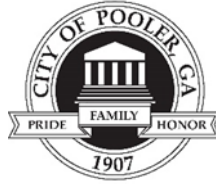


CITY COUNCIL Regular Meeting – Agenda

March 7, 2023 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA 31322

- I. ROLL CALL/DECLARATION OF QUORUM
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. **City Council Meeting Minutes of February 21, 2023**
 - B. **City Council Executive Session Minutes of February 21, 2023**
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. **Ordinance O2023-02.A - Council Meeting Time** *(Second Reading)*
- VIII. NEW BUSINESS
 - A. **Pavement Setback Variance for 115 Towne Center Boulevard** *(Public Hearing, Action)*
 - B. **Building Height Variance for a Proposed Hotel at 115 Towne Center Drive** *(Public Hearing, Action)*
 - C. **Conditional Use Request for a Proposed Trailer Parking Yard on Jimmy DeLoach Parkway** *(Public Hearing, Action)*
 - D. **Site Plan for Savannah Quarters Office on Holmes Court**
 - E. **Site Plan for Pittman Subaru on Kita Avenue (Clear Lake Reserve)**
 - F. **Proposal for Pooler Recreation Complex Tennis and Pickleball Lighting System from Musco Lighting**
- IX. EXECUTIVE SESSION
- X. ADJOURNMENT



CITY COUNCIL Regular Meeting – Minutes

February 21, 2023 at 6:00 PM | Pooler City Hall | 100 US Hwy 80 SW, Pooler, GA 31322

I. ROLL CALL/DECLARATION OF QUORUM

Present: Rebecca C. Benton, Mayor
Tom Hutcherson, Mayor Pro Tem *via teleconference*
Shannon Black, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
John Wilcher, Councilmember
Karen Williams, Councilmember
Robert Byrd, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent:

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order at 6:00 p.m.

III. INVOCATION

Dr. Shirlenia Daniel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Dr. Shirlenia Daniel led the pledge.

V. ANNOUNCEMENTS

Mayor Rebecca Benton reported that the City of Pooler has been redesignated as a Tree City USA for 2023 by the Arbor Day Foundation in honor of the city's commitment to effective urban forest management. The Tree City USA program is sponsored by the Arbor Day Foundation in partnership with the U.S. Forest Service and the National Association of State Foresters. She also announced that the 2023 Partner with Pooler to Plant a Tree for Free event will take place on Saturday, March 11, 2023 at the Pooler Rec Center from 10:00 a.m. - 2:00 p.m.

Chief Ashley Brown presented awards to the following individuals from the Police Department: Corporal Bradley Winn - Supervisor of the Year, Officer Chris Muddiman - Officer of the Year, and Officer Ian Kenny, Comeback Officer of the Year.

VI. CONSENT AGENDA

City Manager Robert Byrd presented the Consent Agenda for consideration.

- A. **City Council Meeting Minutes of February 6, 2023**
- B. **City Council Executive Session Minutes of February 6, 2023**
- C. **City Council Planning Retreat Minutes of February 2, 2022**
- D. **City Council Planning Retreat Minutes of February 8, 2023**
- E. **City Council Executive Session Minutes of February 8, 2023**
- F. **Alcoholic Beverage License Application for The British Pie Company
DBA Pie Society at 1215 US Highway 80 East, Suite 100/200**
- G. **Change of Business Address Notification for The British Pie Company
DBA Pie Society at 1215 Highway 80 East, Suite 100/200**
- H. **Special Event Permit Application for Citizen Pictures from February
20-27, 2023**
- I. **Special Event Permit Application for Matthew Gunn on June 3, 2023**
- J. **Special Event Permit Application for S2S Facts, Inc. on July 29, 2023**
- K. **Department Reports**
 - 1. **Public Works**
 - 2. **Finance**
 - 3. **Fire Department**
 - 4. **Police Department**
 - 5. **Recreation**
 - 6. **Planning & Zoning**

Councilmember Aaron Higgins moved to approve the Consent Agenda as

submitted to include the fee waiver for Item J. Special Event Permit Application for S2S Facts, Inc.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. **Ordinance O2023-02.A - Council Meeting Time** (*First Reading*)

City Manager Robert Byrd presented the proposed ordinance for consideration. Councilmember John Wilcher moved to approve the first reading of Ordinance O2023-02.A - Council Meeting Time.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Wall

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

B. **Proclamation for Georgia State Arbor Day 2023**

Mayor Rebecca Benton read aloud the Proclamation for Georgia State Arbor Day 2023. Councilmember Aaron Higgins moved to accept the proclamation.

Motion to Accept; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Williams

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

VIII. OLD BUSINESS

A. **Site Plan for Nine Squares (1541 Pooler Parkway)**

City Manager Robert Byrd presented the site plan for consideration. Kinjan Patel was present to answer questions. Councilmember Aaron Higgins moved to approve the Site Plan for Nine Squares (1541 Pooler Parkway) with the understanding that the petitioner:

1. Must return for approval of future use of the final building
2. Must meet with the City Planner regarding additional landscaping needs at the rear of the building

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Higgins
SECONDER: Williams
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

IX. NEW BUSINESS

A. **Conditional Use Request to Operate a Miscellaneous Manufacturing Business at 5212 Old Louisville Road** *(Public Hearing, Action)*

City Manager Robert Byrd presented the request for consideration. MANA Nutrition's Marc Moore and Chris Whitfield and attorney Harold Yellin were present to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Conditional Use Request to Operate a Miscellaneous Manufacturing Business at 5212 Old Louisville Road.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

B. **Conditional Use Request to Operate an HVAC Business at 110 Pipemakers Circle, Suite 101** *(Public Hearing, Action)*

City Manager Robert Byrd presented the request for consideration. Sidney Puckett of Carolina Chillers was present to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Karen Williams, upon review of the criteria, moved to approve the Conditional Use Request to Operate an HVAC Business at 110 Pipemakers Circle, Suite 101.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

C. **Acceptance of Maintenance Bond for Memorial Boulevard East Access Road**

City Manager Robert Byrd presented the bond for consideration. Councilmember John Michael Wilcher moved to approve Acceptance of the Maintenance Bond for Memorial Boulevard East Access Road in the amount of \$28,443.00, subject to City Attorney approval.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Wilcher
SECONDER: Higgins
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

X. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Aaron Higgins moved to enter Executive Session. Council entered Executive Session at 6:42 p.m.

Motion to Enter; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

Mayor Rebecca C. Benton called the meeting back to order at 6:52 p.m.

XI. ADJOURNMENT

Councilmember Stevie Wall moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Wall
SECONDER: Higgins
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

The meeting adjourned at 6:53 p.m.

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2023.

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, Clerk of Council



STATE OF GEORGIA)

COUNTY OF CHATHAM)

AFFIDAVIT

Before an officer duly authorized to administer oaths appeared Rebecca C. Benton, who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 21ST day of FEB., 2023. A portion of said meeting was closed to the public.

(3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows:

When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.

(4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:

A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was _____.

B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).

C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).

E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).

F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).

G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).

H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was

I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).

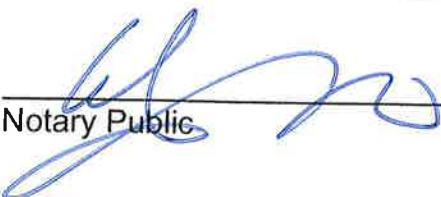
J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting.

This 21ST day of FEB, 2023.


Rebecca C. Benton, Mayor

Sworn to and subscribed before me
this day of 22ND day of FEB, 2023.


Notary Public



STATE OF GEORGIA)
COUNTY OF CHATHAM)

AN ORDINANCE TO AMEND CHAPTER 2, OF THE CODE OF ORDINANCES FOR THE CITY OF POOLER, GEORGIA; TO REPEAL CONFLICTING ORDINANCES; TO SET AN EFFECTIVE DATE AND FOR OTHER PURPOSES.

THE MAYOR AND COUNCILMEMBERS OF THE CITY OF POOLER, GEORGIA, do hereby ordain as follows:

I.

Chapter 2, Section 2-31 of the Code of Ordinances for the City of Pooler is hereby amended by deleting the strikethrough text and adding the underlined text as follows:

Sec. 2-31. Meetings.

- (a) The regular meetings of the ~~aldermanic board~~ Mayor and City Council shall be held at the city hall on the first and third Monday of each month, at ~~6:00 p.m.~~ 4:00 p.m., except when such day is a legal holiday observed by the city, in which case the regular meeting shall be held on the following day at the same time and place. ~~The aldermanic board~~ Mayor and City Council may change the day and time for a regularly scheduled meeting by ~~resolution~~ majority vote during any regularly scheduled or specially called meeting.
- (b) Special meetings of the ~~aldermanic board~~ Mayor and City Council may be called by either the ~~m~~Mayor or any four ~~aldermen~~ Councilmembers upon 48 hours' notice to ~~all the aldermanic board~~ Mayor and all City Council members. This notice may be waived by ~~all members of the aldermanic board~~ the Mayor or any Councilmember. Notice to the public of special meetings shall comply with state law regarding open meetings.

II.

This ordinance or part of ordinances in conflict herewith are expressly repealed.

III.

This ordinance shall be deemed adopted upon its approval by the Mayor and Council members of the City of Pooler. The effective date of this ordinance after approval shall be May 1, 2023.

ADOPTED this _____ day of _____, 2023.

First Reading: _____ Second Reading: _____

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco, City Clerk

AGENDA ITEM

Date: **March 7, 2023**

Subject: **Pavement Setback Variance for 115 Towne Center Blvd.**

Background and Discussion:

Dan Fischer, with EMC Engineering, presented the request to the P&Z Board for their review and recommendation. The request is to allow a parking encroachment in the required setbacks. Commissioner Simmons indicated to the petitioner, that the detention pond must be fenced for safety. The petitioner agreed. There were questions from the Board regarding access to the proposed hotel. In response, Mr. Fischer stated that the access will be from Davol Street.

The adjacent property owners were notified on February 17, 2023.

Advertisement in the Savannah Morning News on February 14, 2023.

The property was posted on February 17, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval for the pavement setback variance, contingent upon the detention pond being fenced, and the address being changed.

Staff Recommendation:

Staff concurs with P&Z and recommends review of the criteria for granting a variance prior to making a decision.



P4-1

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: February 14, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Pavement Setback Variance

CITY MANAGER
Robert H. Byrd, Jr.

PIN#: 5-0017C-02-020

CITY ATTORNEY
Steve Scheer

OWNER: BPR Savannah Airport, LLC

BPR Savannah Airport, LLC has petitioned the City of Pooler for pavement setback variance, to allow the encroachment of parking in the required setbacks. This property is located at 115 Towne Center Drive.

Notice is hereby given that a public hearing has been scheduled before the Planning and Zoning Commission on Monday, February 27, 2023 at 3:00 p.m. The official Public Hearing before the Mayor & Council is scheduled for Tuesday, March 7, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the Official Public Hearing, please complete and submit by mail or fax a Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 230171)



File # 230171

Variance Application

Applicant Information	Applicant <u>Roy Patel</u> Mailing address <u>227 Westbrook Lane</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>663-7000</u> Fax (<u> </u>)
Property Ownership	Property Owner(s) <u>BPR Savannah Airport, LLC / Roy Patel</u> Mailing address <u>227 Westbrook Lane</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>663-7000</u> Fax (<u> </u>)
Contact Person	Contact Person(s) <u>Dan Fischer</u> Mailing address <u>EMC Engineering Services, Inc., 27 Chatham Center South, Suite A</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31405</u> Telephone (<u>912</u>) <u>232-6533</u> Fax (<u> </u>) E-mail <u>dan_fischer@emc-eng.com</u> * All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.
Request	Location address <u>115 Towne Center Drive</u> Current Zoning <u>PUD-C</u> Present use <u>Undeveloped</u> Purpose of the Variance request. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>pavement setback</u> <u>Request for buffer variances: 8' variance from the required 20' buffer along Davol Street and Patel Drive; 6' and 8' variances along the western property lines from the required 15' buffer.</u> <u>Pavement Setback</u> The proposed <u>buffer</u> s are typical of previous development in the neighboring commercial lots of the subdivision. The site plan has been approved by the ARB. All landscape requirements have been met. The appearance and character of the site will be comparable to the adjoining developments. The developer owns the adjoining ROW's and undeveloped parcels.

Pavement setback variances

RECEIVED

FEB 01 2023

ZONING DEPARTMENT



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

BPR Savannah Airport, LLC has petitioned the City of Pooler for pavement setback variance, to allow the encroachment of parking in the required setbacks. This property is located at 115 Towne Center Drive.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.



VARIANCE STANDARDS

After an application has been submitted to and reviewed by the Planning & Zoning Department, the Planning Commission, and the official public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if at least **two** of the following findings are made:

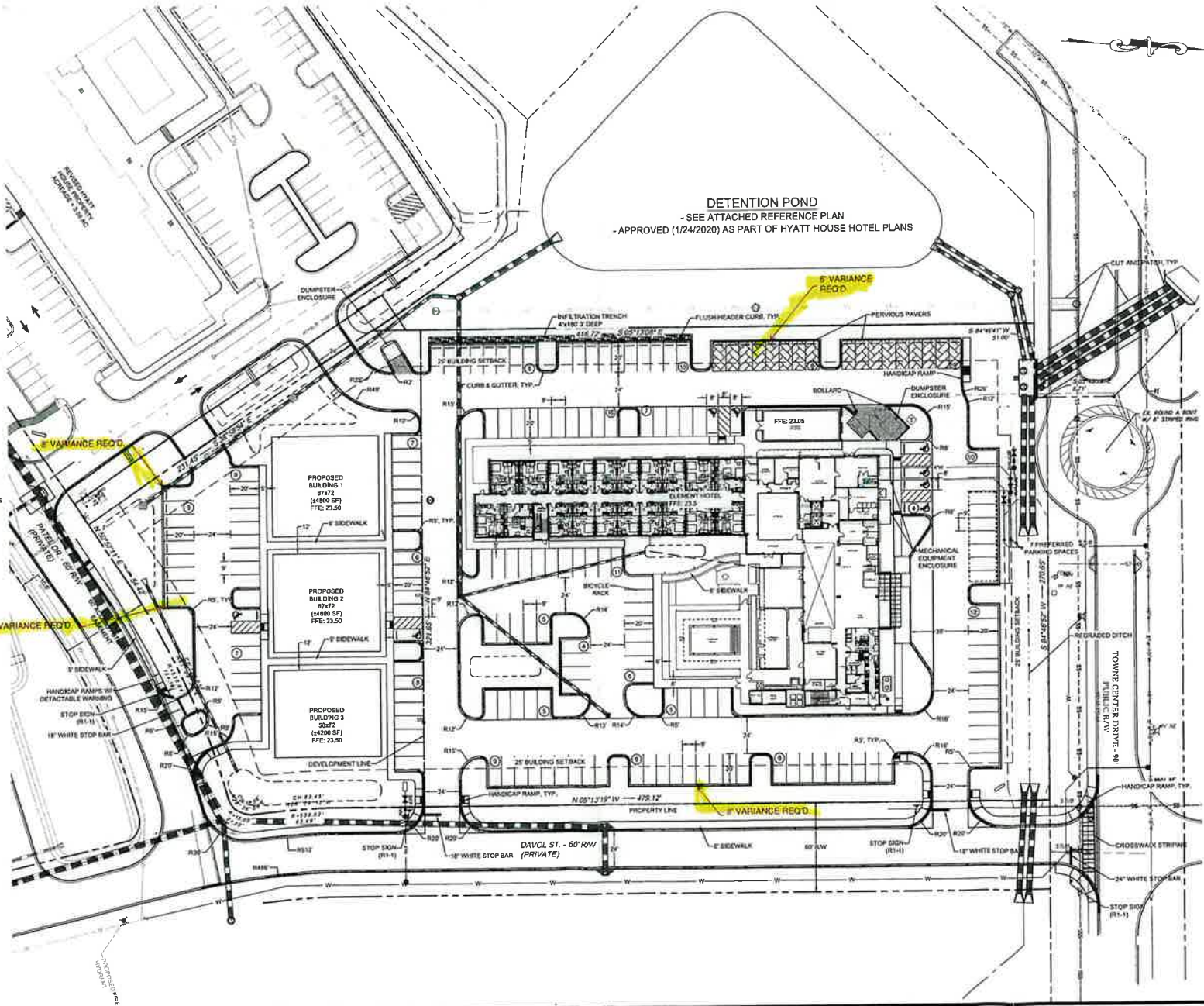
- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
- That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
- That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

SITE DATA:

- 1. HOTEL PARKING REQUIRED:**
 1 SPACE PER ROOM
 131 ROOMS + 1 SPACE = 131+5
 EMPLOYEES+136 SPACES
- 2. HOTEL PARKING PROVIDED:**
 141 SPACES TOTAL
 135 REGULAR SPACES
 6 HANDICAP SPACES
- 3. COMMERCIAL PROPERTY REQUIRED:**
 1 SPACE PER 300 SF
 46 REGULAR SPACES
- 4. COMMERCIAL PROPERTY PROVIDED:**
 48 SPACES TOTAL
 44 REGULAR SPACES
 2 HANDICAP SPACES
- 5. CURRENT LAND USE: VACANT COMMERCIAL**
 OUT-PARCEL
 PROPOSED LAND USE: ELEMENT HOTEL /
 FLEX OFFICE SPACE
- 6. ZONING: PUD-C**
- 7. PROPERTY ACREAGE: 4.27 ACRES**
 PROJECT AREA: 5.48 ACRES
 DISTURBED AREA: 5.50 ACRES
 IMPERVIOUS AREA: 3.10 ACRES (74%)
 GREENSPACE: 1.08 ACRES (26%)
- 8. GAS LINE COMING FROM OFF SITE UTILITY**
 CONTRACTOR TO BE DETERMINED.
- 9. SEE ARCHITECTURAL PLANS FOR UTILITY**
 CONNECTIONS.
- 10. THIS PARCEL LIES WITHIN A ZONE X AS**
 SHOWN ON FEMA FLOOD INSURANCE RATE
 MAP 130510019H EFFECTIVE DATE JULY 7,
 2014.
- 11. BICYCLE RACKS BY LANDSCAPEFORMS**
 801A SS. WWW.LANDSCAPEFORMS.COM
- 12. REFER TO ELEMENT BY WEBSTN EXTERIOR**
 STORAGE PACKAGE FOR SPECIFICATIONS
 FOR PREFERRED PARKING SIGNAGE.
- 13. TOP OF BUILDING: 82'-0" TOP OF TOWER**
 (SEE ARCHITECTURAL DRAWINGS FOR
 ADDITIONAL INFORMATION)

NOTES:

- 1. DETECTABLE WARNING AREA WITHIN CURB**
 CUT RAMP TO BE WITHIN PATH OF
 PEDESTRIAN TRAVEL. REFER TO GDDT
 CONSTRUCTION DETAIL A-2 FOR LOCATIONS
 OF DETECTABLE WARNING PADS WITHIN
 THE VARIOUS TYPES OF HANDICAP RAMPS



NO.	REVISION DESCRIPTION



EMC ENGINEERING SERVICES, INC.
 10 Chatham Center Square, Suite 100
 Savannah, GA 31405
 Phone: (912) 233-6508
 Fax: (912) 233-6508
 www.emc-engineering.com
 MICHAEL W. BATES
 PROFESSIONAL ENGINEER
 LICENSE NO. 10000
 CIVIL ENGINEERING
 GEORGIA

STAKING PLAN
COMMERCIAL SPACE / ELEMENT HOTEL
 POOLER, CHATHAM COUNTY, GEORGIA
 Prepared for:
ROY PATEL

PROJECT NO:	2020178
DRAWN BY:	VECS
DESIGNED BY:	VECS
SURVEYED BY:	EMC
SURVEY DATE:	MARCH 2021
CHECKED BY:	DWF
SCALE:	1" = 30'
DATE:	MARCH 2022

© 2022 EMC ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED. SCALE: 1" = 30'

AGENDA ITEM

Date: March 7, 2023

Subject: Building Height Variance for a proposed hotel at 115 Towne Center Blvd.

