

Green Truck Pub

for

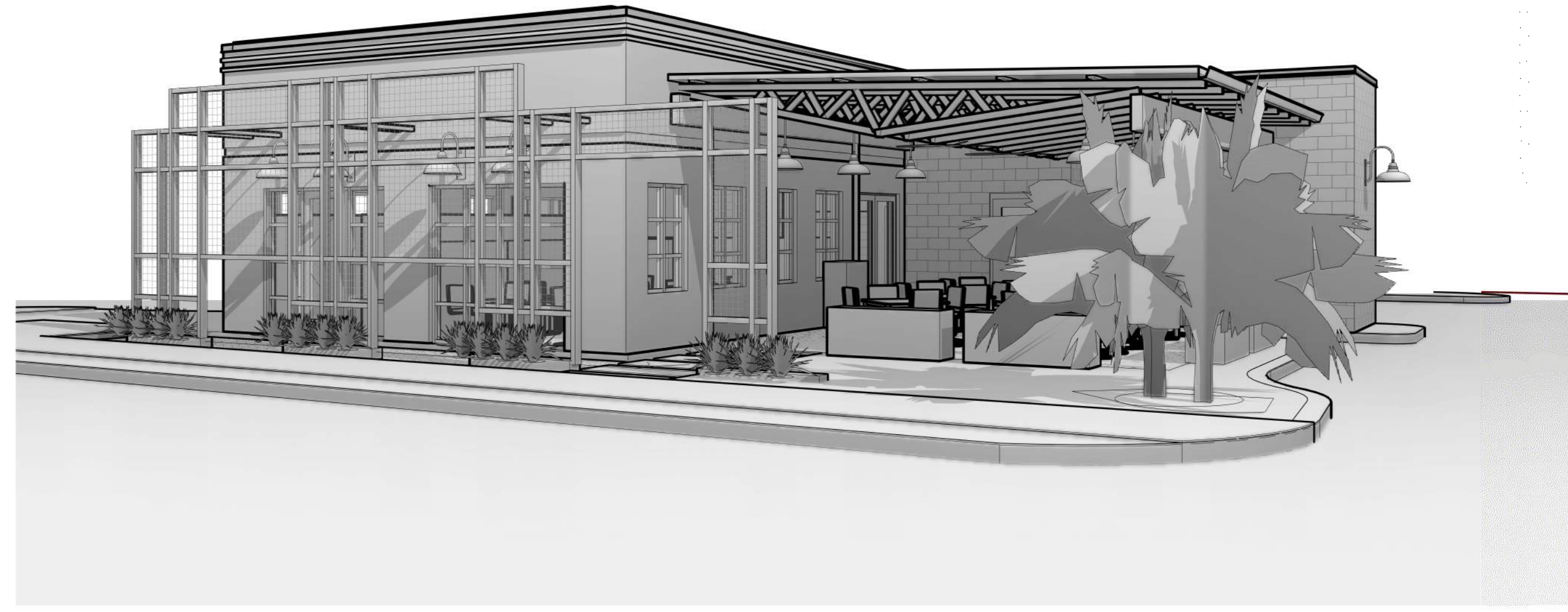
HOUSEMADE LLC

SHAH
ARCHITECTURE & INTERIORS

2217 Bull Street
Savannah, GA, 31401
912.447.3601

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SA# 2022-004



NOTE TO GENERAL CONTRACTOR

These drawings have been produced under a limited services agreement between the Owner / Owner's Representative and SHAH Architecture PC. They are to be used for Design Intent and in coordination with supplemental engineering drawings.

These drawings cannot stand alone as Construction Documents.

Selections not included in these documents will be coordinated by the Owner / Owner's representatives.

These documents are the work instruments of the Architect and have been prepared specifically and solely for the project named herein. They are not suitable for use on other projects or in other locations without the participation of the Architect. Reproduction is strictly prohibited. The Architect shall be deemed the author and owner of these documents and shall retain common law, statutory and other reserved rights, including the copyright.

For dimensions not shown or in question, the contractor will request clarification from SHAH Architecture PC before proceeding. All work requiring measuring shall be done according to figures on drawings and not scaled from drawings. The Architect shall furnish any missing dimensions upon request.

The General Contractor will verify all existing conditions in the field - any discrepancies will be brought to the attention of the Architect.

Information contained on these drawings is provided for the convenience of the General Contractor in executing the work. Every attempt has been made to provide complete and accurate representations of such conditions.

When Architectural drawings are in conflict with engineering drawings, the General Contractor shall request clarification from the Architect before proceeding.

All work shall conform to prevailing codes, ordinances and requirements. The General Contractor is responsible for obtaining all permits and inspections required for construction and shall pay all applicable fees.

SHAH Architecture + Interiors is not responsible for interpreting the intent of these construction documents, including making modifications as may be necessary during the construction phase. As the Architect of record, SHAH is not liable for the work where changes to these documents have been made.

PROJECT INFORMATION

Jurisdiction of
Code Enforcement: City of Savannah

Pin #: 20075-15001
Zoning: TC-1 Traditional Commercial-1

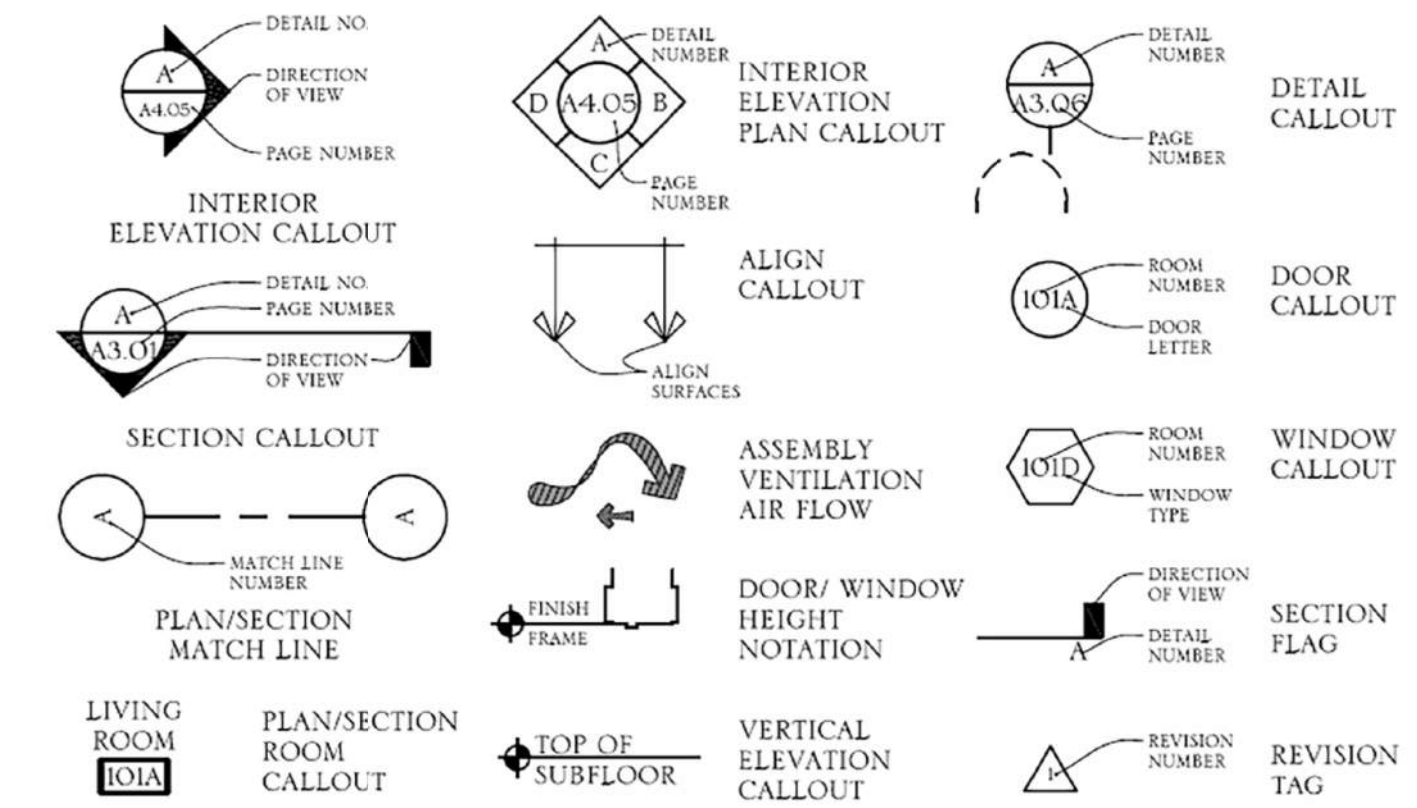
Existing Use: Restaurant
Proposed Use: Restaurant
Occupancy Classification: A-2
Construction Type: N/A
Sprinkled: N/A

Wind Exposure Class: B
Wind Speed: 110
Seismic Classification: 4

DRAWING SCHEDULE

Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
A0.00	Cover	01/03/23
A0.01	Project Schedules	01/03/23
A0.04	Site Survey	01/03/23
A0.05	Structural Notes	01/03/23
A1.00	Site Plan	01/03/23
A1.01	Ground Floorplan	01/03/23
A1.02	Existing and Demo Plans	01/03/23
A1.03	Hardscape and Roof Plan	01/03/23
A2.01	Reflected Ceiling Plan	01/03/23
A3.00	Maupus Overall Elevation	03/03/23
A3.01	Elevations	01/03/23

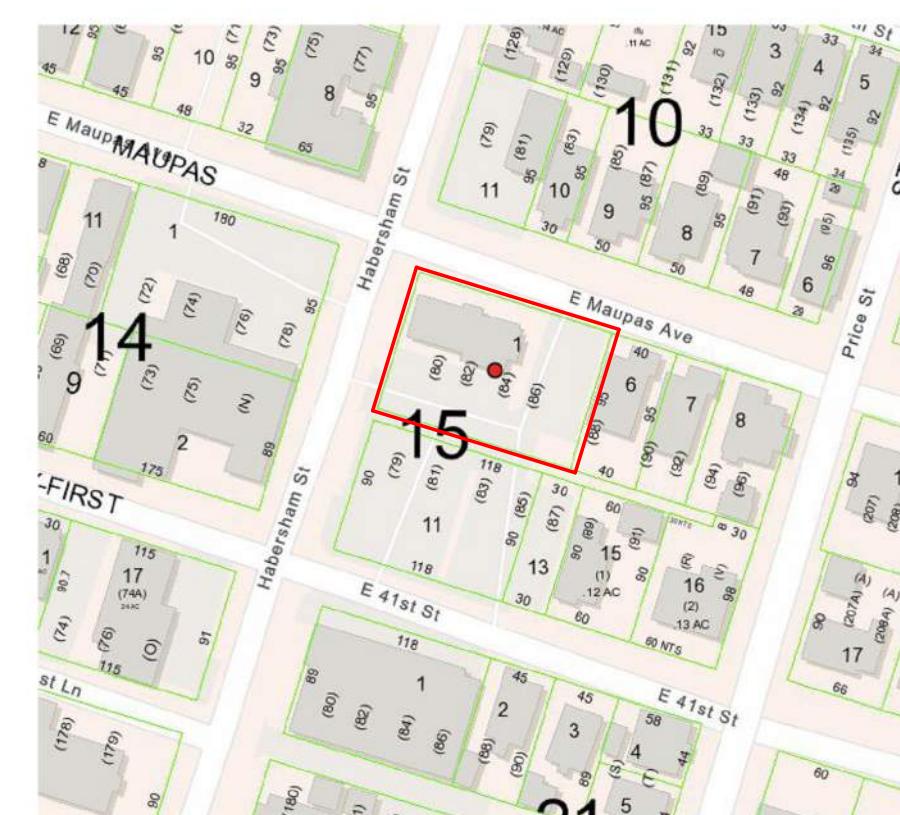
SYMBOL KEY



PROJECT DESCRIPTION

This project is the renovation/addition for the existing Green Truck Pub. The primary focus of the renovation will be exterior hardscape improvements, as well as window replacement and the addition of covered patio seating. The project also includes demolition of the existing metal mansard roof and repair of the existing parapet wall.

