



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – AGENDA

December 18, 2023 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. City Council Meeting Minutes of December 4, 2023
 - B. City Council Executive Session Minutes of December 4, 2023
 - C. New Alcoholic Beverage License Application for Ortiz Brothers, Inc. DBA Tacos + Tequila Pooler at 405 Pooler Parkway, Suite 200
 - D. Release of Maintenance and Warranty Bond for Ellis Park, Phase 3, in the Amount of \$499,555.50, Subject to City Attorney Approval
 - E. Release of Maintenance and Warranty Bond for Mosby Lakeside Apartments (Galloway Drive) in the Amount of \$336,584.50, Subject to City Attorney Approval
 - F. Department Reports
 - 1. Public Works
 - 2. Finance
 - 3. Fire Department
 - 4. Police Department
 - 5. Planning & Development
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. Resolution R2023-11.B - To Approve the Fiscal Year 2024 Budget (Second Reading)
 - B. Resolution R2023-12.A - Budget Amendment 2023-05

VIII. NEW BUSINESS

- A. Zoning Map Amendment for 1323 East Highway 80 and Adjacent Parcels from C-2, R-A and R-A-1 to C-2 and I-1 (*Public Hearing, Action*)
- B. Conditional Use Request for a Container Stacking and Storage Yard at 1485 Pine Barren Road (*Public Hearing, Action*)
- C. Conditional Use Request for a Warehouse and Storage Development at Oglethorpe Speedway and Surrounding Properties Known as Country Homes (*Public Hearing, Action*)
- D. Conditional Use Request for a Warehouse at 385 Morgan Lakes Industrial Boulevard (*Public Hearing, Action*)
- E. Site Plan for 385 Morgan Lakes Industrial Boulevard
- F. Site Plan for American Pet Resort at 900 Clear Lake Way
- G. Site Plan for HOM @ Pooler at 100 Commons Way
- H. Site Plan for Joe Hudson Collision Center at 1224 East US Highway 80
- I. Adoption of the Main Street Master Plan
- J. Approval of Sales Agreement for a Portion of Sheftall Road
- K. Memorandum of Understanding Between Chatham County and the City of Pooler for the Formalization of Efforts in Furtherance of the Collaborative Capabilities and Readiness for Special Weapons and Tactics (SWAT) Teams

IX. EXECUTIVE SESSION

X. ADJOURNMENT



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – MINUTES

December 4, 2023 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Rebecca C. Benton, Mayor
John Wilcher, Mayor Pro Tem
Shannon Black, Councilmember
Shirlenia Daniel, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
Karen Williams, Councilmember
Robert Byrd, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent:

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order at 4:00 p.m.

III. INVOCATION

Councilmember Shirlenia Daniel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Councilmember Shirlenia Daniel led the pledge.

V. CONSENT AGENDA

A. City Council Meeting Minutes of November 20, 2023

**B. New Alcoholic Beverage License Application for Dae Pak Zip Bob, LLC
DBA Zip Bob at 1024 US Highway 80, #118**

**C. Alcoholic Beverage License Application (Adding Liquor) for Seoul
Soontofu, LLC DBA Seoul Soontofu at 155 Traders Way, Suite 150**

Councilmember Aaron Higgins moved to approve the Consent Agenda.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Wilcher

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

VI. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. Resolution R2023-11.A - Appointment of Commissioners to the Planning & Zoning Commission

City Manager Robert Byrd presented the resolution for consideration. Planning & Development Director Nicole Dixon reviewed the resolution for those present. Councilmember Aaron Higgins moved to approve Resolution R2023-11.A - Appointment of Commissioners to the Planning & Zoning Commission, appointing Brad Rife as Commissioner and Jeremy Kelly as Alternate Commissioner.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

B. Resolution R2023-11.B - To Approve the Fiscal Year 2024 Budget (First Reading; Public Hearing, Action)

City Manager Robert Byrd presented the resolution for consideration. Finance Officer Chris Lightle reviewed the resolution for those present. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Shirlenia Daniel moved to approve the first reading of Resolution R2023-11.B - To Approve the Fiscal Year 2024 Budget.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Daniel
SECONDER: Williams
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

VII. NEW BUSINESS

A. Zoning Map Amendment for Cheval Lane (Public Hearing, Action)

City Manager Robert Byrd presented the amendment for consideration. David Hornsby was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened the public hearing. Resident Charles Archer expressed his concerns regarding the rezoning. Mayor Rebecca Benton closed the public hearing, Councilmember Aaron Higgins moved to deny the Zoning Map Amendment for Cheval Lane.

Motion to Deny; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Daniel
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

B. Quitclaim Deed to SGLRP, LLC for Berm Tract 1

City Manager Robert Byrd presented the deed for consideration, and Mayor Rebecca Benton recused herself and left the room. Mayor Pro Tem John Wilcher called for a vote. Councilmember Stevie Wall moved to approve the Quitclaim Deed to SGLRP, LLC for Berm Tract 1.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Higgins

AYES: Black, Daniel, Higgins, Wall, Williams

NAYS:

C. New Public Library Architectural/Engineering Design Services Proposal from Hussey Gay Bell

Mayor Rebecca Benton returned to her seat, and City Manager Robert Byrd presented the proposal for consideration. Elizabeth Schminke of Hussey Gay Bell presented the draft plans. Councilmember Stevie Wall moved to approve the New Public Library Architectural/Engineering Design Services Proposal from Hussey Gay Bell in the amount of \$867,500 contingent upon execution of the consultant agreement by both the City of Pooler and Hussey Gay Bell.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)

MOVER: Wall

SECONDER: Wilcher

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

D. Separation Agreement (*Following Executive Session*)

Councilmember John Wilcher moved to accept the Separation Agreement.