Background and Discussion:

Dan Fisher, with EMC Engineering, presented the request to the P&Z Board for their review and recommendation. The request is for a 2'-7" height variance to allow construction of a hotel that will have a maximum height of 62'-7".

The adjacent property owners were notified on February 17, 2023.

Advertisement in the Savannah Morning News on February 14, 2023.

The property was posted on February 17, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval of the height variance, contingent upon the address being revised.

Staff Recommendation:

Staff concurs with P&Z and recommends review of the criteria for granting a variance prior to making a decision.



PH-2

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: February 14, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Building Height Variance

CITY MANAGER
Robert H. Byrd, Jr.

PIN#: 5-0017C-02-020

CITY ATTORNEY
Steve Scheer

OWNER: BPR Savannah Airport, LLC

BPR Savannah Airport, LLC has petitioned the City of Pooler for a 2'-7" height variance to allow construction of a hotel that will be a maximum height of 62'-7". This property is located at 115 Towne Center Drive.

Notice is hereby given that a public hearing has been scheduled before the Planning and Zoning Commission on Monday, February 27, 2023 at 3:00 p.m. The official Public Hearing before the Mayor & Council is scheduled for Tuesday, March 7, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the variance request before the Planning and Zoning Commission and/or Mayor and Council. If you plan to speak at the Official Public Hearing, please complete and submit by mail or fax a Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 230172)



File # 230172

Variance Application

Applicant Information	Applicant <u>Roy Patel</u> Mailing address <u>227 Westbrook Lane</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>663-7000</u> Fax (<u> </u>)
Property Ownership	Property Owner(s) <u>BPR Savannah Airport, LLC / Roy Patel</u> Mailing address <u>227 Westbrook Lane</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (<u>912</u>) <u>663-7000</u> Fax (<u> </u>)
Contact Person	Contact Person(s) <u>Dan Fischer</u> Mailing address <u>EMC Engineering Services, Inc., 27 Chatham Center South, Suite A</u> City <u>Savannah</u> State <u>GA</u> Zip <u>31405</u> Telephone (<u>912</u>) <u>232-6533</u> Fax (<u> </u>) E-mail <u>dan_fischer@emc-eng.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>115 Towne Center Drive</u> Current Zoning <u>PUD-C</u> Present use <u>Undeveloped</u> Purpose of the Variance request. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Requesting a 2'-7" building height variance to allow for an architectural tower feature with a height of 62'-7" and the top of stairs parapet of 61'-1" (proposed main parapet height is 51').</u> <u>Proposed building features will not be detrimental to the character of the area due to neighboring building heights of 90' (IMAX), approx 64' (Aloft hotel) and proposed 58'-9" iFLY.</u> <u>The building elevations have been approved by the ARB and FAA.</u>

Pin# - 5-60170-02-020

RECEIVED
FEB 01 2023
ZONING DEPARTMENT

VARIANCE STANDARDS

After an application has been submitted to the Building Official, reviewed by the Planning Commission, and a public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if at least two of the following findings are made:

- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
- That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
- That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

I have received a copy of the standards for consideration of my variance request and understand that the Mayor & Council may grant my variance only if my request meets two of these standards.





LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

BPR Savannah Airport, LLC has petitioned the City of Pooler for a 2'-7" height variance to allow construction of a hotel that will be a maximum height of 62'-7". This property is located at 115 Towne Center Drive.

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

- 177-207 LIGHT COLORED EPS. DRYPIT SYSTEMS INC. (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR WHITE.
- 177-208 DARK COLORED EPS. DRYPIT SYSTEMS INC. (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR WHITE.
- 177-209 GREEN COLORED EPS. DRYPIT SYSTEMS INC. (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR GREEN.
- 177-210 FIBER CEMENT WALL PANELS. MOCHRA (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR WHITE.
- 177-211 FIBER CEMENT WALL PANELS. MOCHRA (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR GREEN.
- 177-212 FIBER CEMENT WALL PANELS. MOCHRA (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR GREY.
- 177-213 FIBER CEMENT WALL PANELS. MOCHRA (OR APPROVED) EQUALS EXTERIOR INSULATION AND FRESH SYSTEM INSULATION PLUS MC EPS IN MOISTURE DRAINAGE. FINISH SANDPAPER FINE GRIP (MONOCHROME) COLOR SILVER.
- 177-214 DARK WOOD LOOK PANEL. MOCHRA (OR APPROVED) EQUALS FIBER CEMENT WALL PANELS. COLOR: WINTAGEWOOD - BARK LIGHT.
- 177-215 DARK WOOD LOOK PANEL. MOCHRA (OR APPROVED) EQUALS FIBER CEMENT WALL PANELS. COLOR: WINTAGEWOOD - CEDAR.
- 177-216 ALUMINUM LOUVER LOUVER WITH FRAME. COLOR: TO MATCH ADJACENT WALLS.

- 1) APPROXIMATE LIFE OF CANOPY
- 2) DRIVEWAY AND DROP-OFF BELOW CANOPY
- 3) OUT DOOR COMMONS
- 4) PRE MANUFACTURED METAL CANOPY
- 5) EXE CORNICE ON TOAM PROFILE
- 6) RUNNING BOARD BRICK VENEER. SEE DETAILS
- 7) CAST STONE BAND 18" HIGH CONTINUOUS BAND WITH VERTICAL JOINTS
- 8) ALUMINUM GUEST ROOM WINDOWS SYSTEM WITH TYPICAL BROKEN FRAME AND INSULATED GLAZING. SEE GLASS SPEC IN SCHEDULE
- 9) ALUMINUM STOREFRONT SYSTEM IN THERMAL BRIGHT FRAME AND INSULATED GLAZING. SEE GLASS SPEC IN SCHEDULE
- 10) INSULATED FOLLOW CORE METAL DOOR. SEE DOOR WINDOW SCHEDULE
- 11) VTEC COVER FINISH COLOR TO MATCH ADJACENT EXTERIOR WALL MATERIAL. COLOR TYP.
- 12) ALUMINUM SLOUGH ENTRY LOOR W/ INSULATED GLAZING
- 13) JOINT SYSTEM IN COMPOSITE METAL PANEL
- 14) PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRILLS
- 15) COMPOSITE METAL PANEL SYSTEM
- 16) EPS FINISH ON WALL 2" SYSTEM ON EXTERIOR WALLS 2" ON CORNICES AND OTHER AREAS
- 17) ENTRANCE PORCH
- 18) FINISH CONTROL JOINT
- 19) NOT USED
- 20) NOT USED
- 21) NOT USED
- 22) NOT USED
- 23) SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- 24) PRE FINISHED METAL CORNICE - COLOR TO MATCH ADJACENT MATERIAL
- 25) NOT USED

EPS THICKNESS NOTE:
 MIN. 2" NOMINAL THICK EPS ON EXTERIOR SHEATHING AND APPROVED BUILDING WRAP

BUILDING SIGNAGE

WESTMILL/ROBERT SIGN TO BE SURFACE MOUNTED. INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATIONS

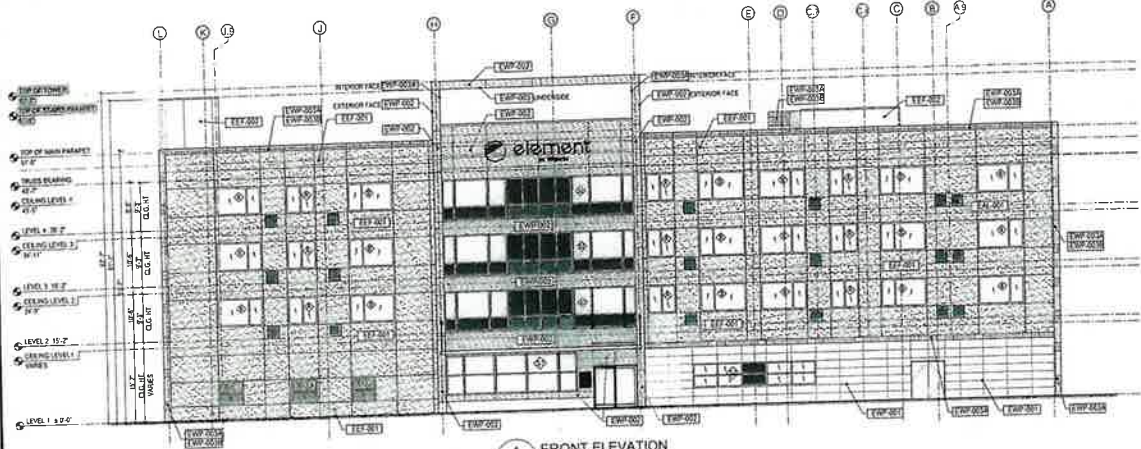
HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING. LOCATE POWER CUTOFF FOR EASY ACCESS

MINIMUM 3/4" PLYWOOD BACKING REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN

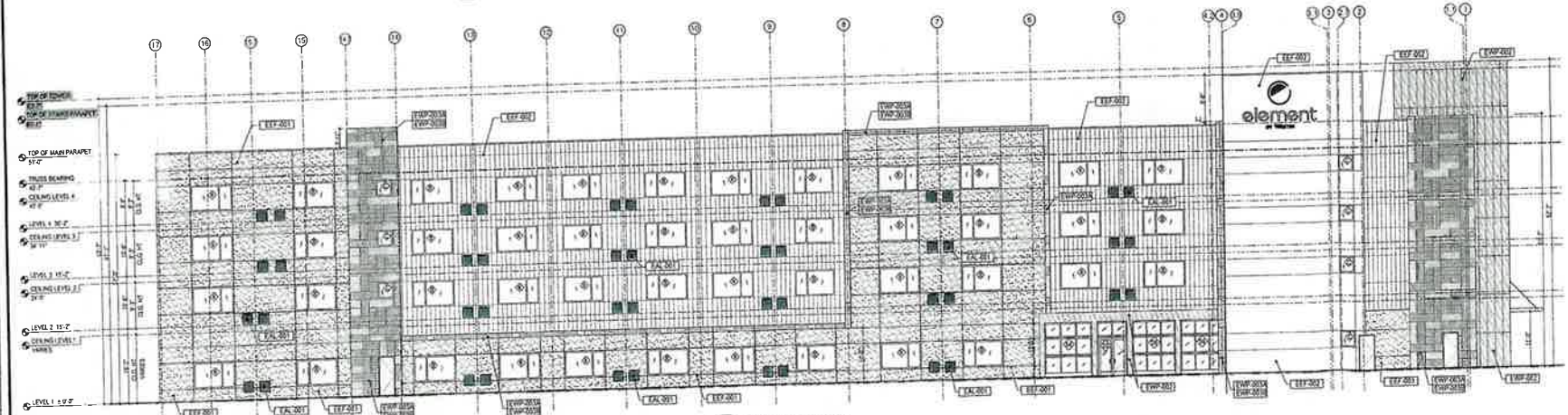
ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY

SCREENWAYS/WIREMESH ARE NOT ALLOWED

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARADETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FINISH AND CONNECT PERMANENT ELECTRICAL SERVICE TO SIGNAGE PARAPET WALL



1 FRONT ELEVATION
 212 SCALE 3/32" = 1'-0"



1 LEFT ELEVATION
 212 SCALE 3/32" = 1'-0"

OWNER
 BPR SAVANNAH AIRPORT LLC
 111 GREENVIEW DRIVE
 SAVANNAH, GA 31401



REVISION #	DATE	DESCRIPTION

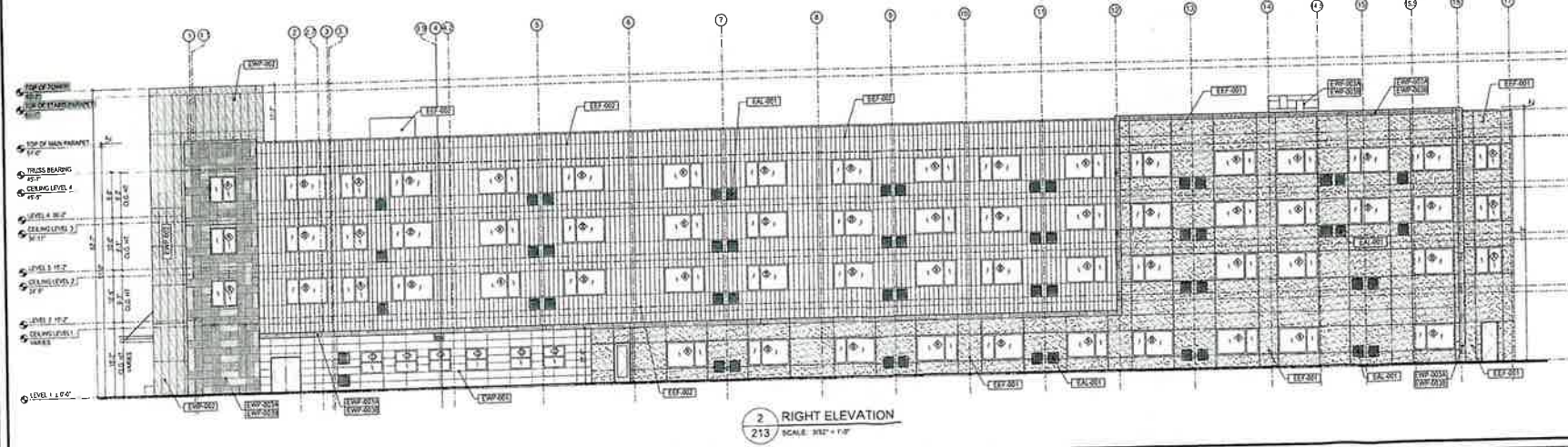
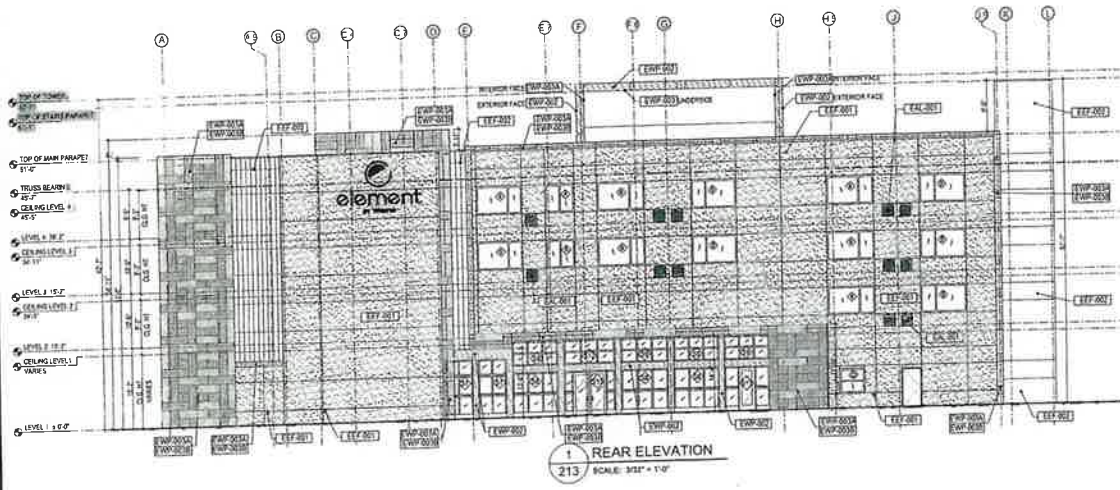
PROJECT ADDRESS
 ELEMENT
 LOT # 8 A 1 A
 TOWN CENTER AT BOSLEY STATION
 FOOLES, GEORGIA

LAYOUT
 BUILDING ELEVATIONS

DATE PLOTTED
 SCALE 3/32" = 1'-0"

