, 2023 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA 31322

I. ROLL CALL/DECLARATION OF QUORUM

Present: Rebecca C. Benton, Mayor
Tom Hutcherson, Mayor Pro Tem
Shannon Black, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
Karen Williams, Councilmember
Robert Byrd, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent: John Wilcher, Councilmember
Steve Scheer, City Attorney

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order at 6:00 p.m.

III. INVOCATION

Pastor Matthew Gunn of Hosanna Church gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Pastor Matthew Gunn of Hosanna Church led the pledge.

V. ANNOUNCEMENTS

There were no announcements.

VI. CONSENT AGENDA

City Manager Robert Byrd presented the consent agenda for consideration.

A. City Council Meeting Minutes of December 19, 2022

B. City Council Executive Session Minutes of December 19, 2022

**C. Alcoholic Beverage License Application for Commodores Deaux, LLC
at 100 Pine Barren Road, Suite 112**

- D. **Alcoholic Beverage License Application for Traders Queen DBA Ichiban Steakhouse and Sushi Bar at 40 Traders Way**
- E. **Temporary/Special Event (Dispensing Alcohol) Permit Application for Karen Taylor Brownlee on January 28, 2023**
- F. **Temporary/Special Event (Dispensing Alcohol) Permit Application for Jacqueline Lambert on March 3-4, 2023**
- G. **Department Reports**
 - 1. **Public Works**
 - 2. **Finance**
 - 3. **Fire**
 - 4. **Police**
 - 5. **Recreation**
 - 6. **Planning & Zoning**

Councilmember Aaron Higgins moved to approve the consent agenda.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

- A. **Proclamation for Human Trafficking Prevention Month**
Mayor Rebecca Benton welcomed Julie Wade, Executive Director of Tharros Place, and read aloud the Proclamation for Human Trafficking Prevention Month.
- B. **Resolution R2023-01.A - To Fix and Publish Municipal Election Qualifying Period and Fees**
City Manager Robert Byrd presented the resolution for consideration. Councilmember Stevie Wall moved to approve Resolution R2023-01.A - To Fix and Publish Municipal Election Qualifying Period and Fees.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Wall
SECONDER: Black
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

VIII. OLD BUSINESS

- A. **Zoning Map Amendment for 100 Commerce Court from C-P to C-2**
City Manager Robert Byrd reported that the item had been withdrawn by the petitioner. No action was taken.

IX. NEW BUSINESS

- A. **Amend Zoning Conditions for 12 Outparcels of the Clyde E. Daniels Tract** (*Public Hearing, Action*)
City Manager Robert Byrd presented the amendment for consideration. Mayor Rebecca Benton opened and closed the public hearing without comment. City Planner Brian Crooks reported on the proposed amendment. Councilmember Karen Williams moved to amend the Zoning Conditions for 12 Outparcels of the Clyde E. Daniels Tract.

Motion to Amend; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

- B. **Conditional Use Request for an Assisted Living Facility in Clear Lake Reserve** (*Public Hearing, Action*)
City Manager Robert Byrd presented the request for consideration. Scott Allison of Coleman Company was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Conditional Use Request for an Assisted Living Facility in Clear Lake Reserve.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

- C. **Conditional Use Request for American Craftsman Renovations to Operate a Cabinet Manufacturing Business at 1018 West Highway 80, Suite 300** (*Public Hearing, Action*)

City Manager Robert Byrd presented the request for consideration. Calvin Norris was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Conditional Use Request for American Craftsman Renovations to Operate a Cabinet Manufacturing Business at 1018 West Highway 80, Suite 300.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

D. **Amendment to the Wynn-Capallo PUD Master Plan and Development Standards** (*Public Hearing, Action*)

City Manager Robert Byrd presented the amendment for consideration. Scott Allison of Coleman Company was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Tom Hutcherson moved to approve the Amendment to the Wynn-Capallo PUD Master Plan and Development Standards.

Motion to Approve; PASSED (3-2)

MOVER: Hutcherson

SECONDER: Black

AYES: Black, Hutcherson, Wall

NAYS: Higgins, Williams

E. **Site Plan for Nordic Drive Trailer Storage Yard**

City Manager Robert Byrd presented the site plan for consideration. Neil McKenzie was present on behalf of the petitioner to answer questions. Councilmember Karen Williams, upon review of the criteria, moved to approve the Site Plan for Nordic Drive Trailer Storage Yard subject to the following conditions:

1. Recording of the stormwater agreement prior to a preconstruction meeting
2. Payment of \$1,950.00 into the Tree Fund

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

F. **Site Plan for 1707 Old Dean Forest Road**

City Manager Robert Byrd presented the site plan for consideration. Jessica Vick was present on behalf of the petitioner to answer questions. Councilmember Aaron Higgins moved to approve the Site Plan for 1707 Old Dean Forest Road.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

G. **Site Plan for Harmony Subdivision Amenity Site**

City Manager Robert Byrd presented the site plan for consideration. Neil McKenzie was present on behalf of the petitioner to answer questions. Resident Lenny Cataneo expressed his concerns regarding the project. Councilmember Aaron Higgins moved to approve the Site Plan for Harmony Subdivision Amenity Site subject to the following conditions:

1. Recording of the stormwater agreement prior to a preconstruction meeting
2. All previously approved timelines remain in place

Motion to Approve with Stipulations; PASSED (4-1)

MOVER: Higgins

SECONDER: Williams

AYES: Black, Higgins, Wall, Williams

NAYS: Hutcherson

H. **Site Plan for My Place Hotel at 14 Mill Creek Circle**

City Manager Robert Byrd presented the site plan for consideration. Blake Heiman was present on behalf of the petitioner to answer questions. Councilmember Stevie Wall moved to postpone the Site Plan for My Place Hotel at 14 Mill Creek Circle until such time that the Chief of Police is able to research records related to other properties owned by the petitioner.

Motion to Postpone; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

I. **Site Plan for Dave & Busters on Tanger Outlets Boulevard**

City Manager Robert Byrd presented the site plan for consideration. Travis Burke, Rob Peterson, and Connie Reynolds were present to answer questions. Councilmember Karen Williams moved to approve the Site Plan for Dave & Busters on Tanger Outlets Boulevard.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

J. **Site Plan for Nine Squares (1541 Pooler Parkway)**

City Manager Robert Byrd presented the site plan for consideration. Councilmember Aaron Higgins moved to postpone the Site Plan for Nine Squares (1541 Pooler Parkway) until such time that the petitioner may be present.

Motion to Postpone; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wall
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

K. **Site Plan for Walk-On's Restaurant and Vet Center on Half Moon Way**

City Manager Robert Byrd presented the site plan for consideration. Jay Maupin was present on behalf of the petitioner to answer questions. Councilmember Aaron Higgins moved to approve the Site Plan for Walk-On's Restaurant and Vet Center on Half Moon Way subject to the following conditions:

1. A westbound right turn deceleration lane on Blue Moon Crossing being proposed under this project.
2. A modification to the southbound approach at Half Moon Way and Blue Moon Crossing is being proposed under the Towne Place Pooler project. This modification includes a left turn lane and thru/right turn lane on the southbound approach to the intersection.
3. The approval of the site plan shall be contingent upon the remaining traffic improvements, proposed under Towne Place Pooler, attaining site plan approval. The full extent of traffic improvements must be approved and a resubmittal of plans showing the complete scope of the traffic improvements must be provided, prior to a preconstruction meeting being scheduled.
4. It shall be noted that a certificate of occupancy shall not be issued until the Water Distribution and the Sanitary Sewer System falling under the scope of Towne Place Pooler project have been permitted, constructed, and accepted by the City.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

L. Site Plan for Highway 80 Car Wash

City Manager Robert Byrd presented the site plan for consideration. Jay Maupin was present on behalf of the petitioner to answer questions. Councilmember Karen Williams moved to approve the Site Plan for Highway 80 Car Wash subject to the following conditions:

1. Recording of the stormwater agreement prior to a preconstruction meeting

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

M. Underground Facilities Locating and Marking Service Agreement with Benchmark Subsurface Utility Services

City Manager Robert Byrd presented the agreement for consideration. Councilmember Stevie Wall moved to approve the Underground Facilities Locating and Marking Service Agreement with Benchmark Subsurface Utility Services subject to City Attorney approval.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

N. Contract for Municipal Court Solicitor with Ty Wilson

City Manager Robert Byrd presented the contract for consideration. Councilmember Stevie Wall moved to approve the Contract for Municipal Court Solicitor with Ty Wilson.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

O. Contract for Municipal Court Public Defender with Lauren Tignor

City Manager Robert Byrd presented the contract for consideration. Councilmember Stevie Wall moved to approve the Contract for Municipal

Court Public Defender with Lauren Tignor.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

P. **2023 Roadside Mowing and General Maintenance Contract**

City Manager Robert Byrd presented the agreement for consideration. Councilmember Karen Williams moved to award the 2023 Roadside Mowing and General Maintenance Contract to McGraley Company in the amount of \$1,091,534.91.

Motion to Award; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Wall

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

Q. **2023 Contract with the City Attorney**

Councilmember Stevie Wall moved to terminate the prior City Attorney contract and approve the new City Attorney contract with Scheer, Montgomery, & Call, P.C.

Motion to Terminate and Approve; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Higgins

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

X. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Aaron Higgins moved to enter Executive Session. Council entered Executive Session at 7:39 p.m.

Motion to Enter; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Williams

NAYS:

Mayor Rebecca C. Benton called the meeting back to order at 8:03 p.m.

Councilmember Karen Williams moved to amend the agenda to add Item P. under New Business: 2023 Roadside Mowing and General Maintenance Agreement.

Motion to Amend; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Wall
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

Councilmember Stevie Wall moved to amend the agenda to add Item. Q under New Business: 2023 Contract with the City Attorney.

Motion to Amend; PASSED (UNANIMOUS)
MOVER: Wall
SECONDER: Higgins
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

XI. ADJOURNMENT

Councilmember Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wall
AYES: Black, Higgins, Hutcherson, Wall, Williams
NAYS:

The meeting adjourned at 8:06 p.m.

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2023.

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, Clerk of Council



STATE OF GEORGIA)

COUNTY OF CHATHAM)

AFFIDAVIT

Before an officer duly authorized to administer oaths appeared Rebecca C. Benton, who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 17th day of January, 2023. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows:
When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was _____.
 - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
 - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).
 - D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).

E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).

F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).

G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).

H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was

_____.

I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).

J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting.

This 17th day of January, 2023.

Rebecca C Benton
Rebecca C. Benton, Mayor

Sworn to and subscribed before me
this day of 18TH day of JAN., 2023.

[Signature]
Notary Public





SPECIAL EVENT PERMIT APPLICATION

1. **APPLICANT'S INFORMATION:**

Greater Pooler Area Chamber of Commerce
Applicant's Name Email Address

305 W. Collins St. Pooler Ga. 912-748-0110
Applicant's Home Address Telephone Number

Courtney Rawlins courtney@poolerchamber.com
Contact Person/Agent Name Email Address

912-748-0110
Contact Person/Agent Telephone Number

2. **EVENT INFORMATION:**

3/17/2023 Tanger Outlets
Date of Event Location of Event

5:00 AM 12:00 AM 1000 plus
Starting Time of Event Ending Time of Event Estimated # of Participants

Shuttles / Festival / Live Music
Description of Event – *If requesting the closing or use of city streets, please provide a map clearly marking the streets to be used.*

Will food be sold or given away? Yes Will Alcohol be served? Yes No (if yes, STOP see checklist)
If yes, please ensure that all vendors adhere to the regulations of the Chatham County Environmental Health Department.

NOTICE: The City of Pooler may impose special stipulations of approval, including but not limited to, the requirement to hire adequate off-duty police personnel to ensure public safety.

[Signature] 1/16/2023
Applicant's Signature Date

Date Submitted: 1/20/23 Permit #: 6259 Fee Paid: \$ Waiver ^{Seeking} Council Meeting Date: 2/6/23

Approved Denied Special Stipulations: _____

Mayor's Signature:



SPECIAL EVENT PERMIT APPLICATION (Staff review page)

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

POLICE DEPARTMENT			
The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
<i>Cadley Brown</i>	<i>11/20/2023</i>		
Comments/Concerns: <u><i>Security plan required JB</i></u>			

FIRE DEPARTMENT			
The Fire Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
<i>G. Welch</i>	<i>1/21/23</i>		
Comments/Concerns: <u><i>WILL REQUIRE 2 OFF DUTY PERSONNEL TO PROVIDE COVERAGE FOR THE EVENT. → GWS</i></u>			

PARKS & RECREATION DEPARTMENT (if applicable)			
The Parks & Recreation Department has reviewed the application and the details of the event. Based on their review, requirements, and availability if needed, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input type="checkbox"/>	Denial: <input type="checkbox"/>
Comments/Concerns: _____			

Pooler Chamber of Commerce & Visitors Bureau, Inc.

Presents

St. Patrick's Day Festival and Shuttle Service

March 17th 5:00AM to March 18th 12:00AM

This festival will feature a marketplace, food trucks, live music and shuttles running from Tanger Outlet to Savannah from 5:00AM to 12:00AM.

The festival will be held at Tanger Outlets on the Vaden Chevrolet side.

At this time there is not a flyer or map completed. However, if/when approved we will begin working on that and submit to the city should they feel it necessary.

No road closing are being requested.

OGDEN UT 84201-0038

In reply refer to: 0438059728
Jan. 12, 2023 LTR 4168C 0
31-1483368 000000 00

00129597
BODC: TE

POOLER CHAMBER OF COMMERCE AND
VISITORS BUREAU INC
PO BOX 708
POOLER GA 31322-0708



029870

Employer ID number: 31-1483368
Form 990 required: YES

Dear Taxpayer:

We're responding to your request dated Jan. 03, 2023, about your tax-exempt status.

We issued you a determination letter in March 1997, recognizing you as tax-exempt under Internal Revenue Code (IRC) Section 501(c)(6).

Because you're not an organization described in IRC Section 170(c), donors can't deduct contributions they make to you. You should advise your contributors that their contributions to you aren't deductible.

In the heading of this letter, we indicated whether you must file an annual information return. If you're required to file a return, you must file one of the following by the 15th day of the 5th month after the end of your annual accounting period:

- Form 990, Return of Organization Exempt From Income Tax
- Form 990EZ, Short Form Return of Organization Exempt From Income Tax
- Form 990-N, Electronic Notice (e-Postcard) for Tax-Exempt Organizations Not Required to File Form 990 or Form 990-EZ
- Form 990-PF, Return of Private Foundation or Section 4947(a)(1) Trust Treated as Private Foundation

According to IRC Section 6033(j), if you don't file a required annual information return or notice for 3 consecutive years, we'll revoke your tax-exempt status on the due date of the 3rd required return or notice.

You can get IRS forms or publications you need from our website at www.irs.gov/forms-pubs or by calling 800-TAX-FORM (800-829-3676).

If you have questions, call 877-829-5500 between 8 a.m. and 5 p.m., local time, Monday through Friday (Alaska and Hawaii follow Pacific time).

Thank you for your cooperation.



SPECIAL EVENT PERMIT APPLICATION

1. **APPLICANT'S INFORMATION:**

Kandie Spence / Georgia Skin and Cancer Clinic lbilotto@georgiaskinandcancer.com
Applicant's Name Email Address
900 Mohawk Street 912-925-0067
Applicant's Home Address Telephone Number
Lauren Billotto lbilotto@georgiaskinandcancer.com
Contact Person/Agent Name Email Address
912-925-0067 ext. 263
Contact Person/Agent Telephone Number

2. **EVENT INFORMATION:**

April 15, 2023 200 Blue Moon Crossing
Date of Event Location of Event
10:00 a.m. 2:00 p.m. 100
Starting Time of Event Ending Time of Event Estimated # of Participants

Free admission, Spring Fling Health Fair, outdoor marketing block party to include food trucks, a bounce house, and local vendors
Description of Event – *If requesting the closing or use of city streets, please provide a map clearly marking the streets to be used.*

Will food be sold or given away? Yes Will Alcohol be served? Yes No (if yes, STOP see checklist)
If yes, please ensure that all vendors adhere to the regulations of the Chatham County Environmental Health Department.

NOTICE: The City of Pooler may impose special stipulations of approval, including but not limited to, the requirement to hire adequate off-duty police personnel to ensure public safety.

[Signature]
Applicant's Signature

1/24/23
Date

Date Submitted: 1/24/23 Permit #: 6264 Fee Paid: \$ _____ Council Meeting Date: 2/10/23
 Approved Denied Special Stipulations: _____

Mayor's Signature: _____



SPECIAL EVENT PERMIT APPLICATION (Staff review page)

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

POLICE DEPARTMENT			
The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by: <i>Cadeley Brewer</i>	Date: <i>1/26/2023</i>	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
Comments/Concerns: _____ _____ _____			

FIRE DEPARTMENT			
The Fire Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by: <i>G. White</i>	Date: <i>1/26/23</i>	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
Comments/Concerns: <i>ONLY CONCERN WOULD BE TRAFFIC / PARKING. THERE IS LIMITED SPACE AROUND BUILDING. IF PD IS OKAY, I WILL APPROVE AS WELL.</i>			

PARKS & RECREATION DEPARTMENT (if applicable)			
The Parks & Recreation Department has reviewed the application and the details of the event. Based on their review, requirements, and availability if needed, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input type="checkbox"/>	Denial: <input type="checkbox"/>
Comments/Concerns: _____ _____ _____			



SPECIAL EVENT PERMIT APPLICATION

#6273

1. **APPLICANT'S INFORMATION:**

Aaron Higgins - Pooler Juneteenth Celebration Committee 501(c)3

Applicant's Name

216 Tahoe Dr

Applicant's Home Address

719-494-6575

Telephone Number

Dan Pavlin - Endurance Race Services

Contact Person/Agent Name

912-604-3265

Contact Person/Agent Telephone Number

aaron@aaranhiggins.net

2. **EVENT INFORMATION:**

06/10/2023

Date of Event

Pooler Recreation Complex - 200 Preston Stokes

Location of Event

6:00 am

Starting Time of Event

10:00 am

Ending Time of Event

100-200

Estimated # of Participants

A timed distance race & walk. A rain date of 6/11/2023 (same times) is also requested.

Description of Event – *If requesting the closing or use of city streets, please provide a map clearly marking the streets to be used.*

Will food be sold or given away? Yes No

If yes, please ensure that all vendors adhere to regulations of the Chatham County Environmental Health Department.

NOTICE: The City of Pooler may impose special stipulations of approval, including but not limited to, the requirement to hire adequate off-duty police personnel to ensure public safety.

[Signature]
Applicant's Signature

1-31-23
Date

Date Submitted: 1/30/23 Fee Paid: \$ seeking waiver Date Scheduled for Council Meeting: 2/6/23

Approved Denied Special Stipulations: _____

Mayor's Signature: _____



SPECIAL EVENT PERMIT APPLICATION (Staff review page)

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

POLICE DEPARTMENT

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Reviewed by: _____ Date: _____ Approval: Denial:

Colley Brewer

1/31/2023

Comments/Concerns: security plan required CB

FIRE DEPARTMENT

The Fire Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Reviewed by: _____ Date: _____ Approval: Denial:

gh

1/30/23

Comments/Concerns: EVENT WILL REQUIRE 2 OFF DUTY PERSONNEL. PLEASE CONTACT DEPUTY CHIEF CRIBBS TO SCHEDULE. ———— CB

PARKS & RECREATION DEPARTMENT (if applicable)

The Parks & Recreation Department has reviewed the application and the details of the event. Based on their review, requirements, and availability if needed, the application is therefore recommended for:

Reviewed by: _____ Date: _____ Approval: Denial:

[Signature]

1/31/23

Comments/Concerns: _____

n/a



Department of the Treasury
Internal Revenue Service
Tax Exempt and Government Entities
P.O. Box 2508
Cincinnati, OH 45201

POOLER JUNETEENTH CELEBRATION
COMMITTEE INC
156 KINGFISHER CIR
POOLER, GA 31322

Date:
02/19/2022
Employer ID number:
87-3945288
Person to contact:
Name: Customer Service
ID number: 31954
Telephone: 877-829-5500
Accounting period ending:
December 31
Public charity status:
509(a)(2)
Form 990 / 990-EZ / 990-N required:
Yes
Effective date of exemption:
December 29, 2021
Contribution deductibility:
Yes
Addendum applies:
No
DLN:
26053404003532

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.

If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to www.irs.gov/charities. Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Sincerely,

Stephen A. Martin

Stephen A. Martin
Director, Exempt Organizations
Rulings and Agreements



SPECIAL EVENT PERMIT APPLICATION

#6274

1. APPLICANT'S INFORMATION:

Pooler Juneteenth Celebration Committee 501(c)3

Applicant's Name

PO Box 480

Applicant's Home Address

912-642-2390

Telephone Number

Tom Hutcherson

Contact Person/Agent Name

914-673-4560

Contact Person/Agent Telephone Number

hutchert+b@yahoo.com

2. EVENT INFORMATION:

06/17/2023

Date of Event

Tanger Outlets - 200 Tanger Outlets Blvd. - Pooler, GA 31028

Location of Event

11:00 am

Starting Time of Event

6:00 pm

Ending Time of Event

100 - 500

Estimated # of Participants

Annual Juneteenth Celebration

Description of Event – *If requesting the closing or use of city streets, please provide a map clearly marking the streets to be used.*

Will food be sold or given away? Yes No

If yes, please ensure that all vendors adhere to regulations of the Chatham County Environmental Health Department.

NOTICE: The City of Pooler may impose special stipulations of approval, including but not limited to, the requirement to hire adequate off-duty police personnel to ensure public safety.

Applicant's Signature

01/30/2023

Date

Date Submitted: 1/31/23

Fee Paid: \$ seeking waiver

Date Scheduled for Council Meeting: 2/6/23

Approved

Denied

Special Stipulations: _____

Mayor's Signature: _____



Department of the Treasury
Internal Revenue Service
Tax Exempt and Government Entities
P.O. Box 2508
Cincinnati, OH 45201

POOLER JUNETEENTH CELEBRATION
COMMITTEE INC
156 KINGFISHER CIR
POOLER, GA 31322

Date:
02/19/2022
Employer ID number:
87-3945288
Person to contact:
Name: Customer Service
ID number: 31954
Telephone: 877-829-5500
Accounting period ending:
December 31
Public charity status:
509(a)(2)
Form 990 / 990-EZ / 990-N required:
Yes
Effective date of exemption:
December 29, 2021
Contribution deductibility:
Yes
Addendum applies:
No
DLN:
26053404003532

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.

If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to www.irs.gov/charities. Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Sincerely,

Stephen A. Martin
Director, Exempt Organizations
Rulings and Agreements



SPECIAL EVENT PERMIT APPLICATION (Staff review page)

STAFF RECOMMENDATIONS – CITY OF POOLER USE ONLY

<u>POLICE DEPARTMENT</u>			
The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
<i>Coleley Brown</i>	<i>2/01/2023</i>		
Comments/Concerns: <u>Security plan required as</u>			

<u>FIRE DEPARTMENT</u>			
The Fire Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input checked="" type="checkbox"/>	Denial: <input type="checkbox"/>
<i>gh</i>	<i>1/31/23</i>		
Comments/Concerns: <u>EVENT WILL REQUIRE TWO (2) OFF-DUTY PERSONNEL FOR COVERAGE CONTACT DFC (R, BBS) TO SCHEDULE. — gh</u>			

<u>PARKS & RECREATION DEPARTMENT (if applicable)</u>			
The Parks & Recreation Department has reviewed the application and the details of the event. Based on their review, requirements, and availability if needed, the application is therefore recommended for:			
Reviewed by:	Date:	Approval: <input type="checkbox"/>	Denial: <input type="checkbox"/>
Comments/Concerns: _____			

From: [Hadassa Villafana](#)
To: [Tom Hutcherson](#)
Cc: [Aaron Higgins](#); [Kiley Fusco](#)
Subject: Special Event Permit Update - City of Pooler
Date: Wednesday, February 1, 2023 12:10:47 PM
Attachments: [image002.png](#)

Good Morning Councilman Hutcherson:

I am happy to inform you that your special event permit application for the 2023 Pooler Juneteenth Celebration (6/17/2023) is being recommended for approval by our Police and Fire Departments. However, each department has stated the following stipulations:

Police: Security Plan is required.

Contact: Captain Craig Bogden

Phone: (912) 748-7333

Email: cbogden@pooler-ga.gov

Fire: Will require 2 off-duty personnel to provide coverage.

Contact: Deputy Chief Scott Cribbs

Phone: (912) 748-7012

Email: scribbs@pooler-ga.gov

Please make all arrangements accordingly. This will be added to the upcoming council agenda for Monday, February 6th. Please let me know if you have any questions.



Respectfully,
HADASSA VILLAFANA
OCCUPATIONAL TAX SPECIALIST
PURCHASING SUPERVISOR
100 US Highway 80 SW
Pooler, GA 31322
T: (912) 748-7261 EXT. 109
hvillafana@pooler-ga.gov | pooler-ga.gov



CITY of POOLER

— GEORGIA —

PROCLAMATION

The 101st Birthday of Catherine Boxxe DeWitt

WHEREAS, longevity of life is a blessing both for an individual and for a community which benefits from the knowledge and experiences this individual brings to all; and the City of Pooler recognizes with respect and admiration the contribution of senior citizens to our community;

WHEREAS, Catherine Boxxe DeWitt was born in Savannah on January 22, 1922 to Harry Joseph and Sarah Bertha Love Boxxe, one of eight children. Her family arrived in Pooler in 1929 when the population was approximately 900;

WHEREAS, she married LeRoy Edward DeWitt, Sr. on May 4, 1942. They purchased a wood frame house on the corner of North Rogers and Rothwell Streets. There they had they had four children: Linda, JoAnn, Roy (Jr.) and David. In 1963, they built a new brick home on that property where she still resides today;

WHEREAS, Catherine has lived through 17 presidents, several wars, and The Great Depression. She well remembers the Hindenburg crash and the bombing of Pearl Harbor. A strong, independent, and energetic individual, she has outlived six of her siblings, her dear husband of 60 years, and her eldest daughter. She has survived breast cancer and numerous bodily injuries. Her mind and memory remain impeccable;

WHEREAS, at age nine, Catherine accepted Jesus at Pooler First Baptist Church where she remains a member today, having served as a mentor for many over the years;

WHEREAS, the City of Pooler is pleased to have one of its citizens achieve the incredible milestone of turning the wonderful age of 101 and wish Mrs. DeWitt continued health and happiness in the years to come;

WHEREAS, I, Rebecca C. Benton, Mayor of the City of Pooler, do hereby recognize and honor Catherine Boxxe DeWitt on her 101st birthday, and urge all residents, employees, and visitors of Pooler to join me in this tribute.

NOW, THEREFORE, In witness thereof, I have hereunto set my hand and caused the Seal of the City of Pooler, Georgia to be affixed this the 6th day of February 2023.



Rebecca C. Benton, Mayor

ATTEST:

Kiley Fusco, Clerk of Council

**RESOLUTION
TO ADOPT THE CITY OF POOLER 2023 SCHEDULE OF FEES**

WHEREAS, the City of Pooler provides a number of services on a regular basis within the city; and

WHEREAS, each of these services cost the city to administer and carry out; and

WHEREAS, there is a desire to accurately and correctly reflect the costs of these various services in schedules that reimburse the city for the time and expenses incurred by performing these services; and

WHEREAS, the fees and fines for all departments are reviewed and adjusted periodically as deemed appropriate and fiscally responsible; and

WHEREAS, the most recent review has determined that costs associated with providing services has increased to a degree that it is necessary to make adjustments in order to meet current needs and demands; and

WHEREAS, the amended Schedule of Fees is attached as Exhibit A; and

NOW,

THEREFORE, be it resolved by the Mayor and Council of the City of Pooler that the amended Schedule of Fees as attached is hereby adopted.