Motion to Accept; PASSED (UNANIMOUS)

MOVER: Wilcher

SECONDER: Higgins

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

VIII. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Aaron Higgins moved to enter Executive Session. Mayor and Council entered at 4:34 p.m.

Motion to Adjourn; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Wilcher

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

Mayor Rebecca Benton called the meeting back to order at 5:10 p.m.

Councilmember Aaron Higgins moved to amend the agenda, adding Item D. Separation Agreement under New Business.

Motion to Amend; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Daniel
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

IX. ADJOURNMENT

Councilmember John Wilcher moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Wilcher
SECONDER: Wall
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

The meeting adjourned at 4:20 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Rebecca Benton, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

AFFIDAVIT

O.C.G.A. § 50-14-4(b) – Procedure When Meeting Closed/Executive Session

Before an officer duly authorized to administer oaths appeared REBECCA C. BENSON who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 4TH day of DEC, 2023. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was
_____.
 - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
 - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

- D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).
- E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).
- F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).
- G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).
- H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was

- I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).
- J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting this

4th day of December, 2023.

CITY OF POOLER, GEORGIA

Rebecca C. Benton
 Rebecca C. Benton, Mayor

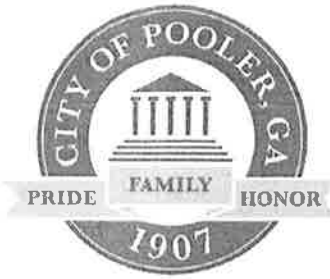
Sworn to and subscribed before me this

4TH day of DEC, 2023.

NOTARY PUBLIC



[Signature]



Alcoholic Beverage License Application (New)

Page 1 of 6

Updated SEPT 2023

NOTICE TO APPLICANT

The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership, or other legal entity, the applicant must be a substantial and major stockholder or the General Manager charged with the regular operation of said business on the premises for which the license is issued. License applicants, as well as every owner having 10% or more ownership, must submit to fingerprinting prior to submitting the application. Instructions are attached.

- Complete the Application.** The application must be completed in its entirety including the Private Employer Affidavit, Affidavit Verifying Status, and, if applicable, the Sunday Sales Affidavit, including notarization. Notary services are available in our office if needed; an appointment is required. Do not enter "same", "N/A", "see below" or use white-out on this application.
- Complete the Background Check.** Applicants must register for criminal background fingerprints using the Georgia Applicant Processing Service(GAPS) through the Fieldprint website. Once registered, contact the Business Registration Office at finance@pooler-ga.gov to request approval of your registration. Provide your Registration ID# _____ and date of fingerprinting: _____.
- Provide Identification.** Attach a copy of at least one (1) secure and verifiable document (driver's license, passport, or I-551 permanent resident card). See the link for a complete list of acceptable forms of identification: <https://law.ga.gov/immigration-reports>.
- State of Georgia Registration.** Every new application (except wholesalers and manufacturers) must also apply through the Georgia Department of Revenue website. Please visit <https://dor.georgia.gov/alcohol-tobacco/alcohol-licenses-permits/apply-alcohol-permit> to apply for your state license. **No sales are allowed until the business has obtained both a state and local license.**
- Submit the Application.** You have the option of emailing your application to finance@pooler-ga.gov or calling (912) 748-7261 to schedule an appointment to submit your application in person.
- Make Payment.** Application payment can be made in person, via mail, or over the phone with a debit/credit card. Please refer to the fee schedule page to determine the amount due. If applying after July 1 of any calendar year, note that the retail fees only are prorated for the remainder of the year.
- Await Review.** Once the application is submitted and fee is paid, your application will be reviewed by the Planning & Development Department and your criminal history report will be forwarded to the Chief of Police. Both departments will review the application and provide recommendations for approval or denial. Applicants will receive an email with their recommendations.
- Await Approval.** The application will be placed on the upcoming council agenda. You will be notified of the meeting via email so a representative can be present. Final approval is given by Mayor and Council only. Upon approval, all licenses will be emailed to the applicant's email provided in the application, a copy uploaded to the state's website, and a mailed copy will also be sent out to the mailing address on file. Please allow at least 3-5 business days for processing.

OFFICE USE ONLY

Date Received: 11/30/23 Received by: CRB Fee Paid: \$ 3440 ^{paid}

License: 006681 Date Issued: _____



Alcoholic Beverage License Application (New)

Page 2 of 6

Updated **SEPT 2023**

Business Information

Business Type (select one):

- Restaurant Bar/Lounge Hotel/Motel Caterer Event Venue Specialty Shop
 Convenience/Gas/Drug Store Manufacturer/Distillery/Brewery Supermarket/Grocery
 Wholesale/Distributor Package/Liquor Store Temp/Special Event (Dispensing Alcohol) Permit

Legal Structure of Entity: Sole Proprietor Corporation LLC Partnership

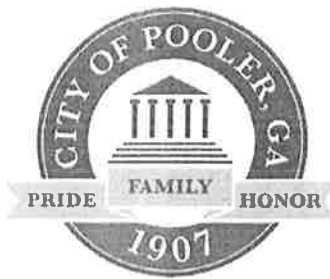
ORTIZ BROTHERS, INC.	TACOS + TEQUILA POOLEI
Legal Business Name	DBA (if applicable)
83-3667906	308924767
FEIN	GA Tax ID Number (STIN)