SHEET NUMBER

212



- EWP-201** LIGHT COLORED EPS DRIFT SYSTEMS INC. OR APPROVED EQUAL EXTERIOR INSULATION AND FRESH SYSTEM VENTILATION PLUS MET EPS W/ MOISTURE BARRIAGE FRESH SAMPSIBLE FINE (TOP) (HORIZONTAL) COLOR: WHITE
- EWP-202** DARK COLORED EPS DRIFT SYSTEMS INC. OR APPROVED EQUAL EXTERIOR INSULATION AND FRESH SYSTEM VENTILATION PLUS MET EPS W/ MOISTURE BARRAGE FRESH SAMPSIBLE FINE (TOP) (HORIZONTAL) COLOR: DARK GREY
- EWP-203** GREEN COLOR EPS DRIFT SYSTEMS INC. OR APPROVED EQUAL EXTERIOR INSULATION AND FRESH SYSTEM VENTILATION PLUS MET EPS W/ MOISTURE BARRAGE FRESH SAMPSIBLE FINE (TOP) (HORIZONTAL) COLOR: DARK GREY
- EWP-204** FIBER CEMENT WALL PANELS - MOHRA (OR APPROVED EQUAL) LIGHT GRAY SERIES TRICK CEMENT WALL PANELS - COLOR: GREY
- EWP-205** FIBER CEMENT WALL PANELS - MOHRA (OR APPROVED EQUAL) LIGHT GRAY SERIES TRICK CEMENT WALL PANELS - COLOR: BARK W/ VERT LINEATION SERIES - FIBER CEMENT WALL PANELS - COLOR: BARK W/ VERT LINEATION
- EWP-206** DARK WOOD LOOK PANEL - MOHRA (OR APPROVED EQUAL) FIBER CEMENT WALL PANELS - COLOR: VINTAGEWOOD - BARK LIGHT
- EWP-207** DARK WOOD LOOK PANEL - MOHRA (OR APPROVED EQUAL) FIBER CEMENT WALL PANELS - COLOR: VINTAGEWOOD - CEDAR
- EAL-201** ALUMINUM LOUVER WITH FRAME - COLOR: TO MATCH ADJACENT WALLS

EPS DRIFT SYSTEMS NOTE:
 MIN. 2" NOMINAL TRACK EPS ON EXTERIOR SHEATHING AND APPROVED BUILDING WRAP

BUILDING SIGNAGE

WESTWIND HARBORVIEW SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATIONS

NOTE: SIGNAGE PER SIGNAGE PACKAGE, PROVIDE REQUIRED BACKING LOCATE POWER OUTLETS FOR EASY ACCESS

ADDITIONAL 3/4" PLYWOOD BACKING BOARD REQUIRED AT SIGN LOCATIONS AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACE OR SPACE AVAILABLE FOR SIGN

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY

RESIDENTS' INTERFERENCES ARE NOT ALLOWED

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO TURN AND CONNECT PRIMARY ELECTRICAL SERVICE TO SIGN PARAPET WALL

- 1 APPROXIMATE LINE OF GRADE
- 2 DRIVEWAY AND DROP-OFF BELOW CANOPY
- 3 GUT DRAIN CONDITIONS
- 4 2" AIR MANUFACTURED METAL CANOPY
- 5 EPS CONDUCE ON FOAM PROFILE
- 6 FINISH BOND BRICK VENEER - SEE DETAILS
- 7 EAST STRIKE BAND - 18" HIGH CONTINUOUS BAND WITH VERTICAL JOINTS
- 8 ALUMINUM (BEST ROOM) WINDOW SYSTEM WITH INTERNAL BRACKET FRAME AND REGULAR GLAZING - SEE GLASS SPEC' IN SCHEDULE
- 9 ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING - SEE GLASS SPEC' IN SCHEDULE
- 10 INSULATED HOLLOW CORE METAL DOOR - SEE DOOR WINDOW SCHEDULE
- 11 VITAC LOUVER FINISH COLOR TO MATCH ADJACENT EXTERIOR WALL MATERIAL - COLOR: SF
- 12 ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
- 13 JOINT SYSTEM IN COMPOSITE METAL PANEL
- 14 PAINTED TUBE STEEL CANOPY W/ STAINED WOOD FILLERS
- 15 COMPOSITE METAL PANEL SYSTEM
- 16 EPS FINISH ON MIN. 2" EPS FOAM ON BUILDING WALLS - 2" ON CORNERS AND OTHER AREAS
- 17 ENTRANCE PORCH
- 18 FINISH CONCRETE JOINT
- 19 NOT USED
- 20 NOT USED
- 21 NOT USED
- 22 NOT USED
- 23 SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- 24 FINISH METAL CORNICE - COLOR TO MATCH ADJACENT MATERIAL
- 25 NOT USED

OWNER

BPR SAVANNAH AIRPORT LLC
 111 GREENWOOD DRIVE
 SAVANNAH, GA 31401



REVISION	DATE	BY	REASON

PROJECT ADDRESS

ELEMENT
 LOT # A-1A
 TOWN CENTER AT GODLEY STATION
 POOLER, GEORGIA

OTHER BUILDING ELEVATIONS

DATE PLOTTED

SCALE 3/16" = 1'-0"

213

AGENDA ITEM

Date: March 7, 2023

Subject: Conditional Use for a proposed Trailer Parking Yard on Jimmy DeLoach Parkway

Background & Discussion:

Scott Allison, with Coleman Company, presented the request to the P&Z Board for their review and recommendation. The request is to construct a trailer parking yard with approximately 106 parking spaces. The lot will be enclosed with a security fence and the frontage along Jimmy DeLoach Parkway will be landscaped with a 4 ft. berm and trees.

The adjacent property owners were notified on February 14, 2023.

Advertisement was posted in the Savannah Morning News on February 17, 2023.

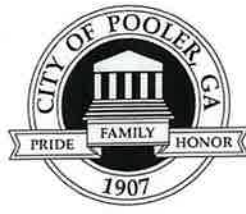
The property was posted on February 17, 2023.

Planning and Zoning Recommendation:

After review of the criteria, P&Z recommends approval.

Staff Recommendation:

Staff recommends review of the criteria for granting a conditional use prior to making a decision.



PH-3

CITY OF POOLER

MAYOR
Rebecca C. Benton

DATE: February 14, 2023

CITY COUNCIL
Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

TO: Adjacent Property Owners
Planning and Zoning Commission
Mayor and Council

RE: Conditional Use

PIN: 5—1015-01-033

CITY MANAGER
Robert H. Byrd, Jr.

OWNER: Hune Properties II, LLC

CITY ATTORNEY
Steve Scheer

Hune Properties II, LLC, has petitioned the City of Pooler for a conditional use for a proposed trailer parking yard within the Wynn-Capallo Planned Unit Development (PUD).

A Public Hearing is scheduled before the Planning and Zoning Commission on Monday, February 27, 2023 at 3:00 p.m. The Official Public Hearing before the Mayor and Council is scheduled for Tuesday, March 7, 2023 at 6:00 p.m. The petitioner and any private individual shall be entitled to present evidence concerning the “Zoning Map Amendment” before the Planning and Zoning Commission and/or Mayor and Council. Any person speaking either in support or opposition to the zoning map amendment at the Official Public Hearing, please complete and submit, mail or email the Campaign Disclosure Form five (5) days prior to the meeting. Further information may be obtained by calling (912) 748-7261 during regular business hours. (Project # 230166)



RECEIVED
RECEIVED
JAN 07 2023
JAN 20 2023
ZONING DEPARTMENT
ZONING DEPARTMENT

File#
230166
RECEIVED
JAN 20 2023
ZONING DEPARTMENT

Conditional Use Application

Applicant Information	Applicant <u>Scott Allison / Coleman Company, Inc.</u> Mailing address <u>1480 Chatham Parkway, Suite 100</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912)200-3041</u> Fax <u>()</u>
Property Ownership	Property Owner(s) <u>Hune Properties II, LLC</u> Mailing address <u>6801 Suemac Place</u> City <u>Jacksonville</u> State <u>Florida</u> Zip <u>32254</u> Telephone <u>()</u> Fax <u>()</u>
Contact Person	Contact Person(s) <u>Scott Allison / Coleman Company, Inc.</u> Telephone <u>(912)200-3041</u> Fax <u>()</u> E-mail <u>sallison@cci-sav.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>1500 Jimmy DeLoach Parkway; PIN #: 51015 01033</u> Current Zoning <u>PUD - Transitional Commercial</u> Present use <u>Commercial Office and Vacant</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Proposed trailer parking yard meeting the requirements of Pooler Code of Ordinances Appendix A, Section 30 for security fence, screening, access, office on the parcel, and landscaping</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Proposed trailer parking spaces with associated drive aisles for adequate maneuvering area not to impede circulation. No trucks will be parked and no container storage off of chassis. 24 hour access.</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Proposed start of construction Spring 2023, completion end of 2023.</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>A berm is planned at the property's frontage with Jimmy DeLoach Parkway. Stormwater management facilities will be designed to adhere to the city's current stormwater ordinance and all state required best management practices before, during, and after construction.</u>

Wynn – Capallo Tract PUD

Master Plan and Development Standards Amendment

This request is for a revision to the previously approved Final PUD for the Wynn-Capallo Tract PUD in the City of Pooler. The original PUD was approved by City Council on March 21, 2005 and most recently amended on March 10, 2022 and consists of Commercial, Residential, and Future Uses. The proposed amendment is being requested to add a Transitional Commercial designation to an area consisting of 13 acres off Jimmy DeLoach Parkway previously designated as Commercial in the PUD. The proposed Transitional Commercial designation allows for all of the uses permitted in the current Commercial designation, along with an additional use of Trailer Parking Yard to be allowed as a conditional use. The PUD Development Standards amendment references the newly adopted regulations for Trailer Parking Yards as outlined in Appendix A, Section 30 of the Pooler Code of Ordinances. **The Trailer Parking Yard use would be required to meet all of the new regulations and is only permitted as a conditional use within the specific 13 acres noted as Transitional Commercial outlined on the proposed PUD Master Plan amendment.** The proposed amendment would not allow this use to be permitted by right or conditional in any other areas designated as Commercial, Residential, or Future within the Wynn-Capallo PUD.

ORDINANCE NO. O2022-10.A

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES APPENDIX A – ZONING, ARTICLE III – GENERAL PROVISIONS BY ADDING SECTION 30 – TRAILER PARKING YARD; TO REPEAL ALL ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That APPENDIX A – ZONING, Article III. GENERAL PROVISIONS be amended by adding the following:

Section 30. – Trailer Parking Yard

- (A) *Applicability.* The provisions of this section shall apply to any use within the Transportation and Warehousing category. Trailer parking yards shall only be allowed as part of an approved site plan.
- (B) *Definitions.*
 - (1) *Outdoor storage.* Outdoor storage shall include the storage of goods, products, materials, merchandise, equipment, trailers, or any other items not enclosed within a structure.
 - (2) *Security fence.* A security fence shall be a fence that meets the minimum standards found in Chapter 22, Article IV. Fences, of the City of Pooler Code of Ordinances.
 - (3) *Trailer.* A trailer shall include any non-powered transportation support vehicle designed for the movement and transport of cargo, goods, or other materials that is towed behind or attached to a powered vehicle. This definition includes dry van trailers, flatbed trailers, refrigerated trailers, drop-deck trailers, double drop trailers, hot shot trailers, Conestoga trailers, curtainside trailers, RGN trailers, etc. Containers stored on a chassis are included in this definition.
 - (4) *Trailer parking space.* Trailer parking space shall be a parking space that is a minimum of thirty feet long by twelve and a half feet wide and a maximum of seventy feet long by twenty feet wide for the parking of trailers.
 - (5) *Use area.* Use areas shall entail any developed or improved portions of the site related to the use of truck transportation, such as parking or storage yards.
- (C) *General Requirements.* Where permitted, any Trailer Parking Yard shall comply with the following requirements:
 - (1) A security fence shall be provided around the perimeter of any use areas, along with a maintenance plan for the upkeep of the fence.
 - (2) The property shall be completely screened from adjacent roadways per the screening requirements of Sec. 27(E) found in this Article.

- (3) Access or ingress to the site or any use areas shall be setback from any street, right-of-way, or access drive to ensure proper stacking of vehicles and not impede the flow of traffic.
- (4) Emergency access to the site shall be provided in accordance with the requirements of Chapter 46 of the City of Pooler Code of Ordinances and any other requirements deemed necessary by the City of Pooler Fire Chief.
- (5) The site shall have an administrative or security office that meets the current state minimum standard codes for construction as adopted by the Georgia Board of Community Affairs, as amended, unless an office under the same management as the site is located on an adjacent or abutting property with a shared road frontage or access.
- (6) All outdoor storage areas shall be designated on the site plan for approval. Outdoor storage shall not be permitted within twenty feet of any property line.
- (7) Any proposed trailer parking spaces shall be designated on the site plan. Trailer parking spaces and any associated drive aisles shall include adequate maneuvering area so as not to impede circulation, parking, or ingress/egress for the site.
- (8) Any containers shall remain on chassis while on the site and no stacking shall be allowed.
- (9) All surface areas shall be dust-free in nature and shall be maintained so as not to cause the creation of dust on site.
- (10) No overnight parking of commercial vehicles, except those utilized for or in conjunction with the operation or management of the site or company, shall be permitted.
- (11) The site plan shall denote differences between any regular, non-trailer parking areas and use areas for trailer parking.

(D) *Violations.* Any violation of the requirements of this section shall be subject to the provisions set forth within Article V, Section 12 of Appendix A, along with any and all applicable enforcement procedures, including Section 1-12 of City Code.

II

All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

III

If any section, clause, sentence, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall be in no way affect the validity of the remaining portions of this ordinance.

IV

This ordinance shall be effective immediately upon is adoption by the Mayor and City Council of Pooler, Georgia.

1st Reading:

10/17/22

2nd Reading: 11/7/22

This 7TH day of NOV., 2022.

CITY OF POOLER, GEORGIA

Rebecca C. Benton

Rebecca C. Benton, Mayor

Attest:

Kiley Fusco

Kiley Fusco, City Clerk

Date: 11/7/22

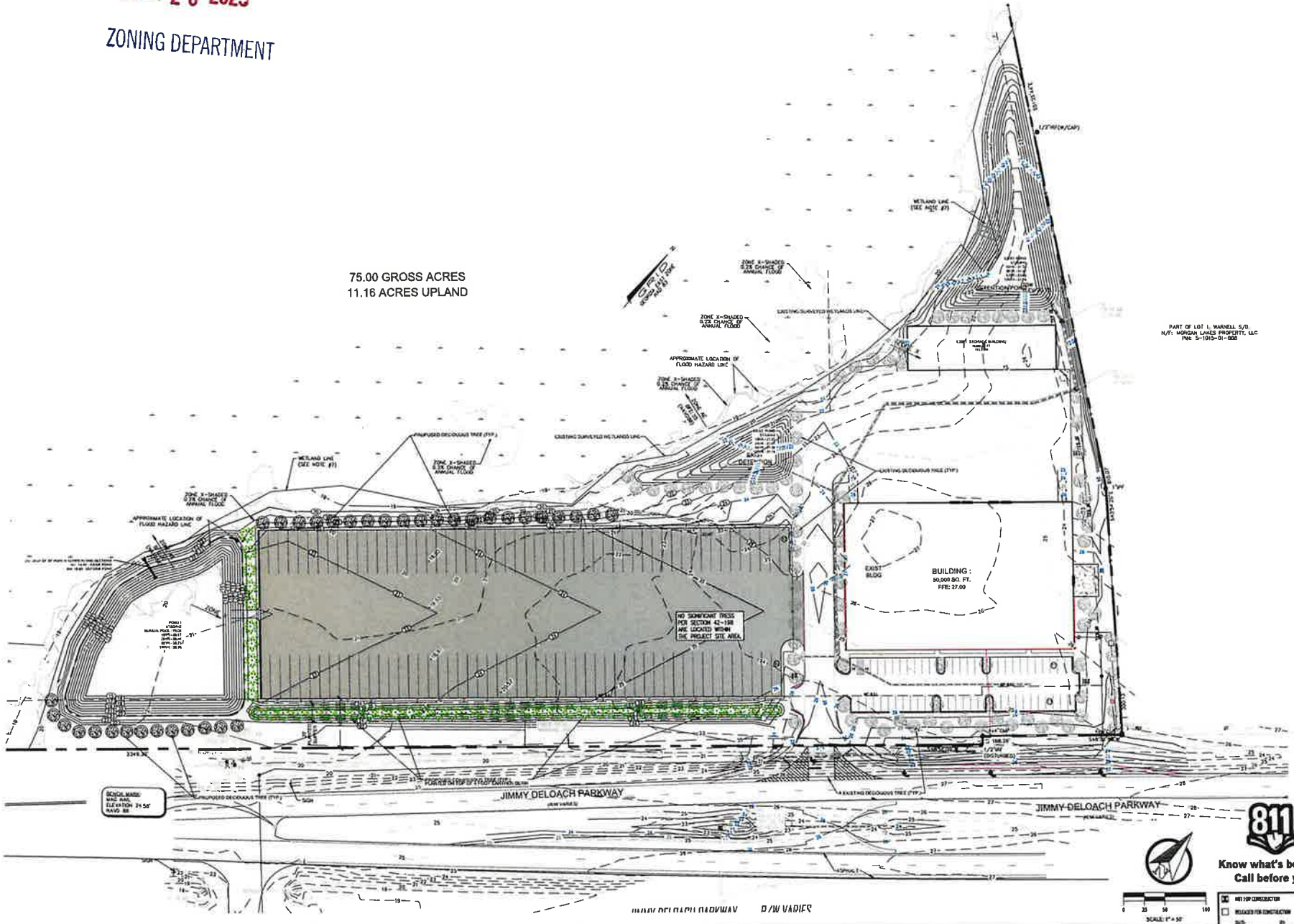


RECEIVED

JAN 20 2023

ZONING DEPARTMENT

75.00 GROSS ACRES
11.16 ACRES UPLAND



PART OF LOT 1, WARDEN 5/3
N/2, WARDEN LACE PROPERTY, LLC
PME 5-1013-01-000



DATE	DESCRIPTION

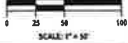
CIVIL CONSTRUCTION PLANS FOR:
LIFT POWER TRAILER STORAGE FACILITY
LOCATED IN: POOLER, GEORGIA
PREPARED FOR: MR. DON HUNE

LANDSCAPING
PLAN

DATE: 08/08/2022
SCALE: 1"=50'
JOB #: 17-144
DRAWN BY: DCP
CHECKED BY: RAR



Know what's below.
Call before you dig.