PROJECT LOCATION



ABBREVIATIONS

Typ.: Typical
B.O.: Bottom of
T.O.: Top of
U.N.O.: Unless Noted Otherwise
EQ.: Equal
Sim.: Similar

Min.: Minimum
C.O.: Casework Opening
P.T.: Pressure Treated
M.H.: Main House
C.H.: Carriage House
M.O.: Masonry Opening

N.: Nominal Size Call Out
A.: Actual Size Call Out
F.V.: Field Verify

ISSUE FOR: HPC COA SUBMITTAL

a document for the Renovation of the
Green Truck Pub

For **HOUSEMADE LLC**

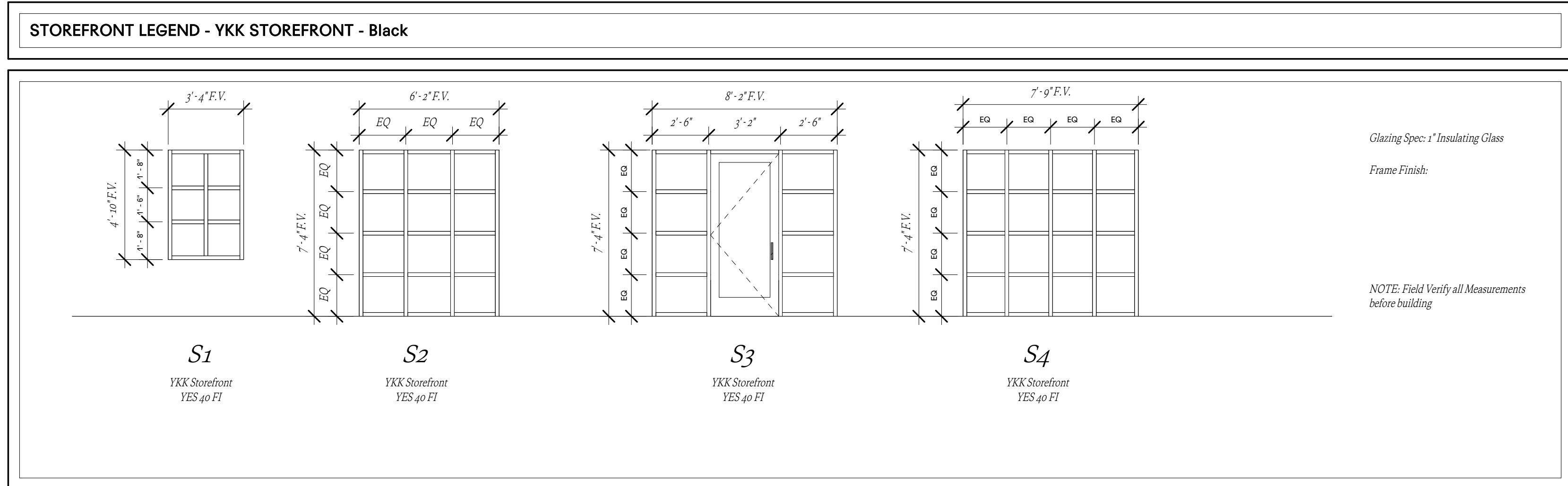
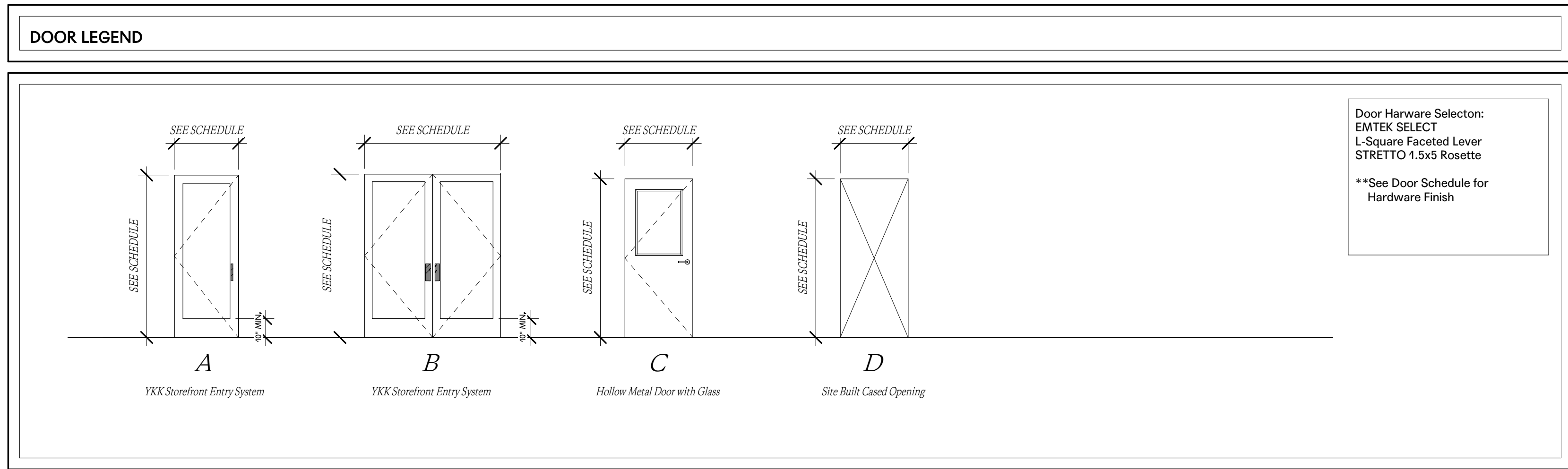
Savannah, GA

Cover	
Drawing Title	MARCH 1, 2023
Issue Date	
Mark	Revision
Revision	Revision Date

Doc. No. **A0.00**

Door Schedule							
NO.	To Room Name	Width	Height	Type Mark	Door Material	Finish	Comments
01		3' - 0"	7' - 2"	D			
02		6' - 0"	7' - 2 1/2"	B			
03		3' - 0"	7' - 0"	HH	Hollow Metal	Black	
04		3' - 0"	7' - 0"	C	Hollow Metal	Black	
05		3' - 0"	7' - 0"	D			

Lighting Fixture Schedule							
Type Mark	Image	Manufacturer	Description	Model	Finish / Color	Comments	
A		To Match Existing	Recessed Can	TBD			
CF-1		Big Ass Fan	Exterior Ceiling Fan	16" / 72" DIA			
DF-1		Revolution	Carson Shepherd's Hook Wall Sconce	A1246			
DF-2		Revolution	Carson Rod Pendant	A8390			



NARRATIVE SPECIFICATIONS

EXISTING CONDITIONS

Existing conditions and documents were prepared by Shah Architecture in a limited form. GC to field verify dimensions and any conditions that may not have been visible during preliminary documentation. An environmental assessment has not been completed and will be required prior to the start of construction to ascertain any unforeseen environmental conditions requiring Mitigation.

SUBSTITUTIONS

Any proposed substitutions shall be submitted to the Architect for approval prior to including in project pricing. Substitutions shall also be accompanied by a cost and/or time change.

SUBMITTALS:

All finish selections shall be submitted to the Owner and Architect with a physical sample of the specified material. Shop drawings shall be submitted to the Architect for all manufactured building components including but not limited to trusses, structural framing, Windows, Doors, Specialty Fabrications, Casework. If the GC Chooses to order materials prior to field conditions being present so as to allow for field verification of dimensions, GC takes the responsibility of insuring shop drawing dimensions are held for construction.

POWER & UTILITIES

GC will be made available access to Power and Water through the existing Facility. GC Shall provide his/her own onsite toilet facilities

PHASING OF WORK

Work shall be scheduled in such a manner to minimize disruption to building operations. Required closures or power / utility disruptions shall be planned with Owner a Min. of 2 Weeks prior to disruption. Work required to take place within the existing structure shall also be coordinated with ownership to allow for temporary shutdowns or disruptions during non-peak business hours.

CONCRETE:

See Structural Specifications

MASONRY

See Structural Specifications

METALS:

See Structural Specifications for Structural Metals.
Metal Fabrications for Decorative or Screening Structures shall be fabricated with 4513 12ga metal shapes. Joints shall be spot welded and filled. Fabrications shall be primed and prepared for field painting.

WOOD:

All framing wood shall be No. 2 or Better SYP Unless noted otherwise. Exposed Framing shall be No. 1 or better.
Framing Members exposed to elements or in contact with Concrete or Masonry shall be Pressure Treated.
Manufactured Trusses and Beam Systems will require an Engineered Shop Drawing including Design Loading information, bearing criteria, and limitations for field modifications as well as a general layout sealed by an engineer registered in the state of Georgia.
Exposed Wd Trim at building exteriors shall be KDAT. Interior Trim to receive Paint shall be finger jointed Poplar unless noted otherwise.
GC Shall be responsible for Providing blocking in walls to receive cabinetry, plumbing, or other wall mounted equipment as specified in drawings.
All wood in walls indicated as Fire Walls or Rated Construction shall be Fire Treated unless noted otherwise.
Casework shall be of plywood construction for the individual boxes with door finishes and construction as specified in the drawings.

THERMAL/MOISTURE PROTECTION

All new exterior walls shall receive R-15 Insulation. Roof Framing over Conditioned Spaces Shall receive R-30 Insulation.
New Exterior Walls shall receive a Vapor Permeable Liquid Applied Moisture / Air Barrier.
All Metal & Shingle Roofing over continuous sheathing shall have a synthetic nonbituminous self adhering sheet vapor permeable air Barrier.
Flashing materials shall be prefinished aluminum sheet material where exposed. Concealed & through wall flashings shall be bituminous coated mtl. flashings.
All window and door openings shall receive flexible self-adhering bituminous flashing at head and jamb. Window sills shall receive a mt or synthetic sill pans with prefabricated end dams.
All low sloped membrane roofs shall be a 60 Mil TPO Membrane mechanically fastened to substructure and sloped to gutters or drains. Where structure is not sloped or crickets are required install tapered polyisocyanurate insulation to achieve desired roof slope.
All Roof Penetrations shall be Coordinated with Roofing Installer to include prefabricated boots and to not void roof warranties.
All walls noted as fire walls shall receive intumescent sealant at all penetrations and wall / ceiling / roof joints.

DOORS / WINDOWS:

See Schedule for door and window types, styles and sizes. See Sheet A0.1 for Schedules and hardware design specifications. GC Responsible for submitting proposed hardware schedule based on specified design intent hardware. Architect will select from Manufacturers standard hardware styles and finishes for storefront windows and doors unless noted otherwise.

FINISHES

Gypsum walls shall receive a level 4 finish where exposed and receiving a painted finish. Walls within 8' of window jambs running perpendicular to window wall shall receive a level 5 finish. All bathrooms, Kitchen and other rooms susceptible to high moisture shall receive moisture resistant gypsum board.
All walls receiving tile shall either receive Moisture resistant gyp. bd or cement bd. as recommended by manufacturer.
Painting. All new construction exposed to view shall receive painted finish unless noted otherwise. All existing walls where construction has taken place shall receive new paint. Interior paint shall consist of a primer, and two finish coats with finish and color as specified by the Architect. Exterior Paint shall include a primer as recommended for the exterior material being coated. Surfaces shall also receive two finish coats with finish and color as specified by the Architect.

ELECTRICAL:

All lighting in public areas (not landscape) shall be dimmable. Different Fixtures shall be switched separately.
Security and Low V Data shall be coordinated and installed by Owners Vendor.
Electrical contractor to coordinate with GA. Power to have new Service extended to site.

MECHANICAL:

Mechanical

System 1 : New Office and Serving Area:
Estimated a new 1.5 Ton aire handler above ceiling with rooftop condenser.

Drawing Title	Project Schedules
Issue Date	MARCH 1, 2023
Mark Revision	Revision Date

Drawing Title	Site Survey
Issue Date	MARCH 1, 2023
Mark	Revision
Revision	Revision Date

MITR
GPS/GIS/SURVEY
374 EASTRIDGE DRIVE,
SAVANNAH, GEORGIA
PHONE: 912-354-4145
FAX: 912-354-6560
EMAIL: MITR374@COMCAST.NET



TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE PROVISIONS RELATIVE TO GEORGIA CODE SECTION 15-6-67 (D) DO NOT REQUIRE APPROVAL OF THIS PLAT BY ANY GOVERNING AUTHORITY PRIOR TO RECORDING WITH THE CLERK OF SUPERIOR COURT.