Applicant Information

CUAUHTEMOC ORTIZ	055576936-GA
Applicant Full Legal Name	Driver's License & State
06/09/1976, MORELIA, MICHOACAN, MEXICO	260-99-3324
Date of Birth & Place of Birth (City, State, Country)	SSN
405 POOLER PARKWAY; SUITE 200; POOLER, GA 31322	CUAU93@GMAIL.COM
Business Mailing Address (if different)	Business Email
HISPANIC MALE 5'9" 180 LB. BLACK BROWN	
Race Sex Height Weight Hair Color Eye Color	
169 TRAIL CREEK LANE; SAVANNAH, GA 31405	722511
Physical Home Address	NAICS
Mailing Address (if different)	
CUAU93@GMAIL.COM	912-737-2134 912-346-2998
Email	Home Phone Mobile Phone

Owner Information (if other than applicant)

Owner Full Legal Name	Driver's License & State
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Alcoholic Beverage License Application (New)

Page 3 of 6

Updated **SEPT 2023**

Date of Birth & Place of Birth (City, State, Country) SSN

Physical Home Address NAICS

Mailing Address (if different)

Email Home Phone Mobile Phone

Additional Owner Information

List all owners, if greater than one, who have an ownership interest of 10% or more in the business. Use additional paper if needed.

SERGIO O. ORTIZ 107 TITLEIST CIR., SAVANNAH, GA 31419 912-224-9623

Owner Name Address Phone

SERGIO A. CALDERON 105 TITLEIST CIR., SAVANNAH, GA 31419 912-224-4828

Owner Name Address Phone

Owner Name Address Phone

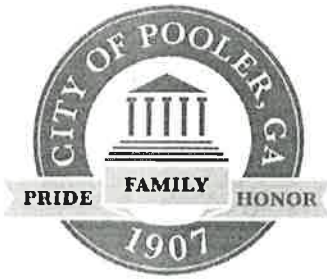
Owner Name Address Phone

Criminal History

Warning: Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license. If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, attach a written explanation describing the circumstances in detail for each person.

Has the applicant or any person with or having an interest in said business:

1. Ever been convicted of any criminal violation or city ordinance violation other than a traffic violation?
 No Yes
2. Ever served time in prison or other correctional institution?
 No Yes
3. Ever had an alcoholic beverage license suspended or revoked at any time in any locality?
 No Yes



Alcoholic Beverage License Application (New)

Page 4 of 6

Updated **SEPT 2023**

4. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? (If yes, complete question 5. If no, skip question 5.)

No Yes

5. If yes to question 4, were there any violations of any law, regulation or ordinance relating to such business?

No Yes

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

CUAUHTEMOC ORTIZ

Applicant Name

C. Ortiz
Applicant Signature

11/20/23
Date

Notary Public

November 20, 2023

Subscribed and Sworn This Day Of

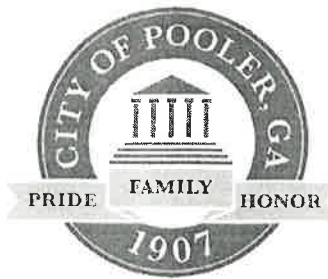
Michelle Nary
Notary Name

Michelle Nary
Notary Signature

11.16.2026
Commission Expiration

Seal

*MICHELLE E NARY
NOTARY PUBLIC
CHOCOMA COUNTY, GA
MY COM. EXP 11.16.26*

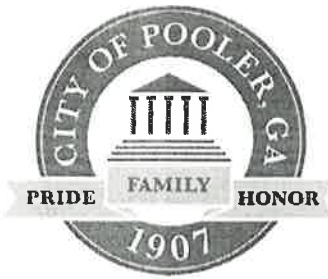


Alcoholic Beverage License Application (New)

Updated SEPT 2023

Classifications

RETAIL (new applications received after July 1 st rates are prorated to 50% off)					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	
B	Consumption On-Premises	<input checked="" type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE			TOTAL
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE			TOTAL
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE			TOTAL
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE			TOTAL
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days an 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input type="checkbox"/> \$750		
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input checked="" type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES			GRAND TOTAL (add all above selections and application fees)	
A1 - H & L	<input checked="" type="checkbox"/> \$290			\$3440	
I, J & K	<input type="checkbox"/> \$20				



Alcoholic Beverage License Application (New)

Page 6 of 6

Updated SEPT 2023

PLANNING & DEVELOPMENT USE ONLY

The Planning & Development Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:

PIN: 5 0012A 010FS Zoning: C-2

Approved Denied Reviewed by: BC Date: 12/1/23

Comments: _____

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

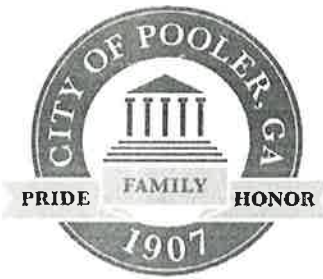
Approved Denied Reviewed by: Colleen Breen Date: 12/13/2023

Comments: N/A

MAYOR & COUNCIL USE ONLY

Approved Denied Mayor Signature: _____ Date: _____

Comments: _____



Private Employer Affidavit Pursuant to O.C.G.A. § 36-60-G(d) (E-Verify)

Updated SEPT 2023

Affidavit

By executing this affidavit under oath, the undersigned private employer verifies one of the following with respect to its application for an Alcohol License required to operate a business as referenced in O.C.G.A. § 36-60-6(d).

Ortiz Brothers Inc dba: Tacos + Tequila Pooler

Name of Private Employer

Check One: On January 1st of the below-signed year, the individual, firm, or corporation employed **greater than ten** (10) employees.