ADOPTED by the City of Pooler, Georgia on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Rebecca C. Benton, Mayor

ATTEST:

Kiley Fusco, City Clerk

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2022 Fee

32 LICENSES AND PERMITS

32.1000 BUSINESS LICENSES

32.1100 Alcoholic Beverage License Fees:

A1 Retail package: liquor, beer and wine	1,850.00
A2 Retail package: beer and wine	800.00
A3 Retail package: beer only	600.00
B1 Consumption on-premises: liquor, beer and wine	2,150.00
B2 Consumption on-premises: beer and wine	1,000.00
B3 Consumption on-premises: beer only	750.00
C Wholesale liquor	3,200.00
D Wholesale beer and wine	1,900.00
E Brewer, manufacturer of malt beverages, (does not include brewpubs or homebrewers)	1,075.00
F1 Hotels	2,500.00
F2 Special event venue	2,000.00
G Manufacturer of wine	2,250.00
H Distiller, manufacturer of distilled spirits	2,250.00
I Temporary/private event (not including home-brew events), per day, max 2-days	100.00
J Home-brew special event permit, per day, max 2-days and 6-days per annum	100.00
K Complimentary beer and wine	250.00
L Consumption off-premises (caterer): liquor, beer and wine	1,500.00

32.1100 Alcoholic Beverage Add-on fees:

A Brewpub operator permit, requires qualifying license (B1, B2, B3, or E)	850.00
C1 Sunday sales (retail) permit, requires qualifying license (A1, A2, A3, C, D, E, F1, F2, G, or H)	750.00
C2 Sunday sales (11:00 am) permit, requires qualifying license (B1, B2, B3, F1 or F2)	1,000.00

32.1900 Alcohol Application Fees:

New application fee (license classes A1 - H, and L)	290.00
New application fee (license classes I, J, and K)	20.00
Application renewal fee	50.00

32.1900 Investigative fee for alcoholic beverage licenses 20.00

32.1900 Nonprorated, nonrefundable business license administration fee 25.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
32.2000 NON-BUSINESS LICENSES AND PERMITS		
32.2210	Cell Tower Submittal Fee:	
	New structure (does not include cost for site plan or conditional use)	3,500.00
	Modification of existing cell tower	500.00
	Replacement or co-location	500.00
32.2210	Conditional Use Request (CUP):	
	Includes one (1) sign	350.00
	Amendment to conditions placed on CUP	350.00
32.2210	Culvert permit	35.00
32.2210	Land Disturbing Activity (LDA) permit	150.00
	Per acre	40.00
32.2210	Map amendment for PUD Master Plan fees:	
	Change in development standards, density, etc	350.00
32.2210	Map amendment petition: Fees shall accompany application	
	Area less than or equaling 1 acre + \$50 per lot	300.00
	Area greater than 1 acre + \$50 per lot	600.00
32.2210	Sign permit - \$25 per each \$1,000 or fraction thereof by total valuation	
	Sign permit - special events	50.00
32.2210	Subdivisions:	
	Minor subdivision:	
	Preliminary plan - plus \$20.00 per lot	350.00
	Final plat	350.00
	Major subdivision:	
	Sketch plan	350.00
	Preliminary plan - plus \$20.00 per lot	2,000.00
	Final plat w/maintenance bond review	600.00
	Final plat w/performance bond review	600.00
	Five-acre tract subdivision:	
	Final plat	350.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
Revisions to recorded plat fees:		
Recombinations, combinations	350.00	
Resubmittal of pending subdivision plan for review (Major & Minor only)		
≥ 20 outstanding comments	500.00	-
Between 19 and 11 outstanding comments	375.00	-
Between 10 and 4 outstanding comments	250.00	-
≤ 3 outstanding comments	125.00	-
32.2210 Variance request (includes one (1) sign)	350.00	
32.2210 Well permit:		
Shallow wells (less than 75 feet)	35.00	
Deep wells (75 ft and over)	65.00	
32.2210 Zoning text amendment	350.00	
32.2900 Burn permit	50.00	
32.2900 Door-to-Door Solicitation; Base annual fee	200.00	
Per person/per day fee	50.00	
32.2900 Live Entertainment permit, per year	100.00	
32.2900 Special Event permit	300.00	
32.2900 Timber harvesting permit	50.00	
32.2900 Tire disposal fees:		
Passenger cars/light weight truck tires (off rim)	3.00	
Passenger cars/light weight truck tires (on rim)	5.00	
Heavy weight truck tires (off rim)	15.00	
Heavy weight truck tires (on rim)	25.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

				2022 Fee
32.3000 REGULATORY FEES				
32.3100	Boring Fees:			
	0' to 20'			1,500.00
	20' to 50'			2,500.00
32.3100	Building Permit Fees:			
	Single family residence - 2500 sq ft or less			500.00
	Single family residence - 2501 sq ft - 5000 sq ft			600.00
	Single family residence - 5001 sq. ft - 7500 sq ft			700.00
	Single family residence - 7501 sq ft - 10,000 sq ft			800.00
	Single family residence - 10,001 sq ft and over			900.00
	Multi-family (per unit)			500.00
	Commercial projects (i.e., pools, buildings) - by total valuation:			
	0	999		50.00
	1,000 to	50,000	First 1,000	50.00 (+ 10.00 for each add'l thousand or fraction thereof)
	50,001 to	100,000	First 50,000	540.00 (+ 8.00 for each add'l thousand or fraction thereof)
	100,001 to	500,000	First 100,000	940.00 (+ 6.00 for each add'l thousand or fraction thereof)
	500,001 and over		First 500,000	3,340.00 (+ 4.00 for each add'l thousand or fraction thereof)
32.3100	Demolition permit - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$50			50.00
32.3100	Fence permit - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$50			35.00
32.3100	Solar Panel: \$10 per each \$1,000 or fraction thereof by total valuation (includes cost of inspection) with minimum fee of \$50			
32.3100	Inspection fees:			
	Electrical (Commercial): (per inspection)			50.00
	Garages, storage building, residential additions (per inspection)			35.00
	Mechanical (Commercial): (per inspection)			50.00
	Plumbing (Comercial): (per inspection)			50.00
	Emergency Responder Communication Coverage (Commercial): (per inspection)			500.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
Reinspection fees:		
1st building permit reinspection	50.00	
2nd building permit reinspection	75.00	
Curb and gutter	50.00	
Meter	50.00	
Sidewalk	50.00	
Stabilization	50.00	
Tree	50.00	
32.3100 Mobile home or construction trailer permit	65.00	
32.3100 Moving permit (relocation of existing structure)	65.00	-
32.3100 Pool permits:		
Above ground	50.00	35.00
Private pool - inground - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$100		100.00
34 CHARGES FOR SERVICES		
34.1000 GENERAL GOVERNMENT		
34.1300 Arborist (per acre)	150.00	
34.1300 Flood Maps:		
Small	5.00	
Large	10.00	
34.1300 Plan Review Fee:		
Residential	50.00	
Commercial	300.00	
Commercial retrofitting space	150.00	
Commercial buildout	150.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
34.1300	Site plan review submittal fees:	
	Site plan submittal fee	3,000.00
	Resubmittal of pending site plan for review	
	≥ 20 outstanding comments	500.00
	Between 19 and 11 outstanding comments	375.00
	Between 10 and 4 outstanding comments	250.00
	≤ 3 outstanding comments	125.00
	Revisions to an approved site plan	1,500.00
	Site Addition	350.00
34.1300	Zoning fees:	
	Verification letter	50.00
34.1300	Zoning maps:	
	Small	5.00
	Large	10.00
34.1400	Copy fee (per page)	0.10
34.1900	Notary fee (per page)	2.00
34.1900	Stop work order fee	500.00
34.1900	Towing fees:	
	Services provided by head-out wrecker service, not to exceed	85.00
	Vehicle storage (provided by head-out wrecker service), per day	15.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
34.4000 UTILITIES / ENTERPRISE		
34.4100	Sanitation rates *	
	Sanitation-only user deposit (renters)	75.00
	Wheeled trash carts - non-refundable deposit, per cart	75.00
	Residential trash service (includes one (1) recycling cart service), per month, one (1) trash cart	23.14
	Residential trash service - additional trash cart, per month	10.97
	Commercial trash service (carts), per month	26.23
	Additional recycling cart - residential/commercial (with trash cart service) carts, non-refundable deposit, per cart	25.00
	Additional recycling service fee, per month/per cart	8.52
	Re-delivery fee for repossessed carts	50.00
34.4211	Water rates:*	
	Residential, single family dwelling units, condominiums, townhouses, apartments per unit, per month:	
	Base charge for first 2,000 gallons	10.62
	2,001 gallons to 8,000 gallons, per 1,000 gallons	2.79
	8,001 gallons to 14,000 gallons, per 1,000 gallons	4.42
	Over 14,000 gallons, per 1,000 gallons	8.38
	Commercial, per month:	
	Base charge for first 5,000 gallons	47.75
	5,001 gallons to 25,000 gallons, per 1,000 gallons	2.79
	25,001 gallons to 225,000 gallons, per 1,000 gallons	4.17
	Over 225,000 gallons, per 1,000 gallons	8.38
	Hotels, motels, hospitals, nursing homes, per month, per room:	
	Base charge for first 1,000 gallons	3.35
	1,001 gallons to 2,000 gallons, per 1,000 gallons	2.79
	2,001 gallons to 5,000 gallons, per 1,000 gallons	4.17
	Over 5,000 gallons, per 1,000 gallons	8.38
	Senior citizens, per month:	
	Base charge for first 2,000 gallons	7.57
	2,001 gallons to 8,000 gallons, per 1,000 gallons	2.06
	8,001 gallons to 14,000 gallons, per 1,000 gallons	3.06
	Over 14,000 gallons, per 1,000 gallons	6.15

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
Multi-family on master meter, per unit, per month:		
Base charge for first 2,000 gallons	10.62	10.36
2,001 gallons to 8,000 gallons, per 1,000 gallons	2.79	2.72
8,001 gallons to 14,000 gallons, per 1,000 gallons	4.42	4.31
Over 14,000 gallons, per 1,000 gallons	8.38	8.17
Industrial: Water rates same as commercial		
Service call / disconnect / re-connect fee, requested by customer	55.00	
Service call - more than one (1) hour, per 1/4 hour	10.00	
Water: Backflow preventer inspection fees (effective 08-20-12):		
Up to 2", per device	75.00	
Up to 2", more than five (5) devices for same property, per device	50.00	
Over 2", per device	100.00	
Re-test, if device fails and has to be repaired by certified plumber	25.00	
Utility service rates (effective 08-21-17):		
Residential water service deposit (renters only)	150.00	
Commercial water service deposit (renters only)	300.00	
Water service fee - courtesy, three (3) days maximum, non-refundable	50.00	
Penalty for non-payment for each meter scheduled for disconnection:	50.00	
Hydrant meters, monthly fee	47.75	46.58
Per 1,000 gallons	3.02	2.94
Charge for failure to bring meter in for reading	50.00	
Swimming pool - fee for fire department to fill pools, plus charge for water used as stated above	25.00	
Deposit	993.00	
Permit fee	120.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2022 Fee

34.4212	Water meters:		
	Three-fourths inch	565.00	
	One inch	820.00	
	One and one half inch, plus flange kit	1,287.00	
	Two inch, plus flange kit	1,465.00	
	Three inch	1,715.00	
	Four inch	2,875.00	
	Six inch	5,055.00	
	Eight inch	8,180.00	
	Ten inch	10,525.00	
	Water meters - Fire line:		
	Four inch F2 compact	6,600.00	
	Six inch F2 compact	8,800.00	
	Eight inch F2 Fire Service	13,670.00	
	Ten inch F2 Fire line	18,835.00	
	MXU Radio Read Fee: per meter	145.00	
	Replace damaged MXU	145.00	
	<i>(No charge for first device replacement)</i>		
34.4214	Water meter repair parts/repair fees:		
	Dual check for 3/4" meter	44.50	
	Star 3/4"	31.50	
	Iron lid for 3/4" box	30.00	
	3/4" meter	130.00	
	3/4" box (includes brass and recessed lids)	290.00	
	Dual check for 1" meter	62.50	
	Ball valve for 1" meter	77.50	
	Star 1"	52.60	
	Iron lid for 1"	50.00	
	1" meter	185.00	
	1" box (includes brass and recessed lids)	490.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
34.4255	Sewer rates *	
	Residential, single family dwelling units, condominium, townhouses and apartments, per unit, per month:	
	Base charge	14.31
	Per 1,000 gallons	3.70
	Unmetered residences or residences on private waterwells, flat rate, per month	30.31
	Commercial, per month	
	Base charge	47.75
	0-5,000 gallons, per 1,000 gallons	3.70
	Over 5,000 gallons, per 1,000 gallons	4.12
	Hotels, motels, hospitals, nursing homes, per month, per room	
	Base charge	6.36
	First 3,000 gallons, per 1,000 gallons	3.70
	Over 3,000 gallons, per 1,000 gallons	4.12
	Multi-family on master meter	
	Base charge, per unit	14.31
	Per 1,000 gallons	3.70
	Senior Rate	
	Base charge	12.12
	Per 1,000 gallons	2.89
	Industrial	
	Domestic strength sewage - rate same as commercial	
	Industrial strength sewage - rates to be negotiated	
	Municipal - rates to be negotiated	
	Septic tank companies - dumping fee, per 1000 gallons - effective 6-1-19	150.00
	Reuse water, per 1000 gallons	0.75
	<i>*2.5% increase effective every January 1st</i>	
	34.6000 OTHER FEES	
	34.6410 Background Check Fees	30.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

			<i>2022 Fee</i>
34.7000 CULTURE AND RECREATION			
34.7500	Recreation program fees:		
	Youth Sports:		
	Online Resident fee	40.00	
	Walk-in Resident fee	45.00	
	Online Non-Resident fee	85.00	
	Walk-in Non-Resident fee	90.00	
	Late registration fee	10.00	
	Adult Sports:		
	Basketball - Team Registration	400.00	
34.7500	Gymnastics and Tumbling:		
	Online fee	40.00	
	Walk-in fee	45.00	
34.7500	Dance:		
	10 years old and under	50.00	
	10 years old or older	60.00	
34.7800	Leisure Services - Senior Citizens:		
	Membership fee - non Pooler/Bloomingdale residents - quarterly fee	25.00	
34.9000 OTHER CHARGES FOR SERVICES NOT INCLUDED ABOVE			
34.9000	Returned check charge	35.00	
34.9100	Cemetery Fees:		
	Burial, ashes	-	20.00
	Children	-	25.00
	All others	-	75.00
	Cost of lots (per space)	-	250.00
	Burial Administrative Fee	75.00	-
34.9900	Convenience Fee - online utility payments	3.50%	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2022 Fee

37 CONTRIBUTIONS AND DONATIONS FROM PRIVATE SOURCES

37.1000 Tree Fund Contributions	
Payment in lieu for tree replacement, removal of significant trees (per Sec. 42-198)	2,000.00
Payment in lieu for tree replacement, commercial and industrial hardship alternative (per Sec. 42-199)	475.00
37.1001 Tap-in fees - Water (does not include cost of meter):	
Three-fourths by five-eighths inch meter (single family residential)	500.00
One inch meter	500.00
One and one-half inch meter or two inch meter, plus \$150 per unit	500.00
Three inch meter, plus \$150 per unit	1,250.00
Four inch meter, plus \$150 per unit	2,500.00
Six inch meter, plus \$150 per unit	4,700.00
Eight inch meter, plus \$150 per unit	5,800.00
10-inch meter, plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons, per month	6,900.00
Hotels, motels, inns, initial connection expansion, plus \$150 per room	4,500.00
Restaurants:	
Freestanding, plus \$140 per seat	2,500.00
Buildout / Hotel restaurant, per seat	125.00
Service Stations:	
Service stations, no facilities	2,500.00
With car washing facilities	4,500.00
Car wash only	4,000.00
Office, retail, shops, other commercial establishments:	
Three-fourths inch meter	500.00
One inch meter	500.00
One and one-half inch meter or two inch meter, plus \$150 per unit	500.00
Two inch meter - plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons, per month	500.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2022 Fee

Industrial:			
	Three-fourths by five-eighths inch meter	500.00	
	One inch meter	500.00	
	One and one-half inch meter or two inch meter	500.00	
	Three inch meter, plus \$150 per unit	1,250.00	
	Four inch meter	2,500.00	
	Six inch meter	4,700.00	
	Eight inch meter, plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons, per month	5,800.00	
37.1002 Tap-in fees - Sewer:			
	Single family and multi-family residential, per unit	500.00	
	Commercial/industrial, plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons per month	500.00	
	Special commercial - hotels, motels, hospitals, nursing homes, plus \$75.00 per room	500.00	
Capital Cost Recovery Fees (per ERU):			
37.1004	1998 GEFA Loan (Savannah Quarters)	1,666.00	
37.1005	2003 GEFA Loan (Morgan Tract, Morgan Pines, Oglethorpe Square)	3,400.00	
37.1006	2005 GEFA Loan (Hunt Club)	1,830.00	
37.1006	2005 GEFA Loan (Morgan Lakes)	1,780.00	
Capital Cost Recovery Fees (per ERU):			
37.1007	City of Savannah	1,415.00	
	Godley Station area north end Pooler Pkwy		
	JACP Properties		
	Capallo Family (Hunt Club)		
	Morgan Lakes		
	Savannah Quarters area south end of Pooler Pkwy		
37.1008	Wastewater treatment plant capital cost recovery fee (per gallon)	13.58	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

		<i>2022 Fee</i>
38 MISCELLANEOUS REVENUE		
38.1000 RENTS AND ROYALITES		
38.1000	Picnic shelter rental (in Sangrena Woods):	
	Deposit - refundable once key is returned and no damage found	50.00
	Rental fee (per day - Pooler Resident)	200.00
	Rental fee (per day - Non Resident)	300.00
38.1000	Recreation park rental fees:	
	Complex @ 200 Preston Stokes Drive, per field, weekdays beginning 5:00 p.m. or later	75.00
	Complex @ 200 Preston Stokes Drive, per field, Saturday/Sunday/weekdays prior to 5:00 p.m.	150.00
	Complex @ 900 S. Rogers Street), per field, per day	100.00
	Pitching machines, per machine, per day	25.00
38.1000	Standard Specifications CD	75.00
38.9001	Excavation permit	35.00

AGENDA ITEM

Date: February 6, 2023

Subject: Site Plan/Landscape Plan for My Place Hotel at Mill Creek Circle

Background & Discussion:

Blake Heiman, with TGC Pooler, LLC presented the site plan to the P&Z Board for their review and recommendation. The project will consist of a three (3) story hotel with 69 rooms and the infrastructure to support it. The site is located adjacent to the Red Roof Inn, on Mill Creek Circle.

Planning and Zoning Recommendation:

P&Z recommends approval of the site plan/landscape plan for My Place Hotel, contingent upon a Stormwater Maintenance Agreement being recorded and submitted to the City.

Staff Recommendation:

Staff recommends approval, contingent upon a Stormwater Maintenance Agreement being recorded and submitted to the City prior to a preconstruction meeting being scheduled.



December 20th, 2022

Craig B. Larsen, PE
Legacy Design Group
PO Box 1692
Bountiful, UT 84011

Dear Mr. Larsen,

I am pleased to provide you with a recommendation for Conditional Approval of the site development plans for 'My Place Hotel', which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	<i>Dec. 2022</i>
	Stormwater Management Report.....	<i>Dec. 2022</i>
	GSWCC Approved ES&PC Plans.....	<i>Dec. 2022</i>
	Geotechnical Report.....	<i>Oct. 2022</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Conditional Approval of the site development plans, pursuant to a development permit, subject to the following:

1. The City of Pooler - Stormwater Maintenance Agreement must be completed with applicable project information, signed by the parcel owner, notarized, and submitted to the City.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President - EOM
Cynthia Phillips; Sr. Engineering Manager - EOM
Keith Stewart; Project Engineer - EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



EROSION SEDIMENT & POLLUTION CONTROL PLAN REVIEW
Coastal SOIL AND WATER CONSERVATION DISTRICT

11/18/2022 DATE ON PLANS Pooler LIA 11/21/2022 DATE RECEIVED

1.45 TOTAL PROJECT ACRES 1.56 TOTAL DISTURBED ACRES

My Place Hotel NAME OF PROJECT Mill Creek Circle, Pooler, Georgia (Chatham Co.) ADDRESS (INCLUDING COUNTY)

Lat: 32.138797 Long: -81.243191
SPECIFIC INFORMATION ON PROJECT (GPS Location)

Jessica Vick DESIGN PROFESSIONAL #62699 6/27/2024 LEVEL II CERTIFICATION/EXPIRATION DATE Ogeechee Loamy Fine Sand (Ok) SOIL SERIES

Legacy Design Group c/o Craig Larsen APPLICANT 181 North 200 West, Suite 2, Bountiful, UT 84010 ADDRESS 385-501-7371 PHONE NUMBER

REPORT OF TECHNICAL REVIEW

X* The Erosion Sediment and Pollution Control Plan for the above named project or activity meets the requirements of the Erosion and Sediment Control Ordinance or Rules and Regulations Governing Land-Disturbing Activities in Pooler under the provisions of the Erosion and Sedimentation Act of 1975, as amended.

The Erosion Sediment and Pollution Control Plan for the above named project or activity does not meet the requirements in Pooler through failure to include the following listed at the bottom of the page.

> Any questions, comments, or concerns regarding this plan review should be addressed to:

Technical review by: Abby Foster
Level II Certification #/Expiration Date: #87061 05/14/2024
Organization: GSWCC
Date: 12/01/22

The technical review as accomplished and reported above was done at the request of and is concurred by the Coastal Soil and Water Conservation District.

DISTRICT SUPERVISOR DATE

Comments:

- 5 Provide the name, address, email address, and phone number of primary permittee. May be shown on cover sheet, ES&PC Plan or under ES&PC notes. PERMIT II.B.1.b pg 12
- 50 a.) Better delineate with type of Sd2 will be used on the initial and intermediate phases.
b.) Progression from temporary BMPS (Sd2-F) to final permanent BMPS (Sd2-P/Sd2-Bg) on intermediate to final phases.



RECEIVED

AUG 26 2022

ZONING DEPARTMENT Project # 221043

Site Plan Application

(page 1 of 3)

Applicant <u>TGC Pooler, LLC</u>	
Mailing address <u>322 S. Mosley St.</u>	
City <u>Wichita</u>	State <u>KS</u> Zip <u>67202</u>
Telephone () <u>316-260-9088</u>	Fax () _____
Property Owner(s) <u>Sam's Real Estate Business Trust</u>	
Mailing address <u>2101 SE Simple Savings Drive</u>	
City <u>Bentonville</u>	State <u>AR</u> Zip <u>72712</u>
Telephone () <u>479-249-7942</u>	Fax () _____
Contact Person(s) <u>Blake Heiman</u>	
Mailing address <u>322 S. Mosley St.</u>	
City <u>Wichita</u>	State <u>KS</u> Zip <u>67202</u>
Telephone () <u>316-260-9088</u>	Fax () _____ E-mail <u>blake@tgcgroup.net</u>
Location address <u>14 Mill Creek Circle, Pooler, GA 31322</u>	
Current Zoning <u>C-2</u>	Parcel Identification Number <u>5-0017C-03-014</u>
Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: <u>Construction of a 3 story, 64 room My Place hotel.</u>	

REVISED

RECEIVED

JAN 04 2023

ZONING DEPARTMENT



VICINITY MAP



APPROVED
JAN 10 2023
**MY PLACE
HOTEL**
LOCAL
PERMITS/REGISTRATION
PLANNING

CONTACTS

OWNER/DEVELOPER:
TCC GROUP
BLAKE HERMAN, CCM
322 S. MOSLEY
MOBILE, AL 36602
334-260-8098

ARCHITECT:
THE RICHARDSON DESIGN PARTNERSHIP
JEFF BERS, AIA
310 SOUTH 600 EAST
SALT LAKE CITY, UT 84102
801.355.8868

CIVIL ENGINEER:
LEGACY DESIGN GROUP, LLC
DANIEL LARSEN, PE
PO BOX 1692
BIRMINGHAM, AL 35201-1692
385.501.7371
croig@legacydesigngroup.net

SURVEYOR:
BREWER LANDSURVEYING
604 US HIGHWAY 80W
POOLER, GA 31322
912.856.2205
info@brewersurvey.com

UTILITY PROVIDERS

WATER, SANITARY, SEWER, STORM SEWER:
CITY OF POOLER
100 US HIGHWAY 80SW
POOLER, GA 31322
912.748.4800
WATER DEPT. CONTACT: NICK CARPENTER
SEWER DEPT. CONTACT: JOHN WINN
912.748.4871
INSPECTIONS CONTACT: ROBERT WELLMAKER
912.748.6652

ELECTRIC:
SOUTHERN COMPANY
600 EAST BAY STREET
SAVANNAH, GA 31401
912.238.2243

NATURAL GAS:
ATLANTA GAS LIGHT
CHATHAM PARKWAY
SAVANNAH, GA 31405
912.239.8508
CONTACT: CHARLIE WATERS

COMMUNICATIONS/CABLE:
BELL SOUTH TELEPHONE COMPANY
6502 ABERCORN STREET
SAVANNAH, GA 31405
912.644.8900
CONTACT: SHELLEY FIELDS
(CONFIRM PROVIDER W/OWNER)

BUILDING/PARKING LOT NOTES

PROPOSED USE: MY PLACE HOTEL

FLOOR AREA:
• MAIN: 9,950 SF
• SECOND LEVEL: 9,413 SF
• THIRD LEVEL: 9,413 SF
• TOTAL FLOOR AREA: 28,776 SF

ROOM NUMBER TOTAL: 64 GUEST UNITS

PARKING SPACES REQUIRED: 62 STALLS

PARKING SPACES PROPOSED: 69 STALLS

BUILDING COVERAGE RATIO: 15.7% (BUILDING: 9,950 SF / LOT: 63,366)

BUILDING HEIGHT:
• PRIMARY ROOF PEAK: 32'-4"
• ELEVATOR BULK HEAD: 33'-0"

LOT DEVELOPMENT NOTES

PARCEL NUMBER: 30017003014

DEVELOPMENT ACREAGE: 1.456 ACRES (63.366 SF)

ZONING: C-2

ADJOINING RECORDED DEED NAMES:
• CLAUDE O FALLIGANT
• CLAUDE O FALLIGANT

FLOOD PLAN: MAPPED AS ZONE X, AREA OF MINIMAL FLOODING, PER FEMA MAP PANEL #13051C0038J
EFFECTIVE DATE 08/16/2018, NOT A 100 YEAR FLOOD HAZARD AREA.

STATE WATERS DO NOT EXIST ON THE SITE
WETLANDS DO NOT EXIST ON THE SITE

LANDSCAPING NOTES

PRE-DEVELOPMENT SURFACE AREAS:
• IMPERVIOUS AREA: 0 SF (0%)
• PERVIOUS AREA: 63,366 SF (100%)

POST DEVELOPMENT SURFACE AREAS & LANDSCAPING:
• IMPERVIOUS AREA: 42,747 SF (67.5%)
• PERVIOUS AREA (LANDSCAPING): 20,619 SF (32.5%)
• PARKING LANDSCAPING REQUIRED (400 SF/12 STALLS) = 2,333 SF
• PARKING LANDSCAPING PROVIDED = 4,207 SF

SITE FIRE PROTECTION CALCULATIONS

- CONSTRUCTION TYPE: VB
- TOTAL BUILDING SF: 28,776 SF
- IFC TABLE B105.1 FIRE FLOW REQ'D: 4,500 GPM
- FULLY SPRINKLED BUILDING--NFPA13: IFC B105.2 ALLOWS 75% REDUCTION IN FIREFLOW (1,500 GPM MIN.)
- FINAL REQUIRED FIRE FLOW: 1,500 GPM
- IFC TABLE C105.1 ONE FIRE HYDRANT IS REQUIRED AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY MUST BE WITHIN 250' OF THE HYDRANT (SPACING REQ'D):
- SPACING PROVIDED: 243'
- IFC 503.1.1: ACCESS ROAD SHALL EXTEND TO WITHIN 150' OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY
- EXCEPTION: 150' MAY BE INCREASED WITH AN AUTOMATIC SPRINKLER SYSTEM
- MAX. DISTANCE FROM ONSITE ACCESS ROAD PROVIDED: 151'
- MAX. DISTANCE FROM EXISTING OFFSITE ACCESS ROADS: 72'

SHEET INDEX & REVISION TABLE

DATE	DESCRIPTION	REVISIONS			
		10-28-22	11-20-22	12-15-22	
08-25-22	PERMIT SUBMITTAL				
10-28-22	A. REVISE COMMENTS				
11-20-22	B. REVISE COMMENTS				
12-15-22	C. REVISE COMMENTS				
	C000 CIVIL COVER SHEET				
	C001 CIVIL NOTES				
	C050 EX. CONDITIONS & DEMOLITION				
	C100 SITE PLAN				
	C200 UTILITY PLAN-W, SS, ELEC, G				
	C201 UTILITY PLAN-SD				
	C202 SITE PHOTOMETRICS				
	C300 GRADING PLAN				
	C301 GRADING PLAN				
	C302 GRADING PLAN				
	C400 SWPPP				
	C500 CIVIL DETAILS				
	C501 CIVIL DETAILS				
	C502 CIVIL DETAILS				
	C503 CIVIL DETAILS				
	C504 CIVIL DETAILS				
	L000 TREE SURVEY/CLEARING PLAN				
	L100 LANDSCAPE PLAN				
	L101 LANDSCAPE DETAILS				
	L200 IRRIGATION PLAN				
	L201 IRRIGATION DETAILS				
	L202 IRRIGATION DETAILS				
	A200* EXTERIOR ELEVATIONS				
	A201* EXTERIOR ELEVATIONS				

811 Know what's below. Call before you dig.

SAVANNAH, GA

DATE: 08-25-22
10-28-22
11-20-22
12-15-22
AUG 25, 2022



CIVIL COVER SHEET
C000



LEGEND

---	PROPERTY LINE OF INTEREST
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING EASEMENT TO BE ABANDONED
---	EXISTING CURB & CUTTER
---	EXISTING FENCE
---	EXISTING BUILDING
---	REMOVE EXISTING CONCRETE ASPHALT
---	EXISTING STORMDRAIN LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING GAS LINE
---	EXISTING CONDUIT
---	EXISTING FENCE TO BE REMOVED
---	EXISTING BUILDING TO BE REMOVED
---	EXISTING STORMDRAIN LINE TO BE REMOVED
---	EXISTING SANITARY SEWER LINE TO BE REMOVED
---	EXISTING WATER LINE TO BE REMOVED
---	EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED
---	EXISTING UNDERGROUND ELECTRIC LINE TO BE REMOVED
---	EXISTING COMMUNICATIONS LINE TO BE REMOVED
---	EXISTING GAS LINE TO BE REMOVED
---	EXISTING CONDUIT TO BE REMOVED

- Ⓜ EXISTING STORMDRAIN INLET
- Ⓜ EXISTING STORMDRAIN COMBINATION BOX
- Ⓜ EXISTING STORMDRAIN MANHOLE
- Ⓜ EXISTING DOWNSPOUT (ROOF DRAIN W/ CONNECTION)
- Ⓜ EXISTING ROOFRAIN DISCHARGE (DISCHARGE TO LANDSCAPING)
- Ⓜ EXISTING CLEAFOUT
- Ⓜ EXISTING SANITARY SEWER MANHOLE
- Ⓜ EXISTING ELECTRICAL/TRANSFORMER BOX
- Ⓜ EXISTING FIRE HYDRANT
- Ⓜ EXISTING WATER METER
- Ⓜ EXISTING WATER IRRIGATION, POST INDICATOR VALVES
- Ⓜ EXISTING FIRE DEPT. CONNECTION
- Ⓜ EXISTING SITE LIGHT
- Ⓜ EXISTING POWER POLE, GUY WIRE
- Ⓜ EXISTING SIGN
- Ⓜ EXISTING BOLLARD
- Ⓜ EXISTING TREE
- Ⓜ RESTORE CONCRETE, ASPHALT, LANDSCAPING, ETC. AFTER UTILITY INSTALLATION

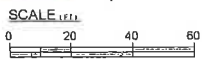
EXISTING TREES TO BE PRESERVED

- Ⓜ TREES TO BE PRESERVED - J1 PINE TREES TO BE PRESERVED - USE CARE DURING EXCAVATION AROUND CRITICAL ROOT ZONE. PRESERVE & PROJECT DURING CONSTRUCTION. SEE SHEET 1000 FOR DETAILS

TOTAL TREES TO BE PRESERVED: 31 TREES

GENERAL DEMOLITION NOTES

1. COORDINATE ANY PRIVATE UTILITY WORK WITH PROVIDERS (GAS, POWER, COMMUNICATIONS)
2. COORDINATE ANY PUBLIC UTILITY WORK WITH THE CITY OR UTILITY OWNER (SANITARY SEWER, WATER, STORM DRAIN)
3. SMALL OR MINOR IMPROVEMENTS MAY EXIST THAT ARE TO BE DEMOLISHED THAT ARE NOT SHOWN HERE
4. INTENT IS TO DEMOLISH SITE TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION & LANDSCAPING CONTRACTORS ARE CAUTIONED & ENCOURAGED TO VERIFY SITE CONDITIONS & EXISTING FEATURES THAT MAY NOT BE SHOWN ON DRAWINGS BUT REQUIRE WORK AND/OR DEMOLITION



MY PLACE
LIFE

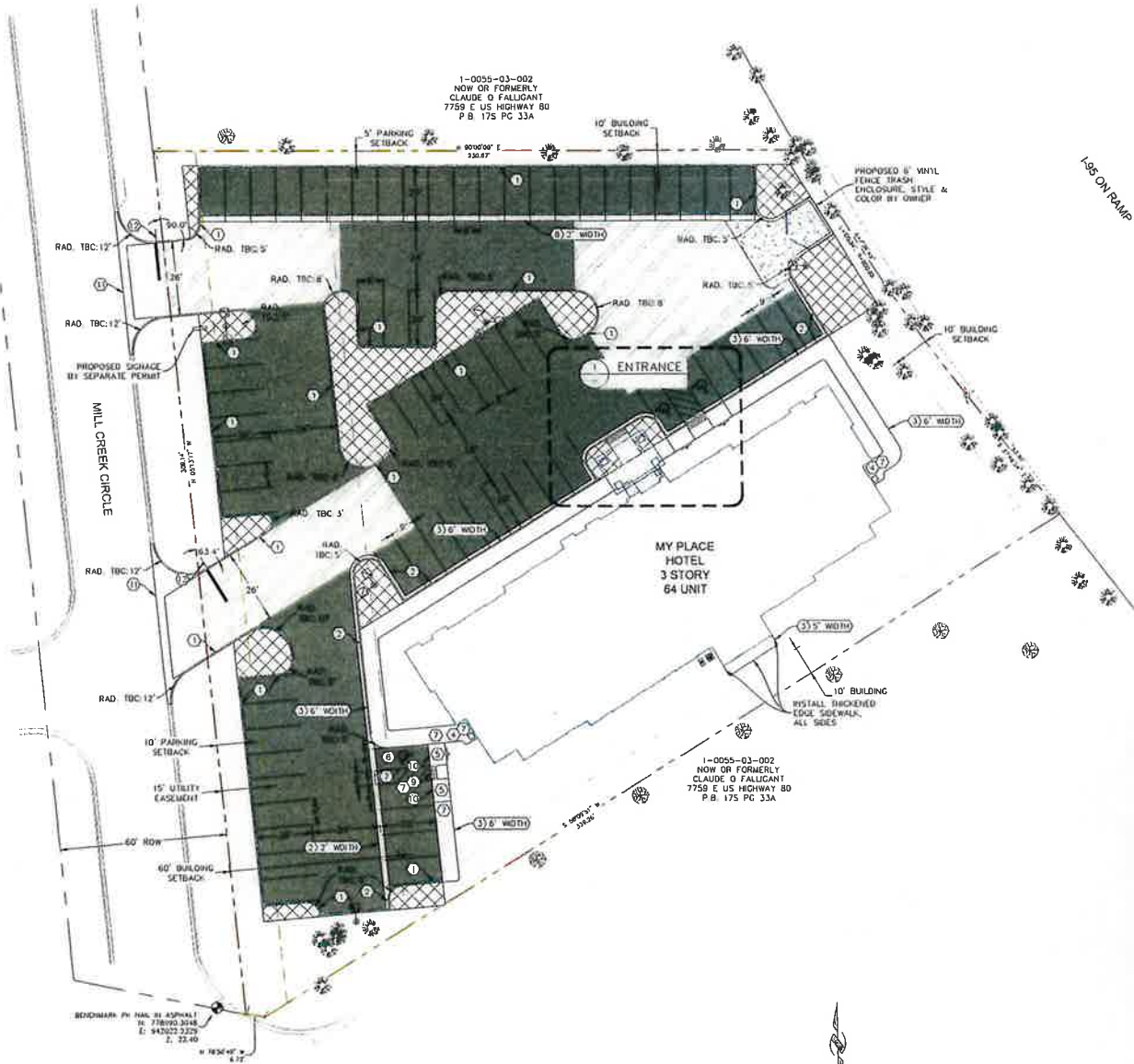
811
Call before you dig

811	Know what's below. Call before you dig.
1	Call 811
2	Wait for utility workers
3	Mark the site
4	Excavate carefully

811
Call before you dig



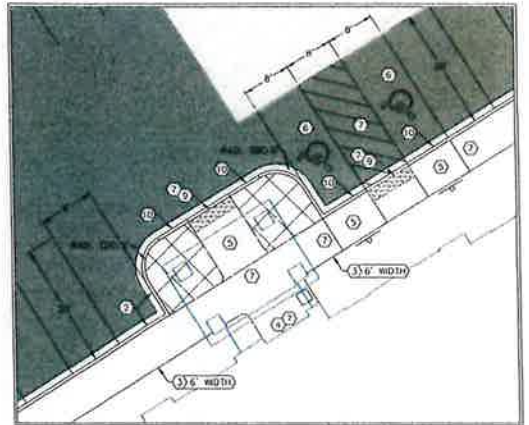
EX. CONDITIONS & DEMOLITION
C050



LEGEND

(---)	PROPERTY LINE OF INTEREST
(---)	PARKING SETBACK REQ 1
(---)	BUILDING SETBACK REQ 1
(---)	EXISTING PROPERTY LINE
(---)	EXISTING EASEMENT
(---)	EXISTING EASEMENT TO BE ABANDONED
(---)	PROPOSED EASEMENT
(---)	EXISTING CURB & GUTTER
(---)	PROPOSED CURB
(---)	PROPOSED FENCE
(---)	EXISTING FENCE
(---)	PROPOSED BUILDING
(---)	EXISTING BUILDING
(---)	PROPOSED SHADAGE
(---)	EXISTING SIGNAGE
(---)	PROPOSED BOLLARD
(---)	EXISTING BOLLARD
(---)	PROPOSED ADA TRUNCATED DOMES
(---)	888888
(---)	SURVEY CONTROL
(---)	FLEXIBLE PAVEMENT (100)
(---)	HEAVY PAVEMENT (100)
(---)	TYPICAL PAVEMENT CITY OF POOLER (100)
(---)	RIGID PAVEMENT (100)
(---)	INTERIOR PARKING LANDSCAPING
(---)	EXISTING TREE