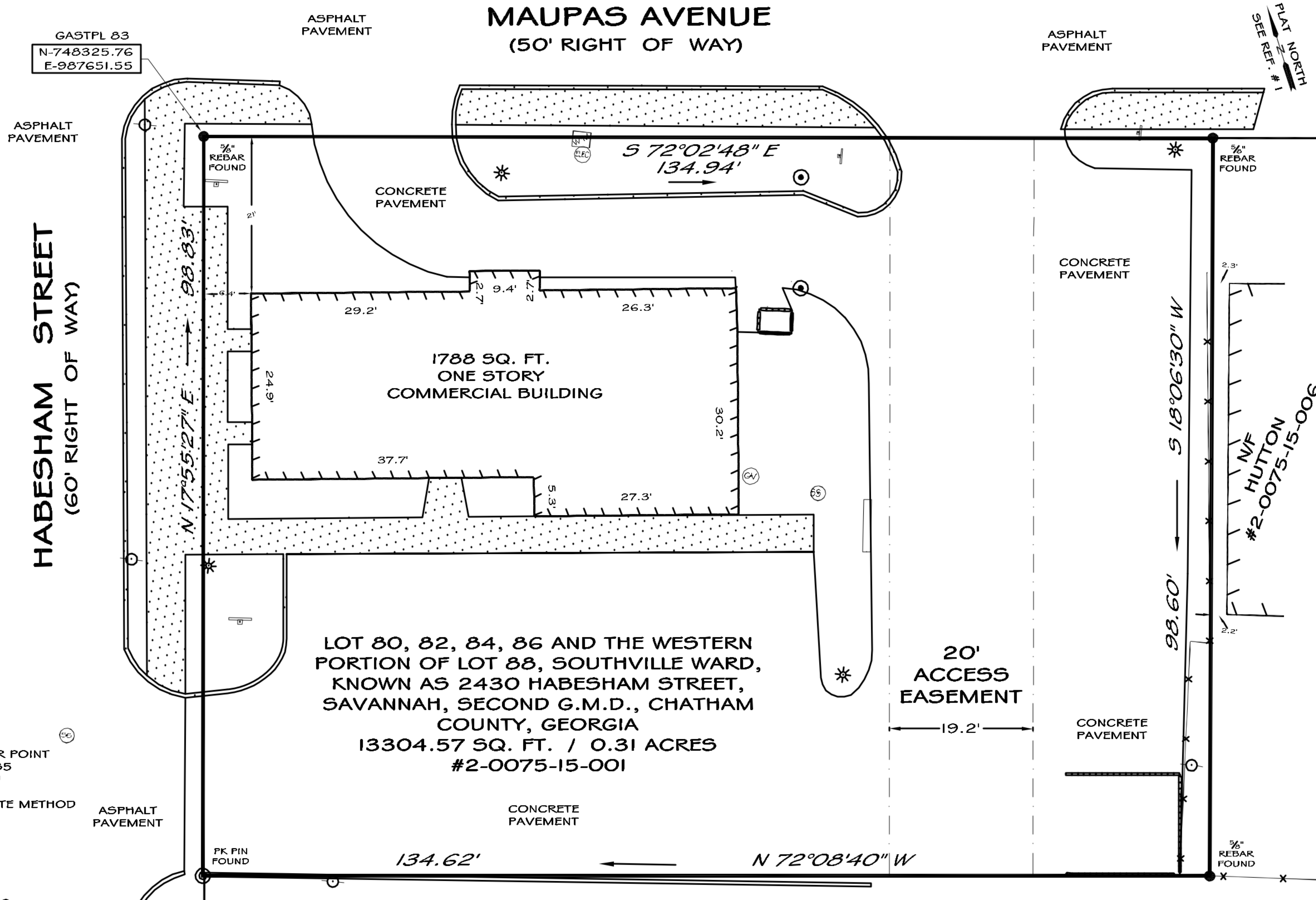
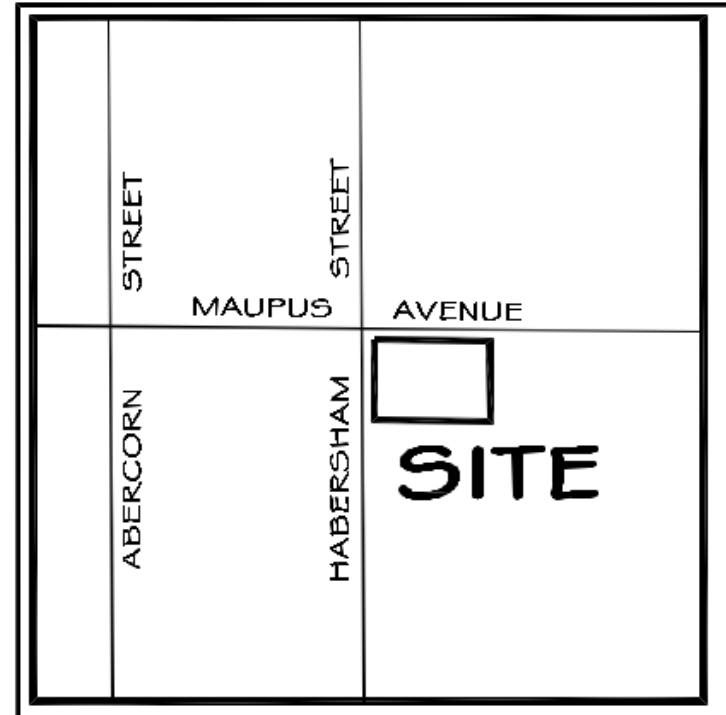
PREPARED FOR
UNITED COMMUNITY BANK INC. AND HOUSEMADE, LLC

LOT 80, 82, 84, 86 AND THE WESTERN PORTION OF LOT 88, SOUTHVILLE WARD, KNOWN AS 2430 HABESHAM STREET, SAVANNAH, SECOND G.M.D., CHATHAM COUNTY, GEORGIA

AS-BUILT LOCATION SURVEY

PLAT DATE:	JULY 19, 2018
FIELD DATE:	JULY 26, 2018
REVISION DATES:	

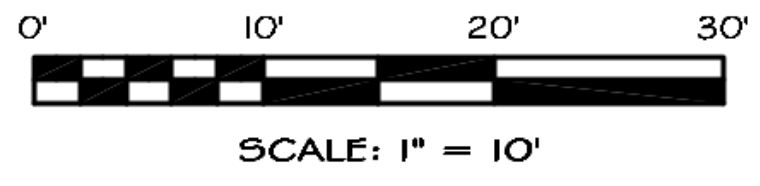
SHEET 1 OF 1



ANGULAR ERROR: LESS THAN 1" PER POINT
ERROR OF CLOSURE: FIELD 1/67,585
ERROR OF CLOSURE: PLAT 1/87,741
EQUIPMENT USED: TOTAL STATION
ADJUSTMENT METHOD: COORDINATE METHOD

- REFERENCES:
1. PLAT BY HELMLY DATED 6-12-1980 AND RECORDED AT SMB P; PAGE 26.
 2. DEED RECORDED AT DEED BOOK: 213C; PAGE: 699
 3. DEED RECORDED AT DEED BOOK: 108V; PAGE: 887

- GENERAL NOTES:
1. IN MY OPINION IN ACCORDANCE WITH F.I.R.M. MAP NO. 13051C0616F, REVISED SEPTEMBER 26, 2008, THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA.
 2. NO GUARANTEE, EITHER STATED OR IMPLIED IS MADE THAT THIS PROPERTY IS NOT SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTIONS, RESTRICTIONS, SUBSURFACE CONDITIONS, OR ANY OTHER MATTERS OF TITLE THAT ARE NOT VISIBLE, NOT DISCLOSED, OR NOT DISCOVERED BY TITLE EXAMINATION.
 3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES OR ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY OTHERS WITHOUT RE-CERTIFICATION BY THE UNDERSIGNED.
 4. EXISTING PROPERTY IDENTIFICATION NUMBER IS 2-0075-15-001
 5. NO WETLAND OR ENVIRONMENTAL ISSUES HAVE BEEN ADDRESSED ON THIS PLAT.
 6. UNDERGROUND FEATURES ARE LOCATED IN THE FIELD WHERE POSSIBLE BUT NO GUARANTEE CAN BE MADE AS TO LOCATION OR THAT ALL UNDERGROUND FEATURES ARE SHOWN.



LEGEND

- | | | | |
|---|------------------------|---|-------------------------|
| ○ | BENCHMARK | ○ | TREE |
| ⊙ | SURFACE LIGHT | ⊙ | HVAC |
| ⊙ | LIGHT STANDARD | ⊙ | CLEAN OUT |
| ⊙ | GAS METER | ⊙ | ELECTRIC |
| ⊙ | SANITARY SEWER MANHOLE | ⊙ | FLAG POLE |
| ⊙ | GRATE INLET | ⊙ | CONCRETE MONUMENT FOUND |
| ⊙ | STORM WATER MANHOLE | ⊙ | IRON PIN FOUND |
| ⊙ | WATER METER | ⊙ | IRON PIN SET |
| ⊙ | WATER VALVE | ⊙ | |
-
- | | |
|---|---------------------|
| — | OVERHEAD POWER LINE |
| — | BUILDING |
| — | STORM WATER LINE |
| — | SANITARY SEWER LINE |
| — | SHRUB ROW |
| — | WOODS LINE |
| — | BLOCK WALL |
| — | FENCE |
| — | CONCRETE |

SMB: _____ PAGE: _____ DATE: _____

Table with 4 columns: Drawing Title, Issue Date, Structural Notes, Mark Revision. Includes date MARCH 1, 2023.

STRUCTURAL DESIGN CRITERIA

BUILDING CODE 2018 INTERNATIONAL BUILDING CODE (IBC)

DEAD LOAD

DESIGN DEAD LOAD TABLE with columns CONSTRUCTION and DEAD LOAD. Value: 20 PSF.

FLOOR LIVE LOAD

FLOOR LIVE LOAD TABLE with columns FLOOR USE, UNIFORM LIVE LOADING, and CONCENTRATED LIVE LOADING.

ROOF LIVE LOAD

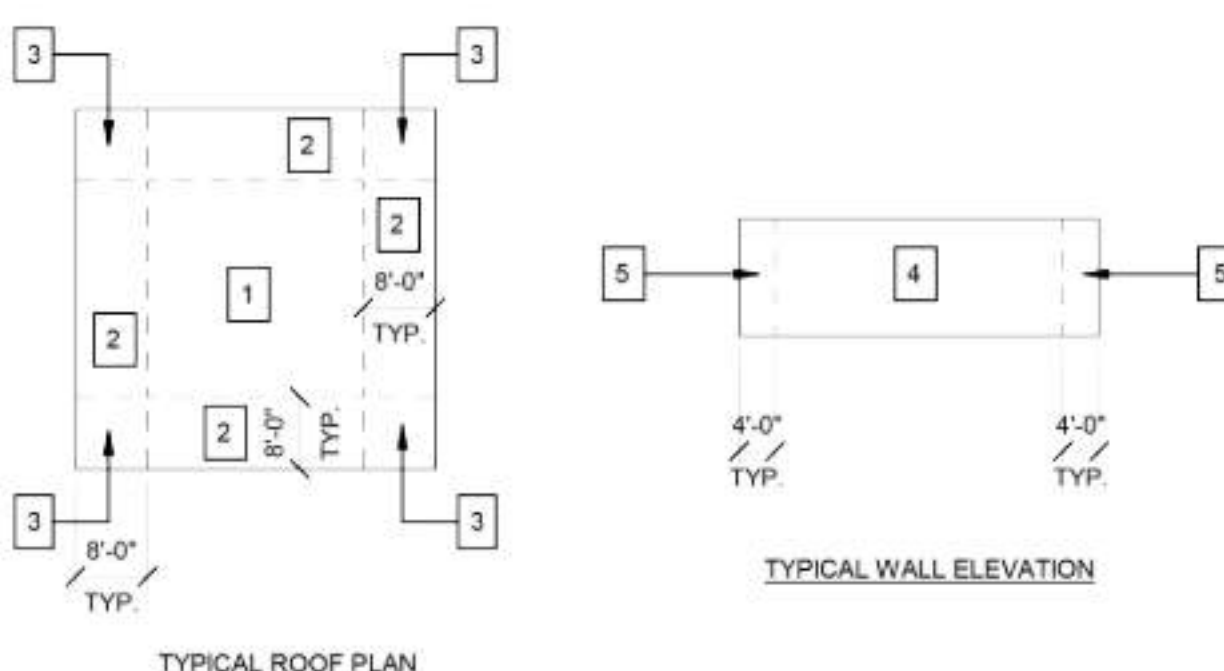
ROOF LIVE LOAD TABLE with columns ROOF TYPE, UNIFORM LIVE LOADING, and CONCENTRATED LIVE LOADING.