<input checked="" type="checkbox"/>	NOT FOR CONSTRUCTION
<input type="checkbox"/>	RELEASED FOR CONSTRUCTION

SHEET
L1.0

SILVIA M. WADSWORTH D/W VADICS



RECEIVED

JAN 20 2020

ZONING DEPARTMENT

Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

Applicant/Owner initial as received



LOCAL GOVERNMENT OFFICIAL DISCLOSURE OF FINANCIAL INTERESTS

With respect to the following requests made by:

Hune Properties II, LLC, has petitioned the City of Pooler for a conditional use for a proposed trailer parking yard within the Wynn-Capallo Planned Unit Development (PUD).

I, in complying with O.C.G.A. 36-67A-2, do hereby declare that:

- _____ (1) I have a property interest in the above described real property.
- _____ (2) I have a financial interest in a business entity which has a property interest in the above described real property.
- _____ (3) I have a member of my family who has an interest described by (1) and (2) above.
- _____ (4) None of the above.

If you checked paragraph (3) or (4), stop here.

If you marked either paragraph (1) or (2), sign the below statement.

I understand that Georgia Law (O.C.G.A. 36-67A-2) requires me to disqualify myself from voting on the rezoning action relating to this affidavit. I have not and will not take any other action on the application for rezoning regarding this affidavit.

AGENDA ITEM

Date: March 7, 2023

Subject: Site Plan/Landscape Plan for Savannah Quarters Office on Holmes Court

Background & Discussion:

John Farmer, with Fretus Engineering, presented the request to the P&Z Board for their review and recommendation. The intent is to construct a 20,254 sq. ft. office building, with associated parking on Holmes Court, off Blue Moon Crossing.

Planning and Zoning Recommendation:

P&Z recommends approval of the site plan/landscape plan for Savannah Quarters Office on Holmes Court.

Staff Recommendation:

Staff recommends approval, contingent upon a Stormwater Maintenance Agreement being recorded and submitted to the City prior to a preconstruction meeting being scheduled.



EOM Operations
Your solution to a better tomorrow

NB-1

February 15th, 2023

John W. Farmer, P.E.
 Fretus Engineering
 PO Box 13091
 Savannah, GA 31416

Dear Mr. Farmer,

I am pleased to provide you with a recommendation for Approval of the site development plans for 'Savannah Quarters Office, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	<i>Feb. 2023</i>
	Stormwater Management Report.....	<i>Aug. 2022</i>
	Stormwater Maintenance Agreement.....	<i>Aug. 2022</i>
	Fire Water Calculations & Hydrant Flow Test.....	<i>Feb. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



RECEIVED

AUG 22 2022

Project # 221037

ZONING DEPARTMENT

Site Plan Application

(page 1 of 3)

Applicant <u>JOHN W. FARMER, P.E. 46 PREMUS ENGINEERING LLC</u>			
Mailing address <u>P.O. BOX 13091</u>			
City <u>SAVANNAH</u>	State <u>GA.</u>	Zip <u>31416</u>	
Telephone <u>(912) 228-2982</u>	Fax () _____		
Property Owner(s) <u>MR. YASH DRSAN</u>			
Mailing address <u>118 PIPEMAKERS CIRCLE, SUITE 100</u>			
City <u>POOLER</u>	State <u>GEORGIA</u>	Zip <u>31322</u>	
Telephone <u>(912) 988-1320</u>	Fax <u>(912) 348-3609</u>		
Contact Person(s) <u>SAME AS APPLICANT</u>			
Mailing address _____			
City _____	State _____	Zip _____	
Telephone () _____	Fax () _____	E-mail _____	
Location address <u>HOLMES CT. + BLUE MOON CROSSING - LOT "B"</u>			
Current Zoning <u>R1D</u>	Parcel Identification Number <u>5-1009-01-053</u>		
Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property: <u>THE PROJECT CONSIST OF CLEARING, GRADING, AND THE DEVELOPMENT OF THE PARCEL FOR AN OFFICE BUILDING ALONG WITH THE ASSOCIATED PARKING AREA.</u>			

March 18, 2020

City of Pooler
City of Pooler City Hall
100 SW Highway 80
Pooler, Georgia 31322


RECEIVED
AUG 22 2022
ZONING DEPARTMENT

ATTN: Ms. Kimberly Classen

**RE: SAVANNAH QUARTERS OFFICE – LOT 'B'
LOT 'B' – HOLMES COURT AND BLUE MOON CROSSING
POOLER, GEORGIA 31322**

Dear Ms. Classen:

As developer/owner of the project referenced above, I certify that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan.



Yash Desai

CONSTRUCTION PLANS FOR SAVANNAH QUARTERS OFFICE - LOT B

BLUEMOON CROSSING
POOLER, GEORGIA 31322
MARCH 17, 2020
(REVISED 05/08/20)

FE, LLC PROJECT NO. 018-052-19



TOTAL PROJECT IMPERVIOUS AREA: 1.03 AC. (52.3% OF OVERALL SITE AREA)

PREPARED FOR:
PANTHEON ADC
MR. CLIF COOPER
216 E. BAY STREET
SAVANNAH, GEORGIA 31401
PH: (912) 376-5600

PROPERTY OWNER AND RESPONSIBLE PARTY:

STATURE INVESTMENTS
MR. YASH DESAI
110 PIPEMAKERS CIRCLE
SUITE 110
POOLER, GEORGIA 31322
PH: (912) 988-1320



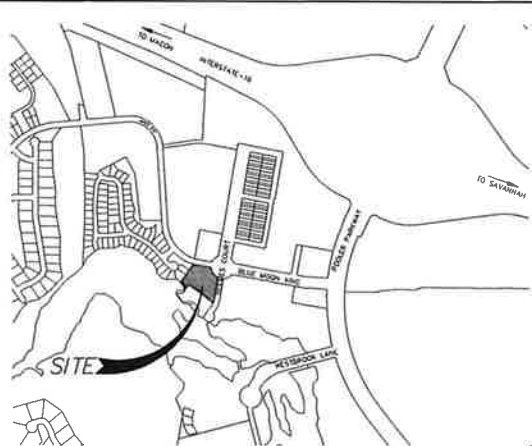
FRETUS ENGINEERING
315 COMMERCIAL DRIVE
SUITE 0-5
SAVANNAH, GEORGIA 31405
MAIL, INC.
P.O. BOX 13091
SAVANNAH, GEORGIA 31416-0091
PHONE: (912) 228-2982

NOTE:
THE PERMIT FOR THIS CONSTRUCTION PLAN
AND SPECIFICATIONS EXPIRES SIX MONTHS
AFTER APPROVAL OF CONSTRUCTION IS NOT
ACTIVELY PERMITTED.

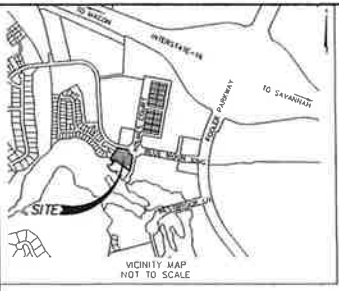
INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	EROSION, SEDIMENT, AND POLLUTION CONTROL NOTES
4	EROSION, SEDIMENT, AND POLLUTION CONTROL NOTES
5	EROSION, SEDIMENT, POLLUTION CONTROL NOTES, AND SCHEDULE
6	DEMOLITION, TREE SURVEY, EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN - INITIAL PHASE
7	EROSION, SEDIMENT, POLLUTION CONTROL PLAN - INTERMEDIATE PHASE
8	EROSION, SEDIMENT, POLLUTION CONTROL PLAN - FINAL PHASE
9	STAKING PLAN
10	PAVING, GRADING, AND DRAINAGE PLAN
11	STORM DRAINAGE PROFILES
12	WATER DISTRIBUTION AND SANITARY SEWER COLLECTION PLAN
13	LANDSCAPE PLAN
14 - 17	CONSTRUCTION DETAILS
A-2.1 & 2.2	EXTERIOR ELEVATIONS
A-2.3	HARDSCAPE DETAIL
PM-0.1	SITE PHOTOMETRIC PLAN

VICINITY MAP

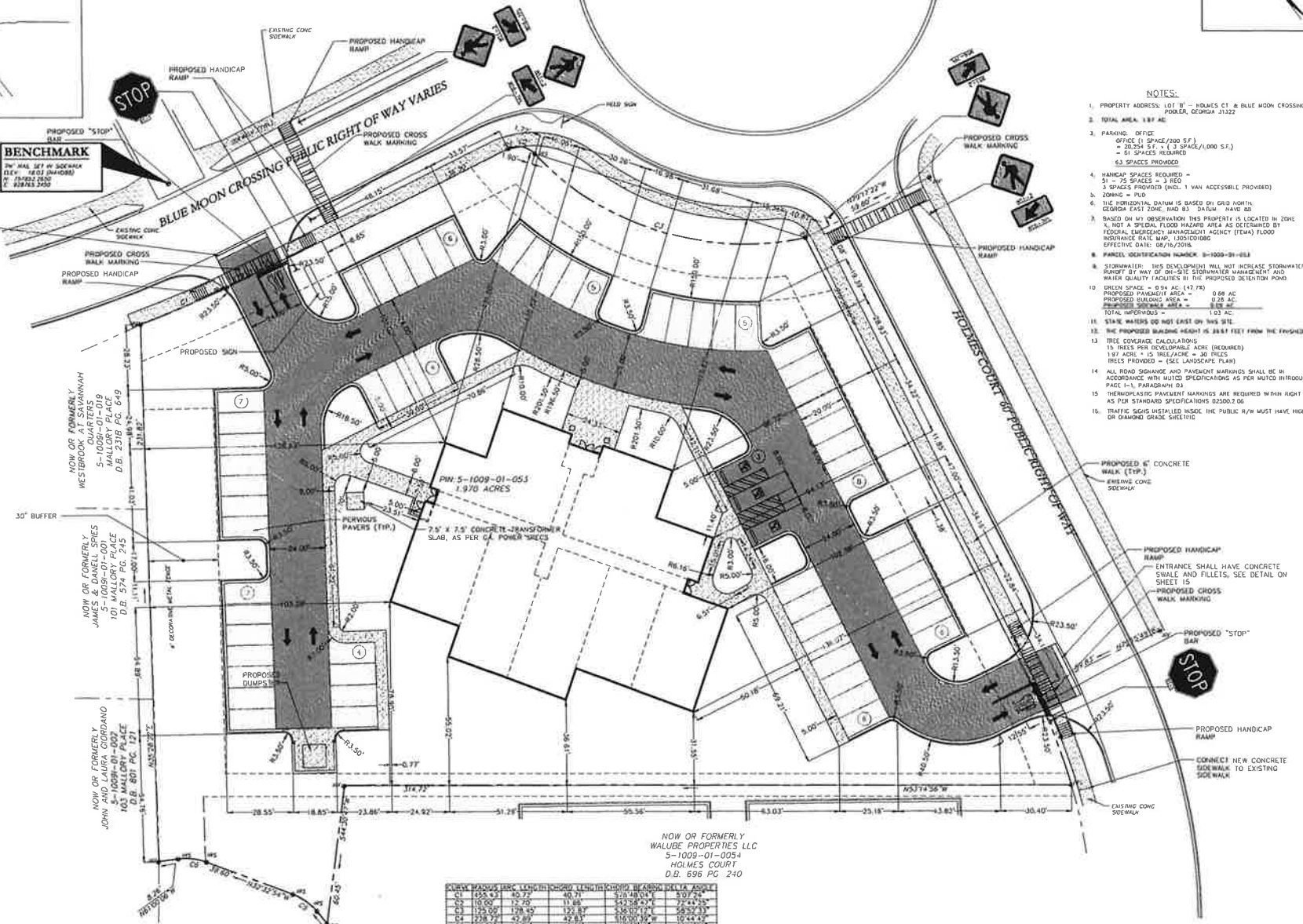


NOT TO SCALE



BENCHMARK
2" x 4" x 4" SET IN CONCRETE
ELEV. 48.00 (INDICATED)
BY PLANS 2020
BY 2018/03/08

ENTRANCE SHALL HAVE CONCRETE
SMALE AND FILETS. SEE DETAIL ON
SHEET 15



NOW OR FORMERLY
WESTBROOK AT 3255
5-1009-01-019
MALLORY PLACE
D.B. 2318 PG. 649

NOW OR FORMERLY
JAMES & DANIEL SPRES
5-1009-01-002
101 MALLORY PLACE
D.B. 574 PG. 745

NOW OR FORMERLY
JOHN W. HARTMAN
5-1009-01-002
100 MALLORY PLACE
D.B. 801 PG. 121

NOW OR FORMERLY
SOUTHWEST QUARTER
HOLDINGS LLC
5-1009-01-082
O POOLER PARKWAY

NOW OR FORMERLY
WALUBE PROPERTIES LLC
5-1009-01-0054
HOLMES COURT
D.B. 696 PG. 240

NO.	WALKWAY	AREA	LENGTH	WIDTH	PERIMETER	AREA	PERIMETER	AREA
01	055.43	40.72	40.71	378.48	0.16	5.07	94	
02	10.00	12.25	11.88	43.56	0.14	2.24	35	
03	124.00	178.50	172.87	136.57	1.14	6.25	31	
04	238.27	42.89	42.83	100.00	0.16	10.44	42	
05	25.00	12.50	12.50	50.00	0.16	2.50	11	
06	25.00	12.42	12.35	48.30	0.16	2.72	30	

- NOTES:**
- PROPERTY ADDRESS: LOT B - HOLMES CT & BLUE MOON CROSSING
POOLER, GEORGIA 31322
 - TOTAL AREA: 1.88 AC
 - PARKING: OFFICE
OFFICE (1 SPACE/200 S.F.)
= 20.24 S.F. = 1.3 SPACES/1,000 S.F.
= 61 SPACES REQUIRED
63 SPACES PROVIDED
 - HANDICAP SPACES REQUIRED =
51 = 25 SPACES = 3 RAMP
3 SPACES PROVIDED (INCL. 1 VEH ACCESSIBLE PROVIDED)
 - ZONING = PUD
 - THE HORIZONTAL DATUM IS BASED ON GRID NORTH
GEORGIA EAST ZONE (NAD 83) DATUM - NAD 83
 - BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE
X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD
INSURANCE RATE MAP, 13051000G
EFFECTIVE DATE: 08/19/2018
 - PARCEL IDENTIFICATION NUMBER: 9-1009-29-013
 - STORMWATER: THIS DEVELOPMENT WILL NOT INCREASE STORMWATER
DRAINAGE BY WAY OF ON-SITE STORMWATER MANAGEMENT AND
WATER QUALITY FACILITIES IN THE PROPOSED DETENTION POND
 - GREEN SPACE = 0.94 AC (42.7%)
PROPOSED PARKING AREA = 0.88 AC
PROPOSED SIDEWALK AREA = 0.25 AC
TOTAL IMPERVIOUS = 1.03 AC
 - STAKE MARKERS DO NOT EXIST ON THIS SITE
 - THE PROPOSED BUILDING HEIGHT IS 38.81 FEET FROM THE FINISHED FLOOR
 - TREE COVERAGE CALCULATIONS:
15 TREES PER DEVELOPABLE ACRE (REQUIRED)
1.87 ACRES = 15 TREES/ACRE = 30 TREES
TREES PROVIDED = (SEE LANDSCAPE PLAN)
 - ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN
ACCORDANCE WITH MUTCD SPECIFICATIONS AS PER MUTCD PRODUCTION,
PAGE 1-1, PARAGRAPH 9.1
 - THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY
AS PER STANDARD SPECIFICATIONS 02500.2.06
 - TRAFFIC SIGNS WITH LED NOISE: THE PUBLIC RIGHT WAY MUST HAVE HIGH INTENSITY
OR DIAMOND GRADE SHEETING

PROPOSED 4" CONCRETE
WALK (TYP.)
EXISTING CONCRETE
SIDEWALK

PROPOSED HANDICAP
RAMP
ENTRANCE SHALL HAVE CONCRETE
SMALE AND FILETS. SEE DETAIL ON
SHEET 15

PROPOSED CROSS
WALK MARKING

PROPOSED "STOP"
BAR

PROPOSED HANDICAP
RAMP
CONNECT NEW CONCRETE
SIDEWALK TO EXISTING
SIDEWALK

EXISTING CONCRETE
SIDEWALK

NOTES:
THIS PLAN IS FOR THE
CONSTRUCTION PLANS AND
SPECIFICATIONS EXPENSES
MONTHLY AFTER APPROVAL OF
CONSTRUCTION IS NOT
ACTUALLY PROVIDED.



FRETUS ENGINEERING
P.O. BOX 13091
SAVANNAH, GA 31416-0921
PH: (912) 232-2302
www.fretus.com



LENS & CERTIFIED DESIGN
PROFESSIONAL 2018

ANDY WHEAT, P.E.
CALL 1-800-282-7411

SAVANNAH
QUARTERS
OFFICE
LOT B

DESIGN
YAMU CHEN

PROPOSED FOR
PANTHERING LLC
100 MALLORY PLACE
SAVANNAH, GA 31302

PROJECT NO. 18-001
DATE: 08/15/18
DRAWN BY: JF
CHECKED BY: JF

**STARTING
PLAN**

SCALE: 1" = 30'
PROJECT NO.: 18-001
DATE: 08/15/18
DRAWN BY: JF
CHECKED BY: JF

SHEET 9 OF 17



1206 SCOTT STREET
COLUMBIA, SC 29201
PH: (803) 256-4000
www.landmarkgroup.com



811
SAVANNAH
CITY OF SAVANNAH
CALL BEFORE YOU DIG
811 SAVANNAH
CALL 1-800-252-7311

NO.	DESCRIPTION	DATE
1	ISSUED FOR PRELIMINARY REVIEW	11/15/2017
2	REVISED PER COMMENTS	11/15/2017
3	REVISED PER COMMENTS	11/15/2017
4	REVISED PER COMMENTS	11/15/2017
5	REVISED PER COMMENTS	11/15/2017
6	REVISED PER COMMENTS	11/15/2017
7	REVISED PER COMMENTS	11/15/2017
8	REVISED PER COMMENTS	11/15/2017
9	REVISED PER COMMENTS	11/15/2017
10	REVISED PER COMMENTS	11/15/2017

ISSUED FOR PRELIMINARY REVIEW

NOTE:
THE PERMIT FOR THIS CONSTRUCTION PLANS AND SPECIFICATIONS IS NOT VALID UNLESS APPROVED BY THE CITY OF SAVANNAH AFTER APPROVAL BY THE CITY ENGINEER.