- KEY TAGS**
1. INSTALL CURB WALL (100)
 2. INSTALL 18" CURB & GUTTER (100)
 3. INSTALL SIDEWALK WIDTH PER PLAN USE THICKENED EDGE ADJACENT TO ASPHALT & CONCRETE PAVING (100)
 4. INSTALL CRITICAL SIDEWALK PANEL & ADA LANDING ADJACENT TO BUILDING (100)
 5. INSTALL ADA RAMP (100)
 6. INSTALL ADA STALLS & SIGNAGE (100)
 7. ADA LANDING/ZONE; SLOPE < 2% ANY DIRECTION (100)
 8. INSTALL CONCRETE WATERWAY WIDTH PER PLAN (100)
 9. LOW BACK CURB, PROVIDE TRUNCATED DOMES WHEN SHOWN PER PLAN (100)
 10. TRANSITION FROM LOWBACK TO HIGHBACK CURB OVER 24" TO NEAREST RADIUS POINT WITHIN 5' OR FOLLOW ADA RAMP SLOPE (100)
 11. INSTALL DRIVE APPROACH WITH CONCRETE SWALE & FILLETS (100)
 12. INSTALL "STOP" SIGN (R1-1) & STOP BARS (100)



SCALE (FT.)
0 20 40 60

LDG
Landscape Design Group, Inc.
1111 Peachtree Street, N.E.
Atlanta, Georgia 30309
Phone: (404) 525-1111
Fax: (404) 525-1112
www.ldg.com

MY PLACE HOTEL
64 UNIT
7759 E US HIGHWAY 80
P.B. 175 PG 33A

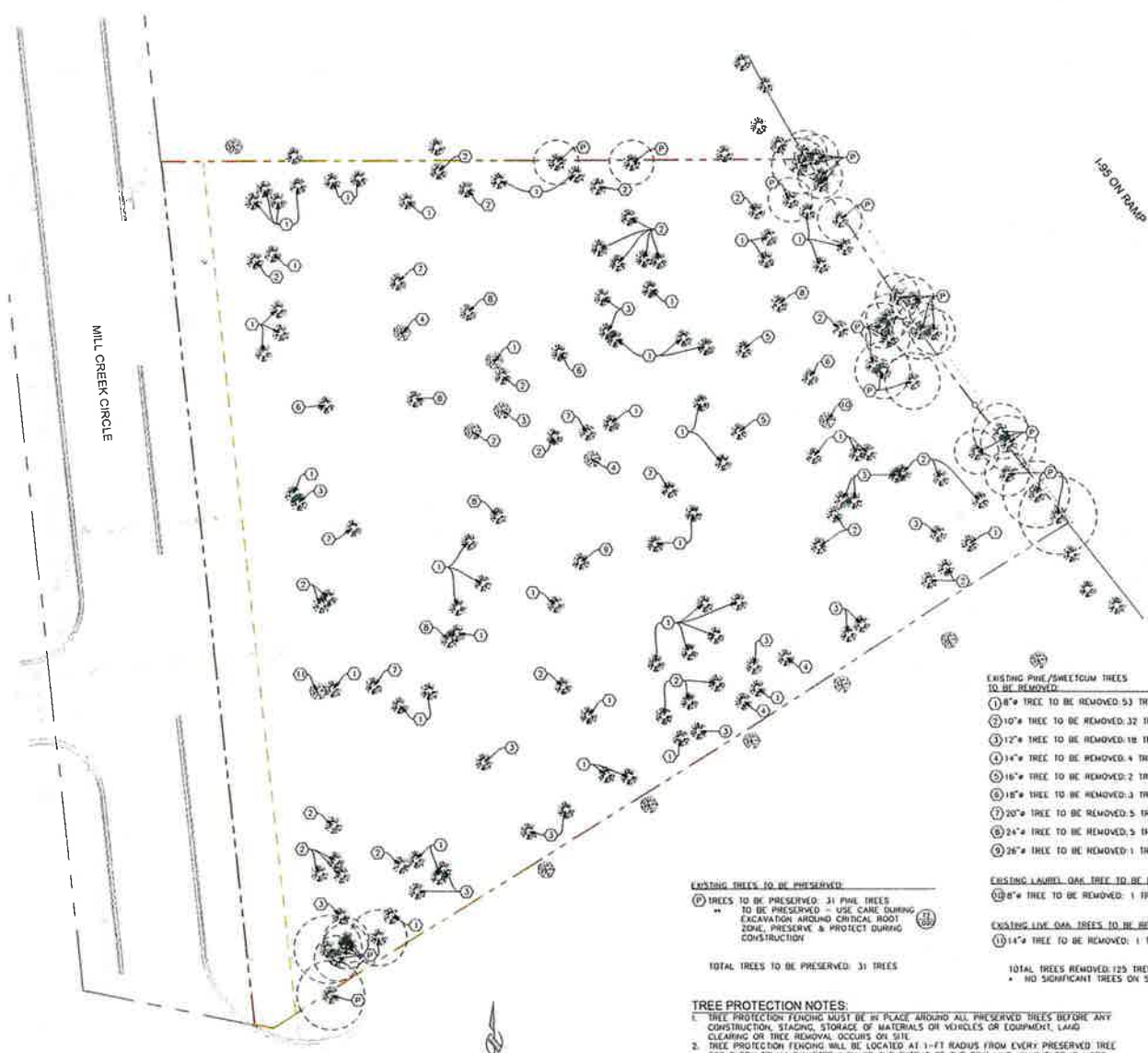
811
Know what's below. Call before you dig.
Call 811 or visit 811.org

DATE: 08/11/22
BY: J. HARRIS
CHECKED: M. HARRIS
DATE: 08/11/22

DATE: 08/11/22
BY: J. HARRIS
CHECKED: M. HARRIS
DATE: 08/26, 2022

GEORGIA
Professional Seal
J. HARRIS
12/15/2022 3:33:51 PM

SITE PLAN
C100



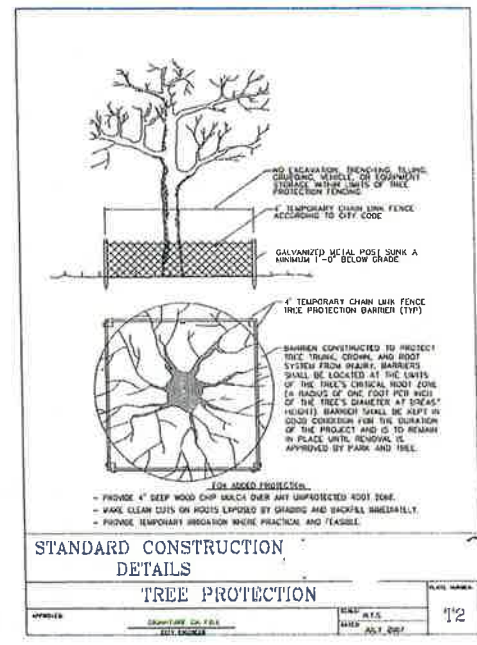
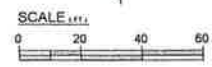
- LEGEND**
- PROPERTY LINE OF INTEREST
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING CURB & GUTTER
 - EXISTING FENCE
 - EXISTING BUILDING
 - EXISTING STORMDRAIN LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING COMMUNICATIONS LINE
 - EXISTING GAS LINE
 - EXISTING CONDUIT
 - PROPOSED TREE PROTECTION LINE
- EXISTING STORMDRAIN INLET
 - EXISTING STORMDRAIN COMBINATION BOX
 - EXISTING STORMDRAIN MANHOLE
 - EXISTING DOWNSPOUT (ROOF DRAIN W/ CONNECTION)
 - EXISTING ROOFDRAIN DISCHARGE (DISCHARGE TO LANDSCAPING)
 - EXISTING CLEANOUT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING ELECTRICAL/TRANSFORMER BOX
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING WATER, IRRIGATION, POST INDICATOR VALVES
 - EXISTING FIRE DEPT CONNECTION
 - EXISTING SITE LIGHT
 - EXISTING POWER POLE, GUY WIRE
 - EXISTING SIGN
 - EXISTING BOLLARD
 - EXISTING TREE
 - TREES TO BE REMOVED

- EXISTING PINE/SWEETGUM TREES TO BE REMOVED**
- ① 8" TREE TO BE REMOVED: 53 TREES
 - ② 10" TREE TO BE REMOVED: 32 TREES
 - ③ 12" TREE TO BE REMOVED: 18 TREES
 - ④ 14" TREE TO BE REMOVED: 4 TREES
 - ⑤ 16" TREE TO BE REMOVED: 2 TREES
 - ⑥ 18" TREE TO BE REMOVED: 3 TREES
 - ⑦ 20" TREE TO BE REMOVED: 5 TREES
 - ⑧ 24" TREE TO BE REMOVED: 5 TREES
 - ⑨ 26" TREE TO BE REMOVED: 1 TREE
- EXISTING LAUREL OAK TREE TO BE REMOVED:**
- ⑩ 8" TREE TO BE REMOVED: 1 TREE
- EXISTING LIVY OAK TREES TO BE REMOVED:**
- ⑪ 14" TREE TO BE REMOVED: 1 TREE
- TOTAL TREES REMOVED: 125 TREES**
* NO SIGNIFICANT TREES ON SITE.

- EXISTING TREES TO BE PRESERVED:**
- ⑫ TREES TO BE PRESERVED: 31 PINE TREES
 - ** TO BE PRESERVED - USE CARE DURING EXCAVATION AROUND CRITICAL ROOT ZONE, PRESERVE & PROTECT DURING CONSTRUCTION
- TOTAL TREES TO BE PRESERVED: 31 TREES**

TREE PROTECTION NOTES:

- TREE PROTECTION FENCING MUST BE IN PLACE AROUND ALL PRESERVED TREES BEFORE ANY CONSTRUCTION, STAGING, STORAGE OF MATERIALS OR VEHICLES OR EQUIPMENT, LAND CLEARING OR TREE REMOVAL OCCURS ON SITE.
- TREE PROTECTION FENCING WILL BE LOCATED AT 1-FT RADIUS FROM EVERY PRESERVED TREE FOR EVERY TRUNK DIAMETER INCH OR THE EXTENT OF THE DRIP LINE, WHICHEVER IS MORE RESTRICTIVE.
- TREE PROTECTIVE BARRIER MUST BE AT LEAST 4" IN HEIGHT, BE PROMINENT VISUALLY & ERRECTED COMPLETELY AROUND THE PROTECTION ZONE. THE USE OF TEMPORARY CHAIN LINK FENCE OR ORANGE POLYETHYLENE SAFETY FENCING OR A SIMILAR MATERIAL IS REQUIRED AS A MINIMUM.
- NO CONSTRUCTION ACTIVITY, EXCAVATION, VEHICLE ACCESS OR ANY STORAGE OF SPILL MATERIALS OR EQUIPMENT WILL OCCUR WITHIN THE TREE PROTECTION FENCE UNLESS APPROVED BY THE CITY.
- TREE SURVEY COMPLETED BY LAND SURVEYOR - JAMES CRAIG BREWER #3022 WITH BREWER LAND SURVEYING ON 2/04/2022.



LDG LAND DEVELOPMENT GROUP

1000 W. WINDY HILL RD
SUITE 100
DUBLIN, GA 31009
770.470.1111

MY PLACE HOME

1000 W. WINDY HILL RD
SUITE 100
DUBLIN, GA 31009
770.470.1111

811

Know what's below. Call before you dig.

10/23/2022 09:58
10/23/2022 09:58
10/23/2022 09:58

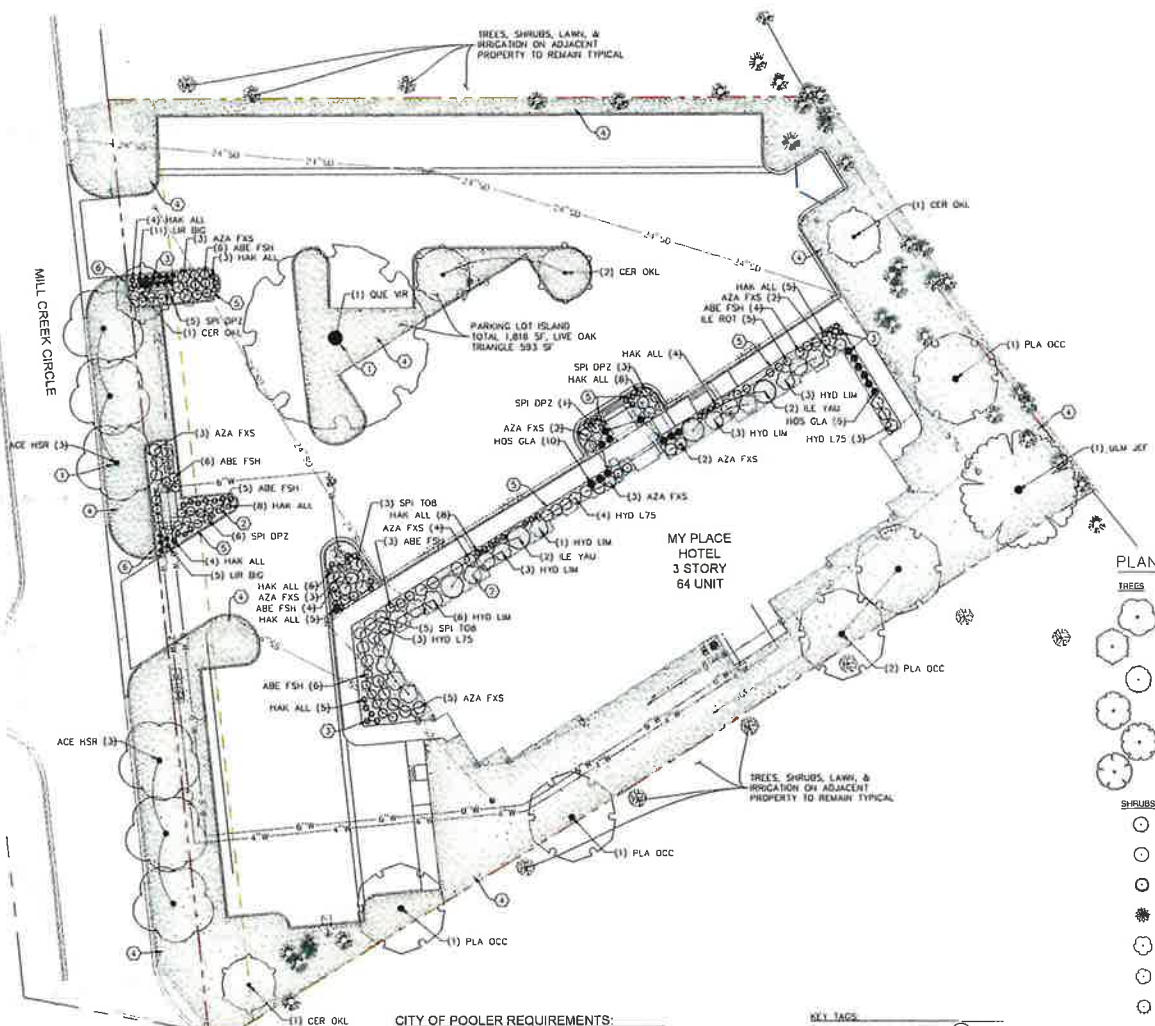
GEORGIA

REGISTERED PROFESSIONAL LAND SURVEYOR

02/04/2022 5:37:01 PM

TREE SURVEY & CLEARING PLAN

LOOO



CITY OF POOLER REQUIREMENTS:

- PARKING LOT COVERAGE REQUIRED (400 SF/12 PARKING STALLS): 2,333 SF
- PARKING LOT COVERAGE PROPOSED: 5,154 SF
- TREE POINTS REQUIRED (15 TREES/ACRE): 22 TREES
- TREE POINTS PROPOSED: 22 TREES

LANDSCAPE NOTES

1. CONTRACTOR MAY ADJUST OR MODIFY LANDSCAPING PLAN AND PLANT SPECIES INDICATED HERE SO LONG AS ALL CITY REQUIREMENTS ARE MET AND OWNER APPROVES ALL CHANGES
2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. THE LANDSCAPE IS TO BE WATERED WITH AUTOMATIC UNDERGROUND IRRIGATION SYSTEM AS PER ALL APPLICABLE CITY CODES AND REQUIREMENTS. TURF AREAS ARE TO BE WATERED WITH POP-UP SPRAY HEADS. PLANTING BEDS ARE TO BE WATERED WITH DRIP IRRIGATION.
4. TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN.
5. ALL TREES PLANTED IN TURF AREAS TO HAVE MULCH RING 3X DIAMETER OF ROOTBALL PER MULCH DEPTH & DETAIL.

REL. TAGS

- (1) TREE PLANTING TYPICAL (1/109)
- (2) SHRUB PLANTING TYPICAL (2/109)
- (3) PERENNIAL/ORNAMENTAL GRASS PLANTING TYPICAL (3/109)
- (4) TURF SOO PLANTING TYPICAL - INSTALL BERMUDA GRASS BLEND 500 TURF GRASS. ADD 4-INCH DEPTH TOPSOIL BEFORE LAYING SOO. (4/109)
- (5) PLANTER BED: INSTALL 3-INCH DEPTH MULCH TO MATCH EXISTING MULCH ADJACENT LANDSCAPE BEDS WITH BENTLEY PRO-5 WEED BARRIER BENEATH ADD SCREENED TOPSOIL BELOW MULCH AND WEED BARRIER SEE NOTES. (5/109)
- (6) INSTALL 6" STEEL OR PROFESSIONAL GRADE PLASTIC LANDSCAPE EDGING BETWEEN ALL TURF GRASS AND PLANTER BEDS. (6/109)

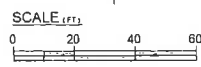
LEGEND

PROPOSED	EXISTING	
SD	---	STORMDRAIN LINE
SW	---	SANITARY SEWER LINE
W	---	WATER LINE
OH	---	OVERHEAD ELECTRIC LINE
UC	---	UNDERGROUND ELECTRIC LINE
CB	---	COMMUNICATIONS LINE
G	---	GAS LINE
COG	---	CONDUIT
	---	PROPERTY LINE

10'	STORMDRAIN INLET
12'	STORMDRAIN COMBINATION BOX
14'	STORMDRAIN MANHOLE
16'	DOWNSPOUT (ROOF DRAIN W/CONNECTION)
18'	ROOFDRAIN (OUTLET TO LANDSCAPING)
20'	CLEANOUT
22'	SANITARY SEWER MANHOLE
24'	ELECTRICAL/TRANSFORMER BOX
26'	FIRE HYDRANT
28'	WATER METER & DIAMETER IF KNOWN
30'	WATER, IRRIGATION, POST INDICATOR VALVES
32'	SITE LIGHT
34'	POWER POLE & GUY WIRE

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
ACE HSR	ACE HSR	Acer rubrum HSR	Smooth Red Maple	2' Cal	B&B	6	
CER OKL	CER OKL	Cercis canadensis leavenworthii Oklahomae	Dutchman's Tree of Heaven	2' Cal	B&B	5	
ILE YAU	ILE YAU	Ilex verticillata	Yaupon Holly	2' Cal	B&B	4	
PLA OCC	PLA OCC	Platanus occidentalis	American Sycamore	2' Cal	B&B	3	
QUE VR	QUE VR	Quercus virginiana	Southern Live Oak	2' Cal	B&B	1	
LUM JEF	LUM JEF	Ulmus americana Jeffersonii	Jefferson American Elm	2' Cal	B&B	1	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
ABE FSH	ABE FSH	Abelia grandiflora Meisneri 1' TM	Funaria Glossy Abelia	1 gal	Pot	36	
AZA FXS	AZA FXS	Azalea xhodgsonii	Red Ruffles Reineckendorfer Azalea	1 gal	Pot	29	
HAK ALL	HAK ALL	Hemerocallis musca 40 Gold	Air Gold Japanese Forest Grass	1 gal	Pot	60	
HOS GLA	HOS GLA	Hosta x' Stained Glass'	Stained Glass Hosta	1 gal	Pot	18	
HYD LM	HYD LM	Hydrangea paniculata 'LimeLight'	LimeLight Panicle Hydrangea	5 gal	Pot	16	
HYD L75	HYD L75	Hydrangea paniculata SMHPLOP	Little Quick Fire Panicle Hydrangea	2 gal	Pot	10	
ILE ROT	ILE ROT	Ilex cornuta Rotunda	Rotunda Dwarf Chinese Holly	2 gal	Pot	5	
UR BIG	UR BIG	Liriodendron 'Big Blue'	Big Blue Liriodendron	1 gal	Pot	16	
SPI TOB	SPI TOB	Spirea batuloides 'Tor Gold'	Glow Onix Bechtel Spirea	1 gal	Pot	11	
SPI DPZ	SPI DPZ	Spirea x' NCSX2	Douglas Play Double Spirea	1 gal	Pot	15	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
ROC MUL	ROC MUL	Rock Mulch	Color by Owner	1" ROCK MULCH - 3" DEPTH			3399 sf
TURF SOO	TURF SOO	Turf Sod Bermudagrass	Bermudagrass Blend				21,058 sf



Ldg

1775/2022 5:37:15 PM

811 Know what's below. Call before you dig.

1775/2022 5:37:15 PM

GEORGIA
REGISTERED LANDSCAPE ARCHITECT

LANDSCAPE PLAN L100



2 FRONT ELEVATION



1 BACK ELEVATION



THE
RICHARDSON
DESIGN
PARTNERSHIP,
L.L.C.

418 FORTH 400 EAST
ARLINGTON, TEXAS 76010
P: 817.353.8888
F: 817.353.8888

NOT FOR
CONSTRUCTION

THIS DRAWING IS THE PROPERTY OF
THE ARCHITECT AND IS NOT TO BE
REPRODUCED OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS, ELECTRONIC
OR MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT. THIS DRAWING
IS TO BE USED ONLY FOR THE PROJECT,
SCHEDULE AND CONDITIONS SPECIFIED
HEREON. ANY OTHER USE IS UNAUTHORIZED.

MY PLACE HOTELS
3101 FORTH 400 EAST

DATE	DESCRIPTION
1/22/17	GEN 1
4/26/17	GEN 2 REV 1
8/23/17	GEN 2 REV 2
12/21/18	GEN 2 REV 3
01/14/18	GEN 3 REV 4
01/17/18	GEN 2
01/17/18	CONSTRUCTION

EXTERIOR
ELEVATIONS - URBAN

PROJECT #

A200
14-271-01



② SIDE ELEVATION



① SIDE ELEVATION



THE
RICHARDSON
DESIGN
PARTNERSHIP,
L.L.C.

870 SOUTH 45TH PLACE
DALLAS, TEXAS 75242-3810
P: 972.333.6344
F: 972.333.6350

NOT FOR
CONSTRUCTION

THIS DRAWING IS THE PROPERTY OF
RICHARDSON DESIGN PARTNERSHIP, L.L.C.
AND IS TO BE USED ONLY FOR THE PROJECT
AND SITE SPECIFICALLY IDENTIFIED
HEREIN. NO PART OF THIS DRAWING
SHALL BE REPRODUCED OR TRANSMITTED
IN ANY FORM OR BY ANY MEANS,
ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE
AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF
RICHARDSON DESIGN PARTNERSHIP, L.L.C.

MY PLACE HOTELS
3110 P. & G. UNIT, PROTOTYPE
PHO. 2021

DATE	DESCRIPTION
1/23/17	GEN 2
4/18/17	GEN 2 REV 1
8/23/17	GEN 2 REV 2
2/13/18	GEN 2 REV 3
8/14/18	GEN 2 REV 4
3/17/19	GEN 2 CIVIL REVISIONS

EXTERIOR
ELEVATIONS - URBAN

PROJECT #
14-071-01

A201



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; and
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: February 6, 2023

Subject: Site Plan/Landscape Plan for Nine Squares (1541 Pooler Parkway)

Background & Discussion:

Kinjan Patel, with GJR Development, presented the site plan to the P&Z Board for their review and recommendation. The project will consist of a four (4) unit retail shop center with two (2) restaurants, and the infrastructure to support it.

Planning and Zoning Recommendation:

P&Z recommends approval of the site plan/landscape plan for Nine Squares, contingent upon the following:

- *Receipt of the GSWCC approval of the proposed Erosion, Sedimentation and Erosion Control plans.*
- *The City of Pooler's Street Superintendent stated that the private drive (Ring Road) serving that parcel should be improved to City Standards.*

Staff Recommendation:

Staff concurs with Planning & Zoning.



January 4th, 2022

Todd J. Reyling, P.E.
Raying Design & Consulting
4516 Boardwalk
Smithton, IL 62285

Dear Mr. Reyling,

I am pleased to provide you with a recommendation for Conditional Approval of the site plans for 'Nine Squares', which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Nov. 2022
	Stormwater Maintenance Agreement.....	Nov. 2022
	Hold Harmless Agreement.....	Nov. 2022
	Lighting Plan.....	Sep. 2022
	Stormwater Management Report.....	Sep. 2022
	Technical Traffic Memorandum.....	Sep. 2022
	Fire Truck Turn Exhibit.....	Nov. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Conditional Approval of the site development plans, subject to the following contingencies:

1. The City of Pooler shall be in receipt of the GSWCC Approval of the proposed Erosion, Sedimentation, and Erosion Control Plans.
2. The City of Pooler's Streets Superintendent has expressed that the private access drive (Ring Road) serving the parcel should be improved to City of Pooler Standards for Roadways. Attain resolution with applicable City Staff on this issue.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM
Cynthia Phillips; Sr. Engineering Manager – EOM
Keith Stewart; Project Engineer - EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



RECEIVED
JUN 01 2022
ZONING DEPARTMENT

Project # 220675

Site Plan Application (page 1 of 3)

Applicant John S. Odom, Architect

Mailing address P.O. Box 410394

City St Louis State MO Zip 63141

Telephone (417-343-2602) Fax ()

Property Owner(s) GJR Development LLC

Mailing address 2407 Shadowood Parkway, SE

City Atlanta State GA Zip 30339

Telephone () 1.678.431.6427 Fax ()

Contact Person(s) John S. Odom, Architect

Mailing address P.O. Box 410394

City St Louis State MO Zip 63141

Telephone (417-343-2602) Fax () E-mail

Location address 1541 Pooler Parkway 5-1010 .01-088

Current Zoning C-2 Parcel Identification Number 51010 01088

Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property:

A single building strip center with four tenant spaces will be constructed. Two tenant spaces will be restaurant spaces, and two tenant spaces will be retail spaces. A future stand alone Quick serve drive thru restaurant is planned for the parcel, but will be constructed at a later date.



HOLD HARMLESS AGREEMENT

GJR DEVELOPMENT agree to hold harmless the City of Pooler or any authorized utility, public or private, from any damage to our _____ system at 1541 Pooler Parkway, Pooler GA 31322.


Granted permission during the course of any repair or any maintenance of said utility. This shall apply only to those portions that lie within the public right-of-way, roadways, or any other public utility easement.

Furthermore, the owner of the GJR DEVELOPMENT and its successors in title agree that the City of Pooler or other authorized utility shall have no responsibilities for repair, maintenance, damage or replacement arising from the approval or existence of an encroachment, or any work within the right-of-way by a utility of the City of Pooler.

The system owner and its successors in title further agrees that the City of Pooler will not be held liable for any damage created from a City enterprise or other authorized utility using the right-of-way, roadway, or easement.

For: GJR DEVELOPMENT

By: Kinjan Patel



(Signature)

09/21/2022
Date

By: Visvesh Patel



(Signature)

09/21/2022
Date

**STORMWATER FACILITY/INFRASTRUCTURE
MAINTENANCE AGREEMENT**

THIS STORMWATER FACILITY/INFRASTRUCTURE MAINTENANCE AGREEMENT (the "Agreement"), is made and entered into this ~~21~~ day of ~~September~~ 2022, by and between **GJR DEVELOPMENT** hereinafter "Landowner," and the **City of Pooler, Georgia**, hereinafter "City."

WITNESSETH:

WHEREAS, the Landowner is the owner of certain real property described as Chatham County Parcel Identification Number(s) 51010 01088 as evidenced by recorded instrument in the real estate records of Chatham County, Georgia, in Book 53 Page 382, hereinafter "Property"; and

WHEREAS, the Landowner is proceeding to build on and develop the property; and

WHEREAS, the applicable development plan for the Property, which is expressly incorporated herein and made a part hereof, as approved or to be approved by the City, provides for detention of stormwater within the confines of the Property; and

WHEREAS, the City and the Landowner, its successors and assigns, including any homeowners association, agree the health, safety, and welfare of the residents of the city of Pooler, Georgia, require on-site stormwater management facilities/infrastructure be constructed and adequately maintained on the Property; and

WHEREAS, the City requires on-site stormwater maintenance facilities/infrastructure, as included in any applicable development plan for the Property, be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowners association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

- 1) The on-site stormwater maintenance facilities/infrastructure shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications in any applicable development plan approved by the City. No changes to the approved stormwater maintenance facilities/infrastructure are permitted without express prior approval by the City.
- 2) The Landowner, its successors and assigns, including any homeowners association, shall at all times adequately maintain the stormwater maintenance facilities/infrastructure. Such maintenance obligation shall include the obligation to properly maintain all pipes, channels or other conveyances built to convey stormwater to and from the facilities/infrastructure, as well as all structures, improvements, and vegetation provided to control the quantity and

quality of the storm water. Adequate maintenance is herein defined as keeping the stormwater facilities/infrastructure in good working condition, as acceptable to the City, to ensure performance in accordance with their design functions.