ROOF SNOW LOAD DATA

GROUND SNOW LOAD, ps = 0 PSF

WIND DESIGN DATA

ULTIMATE DESIGN WIND SPEED, V_u = 135 MPH. NOMINAL DESIGN WIND SPEED, V_w = 105 MPH. RISK CATEGORY = II. WIND EXPOSURE = B. INTERNAL PRESSURE COEFFICIENT, (GCp) = 0.18 (ENCLOSED). COMPONENTS AND CLADDING ULTIMATE WIND PRESSURES = (SEE TABLE BELOW)



COMPONENTS & CLADDING ULTIMATE WIND PRESSURES

Table with columns ELEMENT, ZONE, AREA (SQ. FT.), and p-w (PSF) for POSITIVE and NEGATIVE.

STRUCTURAL DESIGN CRITERIA (CONTINUED)

EARTHQUAKE DESIGN DATA

RISK CATEGORY = II. SEISMIC IMPORTANCE FACTOR, I_s = 1.00. SITE CLASS = D. S_s = 0.310g. S_1 = 0.113g. S_m = 0.320g. S_u = 0.179g. T_s = 0.9 sec. SEISMIC DESIGN CATEGORY = C.

SEISMIC FORCE RESISTING SYSTEM table with columns SEISMIC FORCE RESISTING SYSTEM, DETAILING SECTION, R, Δ, C_u, F_v LIMIT.

RESPONSE MODIFICATION COEFFICIENT, R = 2. ANALYSIS PROCEDURE UTILIZED = EQUIVALENT LATERAL FORCE PROCEDURE (ASCE 7-16 12.8). SEISMIC RESPONSE COEFFICIENT, C_s = 0.160. SEISMIC BASE SHEAR, V = 12 KIPS.

GEOTECHNICAL INFORMATION

PROJECT GEOTECHNICAL REPORT = PRESUMPTIVE VALUES PER IBC 2018 TABLE 1806.2. ALLOWABLE VERTICAL BEARING PRESSURE = 1,500 PSF. ALLOWABLE LATERAL BEARING PRESSURE = 100 PSF. FOOTING-SOIL COEFFICIENT OF FRICTION = 0.10.

FLOOD DESIGN DATA

FLOOD ZONE = X

SPECIAL LOADS

NOT APPLICABLE

GENERAL REQUIREMENTS

- 1. THE INTENT OF THESE DRAWINGS IS TO SHOW ALL ITEMS NECESSARY TO COMPLETE THE STRUCTURE FOR ITEMS, METHODS AND/OR MATERIALS NOT SHOWN... 2. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS... 3. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER, ARCHITECT OR ENGINEER... 4. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL GOVERN CONSTRUCTION... 5. THE STRUCTURAL CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE... 6. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS... 7. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN... 8. ANY DELEGATED ENGINEERING DESIGN TO BE PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL MEET THE CRITERIA HEREIN AND SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROJECT... 9. ALTERNATE PRODUCTS OF SIMILAR STRENGTH, NATURE AND FORM FOR SPECIFIED ITEMS MAY BE SUBMITTED WITH ADEQUATE TECHNICAL DOCUMENTATION TO THE ARCHITECT/ENGINEER FOR REVIEW... 10. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

STRUCTURAL SPECIAL INSPECTIONS

- 1. SPECIAL STRUCTURAL TESTS AND INSPECTIONS SHALL BE PERFORMED ON THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE (IBC). THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED FOR THIS PROJECT AS A PART OF THESE CONSTRUCTION DOCUMENTS: a. STATEMENT OF SPECIAL INSPECTIONS b. SCHEDULE OF SPECIAL INSPECTIONS c. STATEMENT OF SPECIAL INSPECTIONS REQUIREMENTS FOR WIND RESISTANCE d. STATEMENT OF SPECIAL INSPECTIONS REQUIREMENTS FOR SEISMIC RESISTANCE 2. SPECIAL STRUCTURAL TESTS AND INSPECTIONS SHALL BE PERFORMED BY AN AGENCY SELECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER OF RECORD... 3. THE COSTS OF THE SPECIAL INSPECTOR'S SERVICES SHALL BE PAID FOR BY THE OWNER... 4. ALL REPORTS AND SHOP CERTIFICATION OF SPECIAL INSPECTIONS TO BE PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP SHALL BE SUBMITTED TO THE CONTRACTOR... 5. THE COSTS OF THE SPECIAL INSPECTOR'S SERVICES SHALL BE PAID FOR BY THE OWNER... 6. REPORTS SHALL INDICATE THAT THE WORK WAS PERFORMED AND CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS... 7. A FINAL REPORT OF INSPECTIONS DOCUMENTING REQUIRED SPECIAL INSPECTIONS, INCLUDING ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL, THE ARCHITECT, AND THE ENGINEER OF RECORD PRIOR TO COMPLETION OF THE STRUCTURAL SYSTEMS BUT AT A FREQUENCY NOT TO EXCEED 60 DAYS.

EXISTING CONDITIONS

- 1. BECAUSE EXISTING STRUCTURAL DRAWINGS ARE NOT AVAILABLE OR UNVERIFIED THE DESIGN IS BASED ON BASIC FIELD MEASUREMENTS AND ASSUMED CONDITIONS... 2. ITEMS REQUIRING FIELD VERIFICATION INCLUDE: a. PLAN DIMENSIONS b. CONSTRUCTION MATERIALS c. ROOF ELEVATIONS d. WALL MATERIAL AND THICKNESS e. FOUNDATION ELEVATIONS 3. CONTRACTOR SHALL CONTACT ARCHITECT AND ENGINEER OF SIGNIFICANT DECAY, SPALLS, CORROSION OR ANY DEFECT OF EXISTING STRUCTURAL MEMBERS AND CONNECTIONS.

SUBGRADE PREPARATION

- 1. A GEOTECHNICAL ENGINEER SHALL BE OBTAINED BY THE CONTRACTOR FOR GUIDANCE ON PREPARING THE SUBGRADE TO ADEQUATELY ACHIEVE THE ASSUMED SOIL BEARING PRESSURE AS DESCRIBED IN THE FOUNDATION NOTES. IF UNSUITABLE SUBSURFACE CONDITIONS ARE ENCOUNTERED, CONTACT THE ARCHITECT AND ENGINEER IMMEDIATELY.

FOUNDATIONS

- 1. IN ABSENCE OF A PROJECT GEOTECHNICAL REPORT, THE FOUNDATION IS DESIGNED BASED UPON PRESUMPTIVE LOAD-BEARING VALUES OF IBC TABLE 1806.2. A GEOTECHNICAL ENGINEER SHALL BE OBTAINED BY THE CONTRACTOR TO VERIFY THE SUITABILITY OF SHALLOW FOUNDATIONS... 2. SOIL PRESSURES USED FOR FOUNDATION DESIGN: a. ALL OVERTHE BEARING PRESSURE = 1500 PSF b. ALLOWABLE PASSIVE PRESSURE = 100 PCF 3. ALL FOUNDATIONS SHALL BE PLACED ON COMPACTED SUBGRADE... 4. THE BOTTOM OF ALL EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 18 INCHES BELOW FINISHED GRADE UNLESS NOTED OTHERWISE 5. REMOVE ALL WATER SOFTENED SOILS FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE. FILL REMAINING VOIDS WITH ADJUTIONAL CONCRETE. 6. ALL FOUNDATION REINFORCEMENT SHALL BE PROPERLY TIED IN PLACE PRIOR TO PLACEMENT OF CONCRETE

CAST-IN-PLACE CONCRETE

- 1. ALL CAST-IN-PLACE CONCRETE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING ACI PUBLICATIONS: a. ACI 301-10 - GENERAL CONSTRUCTION REQUIREMENTS b. ACI 117-10 - TOLERANCES FOR CONCRETE CONSTRUCTION 2. CONCRETE SHALL BE NORMAL-WEIGHT CONCRETE (145 PCF) WITH MIXES MEETING THE FOLLOWING CRITERIA: a. FOUNDATION ELEMENTS & SLAB ON GRADE: - MINIMUM 28-DAY COMPRESSIVE STRENGTH = 3000 PSI - COARSE AGGREGATE SIZE = #57 STONE - MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO = 0.6 - SLUMP LIMIT = 5 INCHES (+1 INCH) - AIR CONTENT = +4.5% (+/-1.5%) 3. ACCEPTABLE CEMENTITIOUS MATERIALS: a. PORTLAND CEMENT - ASTM C 150 TYPE II b. FLY ASH - ASTM C 618 c. SLAB CEMENT - ASTM C986 d. BLENDED HYDRALIC CEMENT - ASTM C 586 TYPE IS OR TYPE IP 4. ALL EXPOSED CONCRETE EDGES SHALL HAVE A 3/4-INCH CHAMFER.

REINFORCING STEEL

- 1. FABRICATING, PLACING AND SUPPORTING REINFORCEMENT SHALL COMPLY WITH CRSI'S MANUAL OF STANDARD PRACTICE 2. REINFORCING BARS SHALL BE ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE 3. REINFORCING BARS IN WELDED CONDITIONS, WHERE PERMITTED, SHALL BE ASTM A 706, DEFORMED STEEL WIRE WED REINFORCEMENTS SHALL BE ASTM A 1084 WITH 70 KSI MINIMUM YIELD STRENGTH 4. NO REINFORCEMENT SHALL BE PLACED IN FIELD WITHOUT GUIDANCE FROM STRUCTURAL ENGINEER 5. REINFORCING STEEL SHALL HAVE COVER PROTECTION AS FOLLOWS:

CONCRETE COVER PROTECTION TABLE

Table with columns CONDITION and MINIMUM COVER. Values range from 3 INCHES to 1 INCH.

SLABS ON GRADE

- 1. ALL SLABS ON GRADE SHALL BE ON COMPACTED SUBGRADE WITH 4 INCHES MINIMUM OF POROUS FILL MATERIAL... 2. THE CONTRACTOR SHALL COORDINATE ALL LIMITS AND DEPTHS OF DEPRESSIONS FOR FLOOR FINISHES WITH ARCHITECTURAL DRAWINGS AND SCHEDULES... 3. THE USE OF POLYPROPYLENE FIBERS IN LIEU OF WELDED WIRE FABRIC IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER 4. THE FINISH TOLERANCE OF ALL SLABS SHALL BE IN ACCORDANCE WITH ACI 301, TYPE A 5. SLABS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING FLATNESS / LEVELNESS REQUIREMENTS: a. FF = 35 b. FL = 25 6. FF AND FL TOLERANCES SHALL BE TESTED IN ACCORDANCE WITH ASTM E 1155. ACTUAL OVERALL F NUMBERS SHALL BE CALCULATED USING THE INFERIOR / SUPERIOR AREA METHOD... 7. WALKWAYS AND OTHER EXTERIOR SLABS ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS... 8. SAW-CUT CONTRACTION JOINTS SHALL BE CUT AS SOON AS THE CONCRETE CAN BE CUT WITHOUT RAVELING... 9. SLAB JOINTS SHALL BE FILLED WITH APPROVED MATERIAL... 10. CONCRETE FINISH FLOORS SHALL HAVE A HARD STEEL TROWELED FINISH UNLESS INDICATED OTHERWISE ON THE DRAWINGS... 11. CONCRETE FINISH FLOORS SHALL HAVE A HARD STEEL TROWELED FINISH UNLESS INDICATED OTHERWISE ON THE DRAWINGS... 12. PROVIDE 12" PREMOLDED EXPANSION JOINT (IF E J) FILLER AROUND PERIMETER OF SLABS WHERE THEY ABUT VERTICAL SURFACES AND AT COLUMN ISOLATION JOINTS AS DETAILED.