PROJECT NAME:
SAVANNAH QUARTERS OFFICE LOT B

DESIGNED BY:
YANN DEBAU

PREPARED FOR:
PARKLEY ENGINEERING, LLC
201 S. GLENN ST.
SAVANNAH, GA 31401

PROJECT LOCATION:
1000 W. BROAD ST.
SAVANNAH, GA 31401

DATE: 11/15/17

LANDSCAPE PLAN

GRAPHIC SCALE: 1" = 20'

SAVANNAH QUARTERS TREE REQUIREMENTS
1.97 DEV. ACRES X 1 TREE PER 2,500 SF = 35 REQUIRED
35 TREES PROVIDED

CITY OF POOLER TREE REQUIREMENTS
1.97 DEV. ACRES X 15 TREES PER AC = 30 REQUIRED
35 TREES PROVIDED

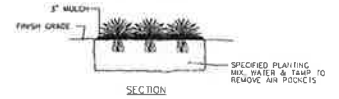
PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	QUERCUS VIRGINIANA 'HIGH RISE'	HIGH RISE LIVE OAK	12	12" CAL. 10' HIGHS	AS SHOWN
B	ACER RUBRUM 'SUPERSONIC RED'	RED MAPLE	14	12" CAL. 10' HIGHS	AS SHOWN
C	NOT USED				
D	TAXODIUM DISTICHUM	BALD CYPRESS	8	1" CAL. 10' HIGHS	AS SHOWN
E	ILEX CRENATA 'SOFT TOUCH'	SOFT HOLOG HOLLY	63	3 GAL.	3' O.C.
F	JUNIPERUS X PRITZERIANA 'MONSIEUR'	SEA OF GOLD JUNIPER	144	3 GAL.	3' O.C.
G	MULLENBERGIA CAPILLARIA 'WHITE CLOUD'	WHITE MOONLY GRASS	84	3 GAL.	5' O.C.
H	ILEX VOMITORIA 'DORISLADY'	DIARY YALPOH HOLLY	59	3 GAL.	3' O.C.
I	KNOCKOUT ROSE	ROSA x 'WINDRAZE'	56	3 GAL.	3' O.C.
J	EUROPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTUNIP	379	1 GAL.	1.5' O.C.
K	LACINIASTROCHA INDICA 'MUSCOE'	CRANE WHITE	3	1.5" CAL.	AS SHOWN
(S00)	CYNDODUM DACTYLOD	BERMUDA GRASS	23,900 SF	500	
	SHREDDED HARDWOOD MULCH	MULCH		3" DEPTH	

GENERAL NOTES:

- 1) QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN QUANTITIES IF THERE IS A CONFLICT BETWEEN QUANTITIES AND SPACING. SPACING SHALL PREVAIL.
- 2) ALL AREAS NOT COVERED BY CONSTRUCTION OR PLANT BED AREAS, SHALL BE PLACED IN TURF. ALL R.O.W. AREAS BETWEEN PLANT BEDS AND EDGE OF PAVEMENT SHALL BE PLACED IN TURF.
- 3) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FROM THE PROPER AUTHORITIES BEFORE BEGINNING ANY WORK WITHIN THE R.O.W. OR OFF SITE.
- 4) ALL PLANTINGS SHALL BE IRRIGATED BY HAND OR VIA AN UNDERGROUND IRRIGATION SYSTEM.
- 5) TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN.
- 6) NO IRRIGATION LINE SHALL BE INSTALLED IN THE CITY-OWNED R.O.W.

NOTE: ENTIRE PLANTING BED SHALL BE FILLED AND PREPARED AS SPECIFIED

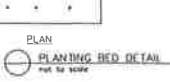


SECTION

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS

STAGGER PLANTS - SEE PLANTING PLAN FOR SPACING

PLAN



PLANTING BED DETAIL
NOT TO SCALE

NOTE:

* THE CONTRACTOR SHALL STAKE AND MARK THE TREES 41 HRS OR HER OWN DISCRETION.
* THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.05-A OF PLANTING SPECIFICATIONS.
* PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
* STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT.
* WIRE SHALL NOT TOUCH OR RUB AGAINST TRUNKS OR BRANCHES.
* FRESH GRADE



SMALL & MULTI-TRUNK TREE PLANTING & STAKING DETAIL
NOT TO SCALE

NOTE:

PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.



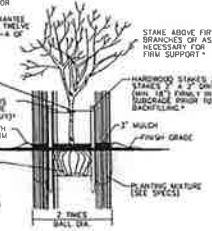
SHRUB PLANTING DETAIL
NOT TO SCALE

NOTE:

* THE CONTRACTOR SHALL STAKE / MARK THE TREES AT HIS OR HER OWN DISCRETION.
* THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.05-A OF PLANTING SPECIFICATIONS.
* PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

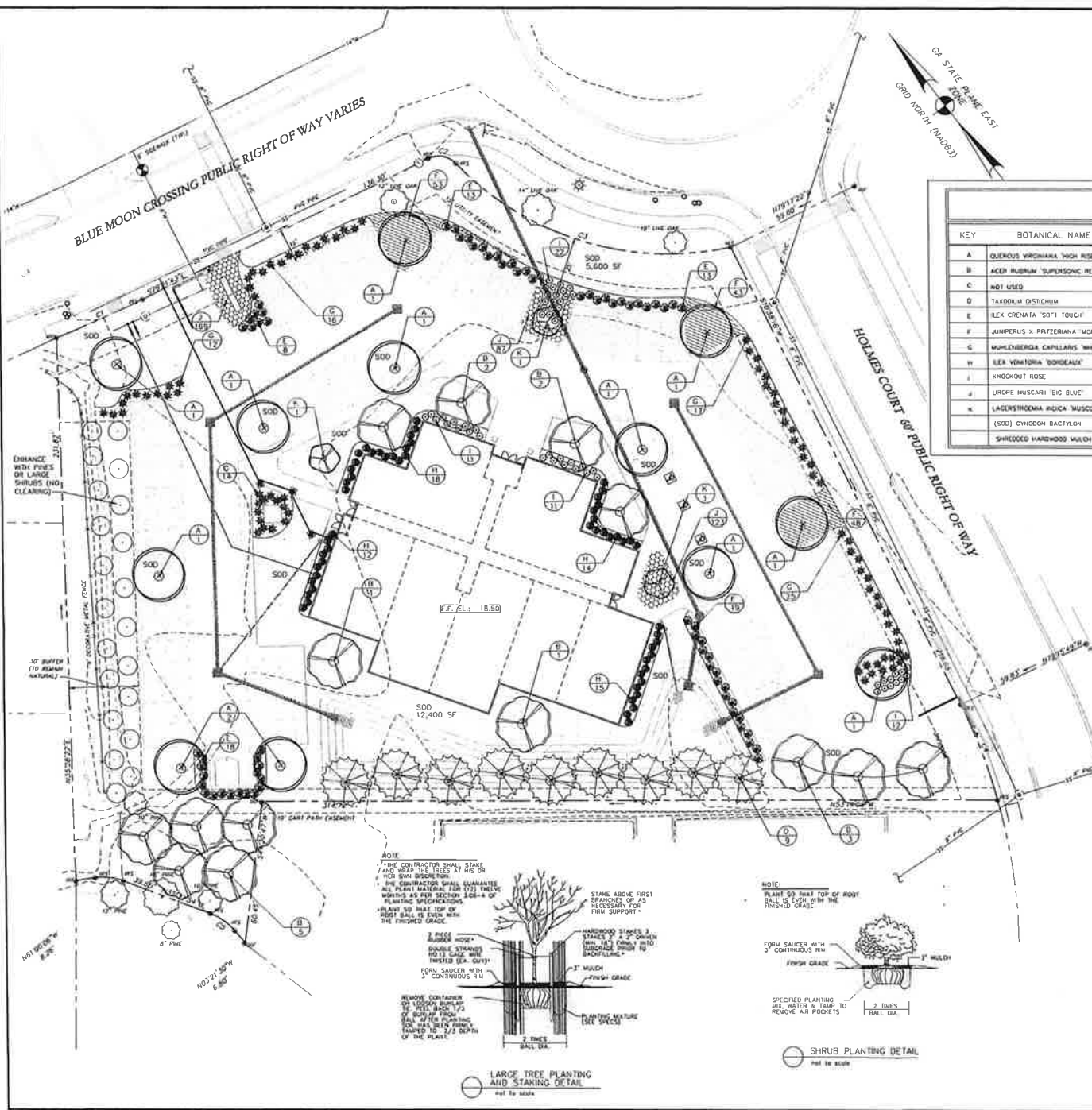


LARGE TREE PLANTING AND STAKING DETAIL
NOT TO SCALE



FORM SAUCER WITH 3" CONTINUOUS RIM
SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS

SHRUB PLANTING DETAIL
NOT TO SCALE





Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; *and*
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

AGENDA ITEM

Date: March 7, 2023

Subject: Site Plan/Landscape Plan for Pittman Subaru on Kita Ave. (Clear Lake Reserve)

Background & Discussion:

Wesley Green, with Coleman Company, presented the request to the P&Z Board for their review and recommendation. The intent is to construct a 39,273 sq. ft. automobile dealership and the infrastructure to support it. The project is located on the corner of Pooler Parkway and Kita Avenue.

Planning and Zoning Recommendation:

P&Z recommends approval of the site plan/landscape plan for Pittman Subaru, contingent upon \$14,025.00 being paid into the tree fund.

Staff Recommendation:

Staff recommends approval, contingent upon a Stormwater Maintenance Agreement being recorded and submitted to the City prior to a preconstruction meeting being scheduled and \$14,025.00 being paid into the tree fund.



February 15th, 2023

Charles C. Singleton, P.E.
Coleman Company
1480 Chatham Pkwy, Suite 100
Savannah, GA 31405

Dear Mr. Singleton,

I am pleased to provide you with a recommendation for Approval of the site development plans for 'Pittman Subaru', which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	Feb. 2023
	Master Traffic Impact Analysis.....	Jan. 2023
	Traffic Memorandum.....	Dec. 2022
	Master Stormwater Management Report.....	Jan. 2023
	Site Specific Stormwater Management Report.....	Feb. 2023
	Stormwater Maintenance Agreement.....	Aug. 2022
	Geotechnical Report.....	Aug. 2022
	Hold Harmless.....	Dec. 2022
	Buffer Variance Exhibit.....	Jan. 2023
	Water & Sewer Analysis.....	Dec. 2022
	Master Grading Plan (Approved).....	Dec. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill. GA 31324



www.eomworx.com



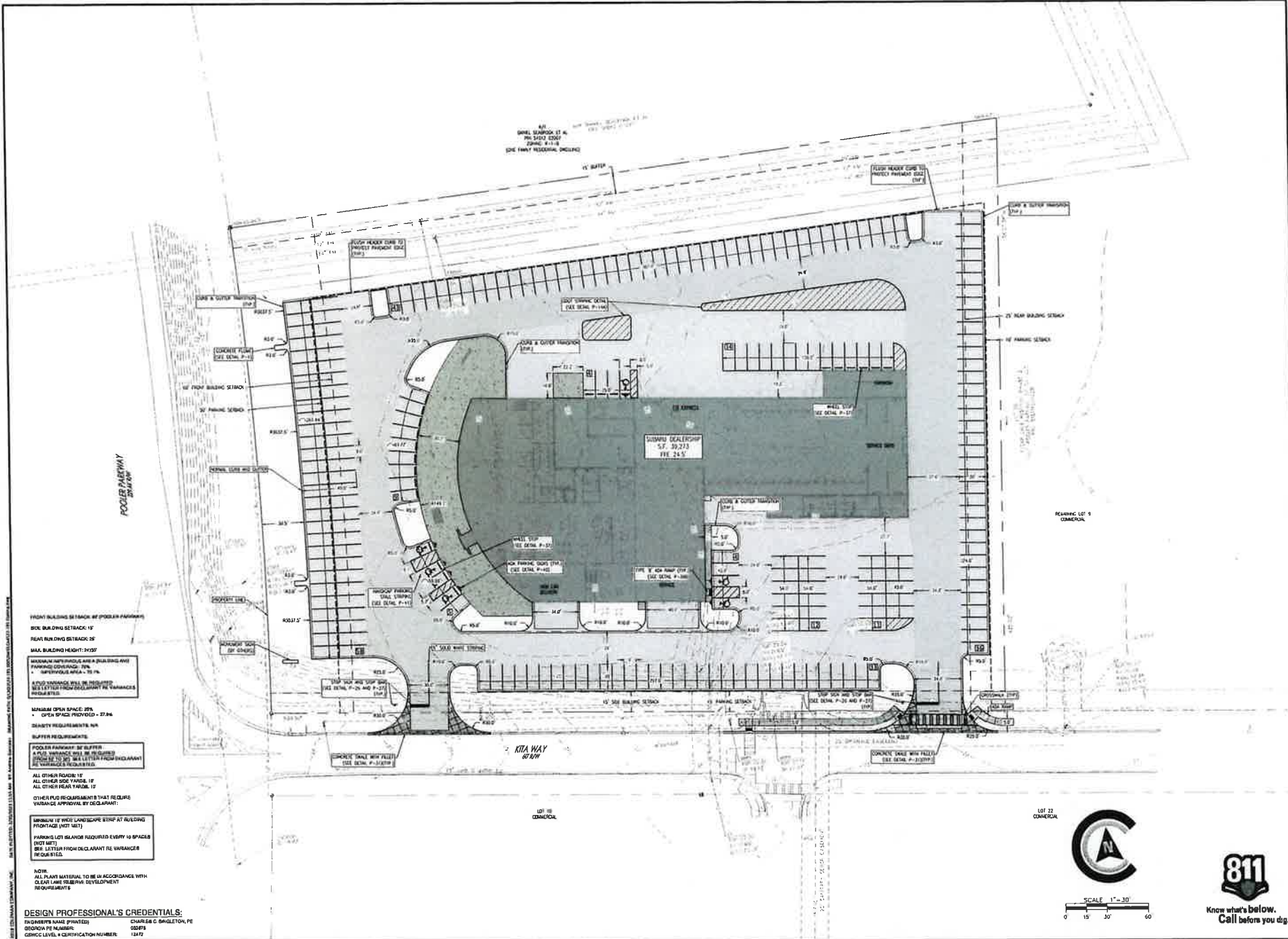
Ph: 912.445.0050
F: 912.756.5882



Project # 220834

Site Plan Application (page 1 of 3)

Applicant <u>Pittman Real Estate Holdings, LLC - Winston Pittman</u>		
Mailing address <u>7 Park of Commerce Way</u>		
City <u>Savannah</u>	State <u>GA</u>	Zip <u>31405</u>
Telephone <u>(912) 386-4040</u>	Fax () _____	
Property Owner(s) <u>LRP Hotels of South Myrtle Beach LLC</u>		
Mailing address <u>123 Canal Street, Suite 201</u>		
City <u>Pooler</u>	State <u>GA</u>	Zip <u>31322</u>
Telephone <u>(912) 348-3002</u>	Fax () _____	
Contact Person(s) <u>Coleman Company, Inc. - Wesley Green, PE</u>		
Mailing address <u>1480 Chatham Pkwy, Suite 100</u>		
City <u>Savannah</u>	State <u>GA</u>	Zip <u>31405</u>
Telephone <u>(912) 200-3041</u>	Fax () _____	E-mail <u>wgreen@cci-sav.com</u>
Location address <u>Clear Lake Reserve Phase II - Lot 2A, Kita Avenue, Pooler, GA 31322</u>		
Current Zoning <u>(C-2 Heavy Commercial)</u>	Parcel Identification Number <u>5101101008 (Parent PIN)</u> <u>(51011F01002A - proposed subdivision)</u>	
Please provide a brief description of the proposed land development activity and use of land thereafter to take a place on the subject property:		
<u>THE PARCEL IS CURRENTLY A CLEARED, MASTERPLANNED COMMERCIAL LOT.</u>		
<u>THIS PROJECT PROPOSES TO DEVELOP PARCEL INTO</u>		
<u>SUBARU AUTOMOTIVE DEALERSHIP.</u>		



FRONT BUILDING SETBACK: 8' (POOLER PARKWAY)
 SIDE BUILDING SETBACK: 15'
 REAR BUILDING SETBACK: 25'
 MAX. BUILDING HEIGHT: 27'00"

MAXIMUM IMPERVIOUS AREA & BUILDING AND PARKING COVERAGE: 75%
 SUPERVISABLE AREA: 75.7%

LAND VARIANCE WILL BE REQUIRED FOR SETBACK FROM DEPARTMENTAL REQUIREMENTS.

MAXIMUM OPEN SPACE: 25%
 OPEN SPACE PROVIDED: 27.8%

DEPARTMENTAL REQUIREMENTS:
 POOLER PARKWAY BY BUFFER & FILL VARIANCE WILL BE REQUIRED FROM DEPT. SEE LETTER FROM DEPARTMENTAL REQUIREMENTS FOR VARIANCE REQUIREMENTS.

ALL OTHER ROADS: IF ALL OTHER SIDE YARD, IF ALL OTHER REAR YARD, IF OTHER FUG REQUIREMENTS THAT REQUIRE VARIANCE APPROVAL BY DEPARTMENT.

MINIMUM 10' WIDE LANDSCAPE STRIP AT BUILDING FRONTAGE (NOT SET)

PARKING LOT BLANDS REQUIRED EVERY 10 SPACES (NOT SET)

SEE LETTER FROM DEPARTMENTAL REQUIREMENTS FOR VARIANCE REQUIREMENTS.