The employer has registered with an utilizes the federal work authorization program (E-Verify) in accordance with the applicable provisions and deadlines established in O.C.G.A. § 36-60-6. The undersigned private employer also attests that its federal work authorization (E-Verify) user identification number and date of authorization are as follows

Federal Work Authorization User Identification Number

Authorization Date

On January 1st of the below-signed year, the individual, firm, or corporation employed **fewer than ten** (10) employees.

I hereby declare under penalty of perjury that the foregoing is true and correct.

CUAUHTEMOC ORTIZ

Authorized Officer or Agent Name

[Handwritten Signature]
Applicant Signature

11/20/23
Date of Execution

Notary Public

November 20, 2023

Subscribed and Sworn This Day Of

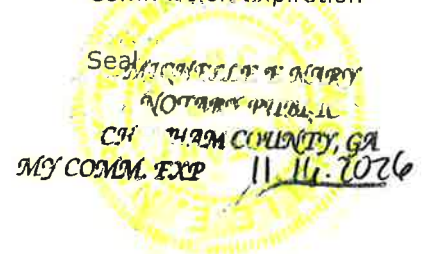
Michelle Nary

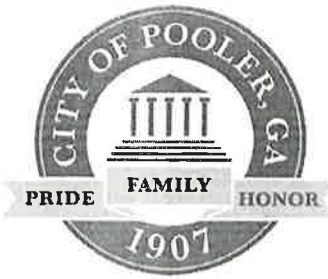
Notary Name

[Handwritten Signature]
Notary Signature

11.16.2026

Commission Expiration





Affidavit Verifying Status for City Public Benefit Application (SAVE)

Updated SEPT 2023

Affidavit

By executing this affidavit under oath, as an applicant for an Alcohol License (type of public benefit), as referenced in O.C.G.A. § 50-36-1, from the City of Pooler, Georgia, the undersigned applicant verifies one of the following with respect to my application for public benefit.

Check One: I am a United States citizen.

I am a legal permanent resident.

Alien Number Issued by the Department of Homeland Security or Other Federal Agency

I am qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency.

Alien Number Issued by the Department of Homeland Security or Other Federal Agency

The undersigned applicant also hereby verifies that they are 18 years of age or older and have provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. The secure and verifiable document provided with this affidavit can be best classified as:

Type of Document

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

CUAUHTEMOC ORTIZ

Authorized Officer or Agent Name

C. Ortiz

Applicant Signature

11/20/23

Date of Execution

ORTIZ BROTHERS, INC., DBA/ TACOS + TEQUILA POOLER

Name of Business

Notary Public

November 20, 2023

Subscribed and Sworn This Day Of

Michelle Nary

Notary Name

Michelle Nary

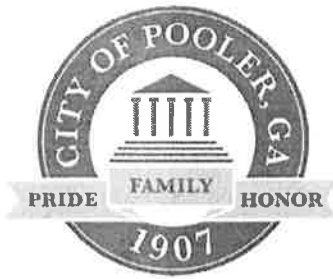
Notary Signature

11.16.2026

Commission Expiration

Seal
NOTARY PUBLIC
CHATHAM COUNTY, GA

MY COMM. EXP. 11.16.26



Sunday Sales Affidavit (New)

Page 1 of 1

Updated SEPT 2023

NOTICE TO APPLICANT

The City of Pooler permits eating establishment (restaurants) and hotels holding a license to dispense alcoholic beverages for consumption on the premises under certain conditions. To be authorized to dispense alcoholic beverages for consumption on Sunday, an establishment must:

- A. Be licensed by the City to sell alcoholic beverages by the drink for consumption on the premises;
- B. Be a licensed establishment that derives at least 50 percent of its annual gross income from the rental of rooms for overnight lodging; or
- C. Be an eating establishment whose primary business is the sale of prepared meals, Derive at least 50 percent of its total annual gross food and beverage sales from the sale of prepared meals or food;
- D. Have its primary floor area specifically designed, set aside, set up and operating to serve meals and food on the premises and shall have a fully equipped commercial kitchen to include inappropriate stove, refrigerator, food preparation area, sink and other items required by the county health department and city inspections department for the preparation of food;
- E. Have a printed or posted menu from which selections of prepared meals can be made;
- F. Provide full food service to the public during its entire operating hours, including Sunday; and
- G. Include the following certified affidavit from your certified public accountant (CPA) or Registered public accountant (RPA) and submit it along with the required Sunday sales renewal payment.

ACCOUNTANT'S CERTIFICATION OF REVENUES

I hereby certify that I have reviewed and attest to the accuracy of the financial records supplied to me from the food serving establishment described above; and further attest that the establishment derived at least 50 percent of its gross revenues for the last 12 months of business under present or previous ownership, from the sale of prepared meals.

Public Accounting: _____ Firm Date: _____

Accountant Printed Name: _____ Certifying Signature: _____

License Number: _____ Notary Public: _____

Sworn to and subscribed before me this _____ day of _____, 202_

Business Information

ORTIZ BROTHERS, INC., DBS/ TACOS + TEQUILA POOLER

Business Name

400 POOLER PARKWAY, SUITE 200; POOLER, GA 31322

Business Location

912-346-2998

Business Phone



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – STAFF REPORT

December 18, 2023 at 4:00 pm | 100 US Highway 80 SW, Pooler, GA 31322

Agenda Item:

Release of Maintenance and Warranty Bond for Ellis Park Ph. 3

Meeting Date:

December 18, 2023

Department:

Planning & Zoning

Background & Discussion:

A final inspection was performed on Nov. 30, 2023 for Ellis Park Phase 3 in order to release the warranty bond in the amount of \$499,555.50

Recommendation:

Staff recommends approval of the release of the bond.