CONCRETE UNIT MASONRY

- 1. ALL CONCRETE UNIT MASONRY CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING TMS PUBLICATIONS: a. TMS 402-16 - BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES b. TMS 602-16 - SPECIFICATION FOR MASONRY STRUCTURES 2. CONCRETE MASONRY UNITS SHALL BE ASTM C 90 AND MEET THE FOLLOWING CRITERIA: a. UNIT COMPRESSIVE STRENGTH = 1900 PSI b. DENSITY CLASSIFICATION - LIGHTWEIGHT c. RUNNING BOND PLACEMENT 3. MORTAR SHALL COMPLY WITH ASTM C 270 AND THE FOLLOWING CRITERIA: a. TYPE = S b. ACCEPTABLE MORTAR CEMENT: PORTLAND CEMENT - ASTM C 150 TYPE II - HYDRATED LIME - ASTM C 207, TYPE S - PORTLAND CEMENT-LIME MIX MASONRY CEMENT - ASTM C 91 c. BEDDING - FULL d. MORTAR AGGREGATE - ASTM C 144 4. GROUT FOR UNIT MASONRY SHALL COMPLY WITH ASTM C 476 AND THE FOLLOWING CRITERIA: a. GROUT TYPE = COARSE b. GROUT DENSITY = 140 PCF c. COMPRESSIVE STRENGTH = 3000 PSI d. GROUT AGGREGATE = 1/2-INCH MAX COARSE AGGREGATE - ASTM C 404 e. TARGET SLUMP = 9 INCHES (+1 INCH) f. NO ADMIXTURES UNLESS APPROVED BY ENGINEER 5. MASONRY JOINT REINFORCEMENT, WHERE INDICATED, SHALL COMPLY WITH ASTM A 951 AND WITH THE FOLLOWING CRITERIA: a. HOT-DIP GALVANIZED STEEL b. WIRE SIZE FOR SIDE RODS = 0.148 INCHES c. WIRE SIZE RODS FOR CROSS RODS = 0.148 INCHES d. SPACING OF CROSS RODS = 16 INCHES e. PROVIDE IN LENGTHS OF NOT LESS THAN 10 FEET WITH PREFABRICATED CORNER AND TEE UNITS f. CONTINUOUS THROUGH VERTICALLY-REINFORCED CELLS 6. ALL CELLS BELOW GROUND FLOOR SLAB SHALL BE FILLED SOLID WITH GROUT 7. CONCRETE MASONRY UNITS SHALL BE FILLED IN 4-FEET LIFTS MAXIMUM 8. PLAN END TWO CELL UNITS SHALL BE USED FOR BLOCKS THAT ARE TO HAVE CELLS REINFORCED OR FILLED 9. PROVIDE 4-INCH BY 4-INCH CLEAN-OUT OPENING AT BOTTOM COURSE OF EACH LIFT AT EACH REINFORCED CELL EXCEPT WHERE HOLE OR PATCH CANNOT BE CONCEALED BY BRICK OR WALL FINISH 10. SEE ARCHITECTURAL DRAWINGS FOR THE EXTENT AND LOCATION OF MASONRY WALLS 11. ALL MASONRY WALLS SHOWN HEREIN HAVE BEEN DESIGNED TO RESIST THE REQUIRED VERTICAL AND LATERAL FORCES IN THE FINAL CONFIGURATION ONLY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY BRACE WALLS AND LATERAL LOADS THAT COULD POSSIBLY BE APPLIED PRIOR TO COMPLETION OF LATERAL SUPPORT BY CONNECTIONS AT FLOOR OR ROOF FRAMING LOCATIONS

POST-INSTALLED REBAR, ANCHORS, AND FASTENERS

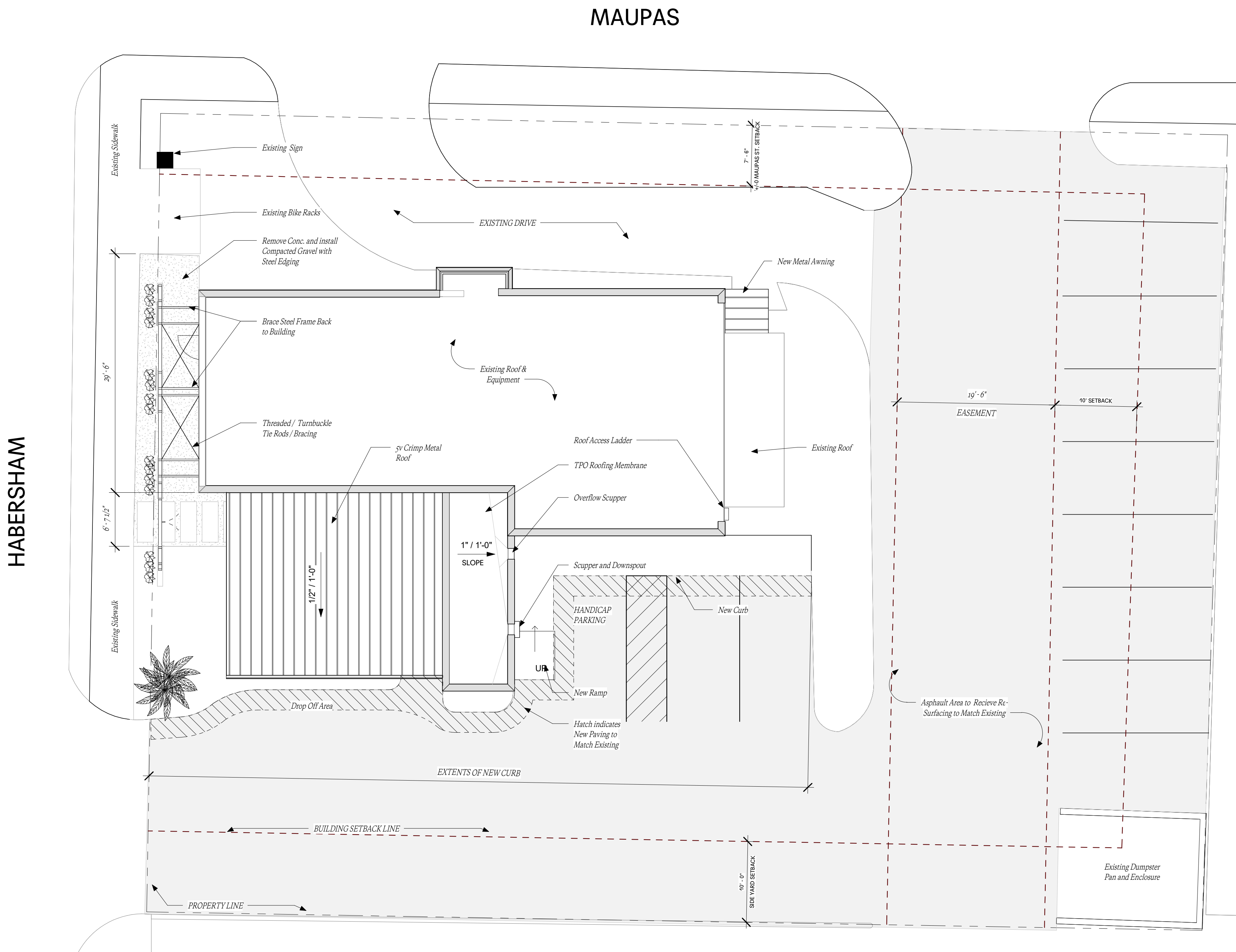
- 1. THE PRODUCTS BELOW ARE THE DESIGN BASIS FOR THIS PROJECT. PRODUCT DIAMETER AND EMBEDMENT SHALL BE AS SHOWN IN THE DETAILS. INSTALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. CONTACT MANUFACTURER'S REPRESENTATIVE FOR PRODUCT INSTALLATION TRAINING AND A LETTER SHALL BE SUBMITTED TO THE ENGINEER OF RECORD INDICATING THAT TRAINING HAS TAKEN PLACE... 2. ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC108. PRE-APPROVED PRODUCTS INCLUDE: a. SIMPSON STRONG-TIE SET-XP (IAPMO-LIST ESR-4057) b. SIMPSON STRONG-TIE AT-XP (IAPMO-LIST ESR-263) c. DEWALT PURE 110+ (ICC-ES ESR-3298) d. DEWALT AC208+ (ICC-ES ESR 4027) e. HILTI HIT-HY 200-R (ICC-ES ESR-3187) f. HILTI HIT-HY 200-A (ICC-ES ESR-3187)

FOR ANCHORING INTO CONCRETE:

- 1. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC108. PRE-APPROVED PRODUCTS INCLUDE: a. SIMPSON STRONG-TIE TITEN-HD (ICC-ES ESR-1056) b. DEWALT SCREW-BOLT+ (ICC-ES ESR-4042) 2. ADHESIVE FOR REBAR AND ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC08. PRE-APPROVED PRODUCTS INCLUDE: a. SIMPSON STRONG-TIE SET-XP (IAPMO-LIST ESR-2508) b. DEWALT AC100+ GOLD (ICC-ES ESR-3200) c. HILTI HIT-HY 200-A (ICC-ES ESR-2882)

FOR ANCHORING INTO SOLID GROUTED CONCRETE MASONRY:

- 1. MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106. PRE-APPROVED PRODUCTS INCLUDE: a. SIMPSON STRONG-TIE TITEN-HD (ICC-ES ESR-1056) b. DEWALT SCREW-BOLT+ (ICC-ES ESR-4042) 2. ADHESIVE FOR REBAR AND ANCHORS WITH SCREEN TUBES SHALL BE USED AS RECOMMENDED BY THE ADHESIVE MFR. PRE-APPROVED PRODUCTS INCLUDE: a. SIMPSON STRONG TIE SET-XP (ICC-ES ESR 2508) b. DEWALT AC100+ GOLD (ICC-ES ESR-3200)

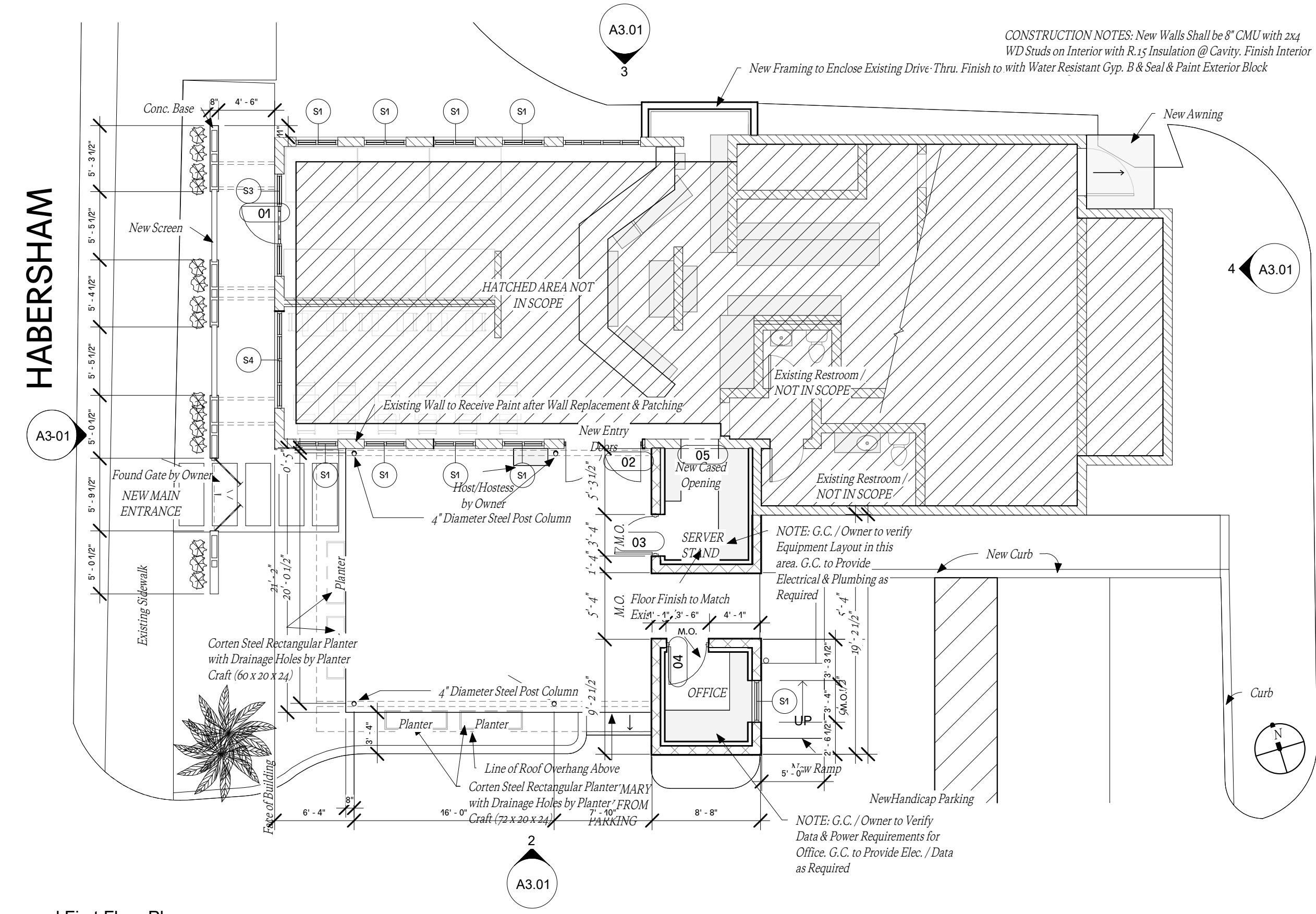


1 Proposed Site Plan
1/8" = 1'-0"

ISSUE FOR: HPC COA SUBMITTAL

a document for the Additions and Renovations to the
Green Truck Pub
For **HOUSEMADE LLC**
Savannah, GA