- 3) The Landowner, its successors and assigns, including any homeowners association, shall inspect the stormwater maintenance facilities/infrastructure at least annually. The purpose of the inspection is to assure safe and proper functioning of the stormwater maintenance facilities/infrastructure. The Landowner's annual inspection shall cover all aspects of the stormwater maintenance facilities/infrastructure including without limitation berms, inlet and outlet structure(s), vegetation, infiltration media, pond area(s), access road(s), etc. Any deficiency(ies) shall be noted in the Landowner's annual inspection report, which shall be provided to the City with reasonable promptness upon completion.
- 4) The Landowner, its successors and assigns, including any homeowners association, hereby grants to the City, its authorized agents and employees, a nonexclusive perpetual easement of ingress and egress over, across, under, and through the Property for inspection of the stormwater maintenance facilities/infrastructure. The City may enter upon the Property to inspect the stormwater maintenance facilities/infrastructure for any reason including without limitation to follow up on any reported deficiencies or in response to complaints concerning the Property. If the City identifies any deficiency(ies) through its inspection, the Landowner, its successors and assigns, including any homeowners association, shall be notified of the same.
- 5) In the event the Landowner, its successors and assigns, including any homeowners association, fails to maintain the stormwater maintenance facilities/infrastructure in good working condition as acceptable to the City, the City may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns, including any homeowners association. This provision shall not be construed to allow the City to erect any structure of permanent nature on the land of the Landowner, its successors and assigns, including any homeowners association. It is expressly understood and agreed the City is under no obligation to routinely maintain or repair the stormwater maintenance facilities/infrastructure on the Property, and in no event shall this Agreement be deemed to impose any such obligation on the City.
- 6) The Landowner, its successors and assigns, including any homeowners association, shall perform all necessary work to keep the stormwater maintenance facilities/infrastructure in good working order. In the event a maintenance schedule for the stormwater maintenance facilities/infrastructure is outlined in any applicable development plan for the Property, such schedule shall be followed.

- 7) In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, including any homeowners association, shall reimburse the City, upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder.
- 8) This Agreement imposes no liability of any kind whatsoever on the City, and the Landowner, its successors and assigns, including any homeowners association, agrees to hold the City harmless from any liability in the event the stormwater maintenance facilities/infrastructure fail to operate properly.
- 9) This agreement shall be recorded among the deed records of Chatham County, Georgia, and shall constitute a covenant running with the land and shall be binding on the Landowner, its successors and assigns, including any homeowners association.
- 10) This Agreement in no way supersedes or alters any applicable federal, state, or local law including without limitation the Code of Ordinances for the City of Pooler, Georgia. In the event this Agreement conflicts with any applicable federal, state, or local law, this Agreement shall be subordinate to any such applicable law(s).
- 11) The Landowner and City hereby agree and expressly consent the provisions herein represent the entire agreement between them. Any other documents and or negotiations are hereby expressly superseded by execution of this agreement unless expressly incorporated herein or attached as an Exhibit.
- 12) This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of the counterparts together shall constitute one and the same instrument. Signatures via facsimile or scanned PDF signatures shall be deemed original signatures.
- 13) Should any provision of this Agreement be deemed unenforceable for any reason, the Landowner and City expressly agree such unenforceability shall not affect the remaining provisions of this Agreement. Any conflict arising under a provision deemed unenforceable shall be interpreted and applied according to the laws of the State of Georgia. The remaining unaffected provisions shall be controlled by the express wording therein.

[SPACE INTENTIONALLY LEFT BLANK]

[SIGNATURE PAGE FOLLOWS]

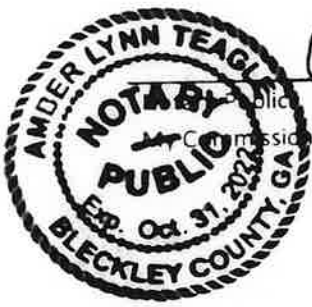
IN WITNESS HEREOF, the Landowner and City have hereunto set their hand and seals as of the day above written.

[insert landowner]

Sworn to and subscribed before me
this 21 day of Sept., 2022.

For: GIR DEVELOPMENT

By: Kinjan Patel, Visvesh Patel
Kinjan Patel . V. H. Patel



Amber Lynn Seagle
Notary Public
Commission Expires: 10/31/2022

Attest: _____

(print name above)

CITY OF POOLER

Sworn to and subscribed before me
this ___ day of _____, 2022.

By: _____
Rebecca Benton, Mayor

Notary Public
My Commission Expires:

Attest: _____
Kiley Fusco, City Clerk



VICINITY MAP
NOT TO SCALE

FINAL DEVELOPMENT PLANS
FOR

Nine Squares
Pooler, Georgia

TRACT OR PARCEL OF LAND LYING IN
THE 8TH G.M.D
CITY OF POOLER
CHATHAM COUNTY, GEORGIA

SITE INFORMATION

PARCEL ID: 510101088
AREA OF LOT: 68,820 S.F. (1.58 ACRES)
PROPOSED GROSS FLOOR AREA:
STRIP RETAIL: 8,601 S.F.
QSR: 2,560 S.F.
TOTAL: 11,161 S.F.

PERCENTAGE (%) OF BUILDING COVERAGE: 15.3%

ZONING: C-2 - HEAVY COMMERCIAL DISTRICT

PARKING SPACES REQUIRED
(RESTAURANTS-1 SPACE FOR EACH 14 SEATS)
TOTAL RESTAURANT SEATS - 140 SEATS
REQUIRED - 35 SPACES
(RETAIL-1 SPACE FOR EACH 1250 S.F. GROSS FLOOR AREA)
TOTAL RETAIL AREA - 3,600 S.F.
REQUIRED - 16 SPACES
EMPLOYEE PARKING - 17 SPACES
TOTAL PARKING SPACES REQUIRED: 68
TOTAL ADA PARKING SPACES REQUIRED: 3
TOTAL PARKING SPACES PROVIDED: 78
TOTAL ADA PARKING SPACES PROVIDED: 4

PARKING/SIDEWALK AREA: 45,199 S.F. (1.04 ACRES) (65.7%)

TOTAL IMPERVIOUS AREA: 55,760 S.F. (1.28 ACRES) (81.0%)
TOTAL PERVIOUS AREA: 13,060 S.F. (0.30 ACRES) (19.0%)

PROPOSED LAND DISTURBANCE AREA: 66,878 S.F. (1.53 ACRES)

EXISTING SITE CONDITIONS:
VACATE GRASS LOT WITH SHARED ACCESS ROADWAYS ALONG
THE SOUTHEAST PROPERTY.

PROPOSED CONSTRUCTION ACTIVITIES:
NEW STRIP RESTAURANT/RETAIL CENTER AND QSR WITH PARKING LOT
AND UTILITIES.

OWNER/24-HOUR CONTACT

GUR DEVELOPMENT, LLC
TONY PATIEL
108 8TH STREET CRESCENT
COCHRAN, GA 31014
678.431.6427

ARCHITECT

JSO SERVICES, LLC
JOHN ODOM, R.A.
99 MEADOWBROOK
COUNTRY CLUB ESTATES
BALLWIN, MO 63011
417.343.2602

CIVIL ENGINEER

RDC, LLC
TODD REVELING, P.E.
4516 BOARDWALK
SMITHTON, IL 62285
618.530.1694

SURVEYOR

WELLSTON ASSOCIATES
LAND SURVEYORS, LLC
506 OSIGIAN BLVD, SUITE 2
WARNER ROBINS, GA 31088
478.971.3382

CIVIL SHEET INDEX

C000	COVER SHEET
C001	CIVIL CONSTRUCTION NOTES
C100	EXISTING TOPOGRAPHY AND DEMOLITION PLAN
C200	CIVIL SITE PLAN
C201	CIVIL SITE PLAN - HORIZONTAL CONTROL
C300	GRAIDING PLAN
C400	EXISTING DRAINAGE AREA MAP
C401	PROPOSED DRAINAGE AREA MAP
C402	STORM SEWER DRAINAGE PLAN
C500	SITE UTILITY PLAN
C600	EROSION AND SEDIMENT CONTROL PLAN - CLEARING PHASE
C601	EROSION AND SEDIMENT CONTROL PLAN - GRADING PHASE
C602	EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASE
C603	EROSION AND SEDIMENT CONTROL PLAN NOTES
C700-C704	CONSTRUCTION DETAILS
C800	TURNING MOVEMENTS

UTILITY CONTACTS

WATER:	CITY OF POOLER PUBLIC WORKS 912.330.8650
ELECTRIC:	RELIANT ENERGY 877.711.2943
GAS:	GAS SOUTH 855.427.7688
SANITARY SEWER:	CITY OF POOLER PUBLIC WORKS 912.330.8650
STORM SEWER:	CITY OF POOLER PUBLIC WORKS 912.330.8650
COMMUNICATIONS:	COX COMMUNICATIONS 478.784.8000

SIGNAGE NOTE:

ALL BUILDING AND MONUMENT SIGNAGE WILL BE PERMITTED
SEPARATELY.

SURVEY/TOPOGRAPHY NOTE:

THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN
ON THESE PLANS WAS PREPARED FROM AN ACTUAL FIELD SURVEY
PROVIDED BY WELLSTON ASSOCIATES LAND SURVEYORS, LLC. ALL
EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE
VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN
THESE PLANS SHALL BE MADE AWARE TO THE OWNER, ARCHITECT, AND
ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

GPS LOCATION OF CONSTRUCTION EXIT:

LATITUDE: 32.0937° N
LONGITUDE: 81.2729° W

PROJECT PHASING:

THIS PROJECT WILL BE COMPLETED IN ONE PHASE.

TITLE DISCLAIMER:

IT IS NOT WARRANTED THAT THESE DRAWINGS CONTAIN COMPLETE
INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS,
RIGHT-OF-WAYS, BUILDING LINE SET BACKS, AND OTHER ENCUMBRANCES.
FOR COMPLETE INFORMATION, A TITLE OPINION OR COMMITMENT FOR
TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

UTILITY INFORMATION:

UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN
PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE DO
NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE,
SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES,
AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING
THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES,
AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE
UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE
LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR
CONSTRUCTION OF IMPROVEMENTS.



GEORGIA UTILITY LOCATION SERVICE:
PHONE: 800-282-7411 OR WWW.GEORGIA811.COM

CONTRACTOR NOTE:

THE CONTRACTOR AND/OR ALL SUBCONTRACTORS SHALL INVESTIGATE,
ASCERTAIN, AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF
ALL THE AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES
WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSING OF THEIR
FACILITIES, WORKING WITHIN THEIR RIGHT OF WAY OR EASEMENTS,
INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL
BACKFILL REQUIREMENTS. SUCH INVESTIGATION SHALL INCLUDE BUT
NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND
PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR
PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE
CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS,
ANTICIPATED CLEARANCES, AND THE EXISTENCE OF ANY FACILITIES NOT
SHOWN THEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH
ABOVE.

SITE LEGEND

EXISTING	EXISTING	PROPOSED	PROPOSED
LIGHT POLE	EDGE OF SIDEWALK	LIGHT POLE	EDGE OF SIDEWALK
FLARED END SECTION	FLARE LINE	FLARED END SECTION	FLOW LINE
TRAFFIC SIGN	TOP OF BANK	TRAFFIC SIGN	TOP OF BANK
BIREFRACTANT	CENTUR	BIREFRACTANT	CENTUR
WATER VALVE	SITE POINT	WATER VALVE	SITE POINT
TRIE	PRIORITY LINE	TRIE	PRIORITY LINE
DRAINAGE MANHOLE	BASEMENT	DRAINAGE MANHOLE	BASEMENT
DRAINAGE CATCHBASIN	FRONT	DRAINAGE CATCHBASIN	FRONT
SANITARY MANHOLE	GAS LINE	SANITARY MANHOLE	GAS LINE
SANITARY CLEAROUT	PIPER OPTIK	SANITARY CLEAROUT	PIPER OPTIK
	OVERHEAD ELECTRIC		OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
	OVERHEAD TELEPHONE		OVERHEAD TELEPHONE
	UNDERGROUND TELEPHONE		UNDERGROUND TELEPHONE
	SANITARY SEWER		SANITARY SEWER
	STORM SEWER		STORM SEWER
	WATERLINE		WATERLINE

ASSET

Chief Engineer

REVELING DESIGN & CONSULTING
4918 Barstow | Boston, MA 02226
rdesign@rdc.com

LICENSE NUMBER: 12312012
DATE SIGNED: 11/1/2017
NUMBER OF RECORDS:
Todd J. Reveling, PE
Georgia PE 011448

ISSUED/REVISED DATE

PROJECT NUMBER: 22-108

New Ground Up Building:
Nine Squares
1541 Pooler Parkway
Pooler, GA 31322
Chatham County

Cover Sheet
C000

GENERAL SITE NOTES:

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF POOLER, CHATHAM COUNTY, GEORGIA, AND THE GEORGIA DEPARTMENT OF TRANSPORTATION CODES, STANDARDS AND SPECIFICATIONS.

ANY CITY OF POOLER OR CHATHAM COUNTY, GEORGIA, INFRASTRUCTURE (ABOVE OR BELOW GRADE, VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OR COUNTY.





ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY.

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF ALL SIGNS SHALL BE GOVERNED BY LOCAL CODES.

THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES LOCATED AND PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE (3) DAYS PRIOR TO ANY SITE WORK FOR IDENTIFICATION OF EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE PROJECT SITE BEFORE BEGINNING CONSTRUCTION.

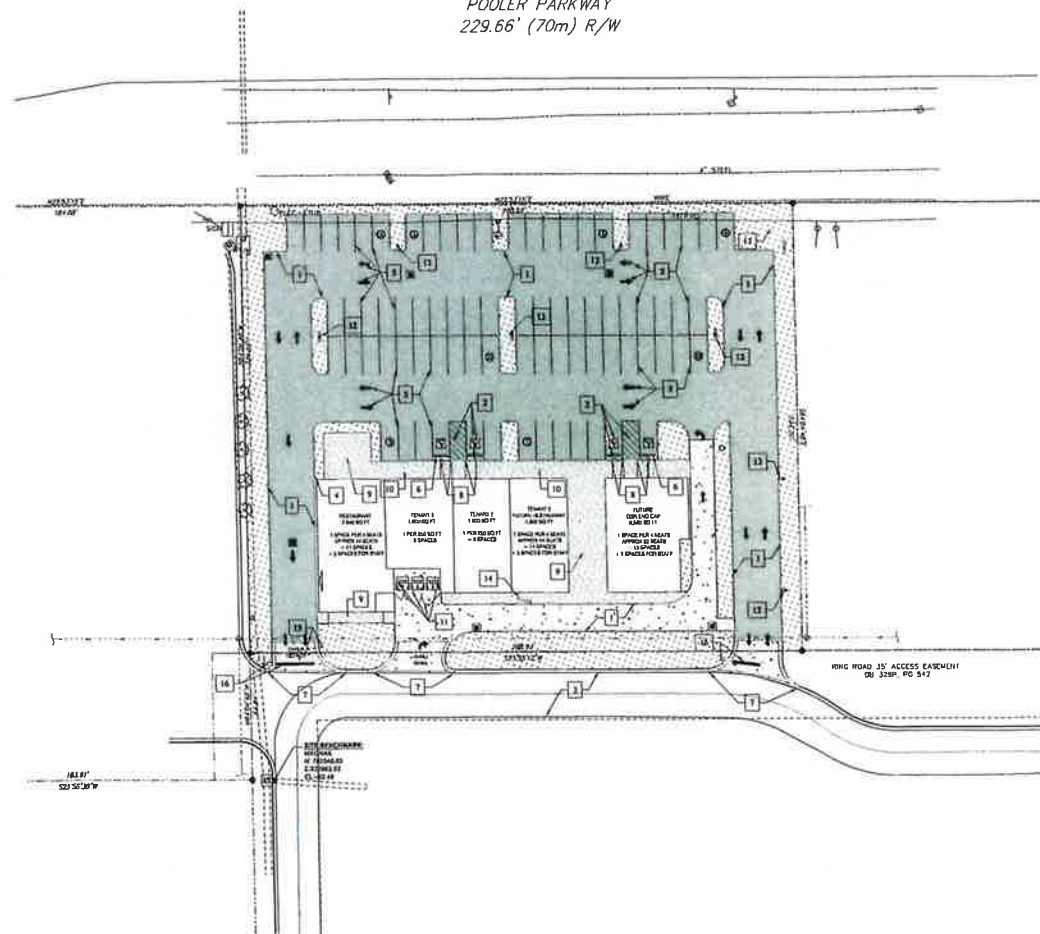
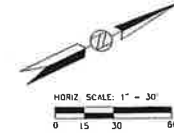
SITE PAVING LEGEND:

-  PROPOSED PCC CONCRETE SIDEWALK (4" PCC(1"AB), SEE DETAIL.
-  PROPOSED PCC CONCRETE PAVEMENT (6" PCC(1"AB), SEE DETAIL.
-  PARKING LOT-PROPOSED ASPHALT (1.5" AC(1"AB), SEE DETAIL.
-  PROPOSED LANDSCAPE GRASS AREA, SEE LANDSCAPE PLAN.


CIVIL SITE KEY NOTES:

- 1 PROPOSED 6" PCC CURB, SEE DETAIL.
- 2 PROPOSED ACCESSIBLE PARKING STALL, STRIPING AND SIGNAGE, SEE DETAIL.
- 3 EXISTING ROADWAY AND CURB TO REMAIN. PROTECT IN PLACE.
- 4 PROPOSED PIPE BOLLARD, SEE DETAIL.
- 5 PROPOSED 4" WIDE PARKING STALL, STRIPING AND WHITE PAVEMENT MARKING, TRAFFIC WHITE PAINT PER DETAIL. SEE PLAN FOR TYPICAL DIMENSIONS.
- 6 PROPOSED CONCRETE PARKING BLOCK, SEE DETAILS.
- 7 CONTRACTOR TO SAWCUT EXISTING PAVEMENT TO MAKE SMOOTH TRANSITION FROM PARKING LOT/DRIVE LANE PAVEMENT.
- 8 PROPOSED PCC CURB TAPER TO MATCH PAVEMENT AND/OR SIDEWALK GRADE.
- 9 PROPOSED CONCRETE SIDEWALK AND PATIO AREA, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 10 PROPOSED INTEGRAL TURNDOWN CURB AND SIDEWALK, SEE DETAIL. CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 11 PROPOSED TRASH ENCLOSURE WITH PIPE BOLLARDS, SEE DETAIL AND ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- 12 PROPOSED PARKING LOT LIGHTING. SEE SITE LIGHTING PLAN FOR DETAILS.
- 13 PROPOSED PYLON SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 14 FUTURE DRIVE THRU MENU BOARD WITH SPEAKER SYSTEM, SEE ARCHITECTURAL PLANS FOR DETAILS. CONTRACTOR INSTALL SILVER WITH PULL WIRE FOR FUTURE USE.
- 15 PROPOSED EXIT AND DO NOT ENTER SIGN, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 16 PROPOSED STOP SIGN AND STOP BAR TO MEET THE CITY OF POOLER REQUIREMENTS.


POOLER PARKWAY
229.66' (70m) R/W



Architect



Civil Engineer



REVLING DESIGN & CONSULTING
4514 Skidmore Court, Pooler, GA 31322
revling@gmail.com



LICENSE EXPIRES: 12/31/2022
DATE SIGNED: 11/11/2022

RIGHTS OF RECORD
Title: Revling PE
Geog: PE 01448

EROSION CONTROL CERTIFICATION
I, the undersigned, being a duly Licensed Professional Engineer in the State of Georgia, do hereby certify that the Erosion Control Plan is in accordance with the Georgia Erosion Control Act, O.C.G.A. § 40-2-10, and the Georgia Department of Transportation Erosion Control Manual, 2013 Edition.

ISSUED / REVISION	DATE

PROJECT NUMBER: 22-108

New Ground Up Building:
Nine Squares
1541 Pooler Parkway
Pooler, GA 31322
Chatham County

Civil Site Plan
C200

GENERAL PLANTING NOTES

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- SOD/SEED TYPE (PER OWNER) SHALL BE LOCALLY AVAILABLE CENTIPEDE GRASS OR OTHER TURF GRASS RECOMMENDED FOR THE SPECIFIC AREA (VERIFY TYPE WITH OWNER).
- RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
- RE-ESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
- BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
- FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING DROWNING SEASON, APPLY ANTI-DESICCANT TO LEAVES BEFORE TRANSPORT TO REDUCE TIME/STRESS OF WOUNDING. REAPPLY ANTI-DESICCANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- STEEL EDGER BY "PROSTEL, INC." EDGER TO BE 10 GAUGE (1/8" X 4" HIGH) AND PAINTED GREEN. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1" BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.
- INSTALL SMALL RIVER ROCK IN PLANT BEDS AROUND BUILDING, AS NOTED ON PLAN, WITH A GEOTEXTILE FABRIC UNDERNEATH. SAMPLE OF SMALL RIVER ROCK SHALL BE PROVIDED PRIOR TO INSTALLATION. SIZE OF SMALL RIVER ROCK TO BE 2" TO 4".
- PLACE 4" OF MULCH IN ALL TREE SAUCERS. AREAS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

PLANTING LEGEND

PAVEMENT

SOD

LANDSCAPE CODE CALCULATIONS

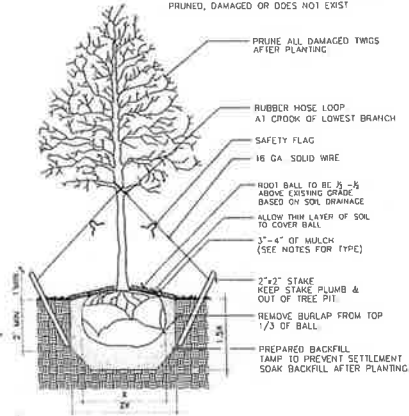
REQUIRED: 15 TREES PER DISTURBED ACRE PROVIDED: 1.5 ACRES X 15 = 22.5 OR SAY 23 TREES PROVIDED

REQUIRED: 1 TREE PER 12 PARKING SPACES PROVIDED: 78 PARKING SPACES / 12 = 6.5 OR SAY 7 TREES PROVIDED

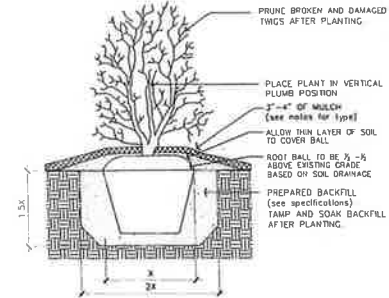
REQUIRED: MINIMUM 500 SF LANDSCAPE PER 12 PARKING SPACES PROVIDED: 78 PARKING SPACES / 12 = 6.5 X 500 = 3,250 PROVIDED: 3,033 SF LANDSCAPED AREA IN PARKING LOT

UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.

TREES THAT NATURALLY GROW WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF CENTRAL LEADER IS PRUNED, DAMAGED OR DOES NOT EXIST

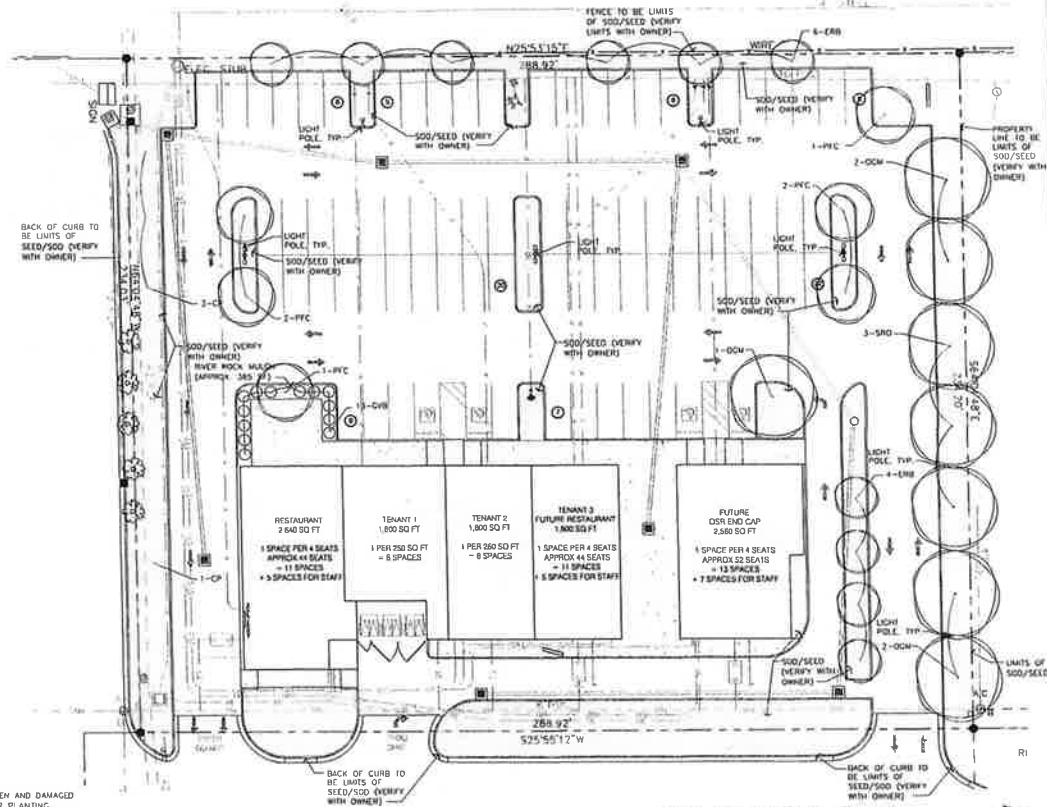


1 TREE PLANTING DETAIL
NO SCALE



2 SHRUB PLANTING DETAIL

POOLER PARKWAY 229.66' (70m) R/W



SITE PLANTING PLAN
1" = 20'-0"

PLANT MATERIAL SCHEDULE

TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
		SHADE TREES		
OCM	5	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	7" CAL
SRO	3	SOUTHERN RED OAK	QUERCUS FALCATA	7" CAL
		ORNAMENTAL TREE		
PEC	8	PRASPERE CRABAPPLE	MALUS PRASPERE	7" CAL
ESD	10	EASTERN REDDOG	SPICEA CANADENSIS	7" CAL
		EVERGREEN SHRUBS		
CVR	13	GREEN VELVET BOXWOOD	BUXUS 'GREEN VELVET'	3 GAL

NINE SQUARES
1541 Pooler Parkway
Pooler, GA
Chatham County

TERI FARHA
LANDSCAPE DESIGNER

terifaha@gmail.com
Wichita, KS 67216

PLANTING PLAN

DATE
Sept. 14, 2021
REV. 3, 2022
August 3, 2022
December 28, 2022

LS1



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; and
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: February 6, 2023

Subject: Conditional Use request for Industrial and Equipment Sales at 55 Coleman Blvd.

Background & Discussion:

Steve Rushing presented the request to the Board for their review and recommendation. The intent is to lease the existing building and the adjacent property to Southeast Equipment Company. According to Appendix A, Article IV-Zoning Districts, Table 4.1, Allowed Uses by Districts, *Commercial and Industrial Machinery and Equipment Repair and Maintenance* is only considered as a conditional use within a C-2 (Heavy Commercial) Zoning District.

The adjacent property owners were notified on January 11, 2023.

Advertisement was posted in the Savannah Morning News on January 11, 2023.

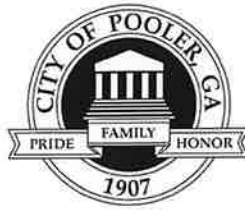
The property was posted on January 16, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval.

Staff Recommendation:

Staff recommends review of the criteria for granting a conditional use prior to making a decision.



PH-1

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: January 11, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Conditional Use

CITY MANAGER
Robert H. Byrd, Jr.

PIN: 5-0985-05-016

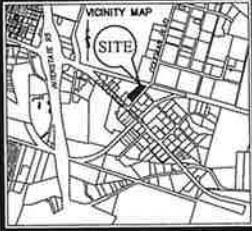
OWNER: Steve Rushing

CITY ATTORNEY
Steve Scheer

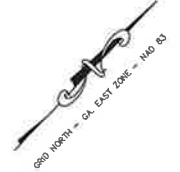
Steve Rushing has petitioned the City of Pooler for a conditional use to operate an industrial equipment and sales office at 55 Coleman Boulevard. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Commercial and Industrial Machinery and Equipment Repair and Maintenance* is only considered as a conditional use within a C-2 (Heavy Commercial) Zoning District.

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, January 23, 2023 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Monday, February 6, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the "Zoning Map Amendment" before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 221522)

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.



50985 05015
SOUTH GEORGIA PROPERTY
MANAGEMENT LLC
DB 738, PG. 603
PRB 48-P, PG. 35

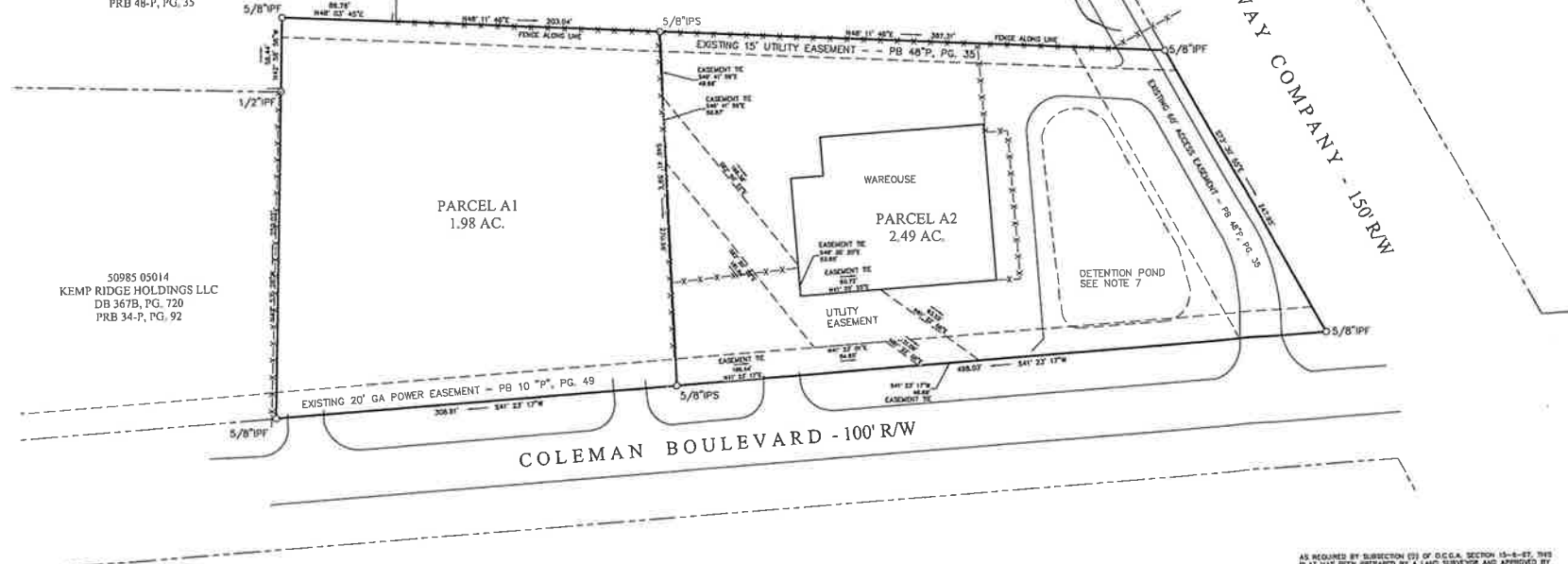


50985 04031
KOLE WAREHOUSES, INC
DB 1802, PG. 592

50985 05017
COWFORD HOLDING LLC
DB 397N, PG. 478
PRB 48-P, PG. 35

NOTES:
1. IN ANY DIVISION IN ACCORDANCE WITH F.A.R.M. MAP NO. 1300000000 DATED AUGUST 16, 2016, THIS PROPERTY DOES NOT FALL WITHIN THE 100 YEAR FLOOD PLAIN AT THE TIME OF THIS PLAT. (ZONE "X") FLOOD ZONES CAN CHANGE. LOT PURCHASERS SHOULD CONSULT THE FLOOD ZONE WITH FEMA PRIOR TO PURCHASE OR CONSTRUCTION.
2. NO GUARANTEE, EITHER STATED OR IMPLIED IS MADE THAT THIS PROPERTY IS NOT SUBJECT TO EASEMENTS, DEEDS, ENCUMBRANCES, RESTRICTIONS, SUB-SURFACE CONDITIONS, OR ANY OTHER MATTERS OF TITLE THAT ARE NOT VISIBLE, NOT DISCLOSED, OR NOT DISCOVERED BY THE TITLE EXAMINATION.
3. THIS SURVEY DOES NOT ADDRESS ANY ENVIRONMENTAL ISSUES.
4. THE COORDINATES AND BEARINGS, AS SHOWN HEREON, ARE IN ACCORDANCE WITH THE GEORGIA STATE PLANE GRID COORDINATE SYSTEM, EAST ZONE, NAD 83.
5. THE METLAND AND BUTTER AREAS SHOWN HEREON ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES AND ANY DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER AUTHORIZATION AND PERMIT IS SUBJECT TO PENALTY BY LAW.
6. OTHER IMPROVEMENTS AND UTILITIES EXIST ON THESE PARCELS BUT ARE NOT SHOWN.
7. DETENTION POND SERVES AS DRAINAGE DETENTION FOR BOTH PARCELS.