Attachments:

N/A



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – STAFF REPORT

December 18, 2023 at 4:00 pm | 100 US Highway 80 SW, Pooler, GA 31322

Agenda Item:

Release of Maintenance and Warranty Bond for Mosby Lakeside Apartments (Galloway Drive)

Meeting Date:

December 18, 2023

Department:

Planning & Zoning

Background & Discussion:

A final inspection was performed on Oct. 30, 2023 for Mosby Lakeside Apartments (Galloway Drive) in order to release the warranty bond in the amount of \$336,584.50.

Recommendation:

Staff recommends approval of the release of the bond.

Attachments:

N/A



CITY of POOLER
— GEORGIA —

Council Report for the month of October

Date: 12/11/2023
To: Higgins
From: Matt Saxon
Subject: November Council Report
Cc: Kiley Fusco

Street:

- Continued routine maintenance throughout the city repairing potholes, sidewalks, and shoulder work.

Signs:

- Replaced **7** signs throughout the city.
- Repaired **11** signs throughout the city.

Street Sweeper:

- **78** miles swept.

Storm Water:

- Completed routine residential workorders.
- Replaced 13 crepe myrtles on Pooler Parkway.
- Completed **13,657** feet of routine roadside ditch and outfall maintenance.
- Cleaned out and dug roadside ditches in various locations.

Canal Maintenance:

- Removed fallen trees and mowed access roads/canals throughout the city.
- Routine maintenance of canals throughout the city.
- Finished repairing access road on Sharon Court behind (Food Lion).

Public Works Admin:

- Reviewed **10** sets of site plans.
- Approved **4** pre-construction meetings.



CITY of POOLER
— GEORGIA —

Council Report for the month of October

Date: 11/11/2023
To: Mrs. Williams
From: Matt Saxon
Subject: November Council Report
Cc: Kiley Fusco

Mrs. Williams,

It gives me great pleasure to present to you, the work that our Wastewater Treatment Plant, Sewer, and Water Departments have accomplished since the last council meeting:

Water:

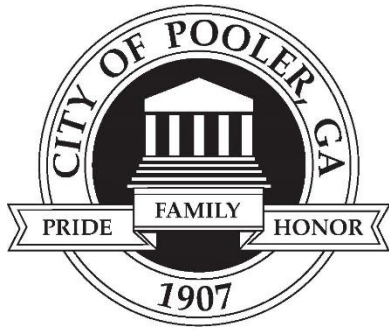
Inspected **43** grease trap inspections.
72 C.O inspections conducted.
Replaced **12** residential and/or commercial laterals.
Completed multiple misc. service orders throughout the city.
Repaired and/or replaced **48** water meters/mxu's.
Installed new **8"** meter at Courtney Station Apartment Complex.
Reviewed **7** Excavation/Encroachment Permits.
Serviced **10** fire hydrants.
Witnessed the testing and certification of **122** backflow preventers.

Sewer & WWTP:

EOM report attached.

Respectfully submitted,

Matt Saxon



NOVEMBER
2023

Monthly Report



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324
912.445.0050
www.eomworx.com



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Executive Summary.....	1.0
Wastewater Treatment	2.0
Collections & Distribution.....	3.0
Engineering	4.0
Administration.....	5.0
Appendix	6.0



SECTION 1.0

EXECUTIVE SUMMARY

EOM is pleased to provide this revised monthly report to the City of Pooler for review. Departmental reports and requested supplemental data can be found enclosed.

MONTH HIGHLIGHT

- **SEWER** – Responded to (1) grinder pump calls
- **SEWER** – Responded to (3) sewer blockage calls
- **SEWER** – Repaired 2” force main
- **SEWER** – Completed (1) sewer lateral repair
- **SEWER** – Replaced (1) ARV

WASTEWATER LIFT STATIONS

- **PO-LS-28.07 POOLER MIDDLE SCHOOL:** Repaired fence
- **PO-LS-28.05 POOLER MIDDLE SCHOOL:** Replaced disconnect, hour meters and motor lead
- **Responded to (2) After Hours Calls**
-