NOTE:
 ALL PLANT MATERIAL TO BE IN ACCORDANCE WITH CLEAR LAKE RESERVE DEVELOPMENT REQUIREMENTS.

DESIGN PROFESSIONAL'S CREDENTIALS:
 ENGINEER'S NAME (PRINTED): CHARLES C. BANGLETON, PE
 GEORGIA PE NUMBER: 05879
 CIVIL ENGINEER'S CERTIFICATION NUMBER: 12412



NOT FOR CONSTRUCTION

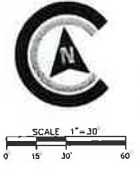
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
PITTMAN SUBARU POOLER
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR
 PITTMAN REAL ESTATE HOLDINGS, LLC

JOB NUMBER: 22-195
 DATE: 02/20/2023
 DRAWN BY: ARG
 CHECKED BY: CCS
 SCALE: AS NOTED

STAKING PLAN

SHEET:
C3.0



tree fund \$ 14,025.00

CITY OF POOLER LANDSCAPE REQUIREMENTS

TOTAL AREA - 10.84 AC
 TOTAL AREA OF UTILITY EASEMENTS - 11.13 AC
 TOTAL AREA OF DEVELOPMENT FOR TREE REPLACEMENT - 3.84
 TREE REPLACEMENT REQUIREMENT (15) TREES PER ACRE + 10.3 M + 50 TREES REQUIRED
 THESE PROVIDED 25

REQUEST A PAYMENT TO THE CITY OF POOLER TREE BANK IN THE AMOUNT OF
 (\$3) 7 CAL TREES @ \$20 / TREE + \$10725
 SITE IS SHOWING WITH UTILITY EASEMENTS ALONG FRONTAGE AND REAR OF THE PROPERTY
 UNDESIRABLE TREES TO BE REMOVED, NONE

SITE WITHIN CLEAR LAKE RESERVE, P.U.D.

DANIELS TREES SHALL BE HARDWOOD TREES 10 FEET OR MORE THAN TWO INCH DBH AND A MINIMUM
 HEIGHT REQUIREMENT OF EIGHT FEET. THE TREES TO BE PLANTED MUST BE PREFERRED
 HARDWOODS THAT CONFORM TO THE AMERICAN STANDARD FOR SUBSISTY STOCK, PLANTED OR
 RELOCATED TREES SHOULD BE APPROXIMATELY PLACED SO AS TO ENHANCE THE OVERALL
 LANDSCAPING OF THE SITE. ALL TREES PLANTED OR RELOCATED ON THE SITE MUST BE
 PROTECTED AND MAINTAINED UNTIL FINAL INSPECTION AND APPROVAL OF APPROVED BY THE CITY BUILDING
 OFFICIAL. POOLER GEORGIA CODE OF ORDINANCES -- PART 8: CODE OF ORDINANCES -- CHAPTER 42
 ENFORCEMENT -- ARTICLE V: TREE PROTECTION -- SEC. 42-106: REPLACEMENT

PREFERRED TREE LIST
 FOR MULTI-FAMILY COMMERCIAL AND INDUSTRIAL REQUIREMENT
 A RESIDENTIAL LOT SHALL HAVE A MINIMUM OF THREE PREFERRED TREES OF WHICH ONE SHALL BE LOCATED IN
 THE FRONT OF THE RESIDENCE OR BUSINESS AND SELECTED FROM THE LARGE OR MEDIUM TREE SPECIES FROM
 THE PREFERRED LIST
 BROAD LEAFED TREES SPECIES: AMERICAN BEECH AMERICAN ELM HYBRID AMERICAN STYACADE BALD
 CYPRESS BLACK OAK BRAKE OAK FLORIDA MAPLE LAUREL OAK LIVE OAK RED MAPLE RIVER BIRCH SOUTHERN
 WOODLAND WHITE OAK AND YELLOW OAK

VULNERABILITY SPECIES SPECIES: G O BIRCH ARALIA LITTLE LEAF BOXWOOD BUTTERNUT
 SETSBURDIA COBUELLA EASTERN REDWOOD SAGO PALM YELLOW AFRICAN IRIS PURPLE CONIFLOWER LOGAN
 TREE CHESTNUT CATALPA JASMINE DWARF BURFORD HOLLY HILLER B STENOVS HOLLY FRENCH WIDE
 TREE YELLOW WIGSBY TREE DWARF YAPUN HOLLY PHANOM JASMINE EASTERN RED CEDAR CREPE MYRTLE
 JACK FRUIT LOGANSTRAW JAPANESE PRINCE JETED GRASS LIORPE BLUE FRANGE FLOWER CHINESE IMPATIOLA
 WANDER GRASS VARIEGATED SPANBER GRASS HAWY ANNA MARY WAX MYRTLE CLEANER HORND GRASS
 FORTUNE TEA CLIVE FOURTAIN GRASS SWIRLY PONY TUSCAN ROSEMARY BLACK EYED SUSAN CORO GRASS
 ASATIC JASMINE VILIBRINA AND GOTT LEAF YUCCA

NO MORE THAN 20% OF SMALL SPECIES CAN BE USED FOR TREE REPLACEMENT UNLESS MOST OF PLANTING
 AREA IS TREE
 NO MORE THAN 50% OF REPLACEMENT TREES SHALL BE ONE SPECIES

IRRIGATION AND MAINTENANCE NOTES

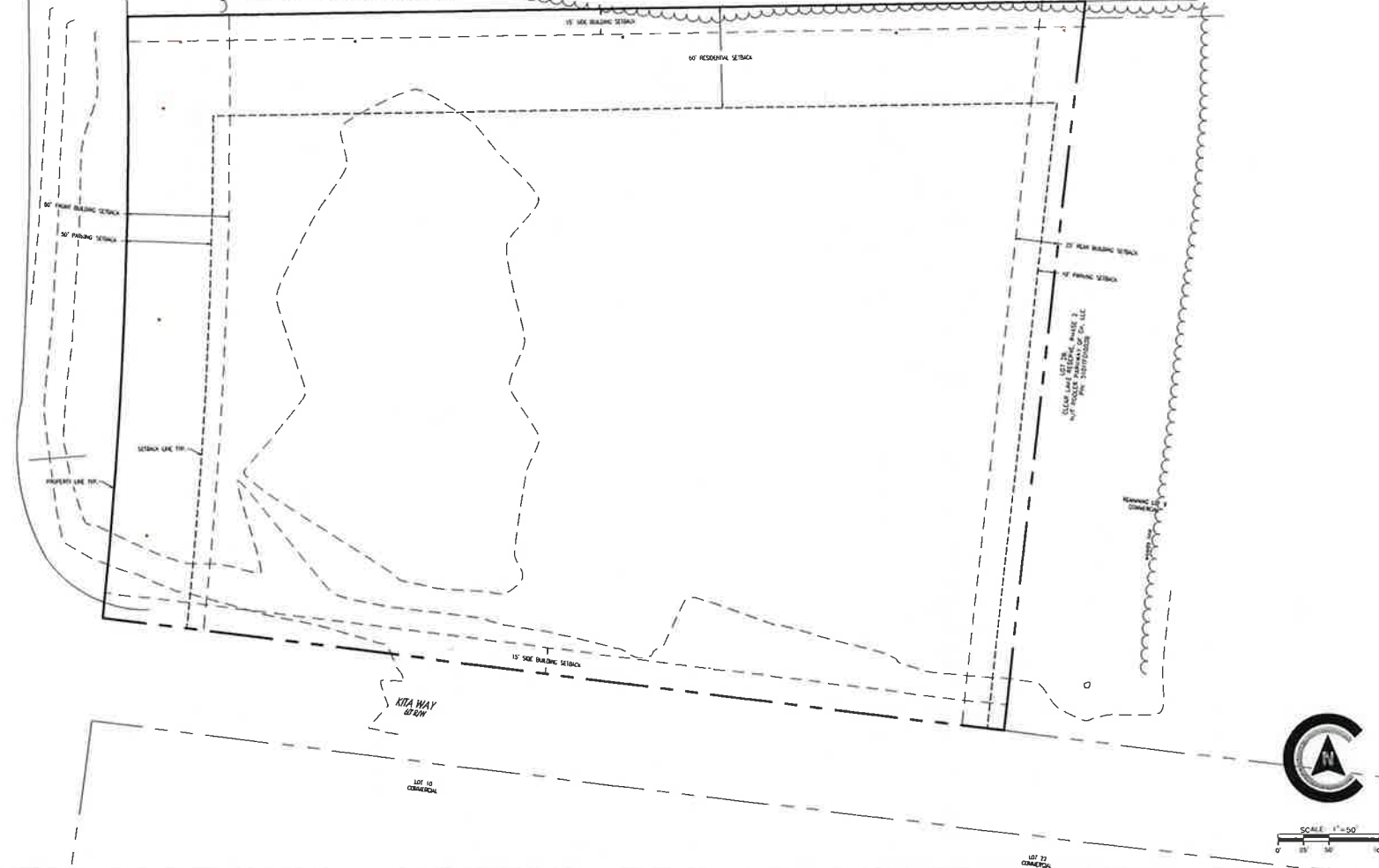
- ADEQUATE WATER SOURCES FOR PROPOSED LANDSCAPING SHALL BE PROVIDED FOR AT LEAST ONE YEAR
- ANY TREE REQUIRED TO MEET MINIMUM TREE COVERAGE REQUIREMENTS THAT IS LOST AT TEN (10) MONTHS OF FINAL APPROVAL BY THE CITY BUILDING OFFICIAL SHALL BE REPLACED WITH A TWO AND ONE-HALF INCH DBH TREE OF THE SAME TYPE

- NOTES
1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST
 2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 2" LAYER OF FRESH PINE STRAW/BARK
 3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES 102 WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS
 4. SEE SPECIFICATIONS THIS SHEET FOR FURTHER INSTRUCTIONS

NOTES CONTINUED
 TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
 ALL PLANT MATERIAL SHALL MEET OF EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR SUBSISTY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING

CITY OF POOLER LANDSCAPE GENERAL DISTRICT REQUIREMENTS

TOTAL DEVELOPED AREA - 3.84 AC
 MINIMUM COVERAGE - 25 PREFERRED TREES PER ACRE OF DEVELOPMENT: 2 DB + 11 - 53
 MINIMUM TREES PER PARKING - 1 LG @ MID TREE EVERY 10 PARKING SPACES (219 TOTAL AVAILABLE PS) + 16 TREES REQUIRED FOR PARKING
 MINIMUM TREES PER SIDEWALK - NO SIDEWALK TREES PERMITTED ON SIDE
 PLANTING NOTES PROVIDED - (25) 2" DBH (DBH) PREFERRED TREES



COLEMAN COMPANY
 ENGINEERS • SURVEYORS
 1000 N. W. 10th Street, Suite 100, Ft. Lauderdale, FL 33304
 (954) 561-1100

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GEORGIA
 SURVEYORS
 STATE BOARD
 1911
 PROFESSIONAL
 JAMES M. COLEMAN

REVISIONS:

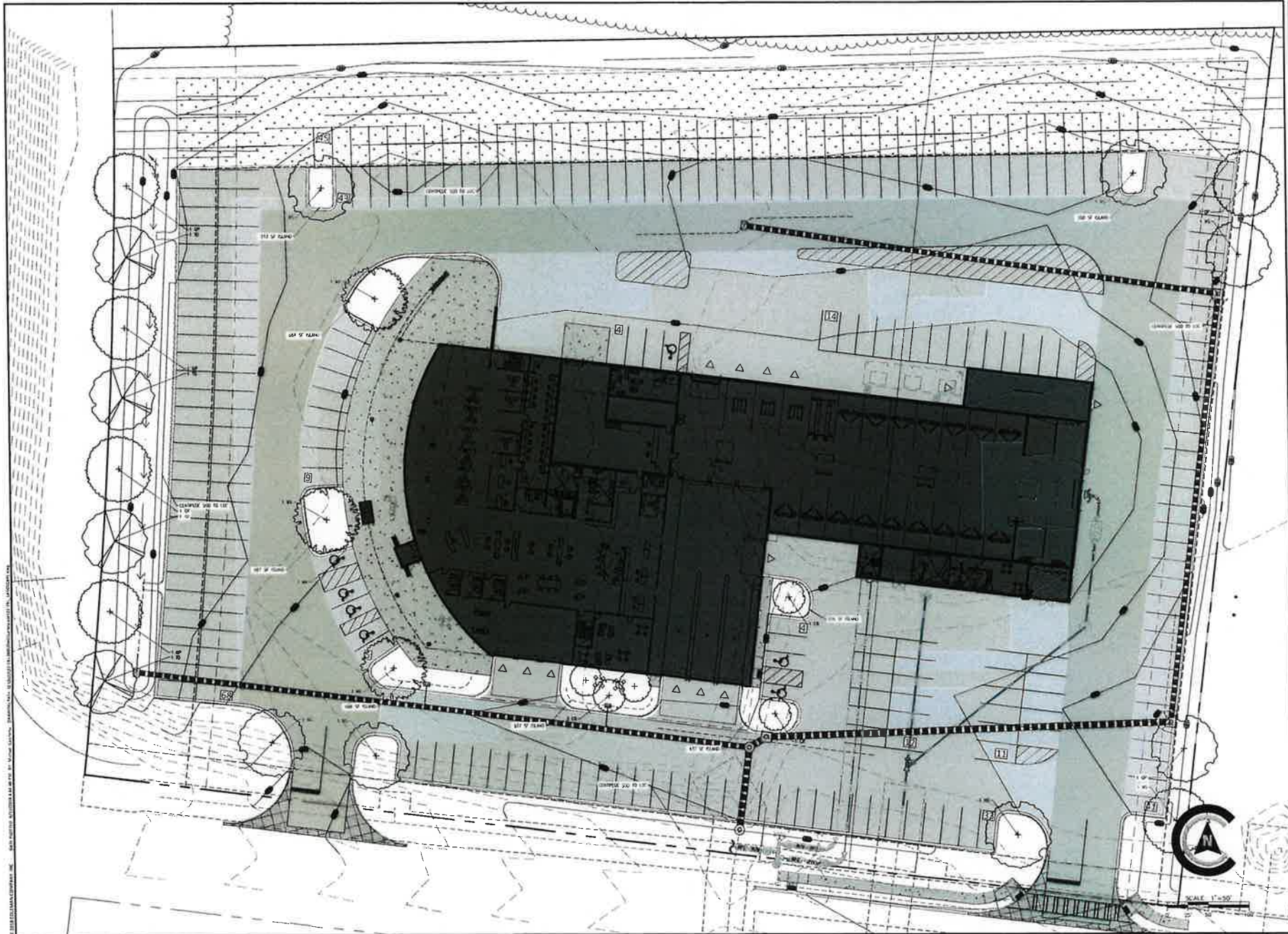
09/22/2022	CITY OF POOLER
11/11/2022	SUBMITTAL COMMENTS

LANDSCAPE PLAN FOR
PITTMAN SUBARU POOLER
 LOCATED IN POOLER, GA
 PREPARED FOR PITTMAN REAL ESTATE HOLDINGS, LLC.

JOB NUMBER: 22-195
 DATE: 10/04/2022
 DRAWN BY: MRC
 CHECKED BY: JMC
 SCALE: AS NOTED

EXISTING CONDITIONS

SHEET:
L1.0



NOT FOR CONSTRUCTION



REVISIONS:
09/23/2022: CITY OF POOLER
101 SUBMITTAL COMMENTS

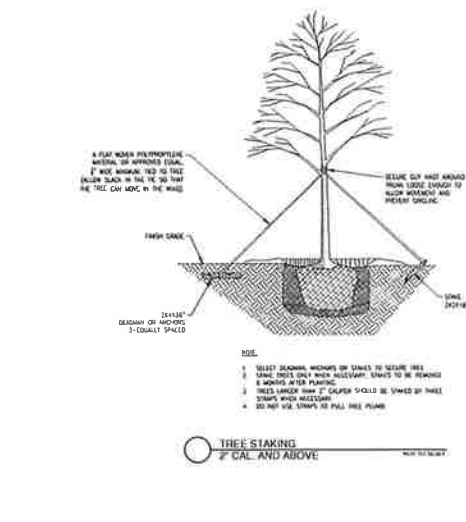
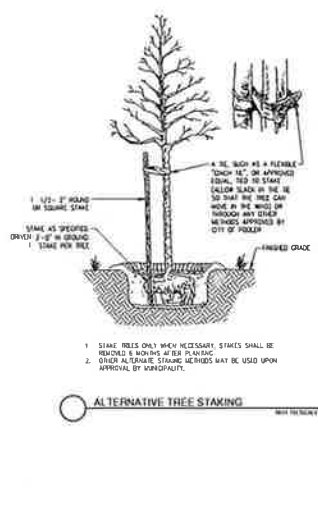
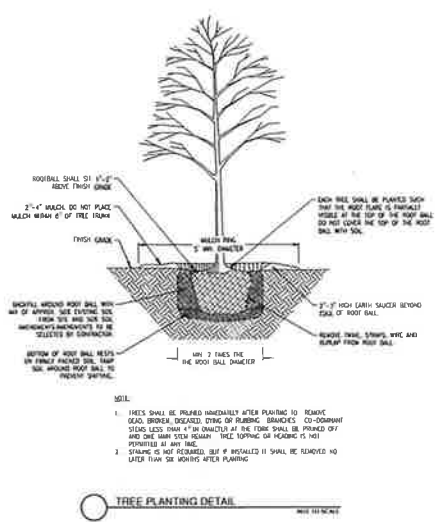
LANDSCAPE PLAN FOR
PITTMAN SUBARU POOLER
 LOCATED IN POOLER, GA
 PREPARED FOR PITTMAN REAL ESTATE HOLDINGS LLC.

JOB NUMBER: 22-193
 DATE: 10/04/2022
 DRAWN BY: ARC
 CHECKED BY: JMG
 SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:

L2.0



NOT FOR CONSTRUCTION

REVISIONS:
09/21/2022 CHIT OF POOLER
131 SUBMITTAL COMMENTS

LANDSCAPE PLAN FOR
PITTMAN SUBARU POOLER
LOCATED IN POOLER, GA
PREPARED FOR PITTMAN REAL ESTATE HOLDINGS LLC.