50985 05014
KEMP RIDGE HOLDINGS LLC
DB 367B, PG. 720
PRB 34-P, PG. 92



APPROVED BY THE MAYOR AND COUNCIL, CITY OF POOLER

WATOR DATE
APPROVED BY THE CITY CLERK
BY DATE DATE

ABANDONMENT STATEMENT
EXISTING ACCESS EASEMENT A PORTION OF UTILITY EASEMENT AS NOTED HEREON TO BE ABANDONED ARE HEREBY AUTHORIZED FOR REMOVAL BY THE OWNER.

AS REQUIRED BY SUBSECTION (3) OF O.C.G.A. SECTION 15-8-87, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL AGENCIES FOR RECORDING AS CONDUCTED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCELS. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF SURVEYORS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-8-87.

P. NATHAN BROWN
GA. REGISTERED LAND SURVEYOR #3105

MINOR SUBDIVISION PLAT
LANDS OF BURDETTE AVENUE, LLC
8711 G.M. DISTRICT, CITY OF POOLER, CHATTAHOOCHIE COUNTY,
GEORGIA
FOR: BURDETTE AVENUE, LLC

PLAT DATED JANUARY 26, 2021
FILED DATE JANUARY 26, 2021
BOOK:
JOB NO.
SCALE: 1" = 40'

ORDER OF CLOSURE FILED - 1/26/21
ORDER OF CLOSURE PLAT - 1/26/21
ANGULAR ERROR: 1" PER POINT
EQUIPMENT USED: TOTAL STATION

HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626

RECEIVED
DEC 15 2022
ZONING DEPARTMENT

HUSSEY, GAY, BELL & DEVLAND, INC.
CERTIFICATE OF AUTHORIZATION: LSP 300





Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

_____ Applicant/Owner initial as received



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Steve Rushing has petitioned the City of Pooler for a conditional use to operate an industrial equipment and sales office at 55 Coleman Boulevard. According to Appendix A, Article IV- Zoning Districts, Table 4.1, Allowed Uses by Districts, *Commercial and Industrial Machinery and Equipment Repair and Maintenance* is only considered as a conditional use within a C-2 (Heavy Commercial) Zoning District.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: February 6, 2023

Subject: Zoning Map Amendment of 2.55 acres off Old Central Road from R1-A to I-1

Background & Discussion:

The petitioner was not present to answer any questions. The intent is to rezone the property to Light Industrial for lease to accommodate the surrounding businesses which are all warehouses. Several adjacent property owners appeared before the Board in opposition.

Adjacent property owners were notified on January 12, 2023.

Savannah Morning News was notified on January 12, 2023.

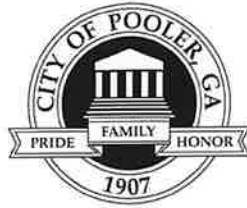
Sign posted on January 16, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends denial of zoning map amendment.

Staff Recommendation:

Staff recommends review of the zoning map amendment criteria, prior to making a decision.



PH-2

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: January 6, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

CITY MANAGER
Robert H. Byrd, Jr.

RE: Petition for Zoning Map Amendment

CITY ATTORNEY
Steve Scheer

PIN: 5-0004A-02-053

OWNER: Latrelle Favors

Latrelle Favors has petitioned the City of Pooler to rezone approximately 2.55 acres from R1-A (Single-Family) Zoning District to I-1 (Light Industrial) Zoning District. The subject property is located off Old Central Road. The desired land use is warehousing.

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, January 23, 2023 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Monday, February 6, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the "Zoning Map Amendment" before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 221527)

Kimberly Classen

From: Andrew Rosen <Andrew.Chase.Rosen@gmail.com>
Sent: Thursday, January 19, 2023 3:33 PM
To: Kimberly Classen
Cc: Kiley Fusco
Subject: **EXTERNAL EMAIL** Opposing Latrelle Favors' petition to rezone approx. 2.55 acres
Attachments: City of Pooler_Forms_Planning & Zoning_Rezoning Public Hearing Request to Speak - Signed.pdf

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Good afternoon,

Per the Public Hearing Request to Speak form, I am sending my opposition to the Planning Administrator for the Planning and Zoning Commission meeting on January 23. Should this item continue to the City Council's agenda as scheduled, I have also copied the City Clerk for the public hearing before mayor and council on February 6. See attached for the completed Public Hearing Request to Speak form.

I oppose Latrelle Favors' petition to rezone approximately 2.55 acres off Old Central Road from R1-A to I-1.

The future land use map as shown on thempc.org's Pooler 2040 comprehensive plan indicates this land is intended to be for residential use and to be adjacent to commercial uses. There is no intent to have industrial zoning on this side of I-95, let alone near the heart of the city and its historic neighborhoods. Current development patterns already reflect these plans with there being minimal industrial use in the area.

There is no public benefit for warehousing along Pooler Parkway and Highway 80. These roads are already heavily trafficked and often congested. Pooler 2040 also emphasizes that our streets need to be pedestrian-oriented. Downtown Pooler cannot be a safe and walkable commercial corridor if semi trucks are passing through as they haul to and from the port and the interstates each day.

In the midst of a housing crisis, the last thing we should be doing is surrendering our housing for warehousing. In order to provide adequate housing, while promoting walkability and accessibility, if any rezoning is to be done it ought to be to R-2, P, or M with the desire to provide middle density housing mixed with commercial uses. R-A is not enough to encourage infill development when residents want to keep their homes and maintain a small town charm, and so an attempt at preventing premature development has resulted in underdevelopment and suburban sprawl. If future development is to be orderly and coordinated, it must be so from its founding.

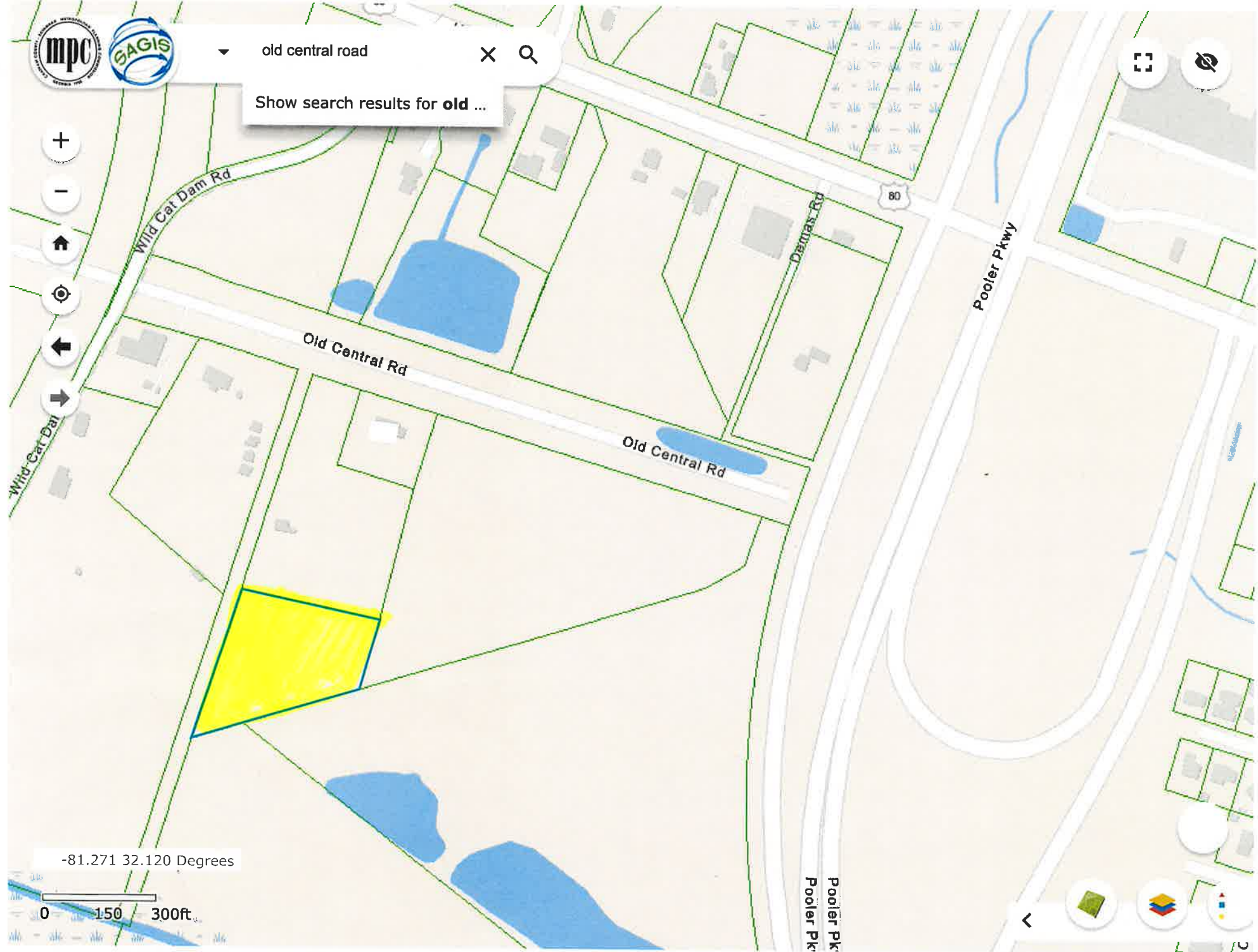
Garden City is putting its foot down against the encroachment of industrial warehousing, and Pooler should do the same. Please do not allow a rezoning that goes entirely against the city's plans and is for warehousing nearby residents and business owners do not want.

Thank you,
Andrew Chase Rosen



old central road

Show search results for old ...



-81.271 32.120 Degrees

0 150 300ft





SECTION 10. STANDARDS FOR ZONING ORDINANCE OR MAP AMENDMENT

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
8. Will the action adversely impact adjacent or nearby properties in terms of:
 1. Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern.
 2. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 3. Will the action create development opportunities of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
9. Will the action result in public service requirements such as provision of utilities or safety services which because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Latrell Favours has petitioned the City of Pooler to rezone approximately 2.55 acres from R1-A (Single-Family) Zoning District to I-1 (Light Industrial) Zoning District. The subject property is located off Old Central Road. The desired land use is warehousing.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: February 6, 2023

Subject: Building Height Variance for Towne Place Suites on Half Moon

Background and Discussion:

Jay Maupin, with Maupin Engineering, presented the request to the P&Z Board for their review and recommendation. The Savannah Quarters Phase 1 Development Standards have a maximum height allowance of 50'. The intent is to construct a 64' hotel. Therefore, the petitioner is requesting a 14' height variance. There were several adjacent property owners that appeared before the Board in opposition.

The adjacent property owners were notified on January 12, 2023.

Advertisement in the Savannah Morning News on January 12, 2023.

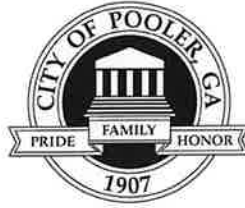
The property was posted on January 13, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends denial of the height variance.

Staff Recommendation:

Staff recommends review of the criteria for granting a variance prior to making a decision.



PH-3

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: January 11, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Building Height Variance

CITY MANAGER
Robert H. Byrd, Jr.

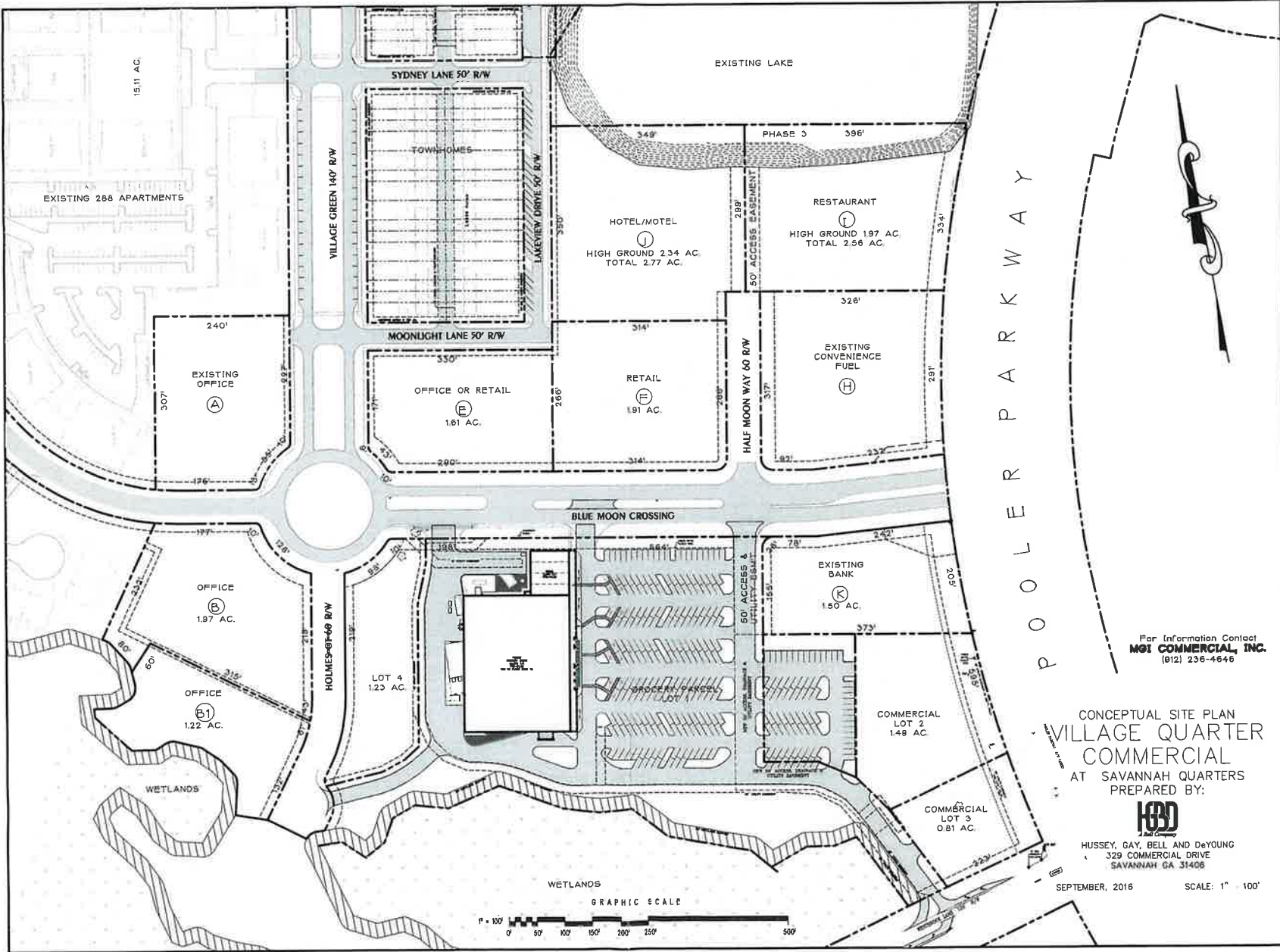
PIN#: 5-1009-01-119

CITY ATTORNEY
Steve Scheer

OWNER: HOS Management

HOS Management has petitioned the City of Pooler for a 14' height variance to allow construction of a hotel that will be a maximum height of 64'. This property is located on Half Moon Way, within the Savannah Quarters Planned Unit Development (PUD).

Notice is hereby given that a public hearing has been scheduled before the Planning and Zoning Commission on Monday, January 23, 2023 at 3:00 p.m. The official Public Hearing before the Mayor & Council is scheduled for Monday, February 6, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the Official Public Hearing, please complete and submit by mail or fax a Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 230038)



For Information Contact
MOI COMMERCIAL, INC.
 (812) 236-4646

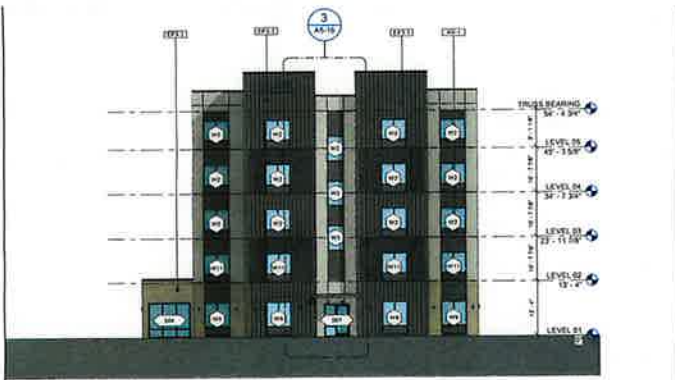
CONCEPTUAL SITE PLAN
**VILLAGE QUARTER
 COMMERCIAL**
 AT SAVANNAH QUARTERS
 PREPARED BY:



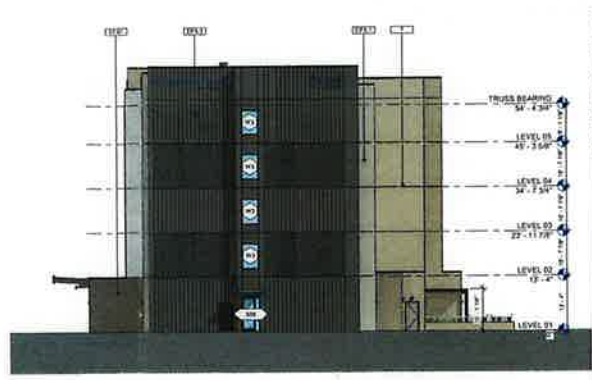
HUSSEY, GAY, BELL AND deYOUNG
 329 COMMERCIAL DRIVE
 SAVANNAH, GA 31406

SEPTEMBER, 2016

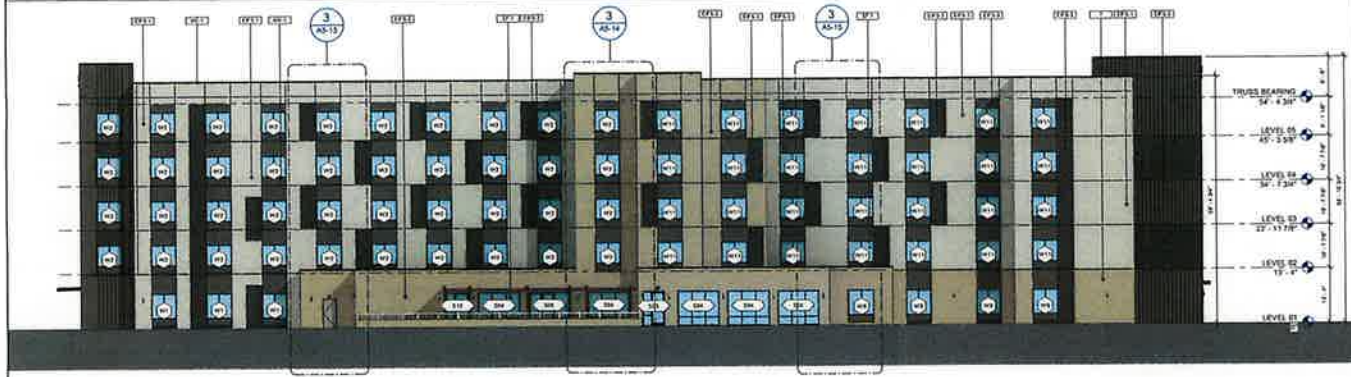
SCALE: 1" = 100'



4 WEST ELEVATION
SCALE 3/32" = 1'-0"



3 EAST ELEVATION
SCALE 3/32" = 1'-0"

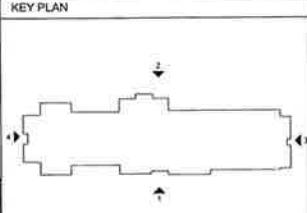


2 NORTH ELEVATION
SCALE 3/32" = 1'-0"



1 SOUTH ELEVATION
SCALE 3/32" = 1'-0"

TAG	DESCRIPTION	MANUFACTURER	COLOR/FINISH
200	CONCRETE		
201	CONCRETE		
202	CONCRETE		
203	CONCRETE		
204	CONCRETE		
205	CONCRETE		
206	CONCRETE		
207	CONCRETE		
208	CONCRETE		
209	CONCRETE		
210	CONCRETE		
211	CONCRETE		
212	CONCRETE		
213	CONCRETE		
214	CONCRETE		
215	CONCRETE		
216	CONCRETE		
217	CONCRETE		
218	CONCRETE		
219	CONCRETE		
220	CONCRETE		
221	CONCRETE		
222	CONCRETE		
223	CONCRETE		
224	CONCRETE		
225	CONCRETE		
226	CONCRETE		
227	CONCRETE		
228	CONCRETE		
229	CONCRETE		
230	CONCRETE		
231	CONCRETE		
232	CONCRETE		
233	CONCRETE		
234	CONCRETE		
235	CONCRETE		
236	CONCRETE		
237	CONCRETE		
238	CONCRETE		
239	CONCRETE		
240	CONCRETE		
241	CONCRETE		
242	CONCRETE		
243	CONCRETE		
244	CONCRETE		
245	CONCRETE		
246	CONCRETE		
247	CONCRETE		
248	CONCRETE		
249	CONCRETE		
250	CONCRETE		
251	CONCRETE		
252	CONCRETE		
253	CONCRETE		
254	CONCRETE		
255	CONCRETE		
256	CONCRETE		
257	CONCRETE		
258	CONCRETE		
259	CONCRETE		
260	CONCRETE		
261	CONCRETE		
262	CONCRETE		
263	CONCRETE		
264	CONCRETE		
265	CONCRETE		
266	CONCRETE		
267	CONCRETE		
268	CONCRETE		
269	CONCRETE		
270	CONCRETE		
271	CONCRETE		
272	CONCRETE		
273	CONCRETE		
274	CONCRETE		
275	CONCRETE		
276	CONCRETE		
277	CONCRETE		
278	CONCRETE		
279	CONCRETE		
280	CONCRETE		
281	CONCRETE		
282	CONCRETE		
283	CONCRETE		
284	CONCRETE		
285	CONCRETE		
286	CONCRETE		
287	CONCRETE		
288	CONCRETE		
289	CONCRETE		
290	CONCRETE		
291	CONCRETE		
292	CONCRETE		
293	CONCRETE		
294	CONCRETE		
295	CONCRETE		
296	CONCRETE		
297	CONCRETE		
298	CONCRETE		
299	CONCRETE		
300	CONCRETE		
301	CONCRETE		
302	CONCRETE		
303	CONCRETE		
304	CONCRETE		
305	CONCRETE		
306	CONCRETE		
307	CONCRETE		
308	CONCRETE		
309	CONCRETE		
310	CONCRETE		
311	CONCRETE		
312	CONCRETE		
313	CONCRETE		
314	CONCRETE		
315	CONCRETE		
316	CONCRETE		
317	CONCRETE		
318	CONCRETE		
319	CONCRETE		
320	CONCRETE		
321	CONCRETE		
322	CONCRETE		
323	CONCRETE		
324	CONCRETE		
325	CONCRETE		
326	CONCRETE		
327	CONCRETE		
328	CONCRETE		
329	CONCRETE		
330	CONCRETE		
331	CONCRETE		
332	CONCRETE		
333	CONCRETE		
334	CONCRETE		
335	CONCRETE		
336	CONCRETE		
337	CONCRETE		
338	CONCRETE		
339	CONCRETE		
340	CONCRETE		
341	CONCRETE		
342	CONCRETE		
343	CONCRETE		
344	CONCRETE		
345	CONCRETE		
346	CONCRETE		
347	CONCRETE		
348	CONCRETE		
349	CONCRETE		
350	CONCRETE		
351	CONCRETE		
352	CONCRETE		
353	CONCRETE		
354	CONCRETE		
355	CONCRETE		
356	CONCRETE		
357	CONCRETE		
358	CONCRETE		
359	CONCRETE		
360	CONCRETE		
361	CONCRETE		
362	CONCRETE		
363	CONCRETE		
364	CONCRETE		
365	CONCRETE		
366	CONCRETE		
367	CONCRETE		
368	CONCRETE		
369	CONCRETE		
370	CONCRETE		
371	CONCRETE		
372	CONCRETE		
373	CONCRETE		
374	CONCRETE		
375	CONCRETE		
376	CONCRETE		
377	CONCRETE		
378	CONCRETE		
379	CONCRETE		
380	CONCRETE		
381	CONCRETE		
382	CONCRETE		
383	CONCRETE		
384	CONCRETE		
385	CONCRETE		
386	CONCRETE		
387	CONCRETE		
388	CONCRETE		
389	CONCRETE		
390	CONCRETE		
391	CONCRETE		
392	CONCRETE		
393	CONCRETE		
394	CONCRETE		
395	CONCRETE		
396	CONCRETE		
397	CONCRETE		
398	CONCRETE		
399	CONCRETE		
400	CONCRETE		



ELEVATE architecture studio

1075 PINE BRIDGE BL. SUITE 201 • ATLANTA, GEORGIA • 30309 • 404.534.8882
www.elevatestudio.com

TOWNEPLACE SUITES OF NORCROSS

Fairfield BY HARBORFRONT

POOLER, GA 31322

HOS

1000 YONAH CENTER BLVD. SUITE 203 POOLER, GA 31322

BUILDING ELEVATIONS

A4-01



VARIANCE STANDARDS

After an application has been submitted to and reviewed by the Planning & Zoning Department, the Planning Commission, and the official public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if at least **two** of the following findings are made:

- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
- That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
- That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

HOS Management has petitioned the City of Pooler for a 14' height variance to allow construction of a hotel that will be a maximum height of 64'. This property is located on Half Moon Way, within the Savannah Quarters Planned Unit Development (PUD).

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: February 6, 2023

Subject: Site Plan/Landscape Plan for Outparcel 2, Tanger Outlets

Background & Discussion:

Travis Burke, with Coleman Company, presented the site plan to the P&Z Board for their review and recommendation. The project will consist of a 14,000 square foot shoe store and the infrastructure to support it. The development will be located adjacent to Panda Express on Tanger Outlets Blvd.

Planning and Zoning Recommendation:

P & Z recommends approval of the site plan/landscape plan for Outparcel 2, Tanger Outlets, contingent upon NRCS approval.

Staff Recommendation:

NRCS approval has been received. Therefore, staff recommends approval.



EROSION SEDIMENT & POLLUTION CONTROL PLAN REVIEW
Coastal SOIL AND WATER CONSERVATION DISTRICT

10/7/2022 Pooler 1/13/2023
DATE ON PLANS LIA DATE RECEIVED
1.22 1.30
TOTAL PROJECT ACRES TOTAL DISTURBED ACRES

Outlot 2 Tanger Outlet 120 Tanger Outlets Blvd. Pooler, GA 31322 (Chatham County)
NAME OF PROJECT ADDRESS (INCLUDING COUNTY)
Lat: 32.1364 Long: -81.2461
SPECIFIC INFORMATION ON PROJECT (GPS Location)

Travis G. Burke #8134 - 05/09/2024 Waf
DESIGN PROFESSIONAL LEVEL II CERTIFICATION/EXPIRATION DATE SOIL SERIES

Delaney Development, Inc. 3262 Old Shell Rd. Suite "C" Mobile, AL 36607 (251) 460-0910
APPLICANT ADDRESS PHONE NUMBER

REPORT OF TECHNICAL REVIEW

X* The Erosion Sediment and Pollution Control Plan for the above named project or activity meets the requirements of the Erosion and Sediment Control Ordinance or Rules and Regulations Governing Land-Disturbing Activities in Pooler under the provisions of the Erosion and Sedimentation Act of 1975, as amended.

The Erosion Sediment and Pollution Control Plan for the above named project or activity does not meet the requirements in Pooler through failure to include the following listed at the bottom of the page.

> Any questions, comments, or concerns regarding this plan review should be addressed to:

Technical review by: Kailen R Harris
Level II Certification #/Expiration Date: #99507 - 10/14/2025
Organization: GSWCC
Date: 01/24/23

The technical review as accomplished and reported above was done at the request of and is concurred by the Coastal Soil and Water Conservation District.

DISTRICT SUPERVISOR

DATE

Comments:

- 9) Provide description of existing site conditions.
- 24) Delineate concrete washout area on site plans.
- 44) Delineate drainage basin for pre-developed conditions.