WASTEWATER TREATMENT PLANT

- **PO-WW-GR-22 FINE SCREEN_1:** Repaired cracks in drum



Section 2.0

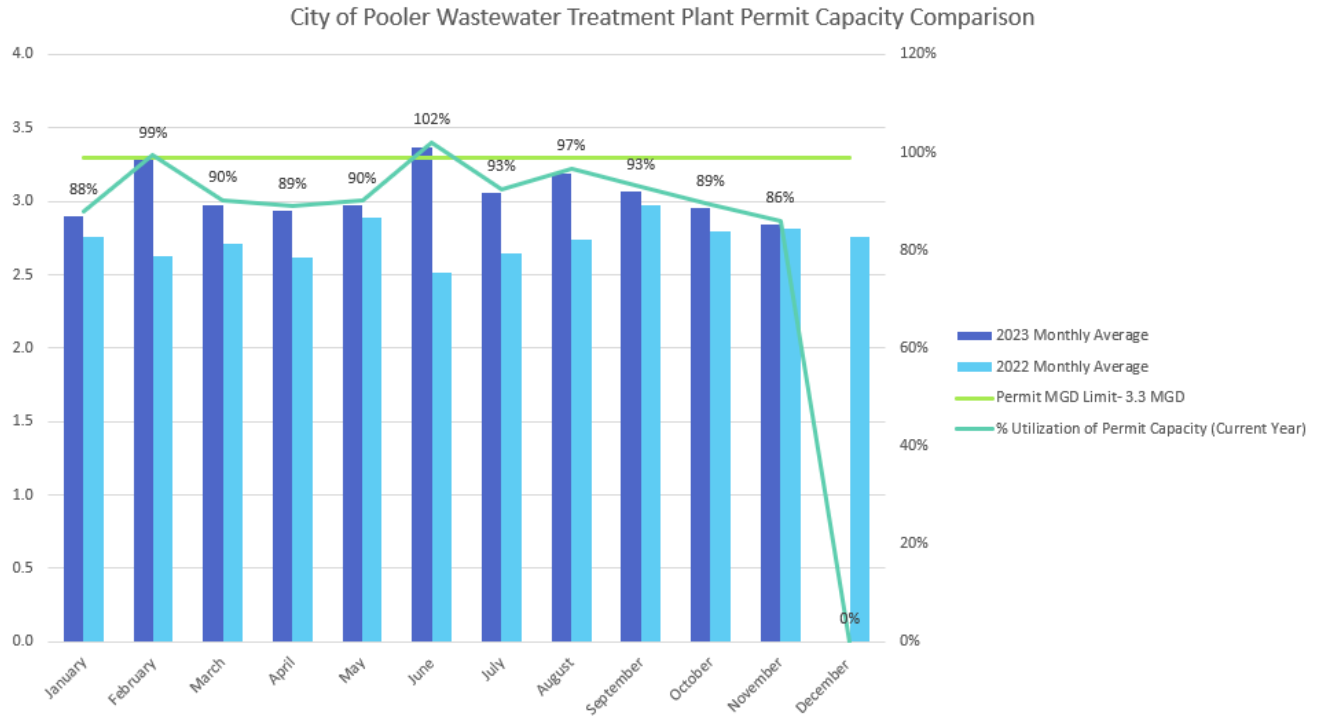
WASTEWATER TREATMENT



SECTION 2.0

WASTEWATER TREATMENT

Table 1 – WASTEWATER TREATMENT PLANT PERMIT COMPARISON





Section 3.0

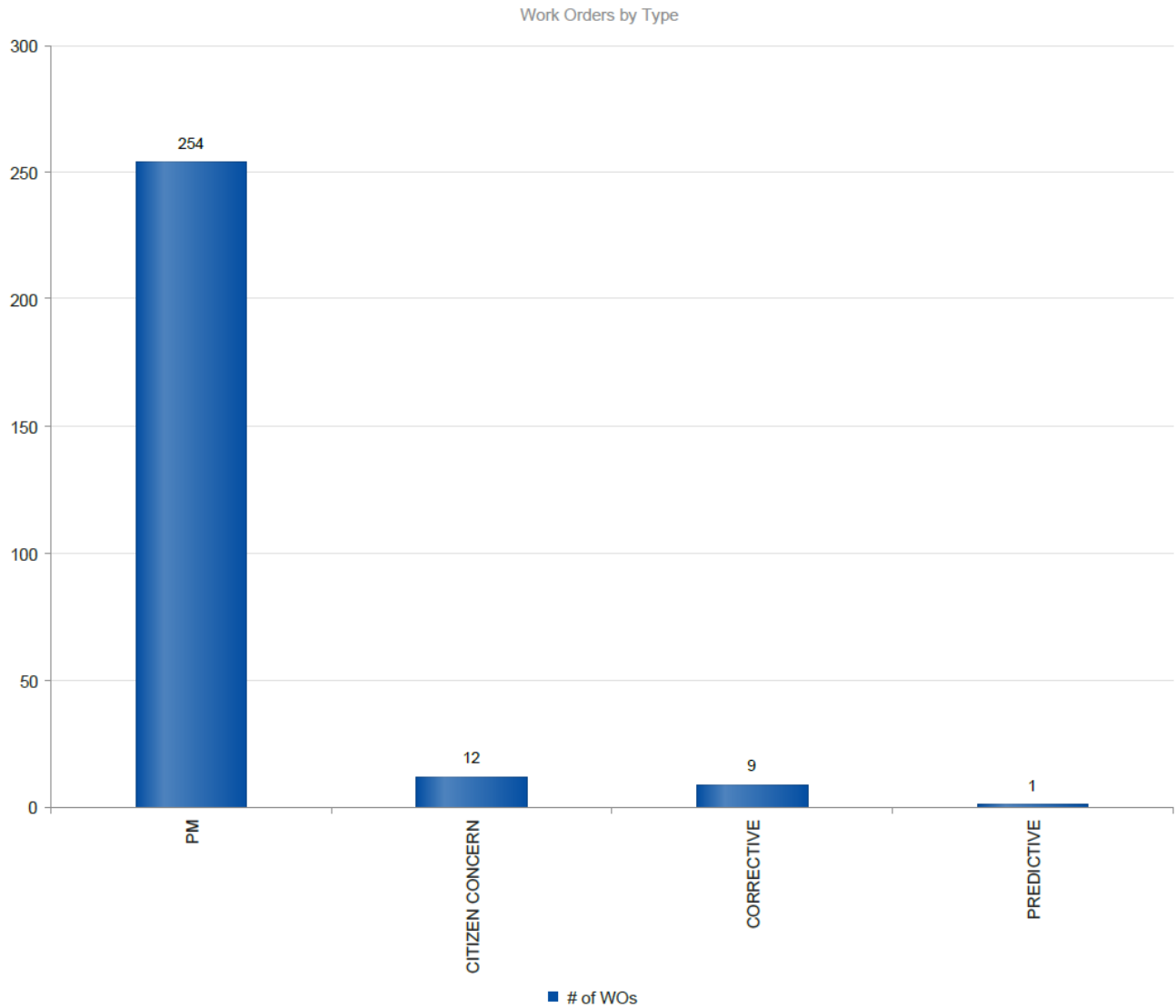
COLLECTIONS &
DISTRIBUTION



SECTION 3.0

COLLECTIONS & DISTRIBUTION

Table 1 – SEWER MAINTENANCE WORK ORDER REPORT





Section 4.0

ENGINEERING



SECTION 4.0

ENGINEERING

Site Plan Review:

- I. Approved Projects
 - Oxford Pooler – Phase 1
 - Forest Lakes Phase II
 - Galen College of Nursing
 - Pet Paradise
 - Joe Hudson Collision Center

- II. Projects Under Review
 - Wawa (*Submittal #1*)
 - Lot A – Blakely Commons (*Submittal #1*)
 - Circle K Expansion (*Submittal #1*)
 - Thompson Thrift Residential (*Submittal #2*)
 - 212 E Hwy 80 Office (*Submittal #5*)
 - HOM at Pooler – Blakely Commons Parcel 13A (*Submittal #2*)

- III. Projects Waiting On Responses
 - Tanger Outlets Outparcel #4 – *2nd review completed 11/30/2023*
 - Morgan Lakes Industrial Park – *3rd review completed 11/30/2023*
 - 780 Pooler Pkwy – *6th review completed 11/15/2023*
 - Oglethorpe Speedway Industrial Park – *1st review completed 11/13/2023*
 - National Museum of the Mighty 8th Airforce – *1st review completed 10/25/2023*
 - 125 Coleman Blvd Building Expansion – *1st review completed 10/24/2023*
 - Canal Bank Rd Subdivision – *1st review completed 10/6/2023*
 - DST Trailer Yard – *1st review completed 9/27/2023*
 - Lift Station 193 Force Main Upgrade – *1st review completed 9/25/2023*
 - Memorial Blvd Commercial Development – *1st review completed 9/12/2023*
 - Pipemakers Independent Senior Living Center – *2nd review completed 9/11/2023*
 - Little Neck Trailer Yard – *3rd review completed 9/7/2023*
 - Old Louisville Storage Yard – *1st review completed 7/13/2023*
 - Pittman Subaru (Revised) – *1st review completed 5/10/2023*
 - Sharon Court Container Yard – *3rd review completed 3/16/2023*



Bond Review:

- I. Approved Bond Requests
 - N/A
- II. Bond Requests Under Review
 - N/A

Additional Engineering Services:

- City Standard Specifications: A number of updated sections/details for Standard Specifications document were submitted to City for review in November 2023. The updated City Standard Specifications document is expected to be complete in Winter.
- Lift Station #21 & 22: EOM submitted proposal for construction of Lift Stations to City in August 2023. It is understood that the City Attorney currently working on a contract for proposed work.



Section 5.0

ADMINISTRATION



SECTION 5.0

ADMINISTRATION

BUDGET

Description	Budget	Expense	Balance
Sewer Expenses	\$ 740,000.00	\$ 497,340.62	\$ 242,659.38
WWTP Expenses	\$ 1,208,000.00	\$ 1,462,492.63	\$ (254,492.63)
TOTAL	\$ 1,948,000.00	\$ 1,959,833.25	\$ (11,833.25)



Section 6.0

APPENDIX

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 1

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD						
YEAR	MO	DAY	TO	YEAR	MO	DAY
23	10	01	TO	23	10	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
OXYGEN, DISSOLVED (DO)	SAMPLE MEASUREMENT	****	****	****	7.0	****	****	mg/L	0	01/01	GR GRAB
00300 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	****	mg/L		01/01	GR GRAB
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	47.1	48.8	lb/d	****	2.0	2.0	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	82.6 MO AVG	102.6 WKLY AVG	lb/d	****	3.0 MO AVG	4.5 WKLY AVG	mg/L		03/DW	CP COMPOS
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	5895	6317	lb/d	****	259	272	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
PH	SAMPLE MEASUREMENT	****	****	****	7.1	****	7.3	SU	0	01/01	GR GRAB
00400 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	8.5 MAXIMUM	SU		01/01	GR GRAB
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	24.5	25.7	lb/d	****	1.0	1.1	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	138.0 MO AVG	172.0 WKLY AVG	lb/d	****	5.0 MO AVG	7.5 WKLY AVG	mg/L		03/DW	CP COMPOS
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	4608	4884	lb/d	****	202	211	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, ORGANIC TOTAL (AS N)	SAMPLE MEASUREMENT	****	****	****	****	0.587	****	mg/L	0	01/30	CP COMPOS
00605 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	23	11	07
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 2

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD						
YEAR	MO	DAY	TO	YEAR	MO	DAY
23	10	01	TO	23	10	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
NITROGEN, AMMONIA TOTAL (AS N) 00610 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	5.3	5.8	lb/d	****	0.2	0.2	mg/L	0	03/DW	CP COMPOS
	PERMIT REQUIREMENT	11.0 MO AVG	13.8 WKLY AVG	lb/d	****	0.4 MO AVG	0.6 WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, KJELDAHL TOTAL (AS N) 00625 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	0.829	****	mg/L	0	01/30	CP COMPOS
	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
NITRITE PLUS NITRATE TOTAL 1 DET. (AS N) 00630 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	12.6	****	mg/L	0	01/30	CP COMPOS
	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
PHOSPHORUS, TOTAL (AS P) 00665 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	1.6	2.3	****	****	0.2	0.2	mg/L	0	03/DW	CP COMPOS
	PERMIT REQUIREMENT	27.5 MO AVG	34.4 WKLY AVG	****	****	1.0 MO AVG	1.5 WKLY AVG	mg/L		03/DW	CP COMPOS
PHOSPHATE, ORTHO (AS P) 04175 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	0.127	****	mg/L	0	01/30	CP COMPOS
	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
FLOW, IN CONDUIT OR THRU TREATMENT PLANT 50050 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	3.0	3.00	MGD	****	****	****	****	0	99/99	CN CONTIN
	PERMIT REQUIREMENT	3.3 MO AVG	4.2 WKLY AVG	MGD	****	****	****	****		99/99	CN CONTIN
COLIFORM, FECAL GENERAL 74055 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	1.1	1.2	#/100mL	0	02/DA	GR GRAB
	PERMIT REQUIREMENT	****	****	****	****	23 MO GEO	23 WKLY GEO	#/100mL		02/DA	GR GRAB