JOB NUMBER: 22-195
DATE: 10/04/2022
DRAWN BY: JMC
CHECKED BY: JMC
SCALE: AS NOTED

LANDSCAPE
DETAILS

SHEET:
L3.0

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES						
CE	5	SPHONDIATHUS PLENUM	CHICKEN BANANA TREE	1.5" CAL. MIN. 12-30 HI	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
NS	1	TRINIA SYLVESTRIS	TRINIA	1.5" CAL. MIN. 12-30 HI	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
MS	3	MALEICOLA & SERRANGATIA	MALEICOLA	1.5" CAL. MIN. 12-30 HI	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
TP	8	TOURNEFORTIA	WILLOW OAK	1.5" CAL. MIN. 12-30 HI	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
TD	4	TARAXACUM DICTYOCARPUM	WILD CYPRESS	1.5" CAL. MIN. 12-30 HI	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
		TOTAL				
GROUNDCOVER						
MS		EREMOZYLLA (SPERMATOPHYTES)	LENEEPOE SOG		7 FT x 1 FT x 1 FT, SPACING PER PLAN	

PLANTING NOTES

1. CONTINGENCY SHALL BE 10% OF TOTAL COST OF ALL OTHER ITEMS.
2. CONTINGENCY SHALL BE 10% OF TOTAL COST OF ALL OTHER ITEMS.
3. CONTINGENCY SHALL BE 10% OF TOTAL COST OF ALL OTHER ITEMS.
4. CONTINGENCY SHALL BE 10% OF TOTAL COST OF ALL OTHER ITEMS.

PLANTING

1. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
4. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

SOIL

1. SOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
2. SOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
3. SOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
4. SOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.

STAKING

1. STAKING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. STAKING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. STAKING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
4. STAKING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

TOPSOIL

1. TOPSOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
2. TOPSOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
3. TOPSOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.
4. TOPSOIL SHALL BE 18" x 18" x 24" DEEP FROM STAKE.

DRILLING

1. DRILLING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. DRILLING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. DRILLING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
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PLANTING

1. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
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4. PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

WATERING

1. WATERING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. WATERING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. WATERING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
4. WATERING SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

MAINTENANCE

1. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
4. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

PLANT SPECIFICATIONS

1. PLANT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
2. PLANT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
3. PLANT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.
4. PLANT SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF PEPPER TREE PLANTING SPECIFICATIONS.

Building Height: 20'-0"
 Mounting Height: 28'-0" AFG

Calculation Height: Frontline Car Sales: 3'-0" AFG
 Customer/Service Parking Lots: 0'-0" AFG

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Lum Lumens	Description	Total Watts		
	10	GALN-5MQ-2	Back-Back	0.900	73554	GALN-SA9D-750-U-5MQ-b2b	11040		
	3	GALN-5MQ-3	3 @ 90°	0.900	73554	GALN-SA9D-750-U-5MQ-Triple	4968		
	2	GALN-5WQ-4	4 @ 90°	0.900	73399	GALN-SA9D-740-U-5WQ-Quad	4416		
	6	GALN-AFL-HSS-2ro	ROTATED OPTICS	0.900	57459	GALN-SA9D-750-U-AFL-HSS-b2b rotated optics	6624		
	3	GALN-SL4-HSS	Single	0.900	57687	GALN-SA9D-750-U-SL4-HSS-Single	1656		
	8	GALN-SL4-HSS-2ro	ROTATED OPTICS	0.900	57687	GALN-SA9D-750-U-SL4-HSS-b2b rotated optics	8832		
	2	GALN-T3	Single	0.900	69546	GALN-SA9D-750-U-T3-Single	1104		

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpLr	PtSpTb	Grid Z
North Spill Light_Grade	illuminance	Fc	5.02	20.4	0.4	12.55	51.00	10	10	0
Customer and Service Parking_Grade (blue)	illuminance	Fc	21.35	38.7	3.3	6.47	11.73	10	10	0
Frontline New Car Sales_4FT AFF	illuminance	Fc	50.93	85.4	13.5	3.77	6.33	10	10	4

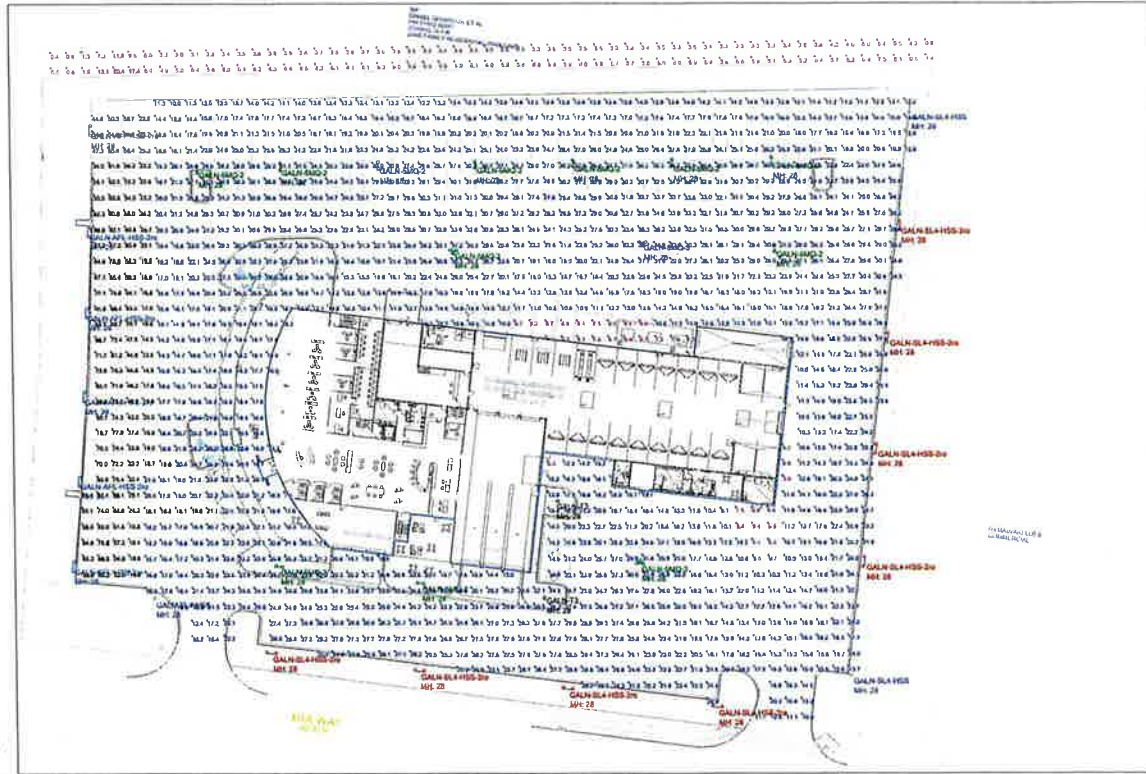
Notes:
 1. 0.0 -9.9 FC highlighted in magenta.

The calculations provided in this report are predicted lighting levels based on the above described input data and characteristic. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Ardd & Winter, Inc. assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures will physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

Where backgrounds are shown, these are typically used for reference purposes only, unless noted otherwise. Additional details available upon request.



Calculations By: WES
 Revised By:
 Date: 12/12/2022
 Scale: Not to Scale

Project Name: Subaru Pooler Car Sales
 Revision: P3



Site Plan Approval Standards

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- provides for adequate pedestrian and traffic access;
- provides adequate space for off-street parking and loading/unloading zones where applicable;
- provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- the proposed development site is adequately served by other public services to account for current or projected needs;
- provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; and
- Provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.

Pooler Rec Complex Tennis And Pickleball

Pooler,GA

Lighting System

Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
P1-P2	50'	50'	1	TLC-LED-1200	1.17 kW	A
		50'	1	TLC-LED-900	0.88 kW	A
P3	50'	50'	1	TLC-LED-1200	1.17 kW	A
		50'	1	TLC-LED-1200	1.17 kW	B
		50'	1	TLC-LED-900	0.88 kW	A
		50'	1	TLC-LED-900	0.88 kW	B
P4	50'	50'	1	TLC-LED-1200	1.17 kW	B
		50'	1	TLC-LED-1200	1.17 kW	A
		50'	1	TLC-LED-900	0.88 kW	B
		50'	1	TLC-LED-900	0.88 kW	A
P5	50'	50'	1	TLC-LED-1200	1.17 kW	B
		50'	1	TLC-LED-1200	1.17 kW	C
		50'	1	TLC-LED-900	0.88 kW	B
		50'	1	TLC-LED-900	0.88 kW	C
P6	50'	50'	1	TLC-LED-1200	1.17 kW	C
		50'	1	TLC-LED-1200	1.17 kW	B
		50'	1	TLC-LED-900	0.88 kW	C
P7	50'	50'	1	TLC-LED-900	0.88 kW	B
		50'	1	TLC-LED-1200	1.17 kW	C
		50'	1	TLC-LED-1200	1.17 kW	D
		50'	1	TLC-LED-900	0.88 kW	C
P8	50'	50'	1	TLC-LED-900	0.88 kW	D
		50'	1	TLC-LED-1200	1.17 kW	D
		50'	1	TLC-LED-1200	1.17 kW	C
		50'	1	TLC-LED-900	0.88 kW	D
P9-P10	50'	50'	1	TLC-LED-900	0.88 kW	C
		50'	1	TLC-LED-1200	1.17 kW	D
		50'	1	TLC-LED-900	0.88 kW	D
10			32		32.80 kW	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Pickleball	8.2 kW	8
B	Tennis 1-2	8.2 kW	8
C	Tennis 3-4	8.2 kW	8
D	Tennis 5-6	8.2 kW	8

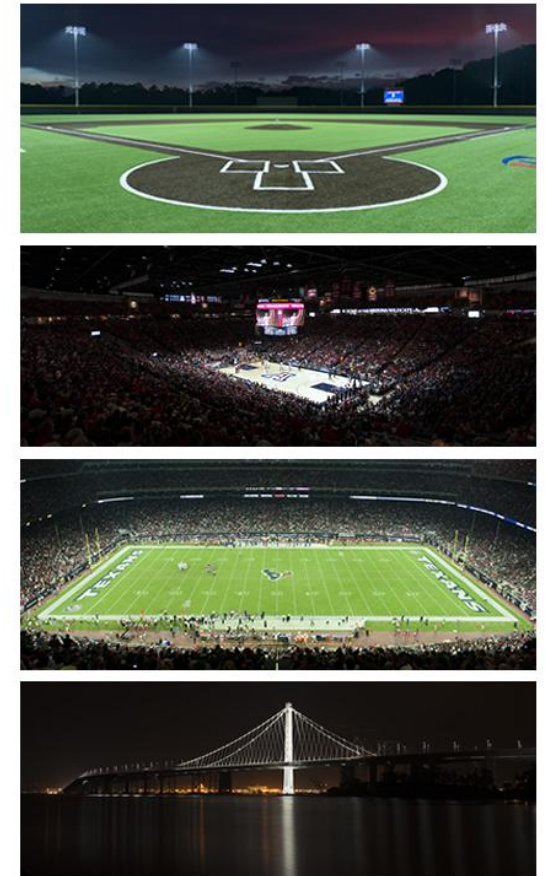
Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
TLC-LED-1200	LED 5700K - 75 CRI	1170W	150,000	>120,000	>120,000	>120,000	16
TLC-LED-900	LED 5700K - 75 CRI	880W	104,000	>120,000	>120,000	>120,000	16

Single Luminaire Amperage Draw Chart							
Driver (.90 min power factor)	Max Line Amperage Per Luminaire						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage							
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Pickleball	Horizontal Illuminance	52.1	42	65	1.56	1.24	A	8
Tennis 1-2	Horizontal Illuminance	55.2	50	63	1.25	1.10	B	8
Tennis 3-4	Horizontal Illuminance	54.8	49	62	1.26	1.12	C	8
Tennis 5-6	Horizontal Illuminance	53.4	45	61	1.36	1.19	D	8

From Hometown to Professional



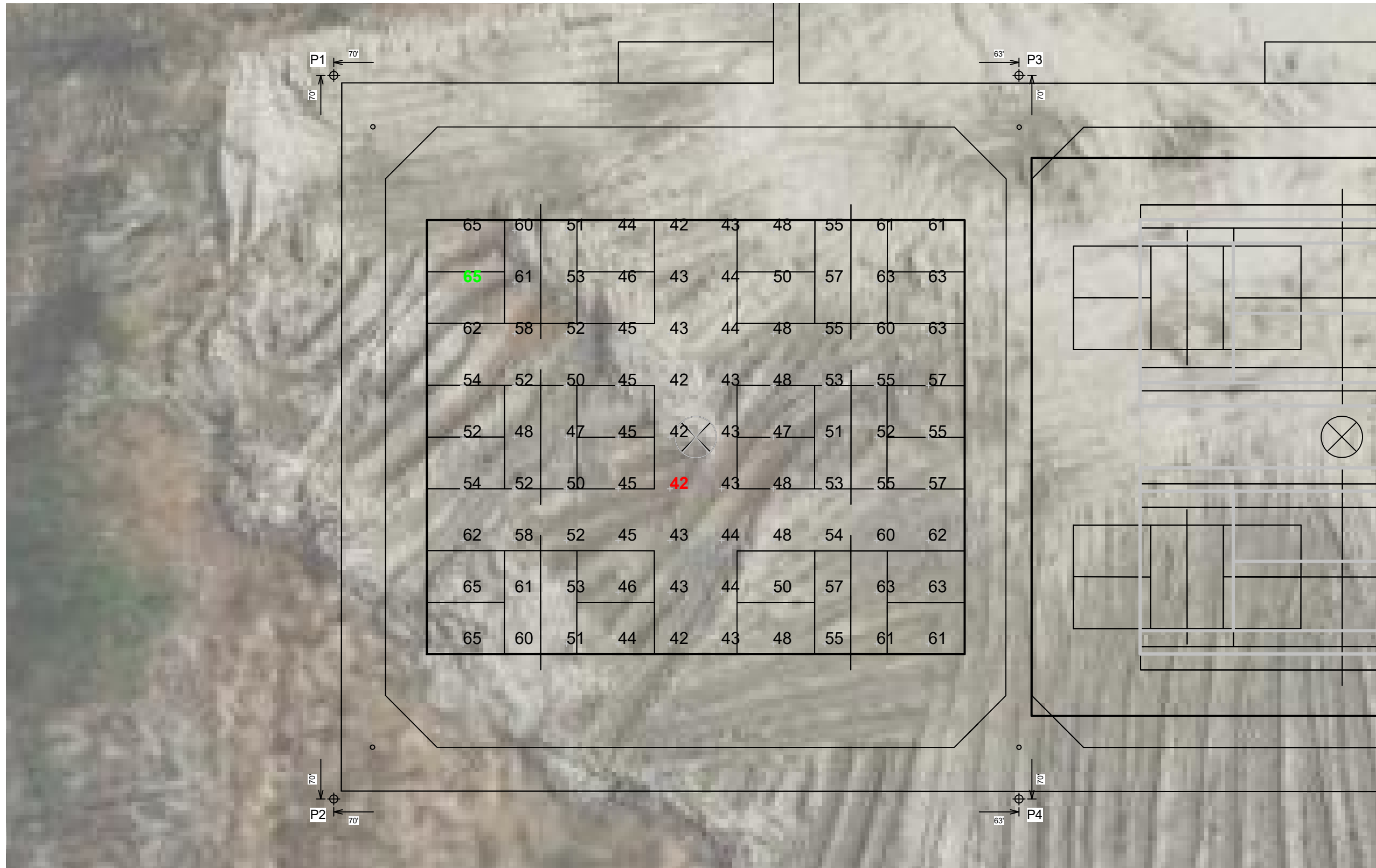
EQUIPMENT LIST FOR AREAS SHOWN

Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID	OTHER GRIDS
2	P1-P2	50'	-	50'	TLC-LED-900	1	1	0
				50'	TLC-LED-1200	1	1	0
2	P3-P4	50'	-	50'	TLC-LED-900	2	1	1
				50'	TLC-LED-1200	2	1	1
4	TOTALS					12	8	4

Pooler Rec Complex Tennis And Pickleball Pooler,GA

GRID SUMMARY	
Name:	Pickleball
Size:	104' x 84'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average:	50
Scan Average:	52.05
Maximum:	65
Minimum:	42
Avg / Min:	1.25
Guaranteed Max / Min:	2
Max / Min:	1.56
UG (adjacent pts):	1.17
CU:	0.47
No. of Points:	90
LUMINAIRE INFORMATION	
Applied Circuits:	A
No. of Luminaires:	8
Total Load:	8.2 kW

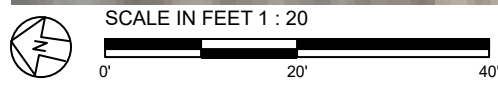


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) Ⓧ dimensions are relative to 0,0 reference point(s) ⊗