EOM Operations
Your solution to a better tomorrow

NB~1

January 18th, 2023

Travis G. Burke, P.E.
Coleman Company
1480 Chatham Parkway, Suite 100
Savannah, GA 31405

Dear Mr. Burke,

I am pleased to provide you with a recommendation for Conditional Approval of the site plans for 'Tanger Outlet Mall – Outparcel 2, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	Dec. 2022
	Supplement to Tanger Master Declaration.....	Nov. 2022
	Stormwater Management Report w/ Calculations.....	Dec. 2022
	Technical Traffic Memorandum.....	Dec. 2022
	Lighting Plan.....	Dec. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Conditional Approval of the site development plans, subject to the following:

1. The City of Pooler is in receipt of the GSWCC Approval of the provided Erosion, Sedimentation, and Pollution control Plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM
Cynthia Phillips; Sr. Engineering Manager – EOM
Keith Stewart; Project Engineer - EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



Sporting Goods Superstore (861)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
PM Peak Hour of Generator

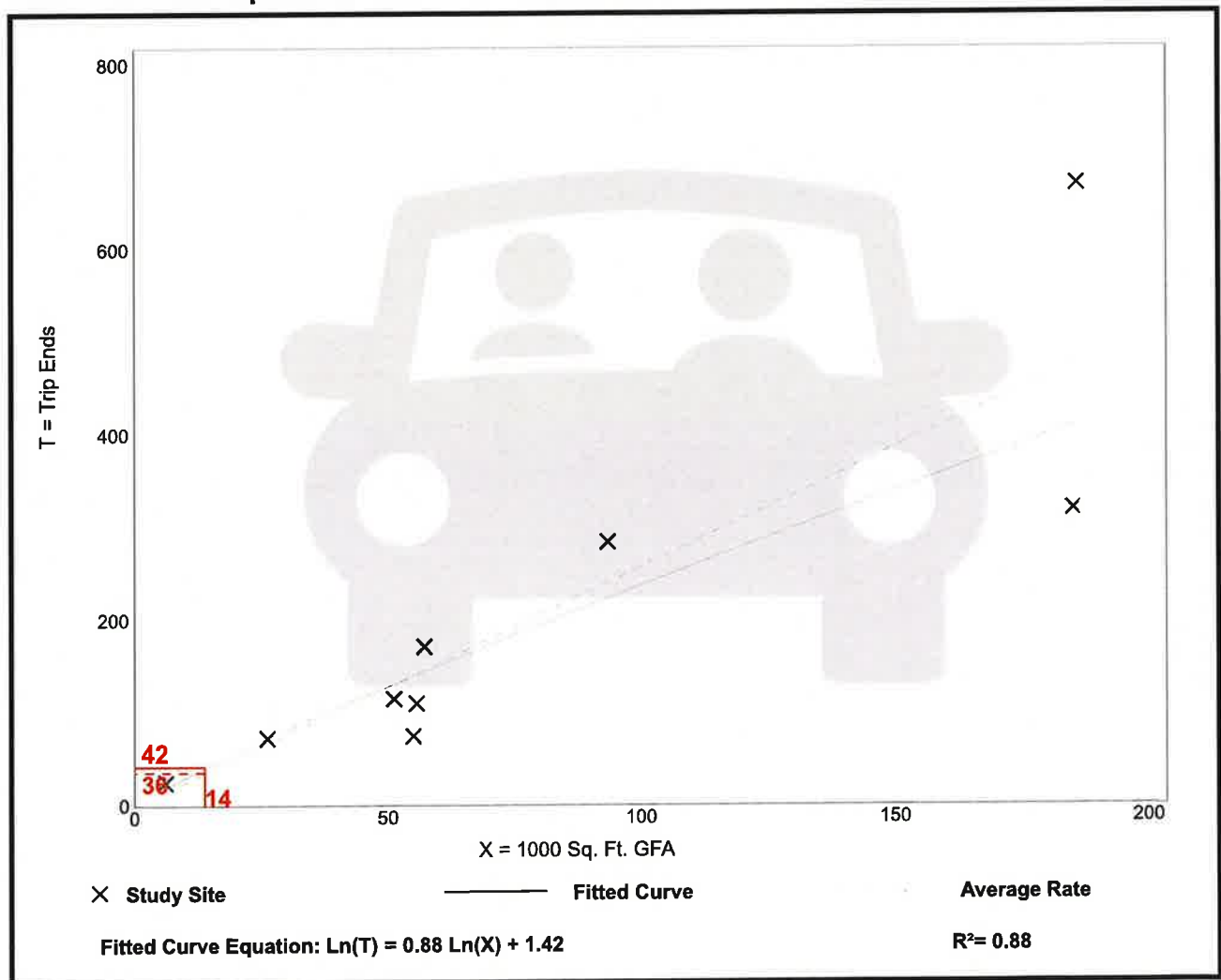
RECEIVED
JAN 16 2020
ZONING DEPARTMENT

Setting/Location: General Urban/Suburban
Number of Studies: 9
Avg. 1000 Sq. Ft. GFA: 80
Directional Distribution: 46% entering, 54% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.58	1.38 - 4.13	0.87

Data Plot and Equation



REVISED

Sporting Goods Superstore (861)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
AM Peak Hour of Generator

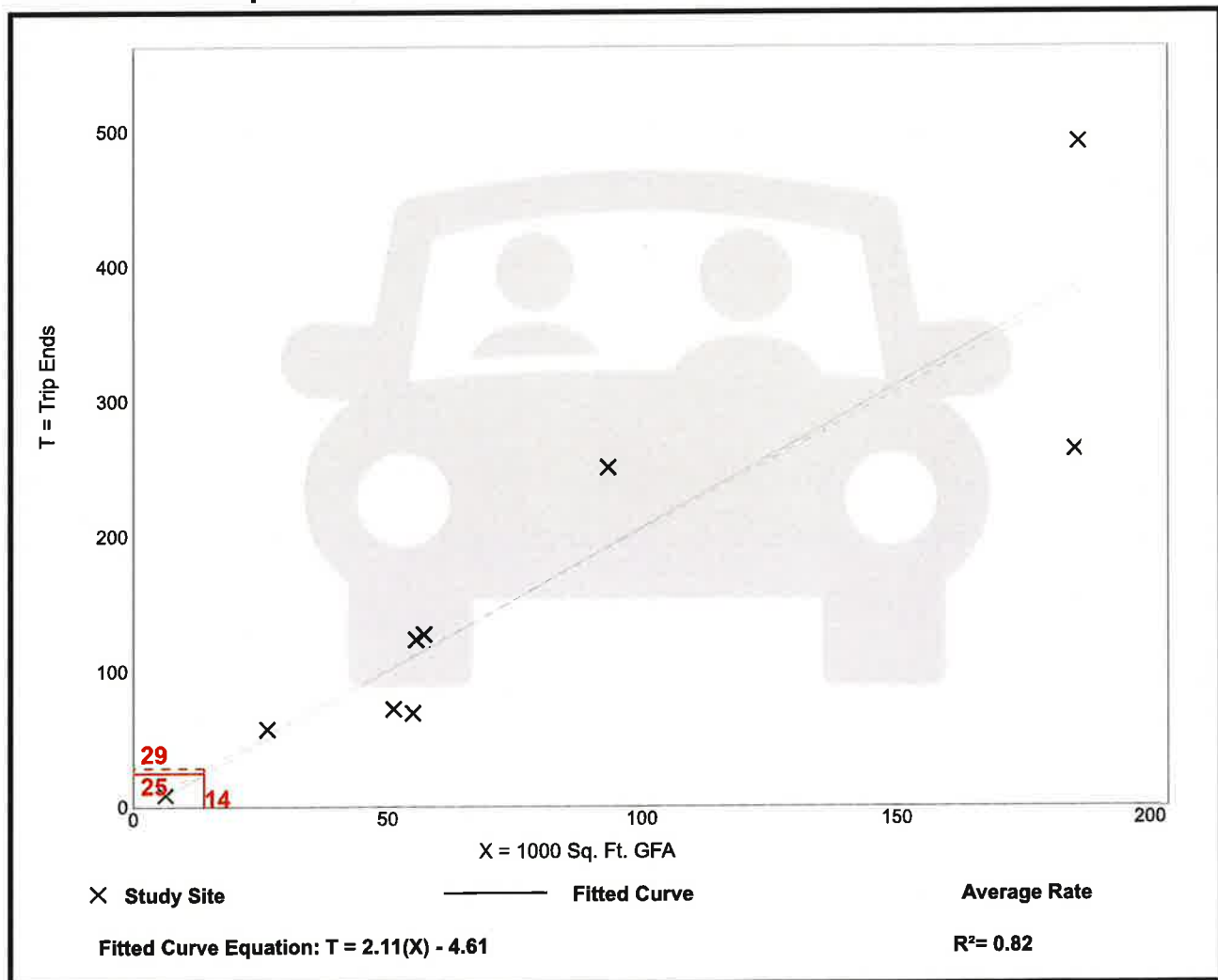
RECEIVED
JAN 18 2020
ZONING DEPARTMENT

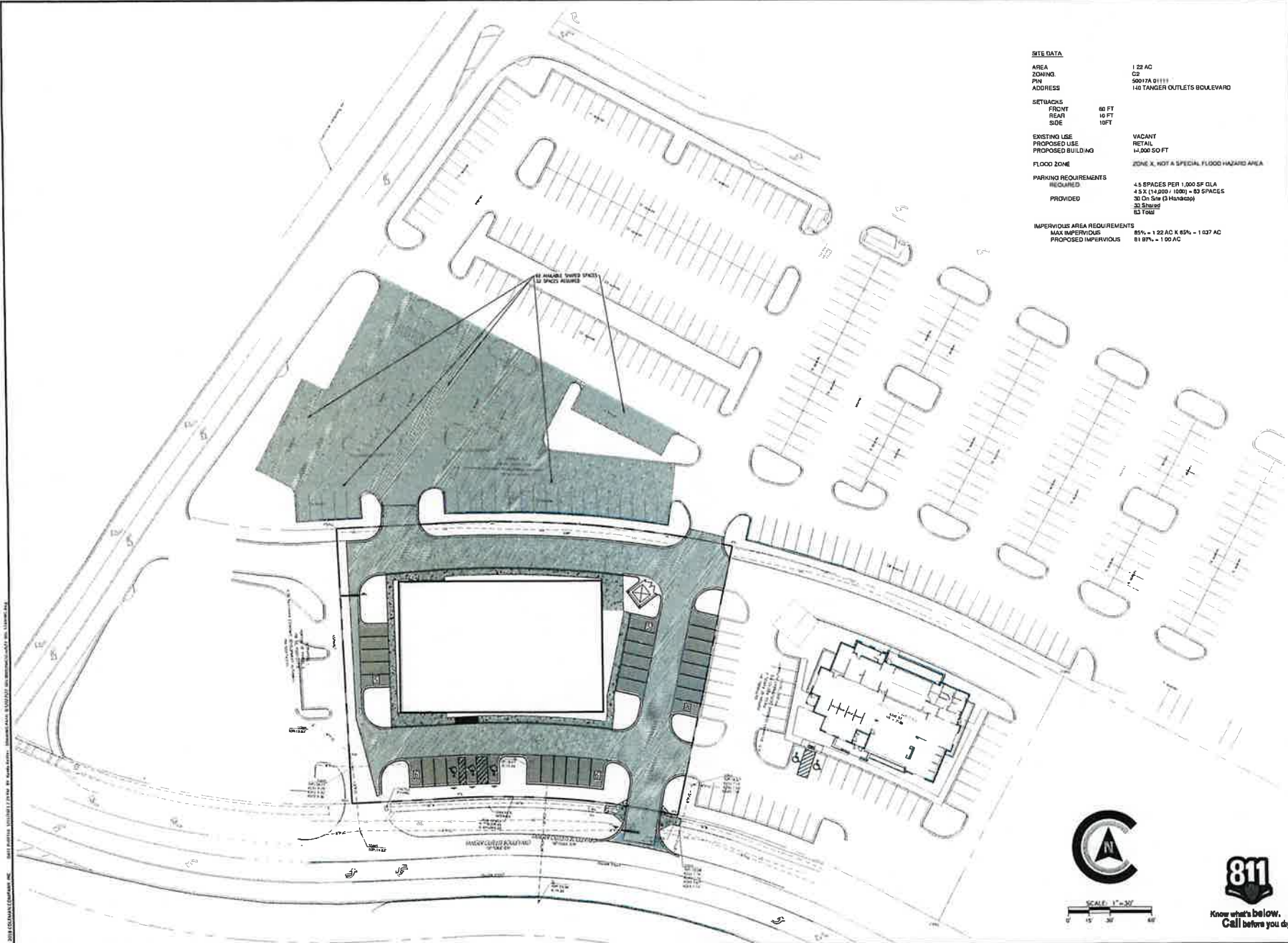
Setting/Location: General Urban/Suburban
Number of Studies: 9
Avg. 1000 Sq. Ft. GFA: 80
Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.05	1.28 - 2.69	0.61

Data Plot and Equation





SITE DATA	
AREA	1.22 AC
ZONING	C2
PN	50017A 01111
ADDRESS	140 TANGER OUTLETS BOULEVARD
SETBACKS	
FRONT	60 FT
REAR	10 FT
SIDE	10 FT
EXISTING USE	
PROPOSED USE	VACANT
PROPOSED BUILDING	RETAIL
	14,000 SQ FT
FLOOD ZONE	
	ZONE X, NOT A SPECIAL FLOOD HAZARD AREA
PARKING REQUIREMENTS	
REQUIRED	4.5 SPACES PER 1,000 SF GLA
	4.5 X (14,000 / 1000) = 63 SPACES
PROVIDED	30 On Site (3 Handicap)
	30 Shared
	63 Total
IMPERVIOUS AREA REQUIREMENTS	
MAX IMPERVIOUS	85% = 1.22 AC X 85% = 1.037 AC
PROPOSED IMPERVIOUS	81.97% = 1.00 AC



NOT FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
OUTPARCEL 2 TANGER OUTLET MALL
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR DELANEY DEVELOPMENT, INC

JOB NUMBER:	22-505
DATE:	10/7/22
DRAWN BY:	RAR
CHECKED BY:	IGB
SCALE:	AS NOTED

PARKING PLAN

SHEET:
C1.9



© 2022 COLEMAN COMPANY, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF COLEMAN COMPANY, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM COLEMAN COMPANY, INC.

- LEGEND**
- [A] NORMAL CURB AND GUTTER - DETAIL P-3
 - [B] CONCRETE SWALE WITH FILLETS - DETAIL P04
 - [C] MONOLITHIC SIDEWALK - DETAIL P-16 ON SHEET C6.0
 - [D] CONCRETE SIDEWALK - DETAIL P-15 ON SHEET C6.0
 - [E] HANDICAP RAMP TYPE "B" - DETAIL P-38B
 - [LD] LIGHT DUTY PAVEMENT - DETAIL P-11 ON SHEET C6.0
 - [HD] HEAVY DUTY PAVEMENT - DETAIL P-14 ON SHEET C6.0
 - [CP] CONCRETE PAVEMENT - DETAIL P-20

1) ALL CURB RADII 5 FOOT RADIUS UNLESS SHOWN OTHERWISE.
 2) ALL DIMENSIONS TO FACE OF CURB, FACE OF BUILDING

SITE DATA

AREA: 1.22 AC
 ZONING: C2
 PIN: 50017A 01111
 ADDRESS: 140 TANGER OUTLETS BOULEVARD

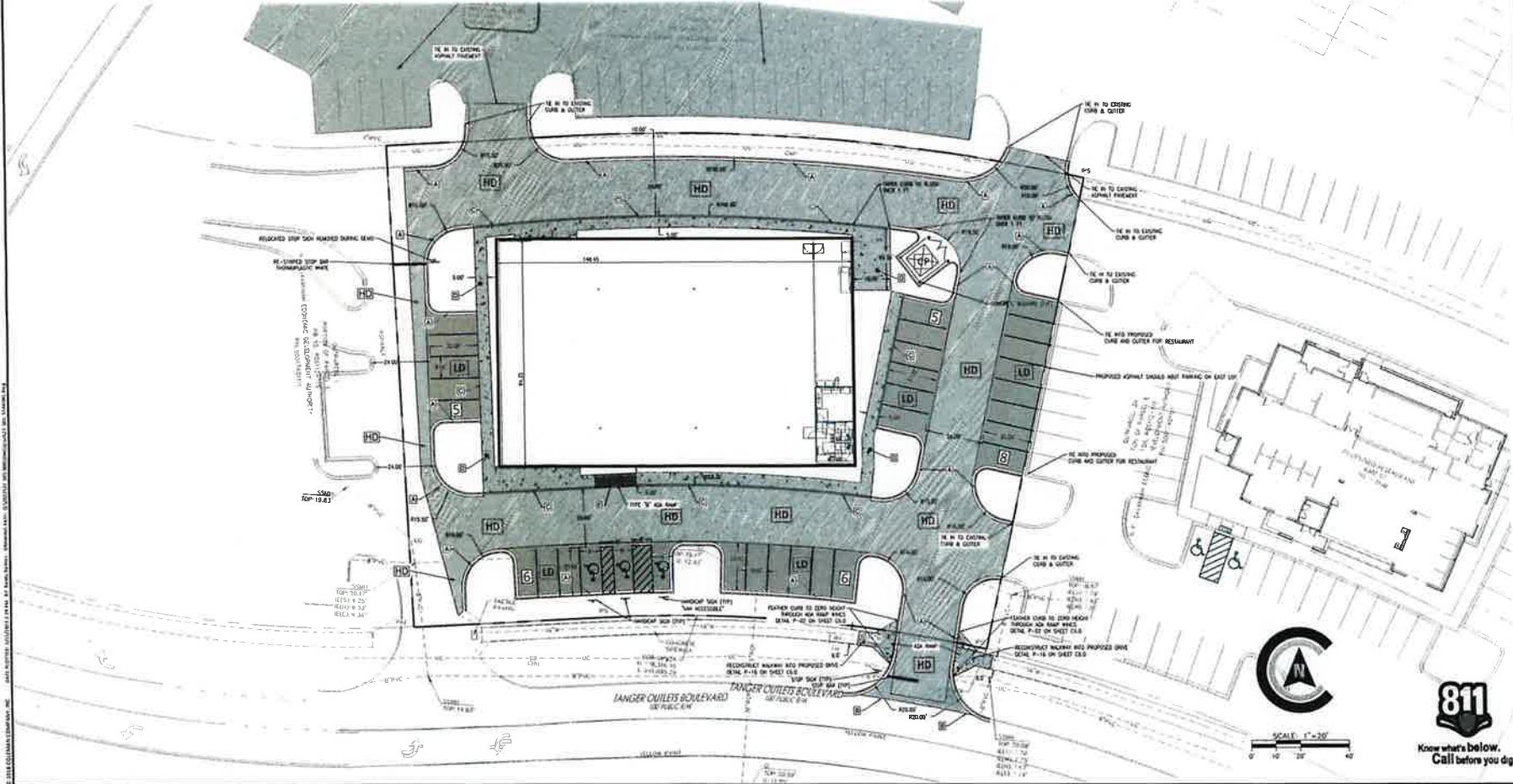
SETBACKS:
 FRONT: 80 FT
 REAR: 10 FT
 SIDE: 10 FT

EXISTING USE: VACANT
 PROPOSED USE: RETAIL
 PROPOSED BUILDING: 14,000 SQ FT

FLOOD ZONE: ZONE X, NOT A SPECIAL FLOOD HAZARD AREA

PARKING REQUIREMENTS:
 REQUIRED: 45 SPACES PER 1,000 SF GLA
 4.5 X (14,000 / 1000) = 63 SPACES
 30 On Site (3 Handicap)
 33 Offsite
 63 Total

PERVIOUS AREA REQUIREMENTS:
 MAX IMPERVIOUS: 85% = 1.27 AC X 85% = 1.08 AF
 PROPOSED IMPERVIOUS: 81.87% = 1.00 AC



NOT FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

CIVIL CONSTRUCTION PLANS FOR
OUTPARC 2 TANGER OUTLET MALL
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR DELANEY DEVELOPMENT, INC.

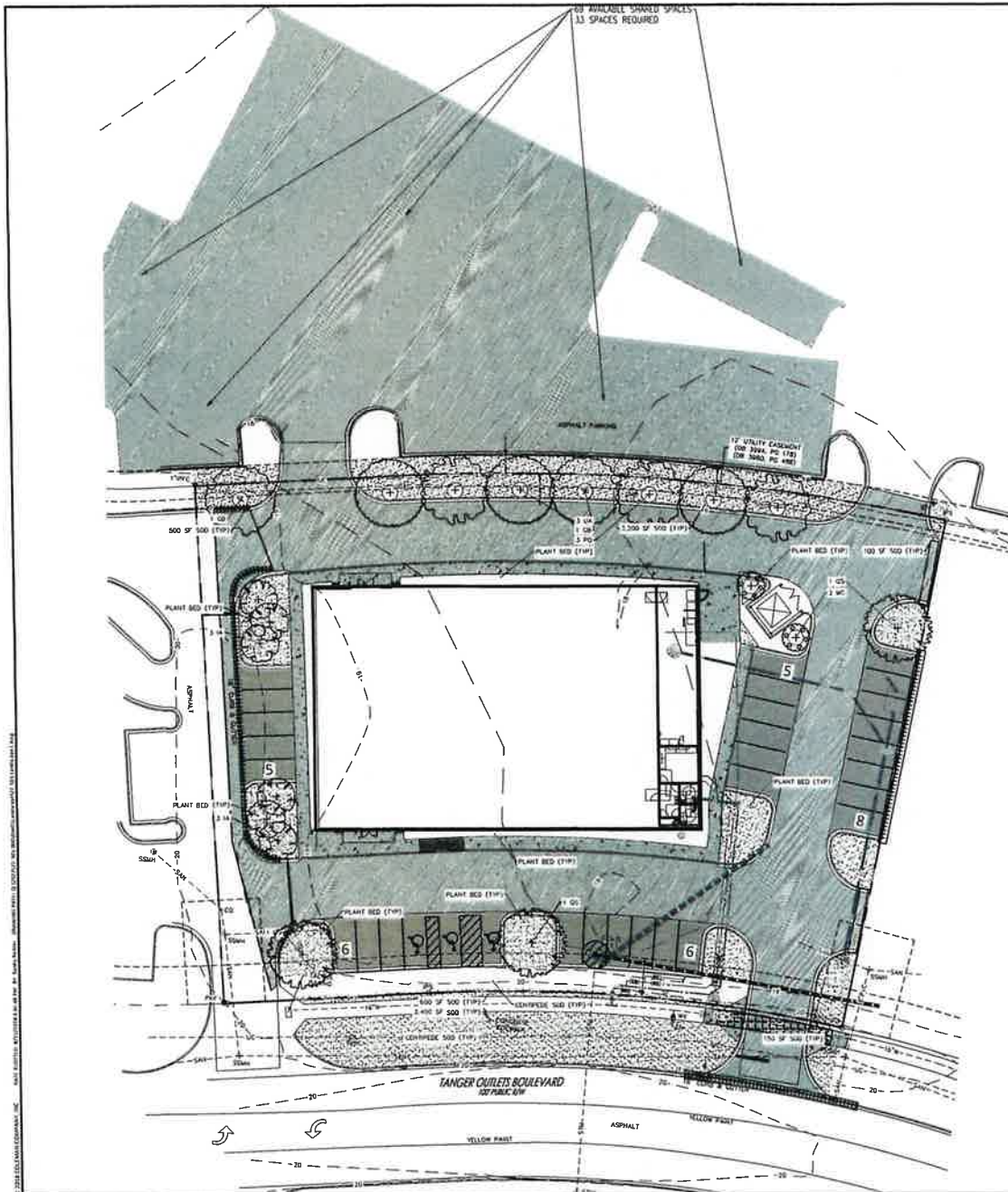
JOB NUMBER: 22-505
 DATE: 10/17/22
 DRAWN BY: RAR
 CHECKED BY: RAR
 SCALE: AS NOTED

STAKING PLAN

SHEET:
C2.0



© 2022 COLEMAN COMPANY, INC. DATA SOURCES: GOOGLE EARTH, AEC MAPS, TANGERS. DRAWING DATE: 10/17/22. THIS DRAWING IS THE PROPERTY OF COLEMAN COMPANY, INC. ALL RIGHTS RESERVED.



CITY OF POOLER LANDSCAPE REQUIREMENTS

TOTAL AREA - 122 AC
 TOTAL DISTURBED AREA - 1.3 AC
 TREES REQUIREMENT - 13 TREES PER ACRE
 TOTAL LANDSCAPE PROPERTY REQUIREMENT = 131 TREES PER ACRE = 122 AC = 163 TREES
 TREES PROVIDED = 19
 INSIGNIFICANT TREES TO BE REMOVED

PLANTED TREES SHALL BE 3/4" DBH TREES NO LESS THAN TWO-INCH DBH AND A MINIMUM HEIGHT REQUIREMENT OF 30"HT. KEY TREE TREES TO BE PLANTED MUST BE PREFERRED HARDWOOD THAT COMPLY TO THE AMERICAN STANDARDS FOR HURSELY STOCK. PLANTED OR RELOCATED TREES SHOULD BE APPROPRIATELY PLACED SO AS TO ENHANCE THE OVERALL LANDSCAPE OF THE SITE. ALL TREES PLANTED OR RELOCATED ON THE SITE MUST BE PROTECTED AND MAINTAINED UNTIL FINAL INSPECTION AND APPROVAL OF IMPROVEMENTS BY THE CITY BUILDING OFFICIAL - POOLSA. GEORGIA. CODE OF ORDINANCES -> PART 1 CODE OF ORDINANCES -> CHAPTER 47: ENVIRONMENT -> ARTICLE 15: TREE PROTECTION -> SEC. 42.150 REPLACEMENT

PREFERRED TREE LIST
 LARGE SPECIES: AMERICAN BEECH, AMERICAN ELM, FLORIDA SPYRANGER, GREENE ASH, WHITE OAK, LAUD CYPRESS, POON CYPRESS, GARDOK HALEY, HICKORY SPECIES, SOUTHERN MAGNOLIA, LIVE OAK, HITTALL OAK, OVERHEAD OAK, SHAVARD OAK, WHITE OAK, VIKLOW OAK, SOUTHERN RED OAK, AND YELLOW PINE
 MEDIUM SPECIES: AMERICAN HOLLY, RED MAPLE, FLORIDA MAPLE, TRUSSARD MAPLE, EASTERN RED CEDAR
 SMALL SPECIES: EASTERN RED CEDAR, ATTELLATA HYDRANGEA, VAUGHAN HOLLY, BARRETTIA, MAGNOLIA, YEW, RED TREE

NO MORE THAN 10% OF SMALL SPECIES CAN BE USED FOR TREE REPLACEMENT. MINIMUM 100 SF OF PLANTED AREA PER TREE

- PROVIDE AND MAINTAIN DRAINAGE UTILITIES
- ACQUIRE WATER SOURCES FOR FIRMING CED LANDSCAPING SHALL BE PROVIDED FOR AT LEAST ONE YEAR
- ANY TREE REQUIRED TO MEET MINIMUM TREE COVERAGE REQUIREMENTS THAT IS LOST AFTER 12 MONTHS OF FINAL APPROVAL BY THE CITY BUILDING OFFICIAL SHALL BE REPLACED WITH A TWO AND ONE-HALF INCH DBH TREE OF THE SAME TYPE

- NOTES:**
1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
 2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
 3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES 20.2" WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
 4. SEE SPECIFICATIONS ON SHEET L3.0 FOR FURTHER INSTRUCTIONS.
 5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE.
 6. ALL PLANT MATERIAL SHALL MEET OF EXACT SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD TREE BUREAU 3000. P/BUSH BY THE AMERICAN ASSOCIATION OF NURSERIES.
 7. ALL SITES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING

PLANT KEY

REV	BOTANICAL NAME	COMMON NAME
TREES		
06	QUERCUS BILBOA PRINCETON SEABRY	PRINCETON SEABRY GALEGO "MALL"
0A	QUERCUS ATTELLATA "GAGLESTON"	GAGLESTON HOLLY "SINGLE STEM"
0B	MAGNOLIA GRANDIFLORA "SOUTHERN CHARM"	TEOPY REAR MAGNOLIA
0C	PLATANUS OCCIDENTALIS	PLATEAUAN SPYCAMOHI
0D	QUERCUS LAEMAS	QUERCUS LAEMAS
0E	QUERCUS LAEMAS "WHITES HOV"	PRINCETON BLM
TURF		
000	STYLANOCHLOA DYNALOUSIS	SLIMFLEPER SOO



REVISIONS:

NO.	DATE	DESCRIPTION

CIVIL CONSTRUCTION PLANS FOR
OUTPARCEL 2 TANGER OUTLET MALL
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR DELANEY DEVELOPMENT, INC.

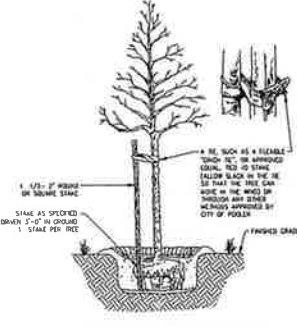
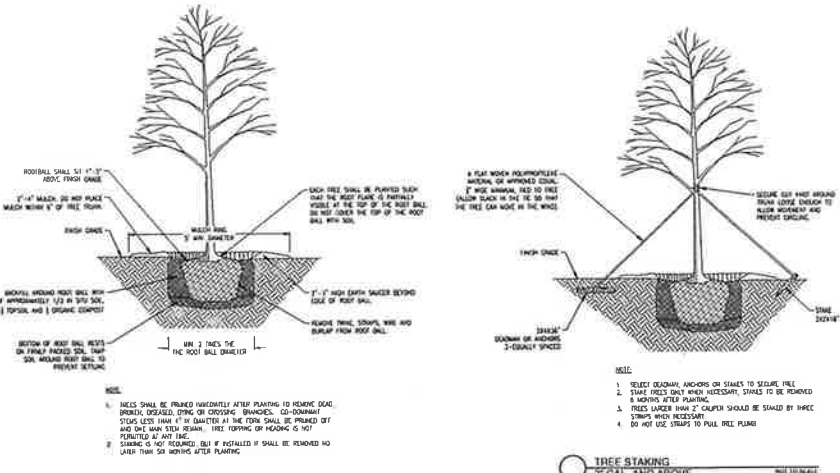
JOB NUMBER: 22-505
 DATE: 11/07/2022
 DRAWN BY: HMC
 CHECKED BY: JMG
 SCALE: AS NOTED

LANDSCAPE PLANS

SHEET:
L2.0



DATE PLOTTED: 11/07/2022 10:04:00 AM
 PLOT SCALE: 1/4" = 1'-0"
 PLOT SHEET: 1 OF 1
 PLOT TITLE: CIVIL CONSTRUCTION PLANS FOR OUTPARCEL 2 TANGER OUTLET MALL
 PLOT USER: JMG
 PLOT STATUS: 100%
 PLOT TYPE: PLANTING



TREE STAKING
2" CAL. AND ABOVE

NOTE:

1. SELECT QUALITY ANCHORS OR STAKE TREE
2. STAKE TREES ONLY WHEN NECESSARY, STAKES TO BE REMOVED 8 WEEKS AFTER PLANTING.
3. TREES LARGER THAN 2" CALIBER SHOULD BE STAKED BY THREE STAKES AND NECESSARY.
4. DO NOT USE STRAPS TO PULL TREE DOWN.

ALTERNATIVE TREE STAKING



NOT FOR CONSTRUCTION

REVISIONS:

NO.	DATE	DESCRIPTION

PLANTING NOTES

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL NOT CAUTION WITH REGARDING TO ANY OTHER WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
3. CONTRACTOR SHALL NOT CAUTION WITH REGARDING TO ANY OTHER WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
4. CONTRACTOR SHALL NOT CAUTION WITH REGARDING TO ANY OTHER WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

PLANT QUALITY

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
3. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

ROOT SYSTEM

1. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM
2. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM
3. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM

IRRIGATION AND MULCHING

1. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM
2. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM
3. ALL TREES SHALL BE DELIVERED AND DELIVERED TO THE SITE WITH A HEALTHY AND VIGOROUS ROOT SYSTEM

TOPSOIL

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

PLANTING

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
3. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

POST-PLANTING

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

MULCH

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

WEEDING

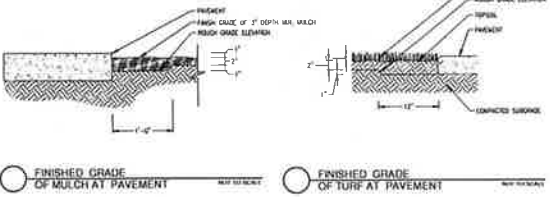
1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

MAINTENANCE

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND

PLANT ALTERNATION AND SUBSTITUTION

1. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND
2. CONTRACTOR SHALL BE KNOWN TO ALL OTHER SITE IMPROVEMENTS PARTS TO STARTING LANDSCAPE WORK AND SHALL PROVIDE TO THE PORTLAND PORTLAND



PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES						
SB	2	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	6	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SB	3	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
TURF	100	GRASS (POA ANNUA)	POA ANNUA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK
SOO	100	SHRUB BILBA (FRAXINUS SPINOSA)	FRAXINUS SPINOSA	2" CAL. MIN. 18-18 HT.	AS SHOWN	WELL BALANCED HEAD, "SMALL" SINGLE STRAIGHT TRUNK

CIVIL CONSTRUCTION PLANS FOR OUTPARCEL 2 TANGER OUTLET MALL
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR DELANEY DEVELOPMENT, INC.

JOB NUMBER: 22-309
 DATE: 11/07/2022
 DRAWN BY: JMG
 CHECKED BY: JMG
 SCALE: AS NOTED

LANDSCAPE DETAILS

SHEET:

L3.0



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; and
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: February 6, 2023

Subject: Site Plan/Landscape Plan for Towne Place Hotel on Half Moon

Background & Discussion:

Jay Maupin, Maupin Engineering, presented the site plan to the P&Z Board for their review and recommendation. The project will consist of a five (5) story hotel with 139 rooms and the infrastructure to support it. Mr. Maupin stated that the required buffer has been increased, and that the dumpster location has been moved away from the residential area.

Planning and Zoning Recommendation:

P & Z recommends approval of the site plan/landscape plan, contingent upon the following:

- *The proposed traffic improvements, as demonstrated in the traffic impact analysis, are designed to achieve the minimum standard of traffic operations. These improvements are being permitted separately and must both be constructed and accepted by the City prior to close out. The applicable traffic improvements as follows:*
 - *A westbound right turn deceleration lane on Blue Moon Crossing being proposed under this project (Walk On's/Vet Center).*
 - *A modification to the southbound approach at Half Moon Way & Blue Moon Crossing is being proposed under the Towne Place Pooler project. This modification includes a right turn lane and a thru/left lane on the southbound approach to the intersection.*
- *A complete set of the approved site development plans shall be submitted to the City of Pooler.*
- *The City shall approve the variance application for the proposed building height, which exceeds the established development standards of the PUD. If the variance is not approved, the site development plan shall be resubmitted with building height information satisfying the applicable development standards.*

Staff Recommendation:

Staff concurs with Planning & Zoning.