Drawing Title	Site Plan
Issue Date	MARCH 1, 2023
Mark	Revision
Revision	Revision Date



1 Proposed First Floor Plan
1/8" = 1'-0"

ISSUE FOR: **HPC COA SUBMITTAL**
a document for the Additions and Renovations to the
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For **HOUSEMADE LLC**
Savannah, GA

Drawing Title	Ground Floorplan
Issue Date	MARCH 1, 2023
Mark	Revision
Revision	Revision Date



EXISTING HABERSHAM ELEVATION (WEST)



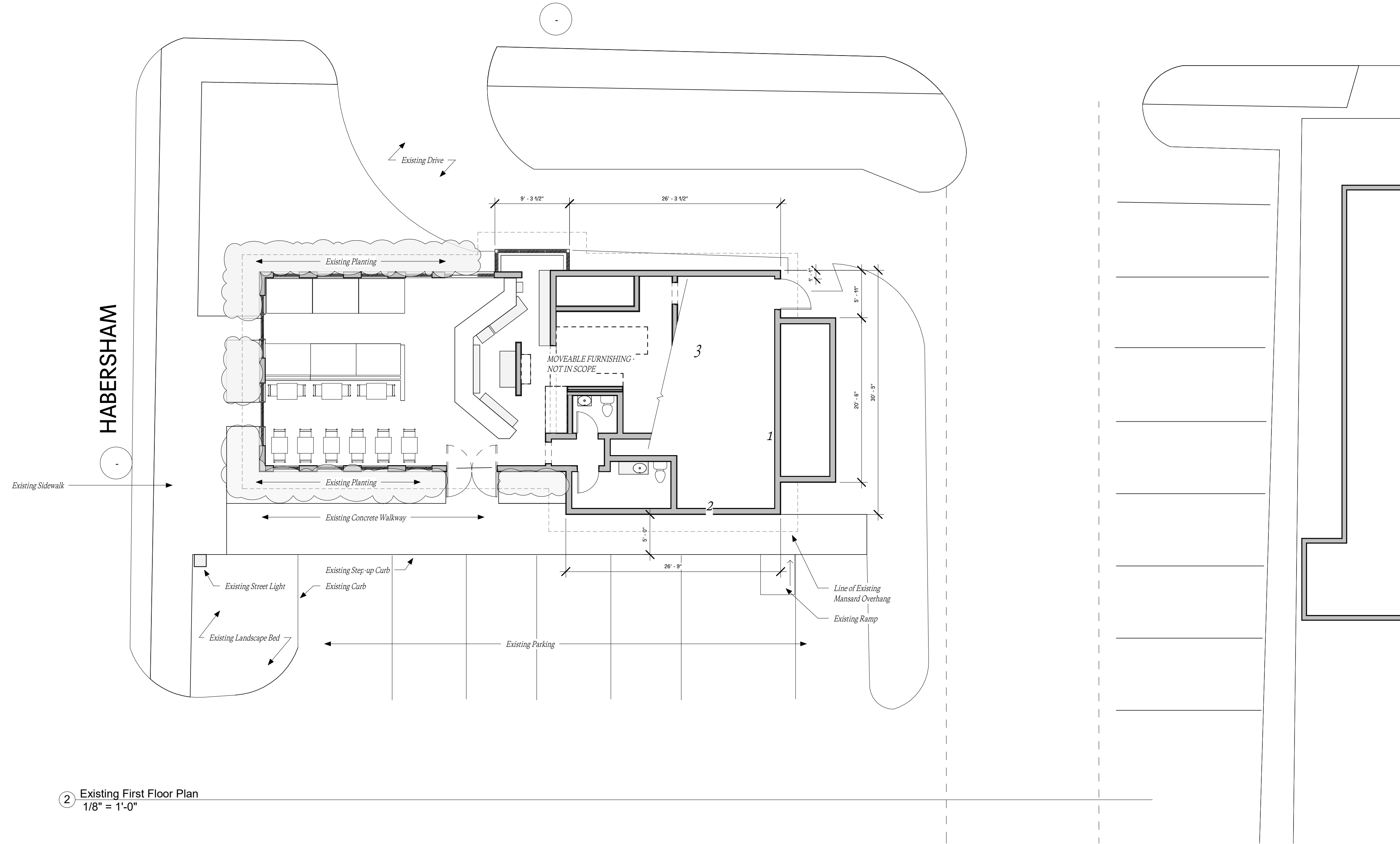
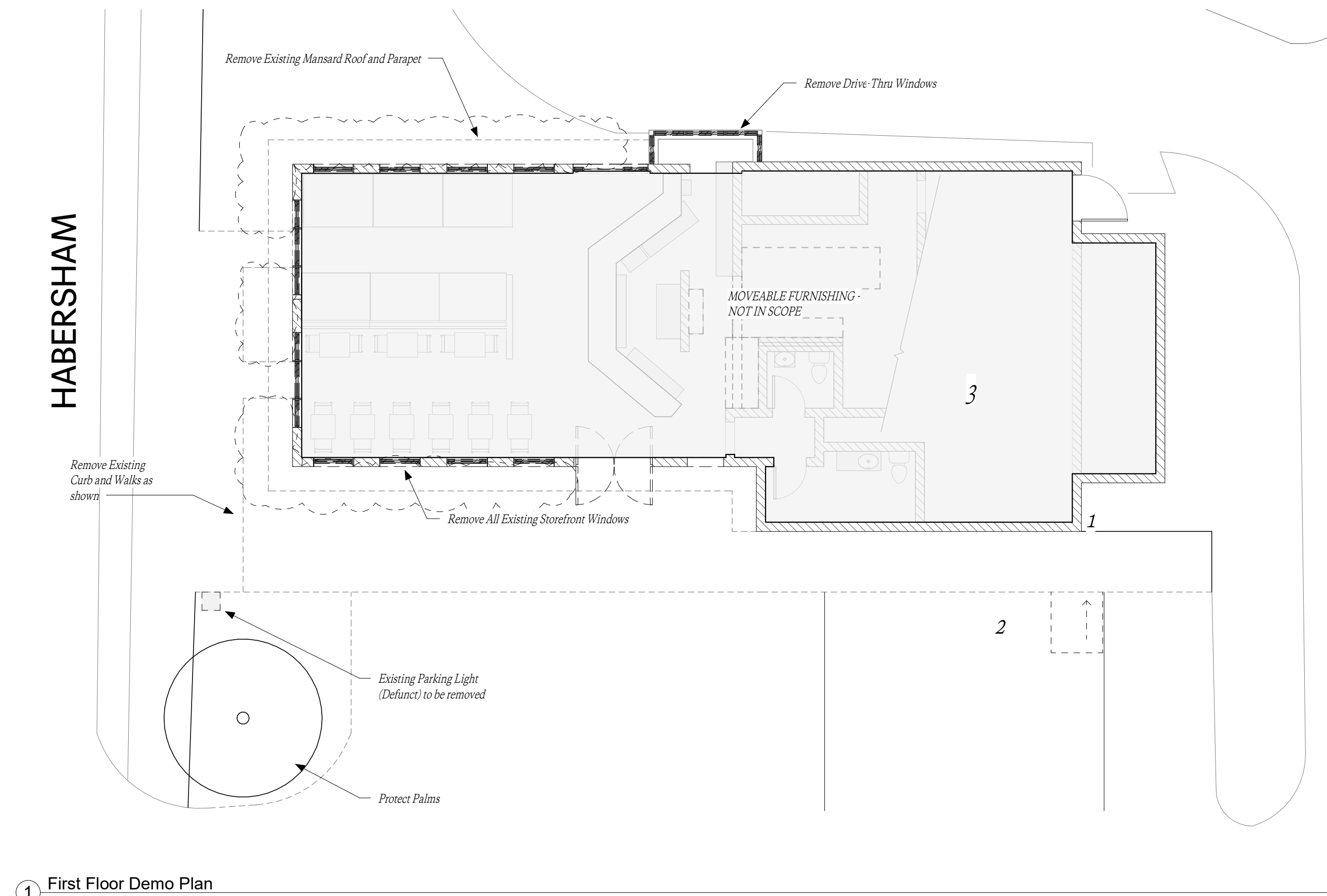
EXISTING PARKING ELEVATION (NORTH)



EXISTING MAUPAS ELEVATION (SOUTH)



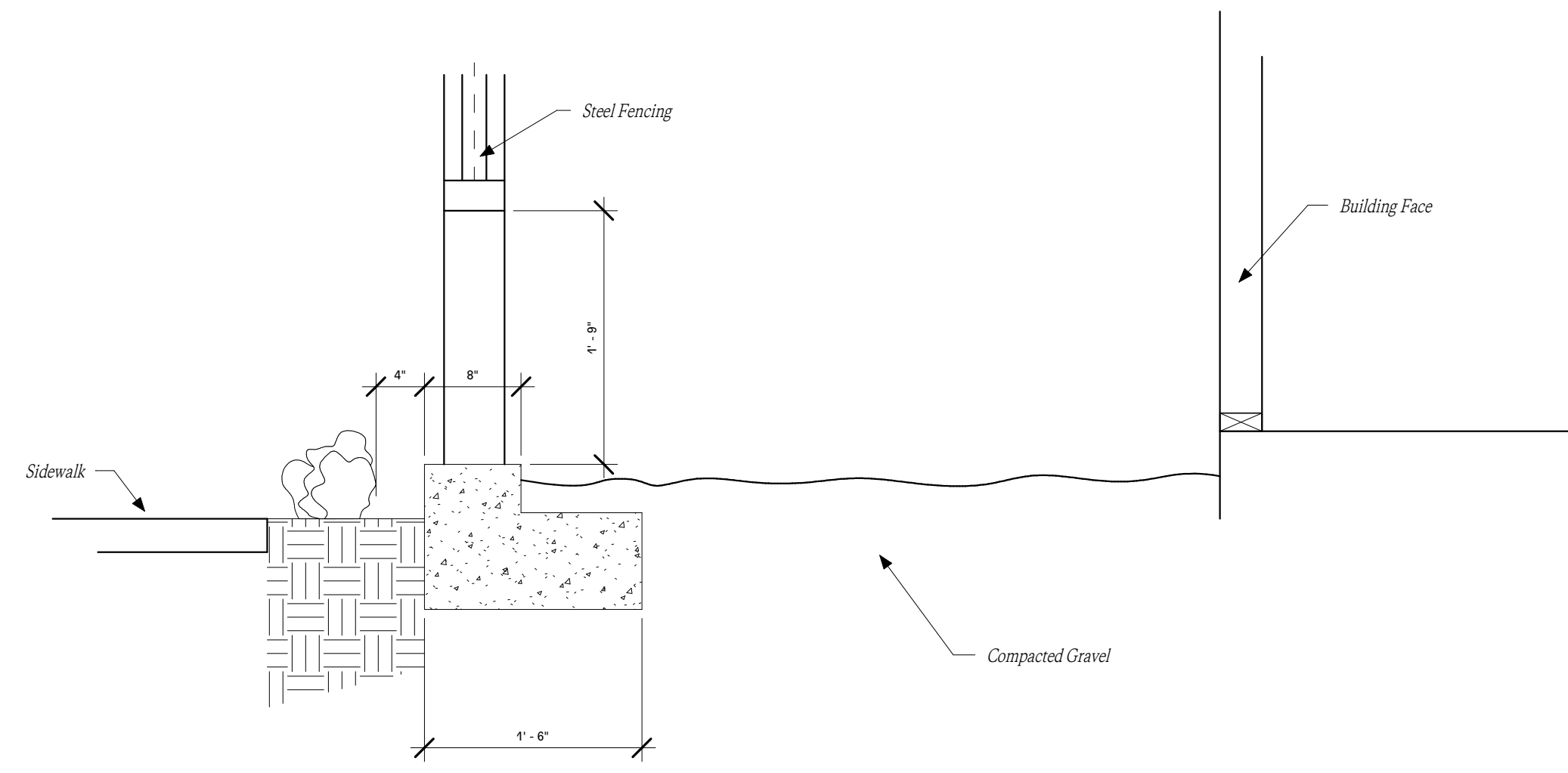
EXISTING PARKING ELEVATION (EAST)