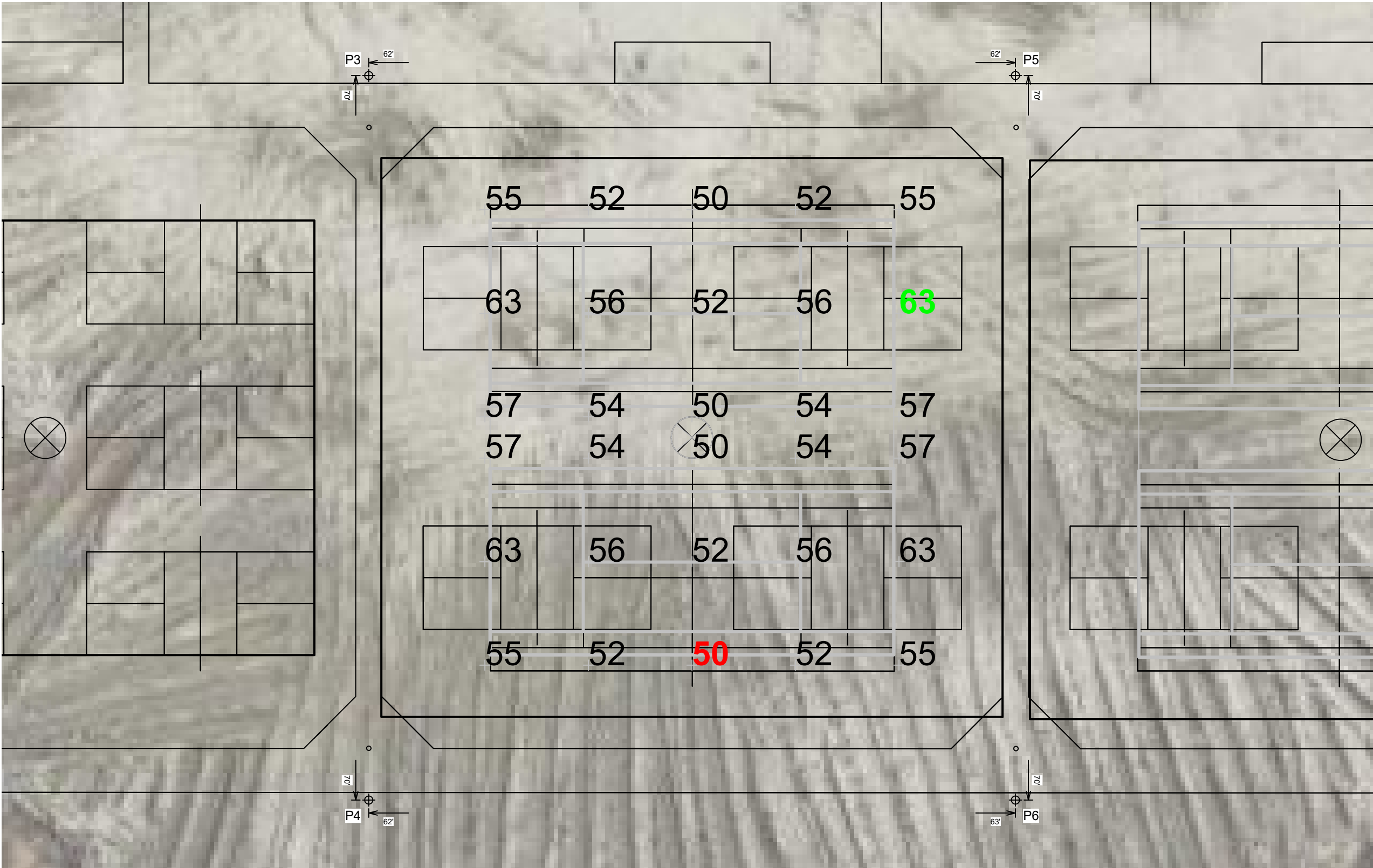


EQUIPMENT LIST FOR AREAS SHOWN							
Pole				Luminaires			
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID
4	P3-P6	50'	-	50'	TLC-LED-900	2	1
				50'	TLC-LED-1200	2	1
4	TOTALS					16	8

Pooler Rec Complex Tennis And Pickleball Pooler,GA

GRID SUMMARY	
Name:	Tennis 1-2
Size:	2 Court - 12' Spacing
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average:	50
Scan Average:	55.16
Maximum:	63
Minimum:	50
Avg / Min:	1.10
Guaranteed Max / Min:	2
Max / Min:	1.25
UG (adjacent pts):	0.00
CU:	0.66
No. of Points:	30
LUMINAIRE INFORMATION	
Applied Circuits:	B
No. of Luminaires:	8
Total Load:	8.2 kW

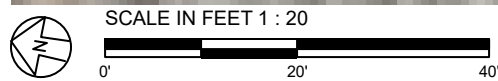


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗



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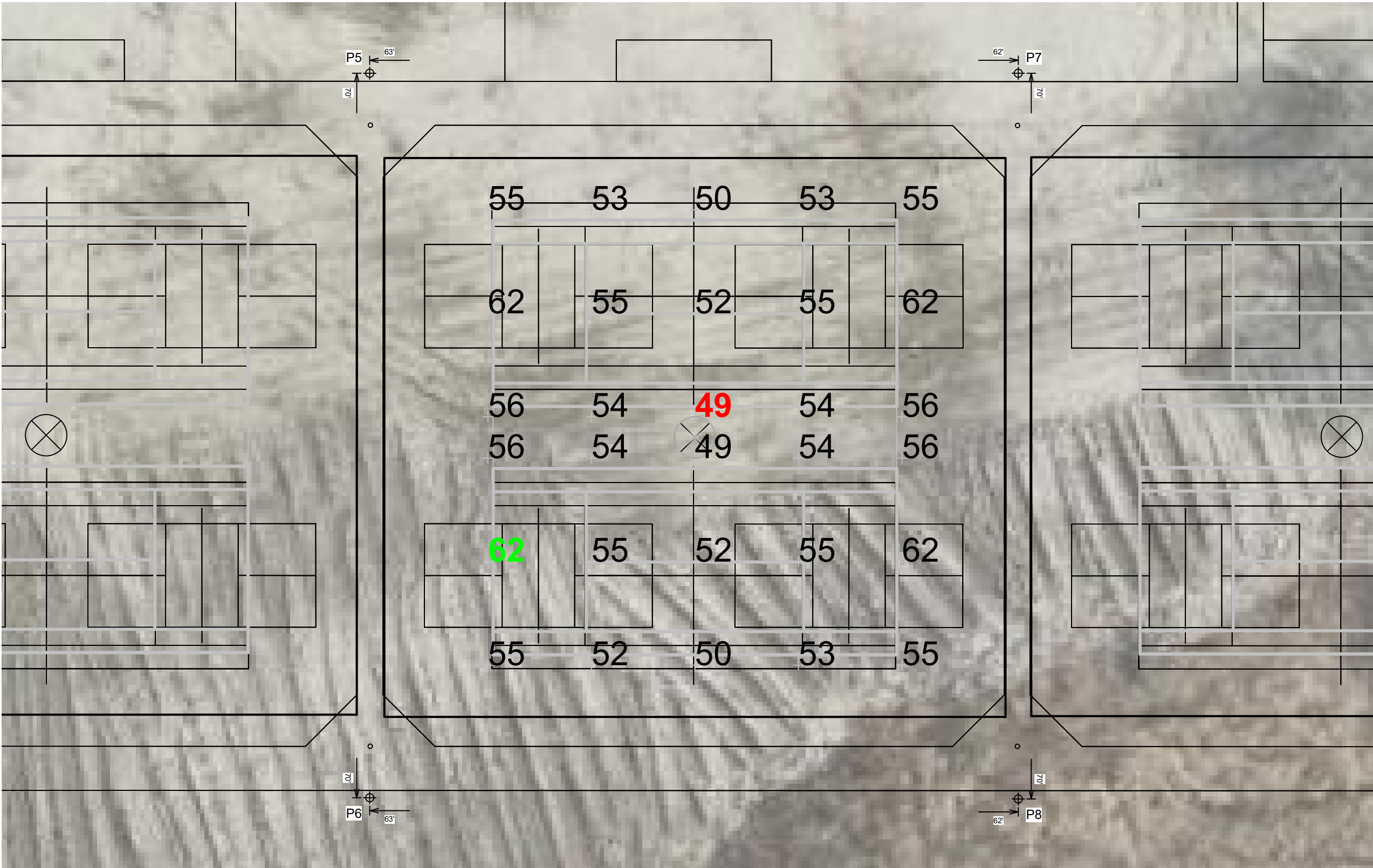
ILLUMINATION SUMMARY

EQUIPMENT LIST FOR AREAS SHOWN							
Pole				Luminaires			
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID
4	P5-P8	50'		50'	TLC-LED-900	2	1
				50'	TLC-LED-1200	2	1
4	TOTALS					16	8

Pooler Rec Complex Tennis And Pickleball
Pooler,GA

GRID SUMMARY	
Name:	Tennis 3-4
Size:	2 Court - 12' Spacing
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average:	50
Scan Average:	54.75
Maximum:	62
Minimum:	49
Avg / Min:	1.11
Guaranteed Max / Min:	2
Max / Min:	1.26
UG (adjacent pts):	0.00
CU:	0.65
No. of Points:	30
LUMINAIRE INFORMATION	
Applied Circuits:	C
No. of Luminaires:	8
Total Load:	8.2 kW

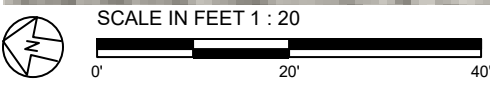


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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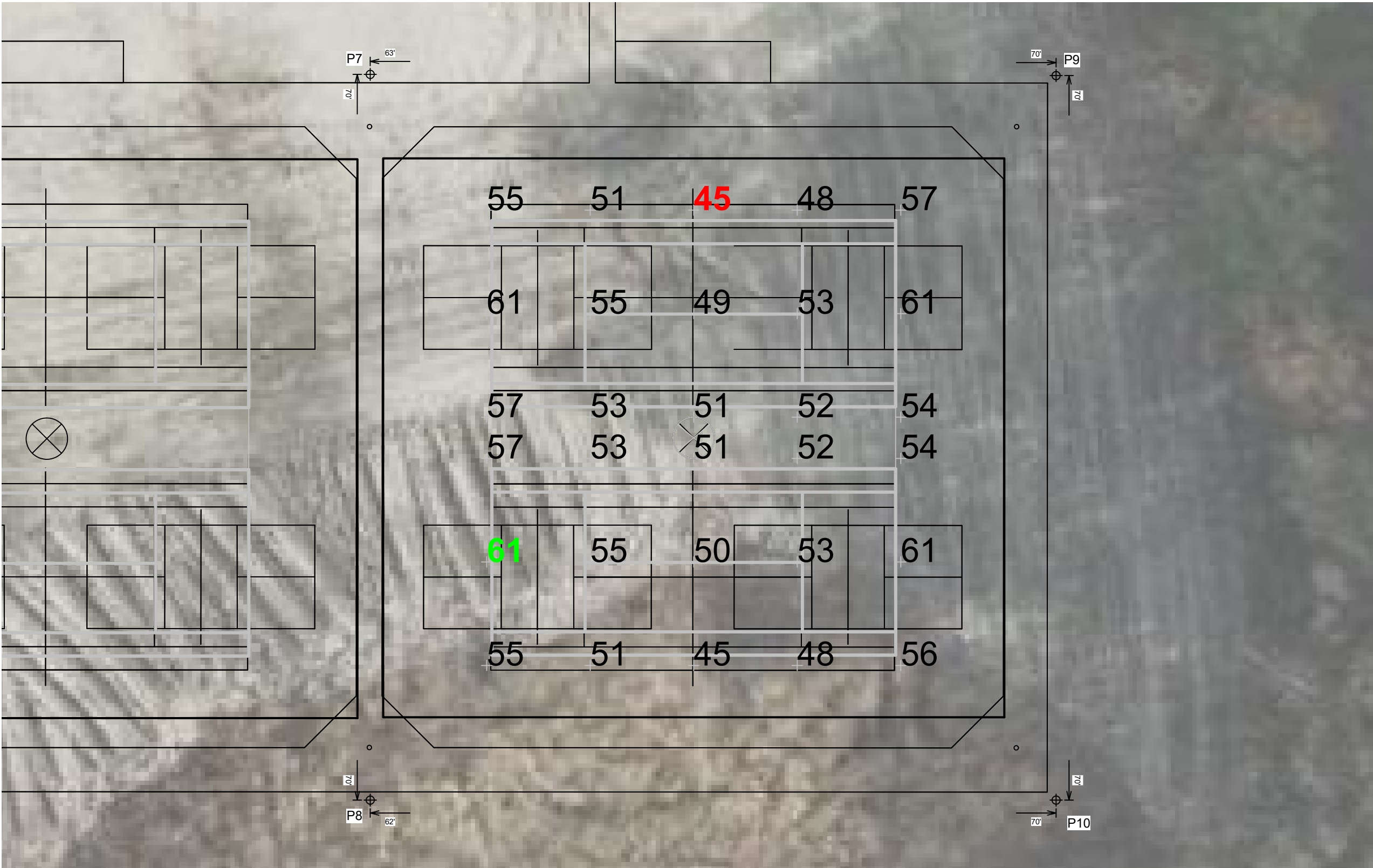
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EQUIPMENT LIST FOR AREAS SHOWN							
Pole				Luminaires			
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY / POLE	THIS GRID
2	P7-P8	50'	-	50'	TLC-LED-900	2	1
				50'	TLC-LED-1200	2	1
2	P9-P10	50'	-	50'	TLC-LED-900	1	1
				50'	TLC-LED-1200	1	1
4	TOTALS					12	8

Pooler Rec Complex Tennis And Pickleball
Pooler,GA

GRID SUMMARY	
Name:	Tennis 5-6
Size:	2 Court - 12' Spacing
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MAINTAINED HORIZONTAL FOOTCANDLES	
	Entire Grid
Guaranteed Average:	50
Scan Average:	53.42
Maximum:	61
Minimum:	45
Avg / Min:	1.18
Guaranteed Max / Min:	2
Max / Min:	1.36
UG (adjacent pts):	0.00
CU:	0.64
No. of Points:	30
LUMINAIRE INFORMATION	
Applied Circuits:	D
No. of Luminaires:	8
Total Load:	8.2 kW

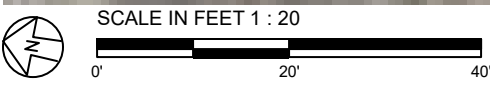


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) Ⓢ dimensions are relative to 0,0 reference point(s) ⊗



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ILLUMINATION SUMMARY

EQUIPMENT LAYOUT

INCLUDES:

- Pickleball
- Tennis 1-2
- Tennis 3-4
- Tennis 5-6

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

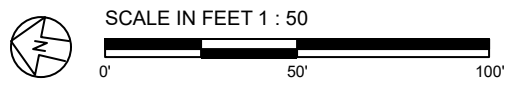
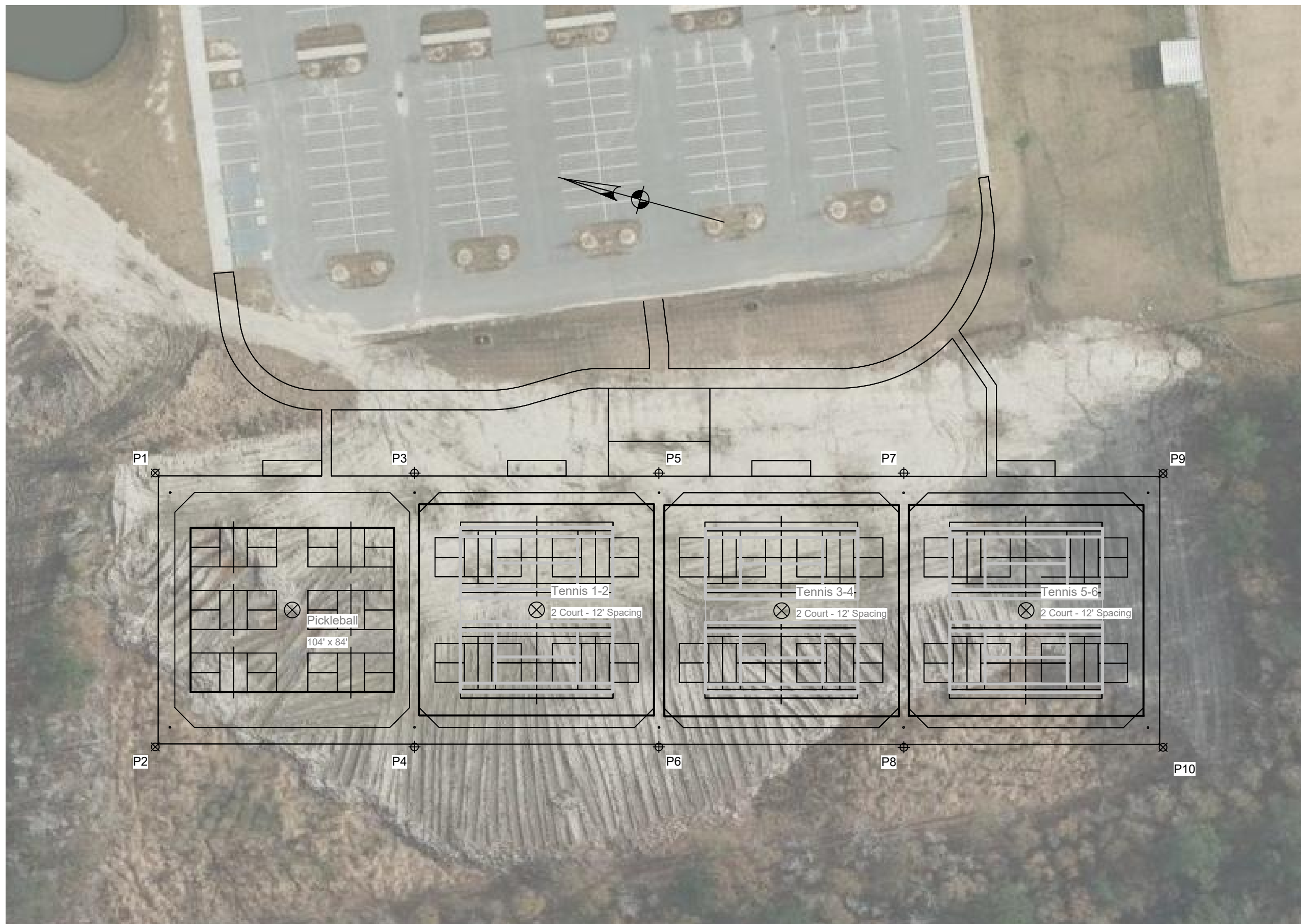
Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

EQUIPMENT LIST FOR AREAS SHOWN

QTY	Pole			Luminaires		QTY / POLE
	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	
4	P1-P2	50'	-	50'	TLC-LED-1200	1
	P9-P10			50'	TLC-LED-900	1
6	P3-P8	50'	-	50'	TLC-LED-900	2
				50'	TLC-LED-1200	2
10	TOTALS					32

SINGLE LUMINAIRE AMPERAGE DRAW CHART

Driver (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



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