January 19th, 2023

Jay A. Maupin, P.E.
Maupin Engineering
114 W 42nd St
Savannah, GA 31401

Dear Mr. Maupin,

I am pleased to provide you with a recommendation for Conditional Approval of the site plans for 'Towne Place Pooler', which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Jan. 2023
	Variance Packet.....	Jan. 2023
	Geotechnical Report.....	Aug. 2022
	Stormwater Management Report.....	Jun. 2022
	Stormwater Maintenance Agreement.....	Aug. 2022
	Traffic Impact Analysis (Revised).....	Sep. 2022
	Exhibit - Intersection Improvement.....	Sep. 2022
	Water Distribution System Report.....	Jun. 2022
	Savannah Quarters ARB Approval of Bld. Height.....	Aug. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Conditional Approval of the site development plans, subject to the following contingencies:

1. The proposed traffic improvements, as demonstrated in the traffic impact analysis, are designed to achieve the minimum standard of traffic operations. These improvements are being permitted separately and must both be constructed and accepted by the City prior to close out. The applicable traffic improvements are as follows:
 - a. A westbound right turn deceleration lane on Blue Moon X'ing being proposed under this project (Walk On's & Vet Center)
 - b. A modification to the southbound approach at the Half Moon Way & Blue Moon X'ing is being proposed under the Towne Place Pooler project. This modification includes a right turn lane and a thru/left turn lane on the southbound approach to the intersection.
2. A complete set of the Approved Site Development Plans shall be submitted to the City of Pooler.
3. The City of Pooler shall Approve the Variance Application for the proposed building height, which exceeds the established development standards of the PUD. If the Variance Application is not approved, the site development plans shall be resubmitted with building height info satisfying the applicable development standards.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM
Cynthia Phillips; Sr. Engineering Manager – EOM
Keith Stewart; Project Engineer - EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

1/29/21

Project #
210051

City of Pooler Site Plan Application (pg. 1 of 2)

Applicant Information	Applicant <u>HOS Management - Krishan Gandhi</u> Mailing address <u>1000 Town Center Blvd Suite #503</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>344-4538</u> Fax (<u> </u>)
Property Ownership	Property Owner(s) <u>HOS Management - Krishan Gandhi</u> Mailing address <u>1000 Town Center Blvd Suite #503</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>344-4538</u> Fax (<u> </u>)
Contact Person	Contact Person(s) <u>Krishan Gandhi</u> Mailing address <u>1000 Town Center Blvd #503</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>344-4538</u> Fax (<u> </u>) E-mail <u>krishan@hosmanagement.com</u>
Request	Location address <u>0 Pooler Parkway</u> Current Zoning <u>PUD</u> Parcel Identification Number <u>51009 01078</u> Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: <u>Site will be developed into a hotel</u>
Participating Contractors	Please list the name and address of all participating contractors: (Surveyor, engineer, architect, installer, developer, etc.) <hr/> Name <u>Maupin Engineering, Inc</u> License # <u>PE023758</u> Mailing address <u>114 W 42nd Street</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31401</u> Telephone (<u>912</u>) <u>235-2915</u> Fax (<u> </u>) E-mail <u>jay@maupinengineering.com</u>

Rec. 1/14/2021

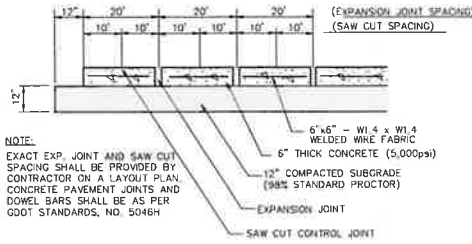
GENERAL CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CURRENT CITY OF POOLER DESIGN STANDARDS, SPECIFICATIONS AND DETAILS OR AS OTHERWISE ISSUED FOR THIS PROJECT. IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.

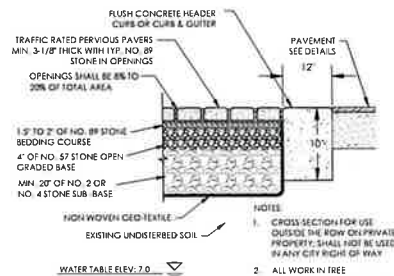
- LAYOUT TO BE CONTROLLED BY EXISTING BENCHMARK.
- DIMENSIONS TO CURBS AND GUTTER ARE TO FACE OF CURB.
- DIMENSIONS TO WALK ARE TO FACE OF WALK.
- DIMENSIONS TO BUILDING ARE TO FACE OF BUILDING.
- DIMENSIONS TO STRIPING IS TO CENTERLINE OF STRIPING.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
- BLUE METAL REFLECTIVE SIGN AT LEAST 12" IN WIDTH AND 18" IN LENGTH AND ERRECT AT 7' ABOVE GRADE IN SUCH MANNER SO AS TO BE CLEARLY VISIBLE TO THE PARKING VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES AND CONTAIN THE FOLLOWING WORDS: "PERMIT PARKING ONLY", "TOW-AWAY ZONE" AND "MAXIMUM FINE \$500.00". SUCH SIGNS SHALL ALSO DISPLAY THE SYMBOL FOR HANDICAP ACCESSIBILITY CENTERED BETWEEN THE SECOND AND THIRD LINES. VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH THE FOLLOWING WORDS: "VAN ACCESSIBLE".
- TRAFFIC CONTROL DEVICES SHALL BE USED ON ALL WORK ON THIS PROJECT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. THE COST TO COMPLY SHALL BE INCLUDED IN THE OVERALL COST OF THE PROJECT.

10. REFERENCE SURVEYS:

- BOUNDARY & TOPOGRAPHIC SURVEY - PREPARED BY ATLAS SURVEYING, INC. (10/12/2020)
- VERTICAL DATUM: NAVD83 HORIZONTAL DATUM: NAD83
- PROJECT IS ON STATE PLATE COORDINATES.
- MAUPIN ENGINEERING, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR ACCURACY OF PROVIDED SURVEY INFORMATION.
- ONLY ABOVE GROUND, READILY VISIBLE STRUCTURES, UTILITIES AND SURFACE PAINT MARKINGS WERE LOCATED FOR THIS SURVEY. THIS SURVEY MAKES NO WARRANTY OR GUARANTEE AS TO THE LOCATION, EXISTENCE OR NON-EXISTENCE OF ANY BELOWGROUND, NON-VISIBLE UTILITIES OR STRUCTURES. CONTRACTOR SHALL FIELD VERIFY LOCATION, TYPE, SIZE, MATERIAL AND GENERAL CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL GRADED EARTH NOT OTHERWISE STABILIZED WITH BUILDING, PAVEMENT OR VEGETATION SHALL BE GRASSED OR SODDED.
- OWNER SHALL ACCEPT MAINTENANCE OF THE STORM DRAINAGE SYSTEM, INCLUDING ROOF DRAIN CONNECTIONS, WITHIN THE LIMITS OF THE PROPERTY. CITY OF POOLER WILL NOT MAINTAIN THE STORM DRAINAGE SYSTEM WITHIN THE PROPERTY. THIS SITE IS DESIGNED TO DISCHARGE STORM WATER RUNOFF INTO THE APPROVED MASTER DRAINAGE CONVEYANCE AND DETENTION SYSTEM.
- DITCHES, ALL DRAINAGE STRUCTURES, ORIFICES AND PAVEMENT ELEVATIONS SHALL BE SURVEYED FOR "AS BUILT" DRAWINGS ALONG WITH THE WATER AND SANITARY SEWER SERVICES.
- ADJUST EXISTING MAN-HOLE FRAMES, GRATES AND VALVE BOXES TO GRADE AS NEEDED.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- MATCH EXISTING PAVEMENT GRADE ELEVATIONS WHERE CONNECTING TO EXISTING PAVEMENT.
- FILL BENEATH BUILDINGS SHALL BE COMPACTED IN ACCORDANCE WITH BUILDING STRUCTURAL SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY DURING CONSTRUCTION ANY EXISTENCE OF SUB SURFACE DEBRIS OR ORGANIC MATERIAL. ANY SUB SURFACE DEBRIS OR ORGANIC MATERIAL FOUND SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 2' BELOW GRADED AGGREGATE BASE IN PAVEMENT AREAS AND 2' BELOW BOTTOM OF FOOTINGS FOR BUILDINGS (CONTRACTOR SHALL CONSULT WITH BUILDING STRUCTURAL ENGINEER FOR ANY WORK BENEATH OR ADJACENT TO BUILDING AND/OR ABOVE OR BELOW GRADE STRUCTURES). IF EXCESSIVE DEBRIS OR ORGANIC MATERIAL IS FOUND, ENGINEER SHALL BE CONTACTED FOR INSPECTION. REMOVAL OF INSPECTED MATERIAL SHALL BE DIRECTED BY THE ENGINEER.
- ALL EROSION AND SEDIMENT CONTROL DEVICES (BMS) SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL AND BE MAINTAINED BY CONTRACTOR UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE GOVERNING NPDES GENERAL PERMIT.
- IF A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN SUCH PERMIT.
- THE CITY OF POOLER INSPECTIONS DEPARTMENT RESERVES THE RIGHT TO ACCESS PROPERTY TO INSPECT STORM WATER FACILITIES AT ANY TIME.
- CHLORINATED, DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORM WATER SYSTEM.
- TRAFFIC CONTROL AND FLOW SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL INSTALLED OR RELOCATED UTILITIES AND LARGE AND MEDIUM TREES.
- ANY AND ALL STREET LIGHTING, LANDSCAPE, SIDEWALK AND ACCESSIBILITY REQUIREMENTS TO BE PERFORMED, DESIGNED AND/OR CONSTRUCTED SHALL BE COORDINATED WITH CIVIL ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR THE ROOF DRAIN SYSTEM. COLLECTION AND DISCHARGE SHALL BE COORDINATED WITH CIVIL ENGINEER.
- SITE CIVIL PLANS SHALL TERMINATE 5' FROM BUILDING FACE UNLESS OTHERWISE NOTED. CONTINUATION OF WATER, SANITARY SEWER AND STORM DRAINAGE LATERALS SHALL BE COORDINATED WITH BUILDING CONTRACTOR IN ACCORDANCE WITH ARCHITECTURAL AND/OR MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE APPROPRIATE JURISDICTIONS APPROVED CONSTRUCTION SPECIFICATIONS AND DETAILS.
- THE OWNER, OWNER'S REPRESENTATIVES, CITY OF POOLER AND OTHER REGULATORY AGENCIES SHALL HAVE THE RIGHT TO ACCESS THE SITE AT ANY TIME FOR PURPOSES OF OBSERVING WORK PERFORMANCE.
- ALL UTILITIES ARE SHOWN AS APPROXIMATE ON THE PLANS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. SOME UTILITIES AND SERVICE LINE LOCATIONS ARE UNKNOWN AND NOT SHOWN ON THE PLANS. THIS DOES NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO PROTECT EXISTING UNDERGROUND FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A VALID UTILITY LOCATE TICKET FROM THE GEORGIA UTILITIES PROTECTION CENTER (811/800-282-7411), AND COORDINATION WITH OTHER SUCH LOCAL UTILITIES AS MAY BE REQUIRED.
- THE CONTRACTOR WILL PROTECT ALL TREES NOTED TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION ZONE. ANY UNAUTHORIZED REMOVAL OF TREES NOTED TO REMAIN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REESTABLISH TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT. ALL BORROW MATERIAL SHALL BE CLEAN AND FREE OF DEBRIS AND ORGANIC MATERIAL AND SUFFICIENT TO COMPACT TO A MINIMUM BEARING CAPACITY OF 2,500PSF OR AS OTHERWISE SPECIFIED.
- ALL TREES CLEARED OR DEMOLISHED FROM THE SITE INCLUDING SPILL MATERIAL TO BE REMOVED FOR OFF-SITE DISPOSAL, ARE THE PROPERTY OF THE CONTRACTOR UNLESS THEY ARE TO BE REUSED ON THE SITE OR OTHERWISE NOTED. NO BURNING OR BURNING OF DEBRIS WILL BE ALLOWED ON THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BEST MANAGEMENT PRACTICES (BMP'S) ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL OF GEORGIA".



CONCRETE PAVEMENT SECTION
NOT TO SCALE



PERVIOUS PAVERS FOR PARKING LOTS

GENERAL DEVELOPMENT NOTES:

- PIN: 31209 0119
ADDRESS: 0 POOLER PARKWAY
POOLER, GA 31322
- TOTAL LAND ACREAGE: 3.30(1) AC
TOTAL DISTURBED ACREAGE: 2.25(1) AC
- EXISTING USE OF PROPERTY: VACANT PARCEL
PROPOSED USE OF PROPERTY: COMMERCIAL HOTEL
- MAXIMUM ALLOWABLE BUILDING HEIGHT: 30
MAXIMUM BUILDING HEIGHT PROPOSED: 40
VARIANCE PROVIDED BY SAVANNAH QUARTERS PLAN
- PROPOSED LANDSCAPE QUALITY POINTS TO BE DETERMINED BY LANDSCAPE PLAN
- PROPERTY IS LOCATED IN ZONE R3101 A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP # 13031 C0280, DATE 01/18/18.
- STATE WATERS DOES NOT EXIST ON THE PROPERTY.
- WETLANDS DO NOT EXIST ON THE PROPERTY.
- THE SITE IS SERVED BY THE CITY WATER AND SANITARY SEWER SYSTEM.
- PARKING SPACE CALCULATIONS:
REQUIRED: 0.8 SPACES/ROOM * 129 ROOMS = 111 SPACES
1 SPACE/EMPLOYEE * 10 EMPLOYEES = 10 SPACES
TOTAL = 121 SPACES INCLUDING 5 ADA STALLS
PROVIDED: 121 SPACES INCLUDING 5 ADA STALLS
- SITE LIGHTING PLAN TO BE PROVIDED SEPARATELY
- CONSTRUCTION PERMIT: N 32 022776P
W: 81 14549P
- PERCENTAGE AND AMOUNT OF FLOOR AREA BY USE AND TYPE:
100% OR 16,700 SF OF BUILDING COVERAGE IS HOTEL.
- PERCENTAGE AND AMOUNT OF LAND AREA BY USE:
0% OR 0.1475 AC WILL BE THE PAVED AREA.
17% OR 16,700 SF OF BUILDING COVERAGE
49% OR 47,200 SF OF GREENSPACE/WATER.

- CROSS SECTION FOR USE OUTSIDE THE RIGHT OF PRIVATE PROPERTY SHALL NOT BE USED IN ANY CITY RIGHT OF WAY
- ALL WORK IN TREE PROTECTION ZONES SHALL BE DONE BY HAND OR WITH LIGHT EQUIPMENT



UTILITIES PROTECTION CENTER
Dig Safely.
CALL 811
CONTRACTOR IS REQUIRED TO CALL AT LEAST 3 DAYS PRIOR TO START OF CONSTRUCTION

TOWNE PLACE POOLER
Specific Development Plan

MEI Proj #822-19-02 Plan Date: 1/5/23

PREPARED FOR:
HOS MANAGMENT
KRISHAN GANDHI
1000 TOWN CENTER BLVD, SUITE 503
POOLER, GA 31322
912.604.7824
KRISHAN@HOSMANAGEMENT.COM



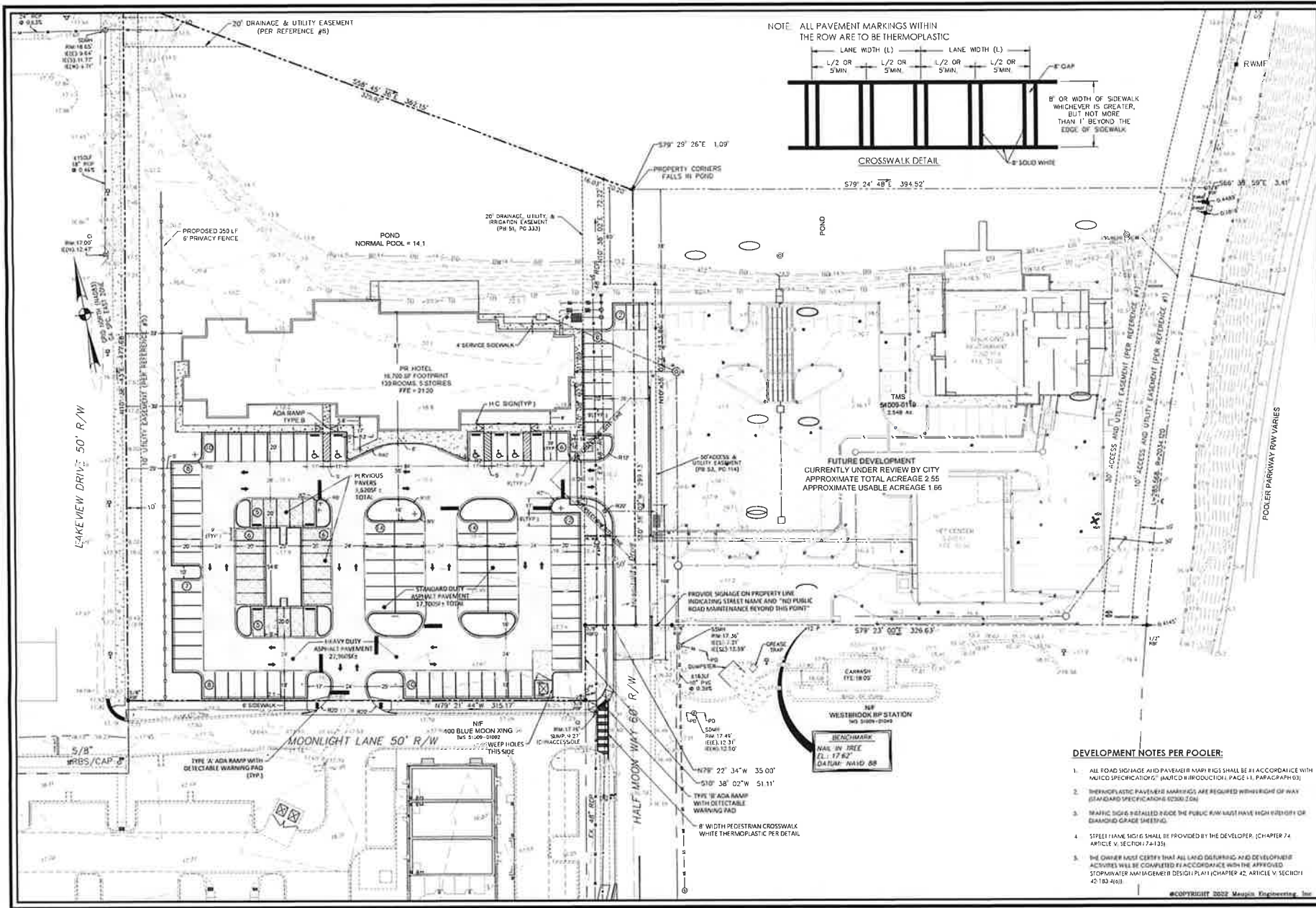
MAUPIN[™]
engineering
114 WEST 42ND STREET
SAVANNAH, GA 31401
OFFICE PHONE (912) 285-2913
GENERAL@MAUPINENGINEERING.COM

SHEET INDEX

C1	COVER - NOTES
C2	EXISTING CONDITIONS DEMO PLAN
C3	STAKING PLAN
C3a	HALF MOON WAY TRAFFIC IMPROVEMENTS
C4	UTILITY PLAN
C5	GRADING PLAN
C6	LANDSCAPING PLAN
C6A	EROSION CONTROL PLAN - INITIAL
C6B	EROSION CONTROL PLAN - INTERMEDIATE
C6C	EROSION CONTROL PLAN - FINAL
D1-D6	CONSTRUCTION DETAILS

NO.	DATE	DESCRIPTION

THIS SET IS RELEASED FOR CONSTRUCTION 1/5/23
©COPYRIGHT 2022 Maupin Engineering, Inc.



NO.	DATE	DESCRIPTION

MAUPINTM
 engineering
 114 NW 42 STREET • SAVANNAH, GA 31401
 O 912 225 2915

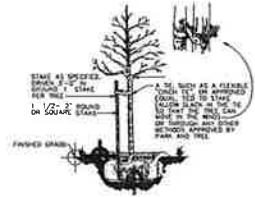
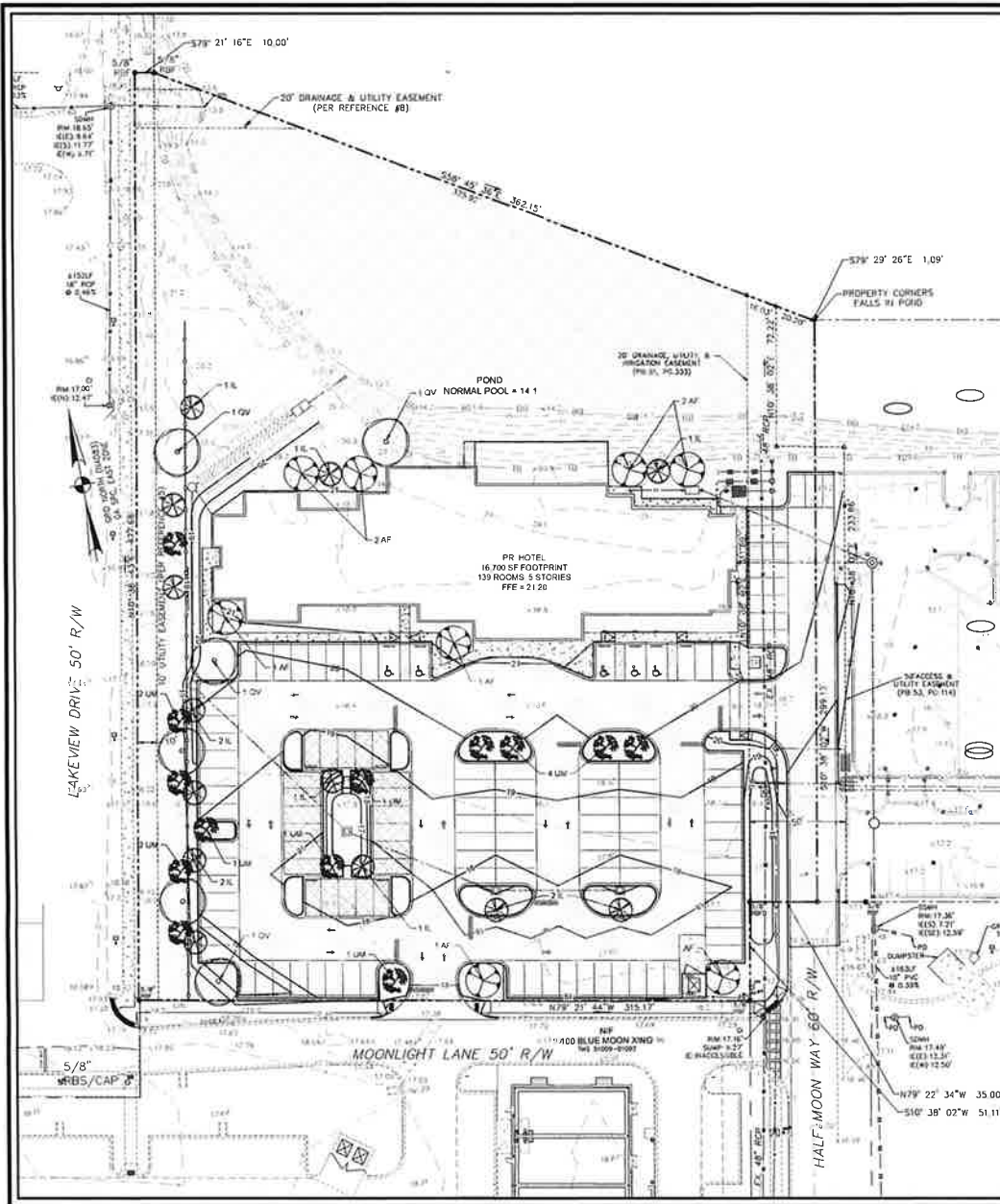
STAKING PLAN
TOWNE PLACE POOLER



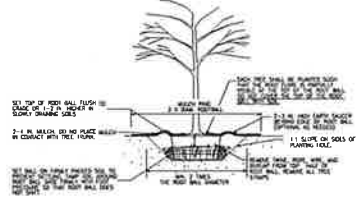
RELEASED FOR CONSTRUCTION

DOWN: M.C. 6/2/2022
 CHECKED: JAN. DATE
 15 0 30
 SCALE: 1" = 30'





Tree Staking
NTS



Tree Planting
NTS

NOTES:
1. STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
2. OTHER ALTERNATE STAKING METHODS MAY BE USED UPON APPROVAL BY OWNER AND TREE.

GENERAL LANDSCAPE NOTES:
PARCEL AREA = 3.30 AC
POND AREA = 0.66 AC
DEVELOPABLE AREA = 2.64 AC
GREEN SPACE = 1.43 AC (49%)
PARKING AREA = 1.09 AC

ADEQUATE WATER SOURCES FOR PROPOSED LANDSCAPING SHALL BE PROVIDED FOR AT LEAST ONE YEAR (IRRIGATION PROPOSED).
NO TREE SHALL BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN.

REQUIRED SPECIMEN TREE CALCULATION:
15 TREES / DEVELOPABLE ACRE X 2.64 ACRES = 40 TREES
NO EXISTING SIGNIFICANT TREES

PLANTING SCHEDULE				
ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
UM	ULMUS AMERICANA	AMERICAN ELM	13	2.0" CALIPER
IL	ILEX OPACA	AMERICAN HOLLY	13	2.0" CALIPER
QV	QUERCUS VIRGINIANA	LIVE OAK	6	2.5" CALIPER
AF	ACER FLORIDANUM	FLORIDA MAPLE	8	2.0" CALIPER
TOTAL			40	

REVISION NO.	DATE	DESCRIPTION

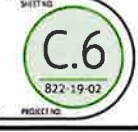
MAUPIN
engineering

112 W. 47th STREET • SUVANNAH, GA 31401
912.233.2810

LANDSCAPING PLAN
TOWNE PLACE POOLER



RELEASED FOR CONSTRUCTION
DRAWN: MK 6.7.2022
CHECKED: JAM DATE
SCALE: 1"=30'





Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for **appropriate** location, arrangement, size, and design of buildings, lighting, signs, giving **due consideration** to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; **and**
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: February 6, 2023

Subject: Acceptance of Performance Bond/Final Plat for Harmony Townhomes

Background & Discussion:

Neil McKenzie, with Coleman Company, presented the final plat to the P&Z Board for their review and recommendation. This project will consist of 57 townhomes on approximately 7 acres. The developer has submitted a bond in the amount of \$2,271,716.25.

Planning and Zoning Recommendation:

P&Z recommends approval.

Staff Recommendation:

Staff recommends approval, subject to the bond being approved by the City Attorney.



EOM Operations
Your solution to a better tomorrow

January 6th, 2023

Ms. Kimberly Dyer
Planning and Zoning Department
City of Pooler
100 Southwest HWY 80
Pooler, GA 31322

Subject: Performance Bond Request (12/23/2022)
Harmony Townhomes

Dear Ms. Dyer:

We have reviewed the request for Harmony Townhomes – Performance Bond, furnished by Coleman Company, specifically the Schedule of Values and Unit Cost for the required bond.

For the Performance Bond Request, the remaining work is as follows – Water Distribution System, Sanitary Sewer System, Roadway, Stormwater Conveyance, Grading, & Erosion/Sedimentation Control.

Based on the calculations provided by Neil McKenzie, with Coleman Company, the cost of the remaining site work is \$1,514,477.50, which is correct. Therefore, the calculated value if the 150% Performance Bond of \$2,271,716.25 is correct.

This review was based exclusively on the information provided by the project design professional that is solely responsible for its content and the accuracy of that information.

If you have any questions and/or comments, please feel free to contact me via email or phone at tshoemaker@eomworx.com or (912) 445-0050 Ext 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

Pooler Subdivision Application

File # 230009
Date Filed: 1/3/2023

This application along with the application fee of \$ 600.00 (see schedule of fees) is to be submitted to the Planning & Zoning Department.

Check all that apply:

- | | | |
|---|---|---------------------------------------|
| <input type="checkbox"/> Recombination | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Revised Subdivision Plat | <input checked="" type="checkbox"/> Major Subdivision | <input type="checkbox"/> 5-Acre Tract |

General Information

- Owner or authorized agent: Joshua Akins / Coleman Co., Inc. Phone: (912) 200-3041
- Property address: 160 Harmony Blvd, Pooler, GA 31322
- Mailing address: 1480 Chatham Pkwy, Suite 100, Savannah, GA 31405

If agent, please attach authorization of property owner signed, dated and notarized.

- Have any previous applications been made for a subdivision affecting these same premises?
No. If yes, please give date and action taken below:
Date Action taken:
- Copy of current tax bill showing payments or documentation certified by the City of Pooler.

Action Requested

1. General location of property in question (the area, street number and location with respect to nearby public roads in common use).
Northwest of the Interstate 95 & Interstate 16 interchange
2. Legal description of property (name of subdivision, block and lot number, etc.) Attach extra sheet if necessary.
Harmony Townhomes, formerly future active amenity area,
8th G.M. District, City of Pooler, Chatham County, Georgia
3. PIN # 51010F07001
4. Total area of property in question (acres or square feet) 7.029 acres
5. Existing land use (specify such as, grocery store, single family residence, vacant land, etc.)
Vacant land
6. Desired land use of each parcel of property (specify as above)
Townhome development

51 units

- LEGEND**
- BENCH MARK
 - 5" IRON PIPE FOUND
 - 1" IRON PIPE SET
 - RIGHT-OF-WAY
 - SUBDIVISION WAY BOOK
 - PARCEL IDENTIFICATION NUMBER
 - BUILDING SETBACK LINE

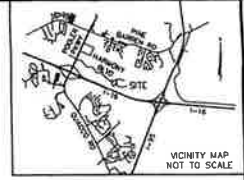
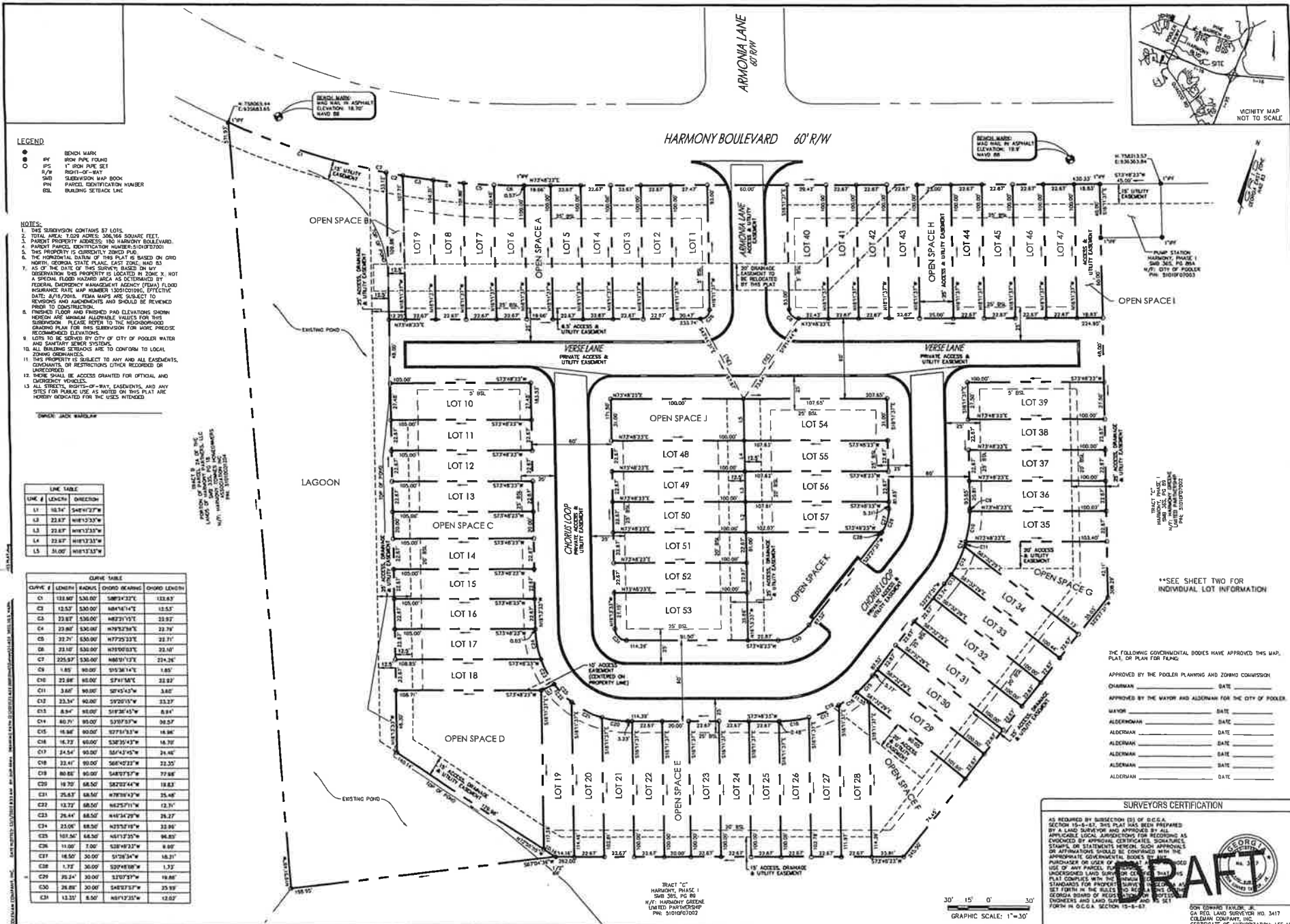
- NOTES:**
1. THIS SUBDIVISION CONTAINS 57 LOTS.
 2. TOTAL AREA: 7,029 ACRES, 306,166 SQUARE FEET.
 3. PARCEL IDENTIFICATION NUMBER: 3101070010.
 4. THIS PROPERTY IS CURRENTLY ZONED PUD.
 5. THE HORIZONTAL DATUM OF THIS PLAN IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, AND AS OF THE DATE OF THIS SURVEY, BASED ON THE NEIGHBORHOOD STAGING PLAN FOR THIS SUBDIVISION FOR MORE PRECISE RECORDED ELEVATIONS.
 6. FLOORS AND FINISHED FLOOR ELEVATIONS SHOWN HEREON ARE GENERAL ALTERNATE VALUES FOR THIS SUBDIVISION. PLEASE REFER TO THE NEIGHBORHOOD STAGING PLAN FOR THIS SUBDIVISION FOR MORE PRECISE RECORDED ELEVATIONS.
 7. AS OF THE DATE OF THIS SURVEY, BASED ON THE NEIGHBORHOOD STAGING PLAN FOR THIS SUBDIVISION FOR MORE PRECISE RECORDED ELEVATIONS.
 8. LOTS TO BE SERVED BY CITY OF POOLER WATER AND SANITARY SEWER SYSTEMS.
 9. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ORDINANCES.
 10. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, ENCUMBRANCES, OR RESTRICTIONS OTHER RECORDED OR UNRECORDED.
 11. RIGHTS SHALL BE GRANTED FOR OFFICIAL AND EMERGENCY VEHICLES.
 12. ERECTED RIGHT-OF-WAY, EASEMENTS, AND ANY OTHER SITES FOR PUBLIC USE, AS NOTED ON THIS PLAN ARE HEREBY INDICATED FOR THE USES INTENDED.