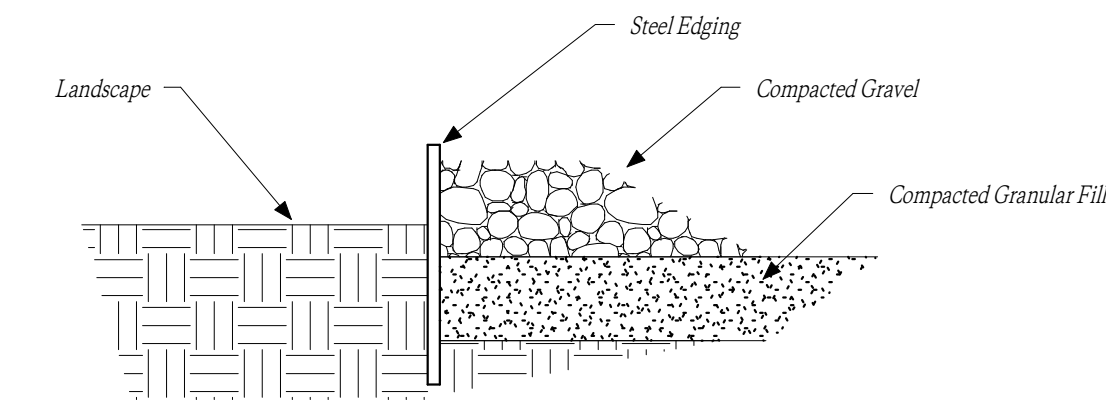
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Drawing Title	Existing and Demo Plans
Issue Date	MARCH 1, 2023
Mark	Revision
Revision	Revision Date

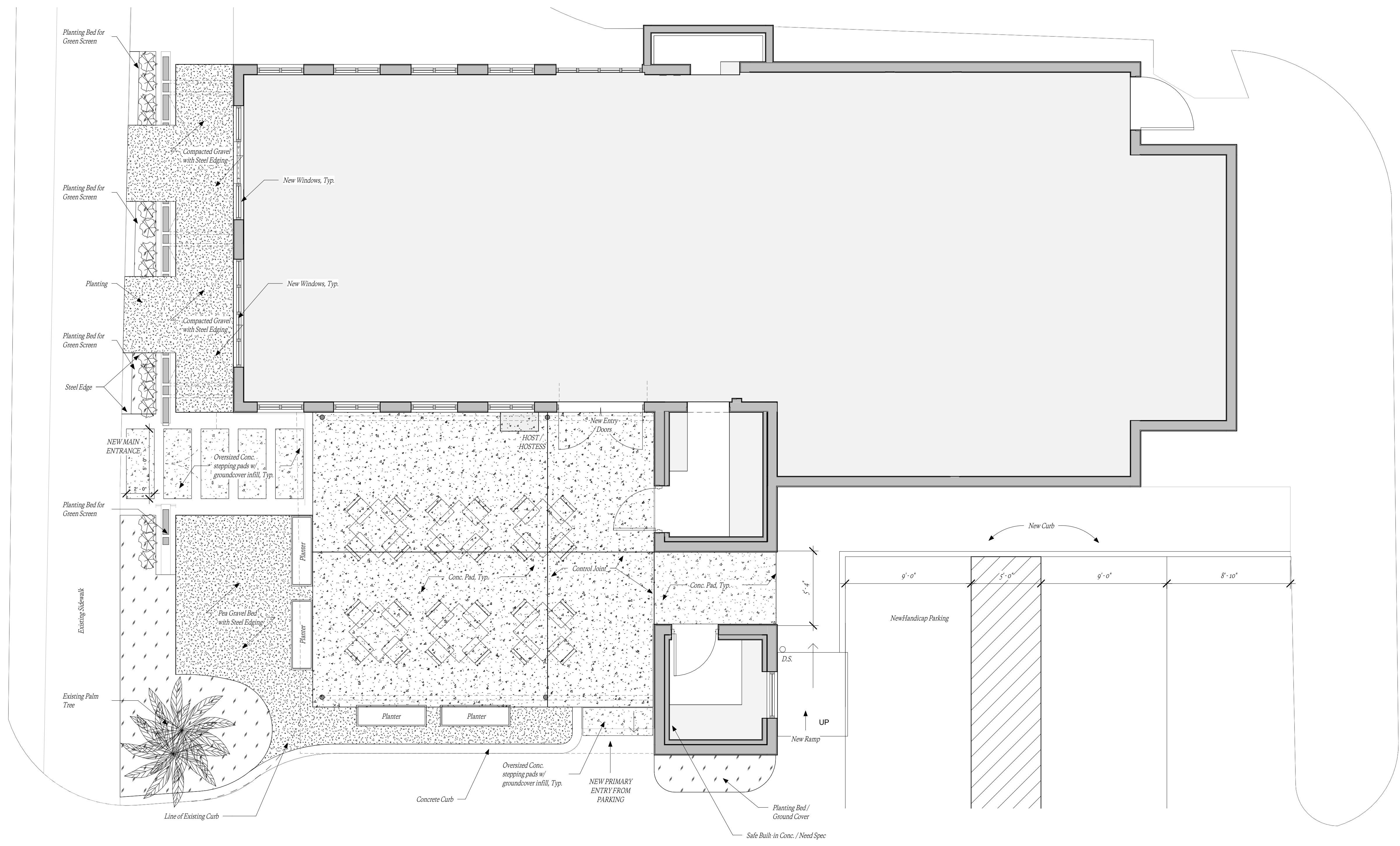


② Green Wall Section
1" = 1'-0"



③ Steel Edging Gravel Detail
1" = 1'-0"

HABERSHAM

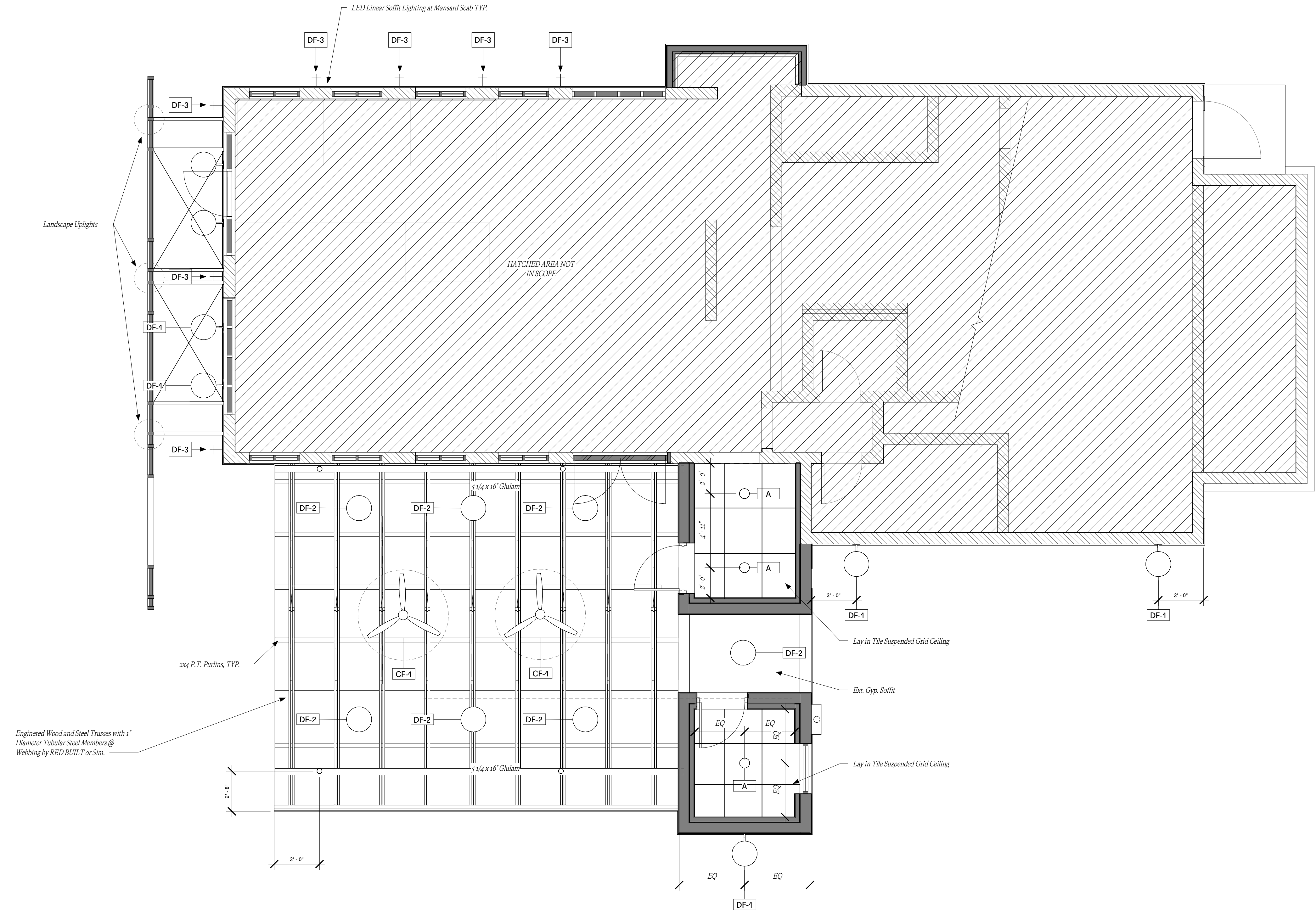


① Proposed Hardscape and Roof Plan
1/4" = 1'-0"

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Mark	Revision	Revision Date



1 First Floor RCP
1/4" = 1'-0"

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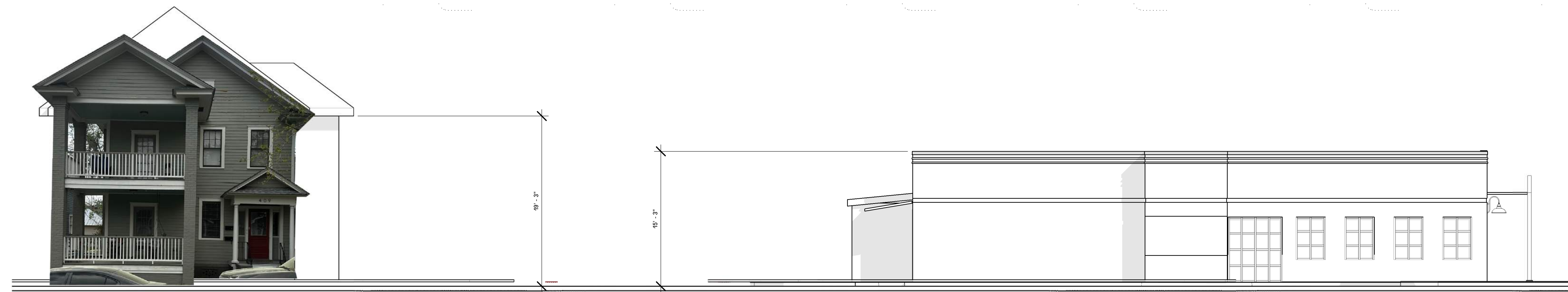
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Drawing Title	Reflected Ceiling Plan
Issue Date	MARCH 1, 2023
1	IFC
Coordination	2.21.2021
Mark	Revision
	Revision Date