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	18.34'	S48°41'22"W
L2	22.87'	N81°13'33"W
L3	22.87'	N81°13'33"W
L4	22.87'	N81°13'33"W
L5	35.00'	N81°13'33"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	133.80'	536.00'	S87°43'27"E	133.83'
C2	12.53'	536.00'	N84°16'14"E	12.53'
C3	22.87'	536.00'	N82°21'13"E	22.87'
C4	22.80'	536.00'	N79°23'36"E	22.79'
C5	22.71'	536.00'	N77°25'22"E	22.71'
C6	22.10'	536.00'	N75°00'03"E	22.10'
C7	226.97'	536.00'	N69°01'27"E	224.24'
C8	1.80'	90.00'	S13°38'14"E	1.80'
C9	22.88'	90.00'	S7°41'58"E	22.87'
C10	3.60'	90.00'	S0°45'43"W	3.60'
C11	23.34'	90.00'	S2°20'13"W	23.32'
C12	8.94'	90.00'	S1°38'45"W	8.94'
C13	80.71'	90.00'	S3°37'57"W	80.27'
C14	16.96'	90.00'	S2°58'33"W	16.96'
C15	16.73'	90.00'	S3°35'43"W	16.73'
C16	24.54'	90.00'	S5°43'45"W	24.46'
C17	22.41'	90.00'	S6°42'22"W	22.30'
C18	80.86'	90.00'	S48°07'57"E	77.96'
C19	18.70'	68.50'	S82°07'44"W	18.83'
C20	25.83'	68.50'	N78°04'14"W	25.46'
C21	12.72'	68.50'	N62°57'11"W	12.71'
C22	26.44'	68.50'	N49°34'28"W	26.27'
C23	23.06'	68.50'	N35°52'18"W	22.96'
C24	101.50'	68.50'	N81°12'35"W	96.83'
C25	11.00'	7.00'	S38°49'32"W	8.60'
C26	16.50'	30.00'	S7°20'34"W	16.31'
C27	1.78'	30.00'	S0°48'08"W	1.73'
C28	29.24'	30.00'	S1°07'37"W	18.80'
C29	26.80'	30.00'	S4°52'37"W	23.19'
C30	13.20'	8.00'	N81°13'33"W	12.67'



COLEMAN COMPANY
ENGINEERS - SURVEYORS
Savannah, Georgia | (912) 320-3041

HARMONY TOWNHOMES
A MAJOR SUBDIVISION OF FUTURE ACTIVE AMENITY AREA,
HARMONY, PHASE I, 8TH G.M. DISTRICT,
CITY OF POOLER, CHATHAM COUNTY, GEORGIA
PREPARED FOR: GOSLEY STATION ENTERPRISES, LLC

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAN, OR PLAN FOR PLANS:

APPROVED BY THE POOLER PLANNING AND ZONING COMMISSION
CHAIRMAN _____ DATE _____
MEMBER _____ DATE _____

APPROVED BY THE WATER AND ALDERMAN FOR THE CITY OF POOLER
WALOR _____ DATE _____
ALDERMAN _____ DATE _____
ALDERMAN _____ DATE _____
ALDERMAN _____ DATE _____
ALDERMAN _____ DATE _____
ALDERMAN _____ DATE _____

SURVEYORS CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-42, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURE STAMPS, OR STATEMENTS IN WRITING, SUCH APPROVALS OR STATEMENTS SHOULD BE COPIED WITH THE PURCHASER OR OWNER OF ANY LOT OR TRACT OF LAND UNDERGOING LAND SURVEY. THIS PLAN COMPLIES WITH THE STANDARDS AND PRACTICES SET FORTH IN THE RULES TO REGULATE THE PRACTICE OF SURVEYING AND MAPPING AND THE STANDARDS AND PRACTICES SET FORTH IN O.C.G.A. SECTION 15-6-43.

DRAFT

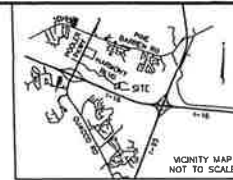
30' 15' 0' 30'
GRAPHIC SCALE: 1"=30'

JOHN EDWARD FARLOW, JR.
GA REG. LAND SURVEYOR NO. 3417
COLEMAN COMPANY, INC.
CERTIFICATE OF AUTHORIZATION: LST 1162

JOB NUMBER: 21-022
DATE: 10/02/2022
DRAWN BY: JPA
CHECKED BY: JPA
SCALE: 1"=30'

MAJOR SUBDIVISION

SHEET
1/2



HARMONY TOWNHOMES
 A MAJOR SUBDIVISION OF FUTURE ACTIVE AMENITY AREA,
 HARMONY, PHASE I, 8TH G.M. DISTRICT,
 CITY OF POOLER, CHATHAM COUNTY, GEORGIA
 PREPARED FOR: GOOLEY STATION ENTERPRISES, LLC

- NOTES:**
- THIS SUBDIVISION CONTAINS 57 LOTS.
 - TOTAL AREA: 7,029 ACRES, 306,168 SQUARE FEET.
 - PARENT PROPERTY ADDRESS: 180 HARMONY BOULEVARD
 - PARENT PARCEL IDENTIFICATION NUMBER: S0107020
 - THIS PROPERTY IS CURRENTLY ZONED PUD.
 - THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON NAD 83.
 - THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON NAD 83.
 - AS OF THE DATE OF THIS SURVEY, BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE 5, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 130502010M, EFFECTIVE DATE: 8/16/2018. FEMA MAPS ARE SUBJECT TO REVISIONS AND AMENDMENTS AND SHOULD BE REVIEWED PRIOR TO CONSTRUCTION.
 - FINISHED FLOOR AND FINISHED PAO ELEVATIONS SHOWN HEREON ARE MINIMUM ALLOWABLE VALUES FOR THIS SUBDIVISION. PLEASE REFER TO THE NEIGHBORHOOD DRAINAGE PLAN FOR THIS SUBDIVISION FOR MORE PRECISE RECOMMENDED ELEVATIONS.
 - LOTS TO BE SERVED BY CITY OF POOLER WATER AND SANITARY SEWER SYSTEMS.
 - ALL RECORDING STANDARDS ARE TO CONFORM TO LOCAL TOWN ORDINANCES.
 - THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 - THERE SHALL BE ACCESS GRANTED FOR OFFICIAL AND EMERGENCY VEHICLES.
 - ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USES INTENDED.

OWNER: JACK WARDLOW

SURVEY DATE: 8/16/2021
 EQUIPMENT USED: ELECTRONIC TOTAL STATION
 ANGULAR ERROR PER "A" = 0.4"
 PLAT ERROR OF CLOSURE: 1/131,829
 FIELD ERROR OF CLOSURE: 1/10,000"

REFERENCE:
 1. SUBDIVISION MAP BOOK NOS. PAGES 82A-1
 2. SUBDIVISION MAP BOOK 335, PAGE 18

LEGEND

- BENCH MARK
- IRON PIPE FOUND
- 1" BORN PNC SET
- RIGHT-OF-WAY
- SUBDIVISION MAP BORN
- PN PARCEL IDENTIFICATION NUMBER
- OPEN SPACE

LINE TABLE

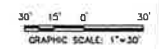
LINE #	LENGTH	DIRECTION
L1	16.74'	S49°13'37"W
L2	22.87'	N0°13'33"W
L3	22.87'	N0°13'33"W
L4	22.87'	N0°13'33"W
L5	31.00'	N0°13'33"W

CURVE TABLE

CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	123.80'	530.00'	S82°24'32"E	123.80'
C2	12.82'	530.00'	N84°18'41"E	12.82'
C3	21.82'	530.00'	N83°21'55"E	21.82'
C4	21.80'	530.00'	N79°53'39"E	21.78'
C5	21.71'	530.00'	N77°23'23"E	21.71'
C6	22.10'	530.00'	N75°00'00"E	22.10'
C7	225.87'	530.00'	N66°17'33"E	214.28'
C8	1.85'	90.00'	S15°36'14"E	1.85'
C9	23.98'	90.00'	S74°34'36"E	23.87'
C10	3.60'	90.00'	S0°45'43"W	3.60'
C11	33.34'	90.00'	S0°20'15"W	33.27'
C12	8.04'	90.00'	S0°28'04"W	8.04'
C13	90.21'	90.00'	S70°23'23"W	58.17'
C14	16.98'	90.00'	S27°51'33"W	16.98'
C15	16.72'	90.00'	S19°35'47"W	16.70'
C16	24.84'	90.00'	S0°42'45"W	24.47'
C17	33.41'	90.00'	S0°40'22"W	33.32'
C18	80.66'	90.00'	S49°03'27"W	77.98'
C19	18.70'	88.50'	S62°02'44"W	18.83'
C20	25.83'	88.50'	N78°36'42"W	25.46'
C21	13.72'	88.50'	N62°57'11"W	13.71'
C22	26.44'	88.50'	N46°24'25"W	26.27'
C23	21.06'	88.50'	N25°32'18"W	21.94'
C24	107.58'	88.50'	N0°12'32"W	96.83'
C25	11.00'	7.00'	S28°48'23"W	8.80'
C26	18.50'	30.00'	S1°38'24"W	18.81'
C27	1.70'	30.00'	S0°46'00"W	1.37'
C28	25.24'	30.00'	S3°27'37"W	19.88'
C29	28.98'	30.00'	S49°13'37"W	25.88'
C30	13.35'	8.50'	N46°17'28"W	13.07'

LOT TABLE

LOT #	ACRE	SQ	ADDRESS	PN	FT(WX)
1	0.063	2,737	134 WOSE LAKE		20.8'
2	0.052	2,267	132 WOSE LAKE		20.8'
3	0.052	2,267	128 WOSE LAKE		20.8'
4	0.052	2,267	124 WOSE LAKE		20.8'
5	0.052	2,267	120 WOSE LAKE		20.8'
6	0.101	2,270	112 WOSE LAKE		20.8'
7	0.053	2,391	106 WOSE LAKE		20.8'
8	0.054	2,335	104 WOSE LAKE		20.8'
9	0.050	2,401	100 WOSE LAKE		20.8'
10	0.056	2,867	328 CHORUS LOOP		20.8'
11	0.055	2,300	322 CHORUS LOOP		20.8'
12	0.055	2,300	326 CHORUS LOOP		20.8'
13	0.055	2,300	324 CHORUS LOOP		20.8'
14	0.055	2,300	318 CHORUS LOOP		20.8'
15	0.055	2,300	312 CHORUS LOOP		20.8'
16	0.055	2,300	308 CHORUS LOOP		20.8'
17	0.055	2,408	204 CHORUS LOOP		20.8'
18	0.058	2,565	200 CHORUS LOOP		20.8'
19	0.063	2,756	182 CHORUS LOOP		20.8'
20	0.056	2,843	188 CHORUS LOOP		20.8'
21	0.051	2,385	184 CHORUS LOOP		20.8'
22	0.052	2,267	180 CHORUS LOOP		20.8'
23	0.053	2,317	172 CHORUS LOOP		20.8'
24	0.052	2,247	168 CHORUS LOOP		20.8'
25	0.052	2,267	164 CHORUS LOOP		20.8'
26	0.053	2,287	160 CHORUS LOOP		20.8'
27	0.056	2,470	156 CHORUS LOOP		20.8'
28	0.061	2,654	152 CHORUS LOOP		20.8'
29	0.053	2,376	144 CHORUS LOOP		20.8'
30	0.053	2,287	140 CHORUS LOOP		20.8'
31	0.053	2,287	136 CHORUS LOOP		20.8'
32	0.053	2,267	132 CHORUS LOOP		20.8'
33	0.052	2,368	128 CHORUS LOOP		20.8'
34	0.053	2,325	124 CHORUS LOOP		20.8'
35	0.053	2,384	116 CHORUS LOOP		20.8'
36	0.053	2,267	112 CHORUS LOOP		20.8'
37	0.052	2,267	108 CHORUS LOOP		20.8'
38	0.051	2,267	104 CHORUS LOOP		20.8'
39	0.062	2,750	100 CHORUS LOOP		20.8'
40	0.067	2,833	148 WOSE LAKE		20.8'
41	0.052	2,267	144 WOSE LAKE		20.8'
42	0.053	2,267	140 WOSE LAKE		20.8'
43	0.053	2,267	132 WOSE LAKE		20.8'
44	0.053	2,267	128 WOSE LAKE		20.8'
45	0.053	2,267	124 WOSE LAKE		20.8'
46	0.053	2,267	116 WOSE LAKE		20.8'
47	0.053	2,267	112 WOSE LAKE		20.8'
48	0.052	2,267	321 CHORUS LOOP		20.8'
49	0.053	2,267	217 CHORUS LOOP		20.8'
50	0.053	2,267	213 CHORUS LOOP		20.8'
51	0.052	2,267	209 CHORUS LOOP		20.8'
52	0.053	2,267	205 CHORUS LOOP		20.8'
53	0.053	2,267	201 CHORUS LOOP		20.8'
54	0.077	3,331	101 CHORUS LOOP		20.8'
55	0.056	2,429	105 CHORUS LOOP		20.8'
56	0.056	2,429	109 CHORUS LOOP		20.8'
57	0.055	2,408	113 CHORUS LOOP		20.8'
TOTAL LOT AREA: 3,146, 126,000					
OPEN SPACE A: 0.045, 1,987, 176 WOSE LAKE					
OPEN SPACE B: 0.031, 1,337, 88 WOSE LAKE					
OPEN SPACE C: 0.048, 2,101, 220 CHORUS LOOP					
OPEN SPACE D: 0.204, 8,367, 196 CHORUS LOOP					
OPEN SPACE E: 0.046, 2,000, 178 CHORUS LOOP					
OPEN SPACE F: 0.108, 4,714, 148 CHORUS LOOP					
OPEN SPACE G: 0.097, 4,330, 120 CHORUS LOOP					
OPEN SPACE H: 0.037, 3,500, 156 WOSE LAKE					
OPEN SPACE I: 0.243, 1,804, 176 WOSE LAKE					
OPEN SPACE J: 0.071, 3,100, 225 CHORUS LOOP					
OPEN SPACE K: 0.129, 5,617, 113 CHORUS LOOP					
TOTAL O.S.: 0.879, 36,357					
PRIVATE EASEMENTS & UTILITY EASEMENT: 1,655, 72,108					
LAODON: 1,349, 58,721					
TOTAL AREA: 7,029, 306,168					



THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY THE POOLER PLANNING AND ZONING COMMISSION.
 CHAIRMAN _____ DATE _____

APPROVED BY THE MAYOR AND ALDERMEN FOR THE CITY OF POOLER.
 MAYOR _____ DATE _____
 ALDERMAN _____ DATE _____
 ALDERMAN _____ DATE _____
 ALDERMAN _____ DATE _____
 ALDERMAN _____ DATE _____

SURVEYORS CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-8-87, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS CHOICED BY APPROVAL, CERTIFICATES, SIGNATURES, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHALL BE CONSIDERED WITH THE APPROPRIATE GOVERNMENTAL RECORDS BY ANY PURCHASER OR USER OF ANY PART OF THE SUBDIVISIONED LAND. THIS PLAT COMPLETES THE SURVEY AND SHALL BE SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF SURVEYORS AND LAND SURVEYORS AND IS SET FORTH IN O.C.G.A. SECTION 15-8-81.

DATE: 8/16/2021
 DRAWN BY: JPA
 CHECKED BY: JPA
 SCALE: 1" = 30'

DAFT

COV LORRINO FAYLOR, JR.
 GA REG. LAND SURVEYOR NO. 3417
 COLEMAN COMPANY, INC.
 CERTIFICATE OF AUTHORIZATION: LSF 1189

JOB NUMBER: 21422
 DATE: 8/16/2021
 DRAWN BY: JPA
 CHECKED BY: JPA
 SCALE: 1" = 30'

MAJOR SUBDIVISION

SHEET: **2/2**

Bond No.: 0249962

Principal Amount: \$2,271,716.25

SUBDIVISION PERFORMANCE BOND

Project: Harmony Townhomes
City of Pooler Permit No.: (if applicable) _____
Project Location: Harmony Townhomes, Pooler, GA

KNOW ALL MEN BY THESE PRESENTS:

That Preferred Site Construction, LLC, registered business address of Berkley Insurance Company; as Principal, hereinafter called "PRINCIPAL," and hereinafter called the "SURETY," registered business address of 475 Steamboat Road, Greenwich, CT 06830, as Surety, existing under the laws of the State of Delaware, a Surety insurer, chartered and authorized to do business in the State of Georgia, are held and firmly bound unto City of Pooler, Georgia, a political subdivision of the State of Georgia, by and through its Mayor and Aldermanic Board, 100 SW Highway 80, Pooler, Georgia 31322, (912) 748-7261, herein called the "OBLIGEE," in the penal sum of Two Million Two Hundred Seventy One Thousand Seven Hundred Sixteen & 25/100 and 00/100 Dollars (\$ 2,271,716.25), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH THAT:

WHEREAS, Principal has agreed to construct in Pooler, Georgia, the following improvements: Harmony Townhomes, Water Distribution System, Sanitary Sewer System, Roadway, Stormwater Conveyance, Grading, & Erosion/Sedimentation Control. Said improvements shall be constructed in accordance with all applicable federal, state, and local rules, regulations, laws, etc. including without limitation the Code of Ordinances for the City of Pooler, Georgia.

NOW THEREFORE, until this obligations hereunder cease as outlined herein:

1. This bond shall not automatically expire, but in the sole discretion of Obligee, if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect.
2. The Surety, upon receipt of written notice from the Obligee indicating any non-performance or default by Principal, will complete the improvements or pay to the Obligee such amount up to the Principal Amount of this bond which will allow the Obligee to complete the improvements.
3. In the event any non-performance or default is not cured within ten (10) days following the date of the written notice being received by Surety, Obligee may proceed to have the work completed. Upon completion, Obligee shall present a written statement of costs to Surety for any work completed pursuant to the terms herein. The Surety shall provide payment in full of the amount shown on the statement of costs to Obligee within three (3) business days of receipt of the statement of costs, up to the Principal Amount of this bond. The Surety shall pay all costs and expenses, including reasonable attorney fees incurred by Obligee in enforcing the terms of this bond.

The principal amount of this Bond may be reduced in accordance with the Code of Ordinances for the City of Pooler, upon express written approval by the Obligee.

IN WITNESS WHEREOF, Contractor and Surety do hereby duly execute this Bond No.: 0249962, this 6 day of February, 2023.

(SEAL)
ATTEST:

Asker Holden
WITNESS AS TO CONTRACTOR

WITNESS AS TO CONTRACTOR

CONTRACTOR

Preferred Site Construction, LLC
CONTRACTOR - Signature

Benjamin Parker
(Print Name)

By: Benjamin Ph - Financial Operations
Title manager

COMPANY NAME

(SEAL)
ATTEST:

Caralyn F Smith
WITNESS AS TO SURETY

Wain Marade
WITNESS AS TO SURETY

Berkley Insurance Company
SURETY (Print Company Name)

475 Steamboat Road, Greenwich, CT 06830
Business Address

By: [Signature]
Authorized Signature

Christy Lackey, Attorney In Fact
(Print Name)

OR

SURETY'S AGENT

(SEAL)
ATTEST:

WITNESS AS TO AGENT

WITNESS AS TO AGENT

By: _____
As Attorney in Fact (Attached Power)

(Print Name)

Agent's License Number

Agent's Name

POWER OF ATTORNEY
BERKLEY INSURANCE COMPANY
WILMINGTON, DELAWARE

NOTICE: The warning found elsewhere in this Power of Attorney affects the validity thereof. Please review carefully.

KNOW ALL MEN BY THESE PRESENTS, that BERKLEY INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Delaware, having its principal office in Greenwich, CT, has made, constituted and appointed, and does by these presents make, constitute and appoint: Fred R. Mitchell or Christy Lackey of PointeNorth Insurance Group, LLC of Atlanta, GA its true and lawful Attorney-in-Fact, to sign its name as surety only as delineated below and to execute, seal, acknowledge and deliver any and all bonds and undertakings, with the exception of Financial Guaranty Insurance, providing that no single obligation shall exceed Fifty Million and 00/100 U.S. Dollars (U.S.\$50,000,000.00), to the same extent as if such bonds had been duly executed and acknowledged by the regularly elected officers of the Company at its principal office in their own proper persons.

This Power of Attorney shall be construed and enforced in accordance with, and governed by, the laws of the State of Delaware, without giving effect to the principles of conflicts of laws thereof. This Power of Attorney is granted pursuant to the following resolutions which were duly and validly adopted at a meeting of the Board of Directors of the Company held on January 25, 2010:

RESOLVED, that, with respect to the Surety business written by Berkley Surety, the Chairman of the Board, Chief Executive Officer, President or any Vice President of the Company, in conjunction with the Secretary or any Assistant Secretary are hereby authorized to execute powers of attorney authorizing and qualifying the attorney-in-fact named therein to execute bonds, undertakings, recognizances, or other suretyship obligations on behalf of the Company, and to affix the corporate seal of the Company to powers of attorney executed pursuant hereto; and said officers may remove any such attorney-in-fact and revoke any power of attorney previously granted; and further

RESOLVED, that such power of attorney limits the acts of those named therein to the bonds, undertakings, recognizances, or other suretyship obligations specifically named therein, and they have no authority to bind the Company except in the manner and to the extent therein stated; and further

RESOLVED, that such power of attorney revokes all previous powers issued on behalf of the attorney-in-fact named; and further

RESOLVED, that the signature of any authorized officer and the seal of the Company may be affixed by facsimile to any power of attorney or certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligation of the Company; and such signature and seal when so used shall have the same force and effect as though manually affixed. The Company may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Company, notwithstanding the fact that they may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, the Company has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 21st day of July, 2020.

Attest:

Berkley Insurance Company

(Seal)

By

Ira S. Lederman
Executive Vice President & Secretary

By

Jeffrey M. Hafter
Senior Vice President

WARNING: THIS POWER INVALID IF NOT PRINTED ON BLUE "BERKLEY" SECURITY PAPER.

STATE OF CONNECTICUT)

) ss:

COUNTY OF FAIRFIELD)

Sworn to before me, a Notary Public in the State of Connecticut, this 21st day of July, 2020, by Ira S. Lederman and Jeffrey M. Hafter who are sworn to me to be the Executive Vice President and Secretary, and the Senior Vice President, respectively, of Berkley Insurance Company.

MARIA C RUNDBAKEN
NOTARY PUBLIC
CONNECTICUT
MY COMMISSION EXPIRES
APRIL 30, 2024

Notary Public, State of Connecticut

CERTIFICATE

I, the undersigned, Assistant Secretary of BERKLEY INSURANCE COMPANY, DO HEREBY CERTIFY that the foregoing is a true, correct and complete copy of the original Power of Attorney; that said Power of Attorney has not been revoked or rescinded and that the authority of the Attorney-in-Fact set forth therein, who executed the bond or undertaking to which this Power of Attorney is attached, is in full force and effect as of this date.

Given under my hand and seal of the Company, this ___ day of ___

(Seal)

Vincent P. Forte



City of Pooler Fire-Rescue Services

A Department of the City of Pooler Municipal Government

100 SW Hwy. 80, Pooler, Georgia 31322
Office: (912) 748-7012 Fax: (912) 748-9446
www.pooler-ga.us/fire.php

Staff Report

Subject: Police Crime Scene/Command Truck Sale Agreement

Author: G. Wade Simmons, Fire Chief

Department: 3200-POLICE/3500-FIRE

Meeting Date: 02/06/2023

Summary Recommendation: Staff recommends approving the sale agreement for the used Police Crime Scene/Command truck to Jones County in the amount of \$160,000

Executive Summary/Background: In late 2022, as the city continues to grow, both agencies were in need of some type of unit to be used for extended and major emergency command and control. Working together, we were able to find a single unit that met both of our needs. We approached the City Manager with the idea of purchasing the unit and we were approved to purchase a used Kenworth Command Truck. As part of the plan, to reduce the overall cost to the city, Pooler Police and Fire proposed using proceeds from the sale of the current 2015 Command truck and the 1999 75' ladder truck that was being replaced, to purchase the "new to us" command truck. The ladder truck sale has already been completed.

This item is asking for the approval to sell the Command Truck to Jones County, Georgia Sheriff's Office. Jones County had been designing a very similar unit and during their process ran into the extended build/delivery times (over 2 years) and the astronomical escalating costs of new specialized vehicles. As they started looking into other options, they found we had one of the units they were basing their design off of for sale. They were able to make contact, and on January 19th traveled to examine the unit and were pleased with what they saw. They made a verbal offer immediately and followed up with a letter of intent to purchase the next morning.

During our search for a command truck, we reviewed numerous units for sale nationwide and by evaluating the financial activities already involved with the project, we determined a price of \$160,000 was reasonable for both parties. If approved, we will have generated \$205,000 in revenue from the sales of our units and expended \$175,000 on the purchase of the replacement, resulting in a net gain of \$30,000 for the overall project.



City of Pooler Fire-Rescue Services

A Department of the City of Pooler Municipal Government

100 SW Hwy. 80, Pooler, Georgia 31322
Office: (912) 748-7012 Fax: (912) 748-9446
www.pooler-ga.us/fire.php

Options/Alternatives for Council to Consider:

Recommended Option: Approve the sales agreement for a used command truck with Jones County in the amount of \$160,000 and authorize the City Manager to execute the agreement.

Other Alternative(s): Deny the sale agreement for a used command truck with Jones County.

Attachments: Photo of unit being sold, a copy of the proposed Sale/Purchase Agreement and a copy of their letter of intent. A signed sales agreement will be executed and filed as soon as possible, if both parties are approved through their governing body.



Contract of Sale

This contract of Sale (hereafter referred to as "Contract" or "Agreement") is made and entered into this ____ day of February, 2023 by and between the Board of Commissioners of Jones County, Georgia (hereafter entitled "Buyer") with offices located at 166 Industrial Boulevard, Gray, GA 31032 and City of Pooler with offices located at 100 US Hwy 80, Pooler, GA 31322 (hereafter referred to as the "Seller.") All parties set forth the following agreement and enter into this contract as follows:

WHEREAS, Seller is a municipal corporation existing in the State of Georgia, and provides fire protection as a public purpose;

WHEREAS, Buyer is a municipal corporation existing in the State of Georgia, and provides, or intends to provide, fire protection as a public purpose; and

WHEREAS, Seller desires to sell personal property it owns to Buyer, and Buyer desires to purchase the personal property and intends to use the same for public purposes;

NOW THEREFORE, under OCGA § 36-37-6(e)(2)(D), Seller and Buyer hereby enter into this Contract upon the following promises and obligations:

The "Seller" offers for sale a 2015 Ford F-550/EVI Crime Scene/Command Truck - VIN **1FDUF5GYXFEC98864** (the "Command Truck"), in "AS IS" condition.

The "Buyer", agrees to purchase the Command Truck, for the purchase price of \$160,000.00 (One Hundred Sixty Thousand dollars and zero cents).

Buyer shall deliver the full purchase price upon pick-up of the Command Truck and Equipment. The "Buyer" has had the opportunity to inspect, and has inspected the Command Truck prior to sale. The Command Truck will be available for Buyer to pick up as soon as a time is agreed upon.

Upon payment in full, the "Seller" shall transfer full and clear title and all rights of ownership to the "Buyer". Seller makes no representation as to fitness for use or intended purpose, and provides no warranty of any kind on the Aerial Ladder Truck and Equipment. Buyer expressly waives any and all claims against Seller related in any way to the use of the Aerial Ladder Truck and Equipment following the consummation of this Agreement.

This Contract constitutes the full and complete agreement of sale and is executed by both parties as set forth below as signed by their duly authorized agents.

Buyer and Seller understand and acknowledge this Contract is subject to review and approval by the governing body of each municipal corporation.

This Contract shall be construed in accordance with Georgia law, and no interpretation hereof shall be construed against the drafter or maker of this document.

Time is of the essence for this Contract. This Contract may not be assigned, amended, or otherwise altered in any way without the prior written consent of both Buyer and Seller.

This ____ day of February 2023

Authorized Representative
Jones County (Buyer)

Authorized Representative
City of Pooler (Seller)

Title

Title

Date _____

Date _____

OFFICE
986-3489
FAX
986-3475

R. N. "BUTCH" REECE
Sheriff, Jones County
P.O. Box 874
GRAY, GEORGIA 31032

JAIL
986-4992
ORI
GA0840000



January 20, 2023

To: Pooler Police Department
100 SW US HWY 80
Pooler, GA 31322

Attn: Sergeant James Self

From: R.N. "Butch" Reece
Sheriff, Jones County Georgia
123 Holmes Hawkins Dr.
Gray, GA 31032

Sergeant Self,

First of all, thank you for your accommodation of Chief Humphries, Capt. Allen and Lt. Gleaton yesterday when they came to look at the Special Purpose Vehicle the City of Pooler has for sale. As per our conversation, please consider this letter as our intent to purchase the vehicle for the agreed upon price of \$160,000.00. We have begun the purchasing process with our County Administrator. We look forward to completing the sale and seeing you soon.

Respectfully,

R.N. "Butch" Reece
Sheriff, Jones County