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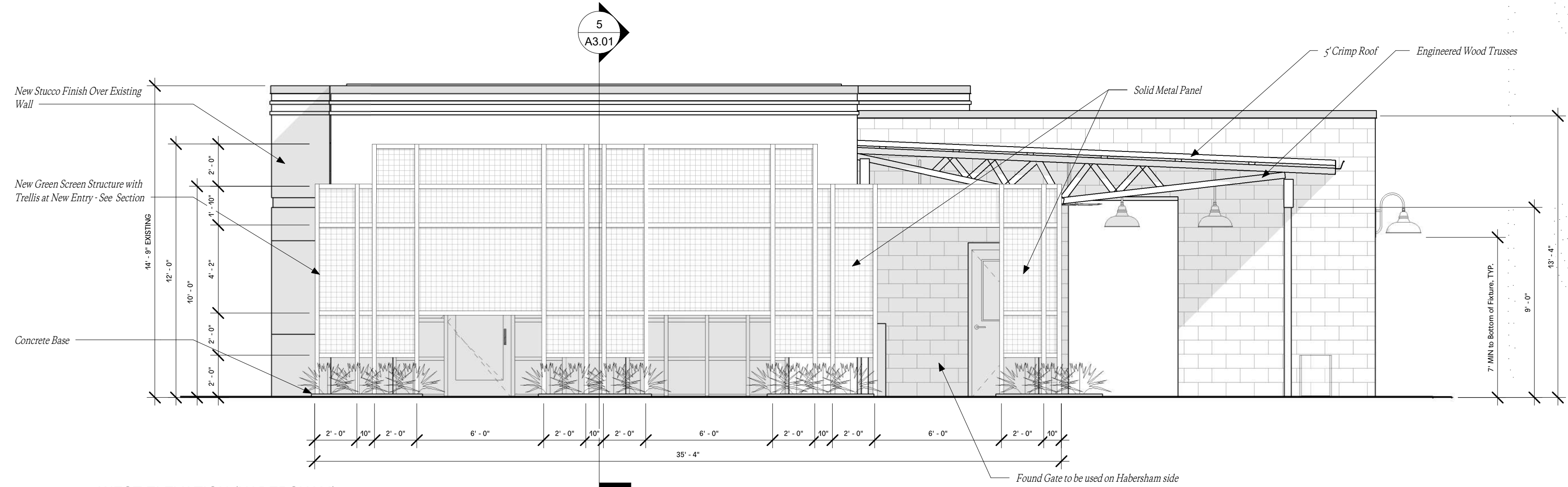
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Drawing Title	Maupas Overall Elevation
Issue Date	MARCH 1, 2023
Mark	Revision
Revision	Revision Date

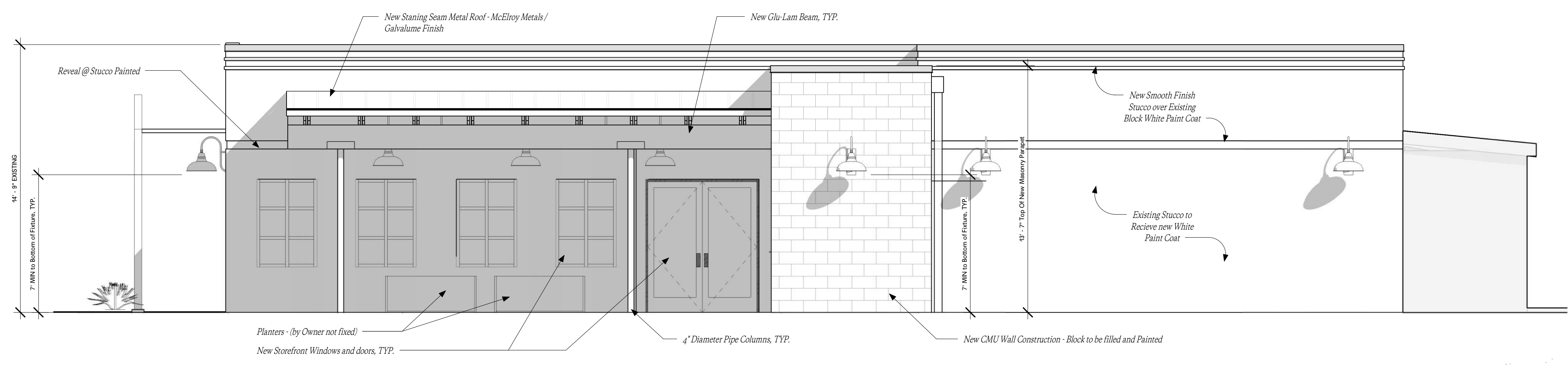


1 NORTH ELEVATION (MAUPAS) Wide
1/8" = 1'-0"

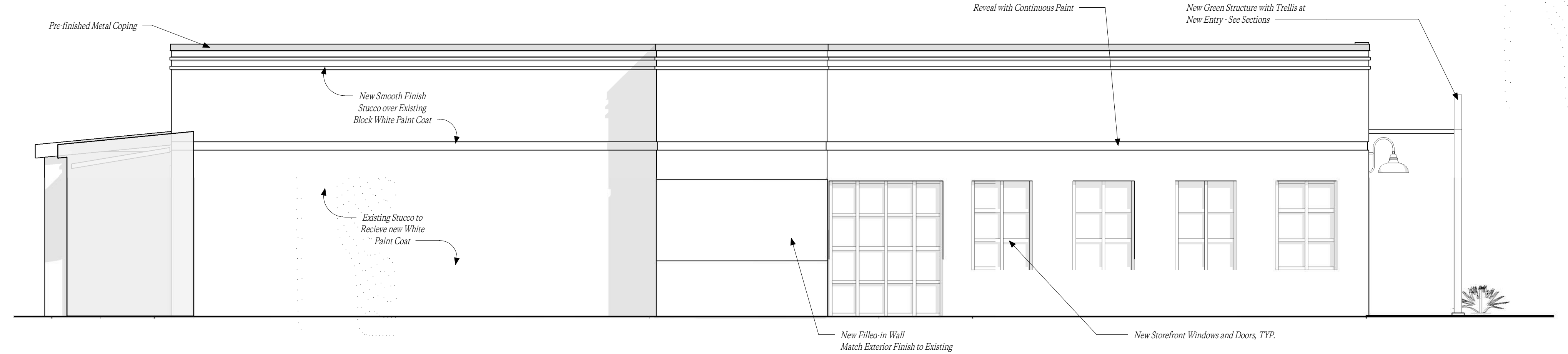
Mark	Revision	Revision Date



1 WEST ELEVATION (HABERSHAM)
1/4" = 1'-0"



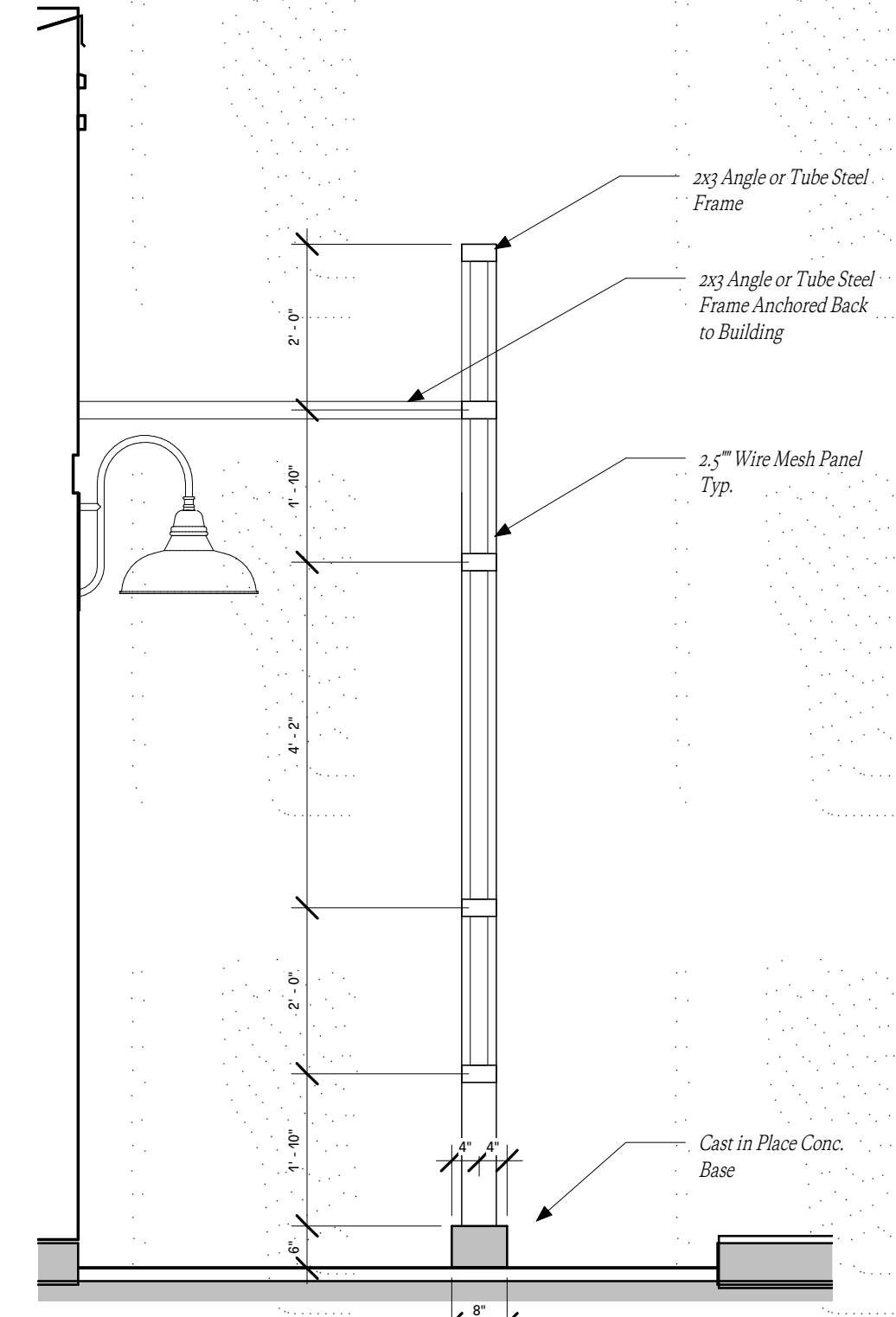
2 SOUTH ELEVATION (PARKING LOT)
1/4" = 1'-0"



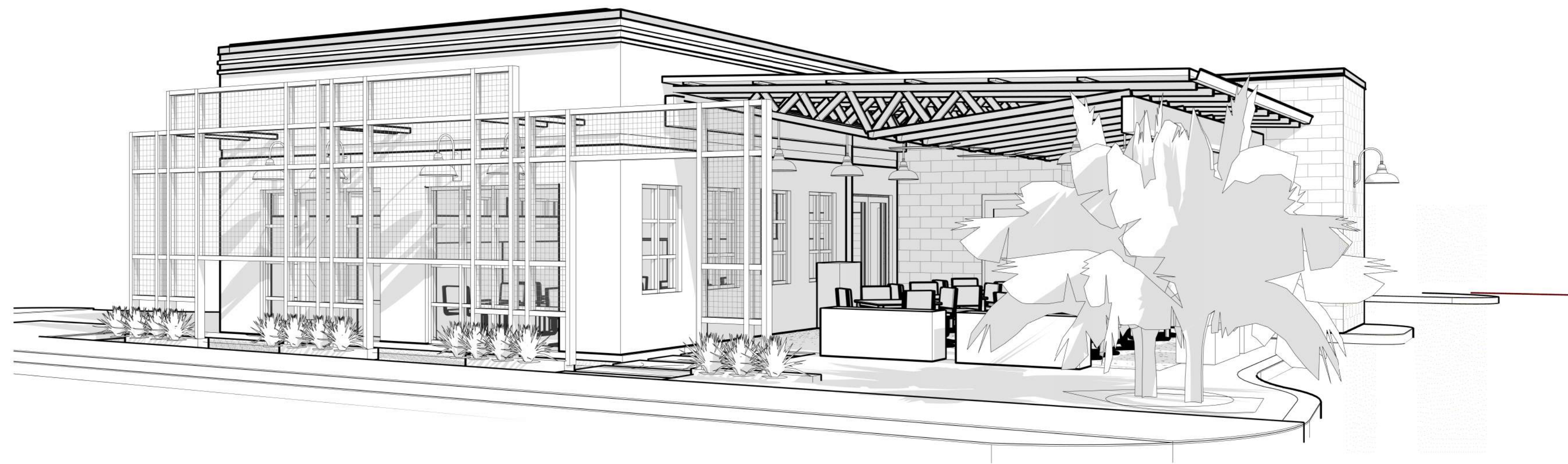
3 NORTH ELEVATION (MAUPAS)
1/4" = 1'-0"



4 EAST ELEVATION (REAR)
1/4" = 1'-0"



5 Green Wall Section
1/2" = 1'-0"



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For **HOUSEMADE LLC**
Savannah, GA

Drawing Title	Perspective Views
Issue Date	MARCH 1, 2023
Mark	Revision
	Revision Date

Doc. No. **A9.04**