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	23	11	07
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
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Form Approved
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GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
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MONITORING PERIOD						
YEAR	MO	DAY	TO	YEAR	MO	DAY
23	10	01	TO	23	10	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
CYANIDE, TOTAL (AS CN) 00720 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	2.1000	****	ug/L	0	01/30	GR GRAB
	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ug/L		01/30	GR GRAB
MERCURY, TOTAL (AS HG) 71900 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	****	****	****	ng/L	0	01/30	GR GRAB
	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ng/L		01/30	GR GRAB
SOLIDS, SUSPENDED PERCENT REMOVAL 81011 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	dry ton	99.5	****	****	%	0	01/30	CA CALCTD
	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	>85 MINIMUM	****	****	%		01/30	CA CALCTD
BOD, 5-DAY PERCENT REMOVAL 81010 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	****	****	****	99.2	****	****	%	0	01/30	CA CALCTD
	PERMIT REQUIREMENT	****	****	****	>85 MINIMUM	****	****	%		01/30	CA CALCTD
SOLIDS, SLUDGE, TOT, DRY WEIGHT 78477 1 0 0 EFFLUENT GROSS VALUE	SAMPLE MEASUREMENT	64	****	dry ton	****	****	****	****	0	01/30	CA CALCTD
	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	****	****	****	****		01/30	CA CALCTD
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	23	11	07
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

INTERIM
COMPARATIVE
OPERATING
STATEMENTS

City of Pooler, Georgia

For the Eleven Months Ended November 30, 2023

*Prepared by:
Finance Department*



CITY *of* POOLER
— GEORGIA —

CITY OF POOLER, GEORGIA

Interim Comparative Operating Statements (*Unaudited*)

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CITY *of* POOLER
— GEORGIA —

COMPARATIVE FINANCIAL STATEMENTS

(UNAUDITED)



CITY *of* POOLER
— GEORGIA —

CITY OF POOLER, GEORGIA

Fund 100 - General Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances For the Eleven Months Ended November 30, 2023 and 2022

	2023	2022		
REVENUES				
Taxes.....	\$ 23,107,596.33	\$ 20,147,096.56		
Licenses and permits.....	1,241,702.03	1,626,848.23		
Intergovernmental.....	826,979.60	680,037.44		
Charges for services.....	3,009,150.57	2,938,557.78		
Fines and forfeitures.....	701,007.49	693,075.08		
Investment earnings.....	578,676.71	122,870.19		
Contributions and donations.....	87,665.69	207,460.42		
Miscellaneous.....	162,046.11	85,276.40		
	<u>29,714,824.53</u>	<u>26,501,222.10</u>		
Total revenues.....			3,213,602.43	12.13%
EXPENDITURES				
Current				
General government.....	3,473,983.97	3,308,827.31		
Judicial.....	437,656.62	364,560.20		
Public safety.....	12,625,246.99	11,545,829.29		
Public works.....	5,688,739.02	5,185,236.02		
Health and welfare.....	174,224.56	143,329.88		
Culture and recreation.....	1,681,482.66	1,536,556.83		
Housing and development.....	1,099,634.10	787,705.98		
Debt service				
Principal.....	1,874,087.75	400,792.38		
Interest.....	367,355.40	59,191.82		
	<u>27,422,411.07</u>	<u>23,332,029.71</u>		
Total expenditures.....			4,090,381.36	17.53%
Excess (deficiency) of revenues over (under) expenditures.....	<u>2,292,413.46</u>	<u>3,169,192.39</u>		
OTHER FINANCING SOURCES (USES)				
Transfers in.....	1,272,168.68	1,102,153.23		
Transfers out.....	(1,176,906.95)	(5,467,445.62)		
Sale of general capital assets.....	319,290.75	143,365.66		
Insurance recoveries.....	78,249.90	78,936.75		
	<u>492,802.38</u>	<u>(1,380,401.16)</u>		
Total other financing sources (uses)			1,873,203.54	135.70%
Net changes in fund balances.....	2,785,215.84	1,788,791.23		
Fund balances at beginning of year.....	32,947,279.67	27,820,097.95		
Fund balances at end of year.....	<u>\$ 35,732,495.51</u>	<u>\$ 29,608,889.18</u>		

CITY OF POOLER, GEORGIA

Fund 201 - Tree Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>		
REVENUES				
Contributions.....	\$ 484,650.00	\$ 791,538.50		
Investment earnings.....	2,987.61	1,883.28		
Total revenues.....	<u>487,637.61</u>	<u>793,421.78</u>	(305,784.17)	-38.54%
EXPENDITURES				
Current				
Parks.....	212,282.60	230,302.60		
Total expenditures.....	<u>212,282.60</u>	<u>230,302.60</u>	(18,020.00)	-7.82%
Net change in fund balance.....	275,355.01	563,119.18		
Fund balance, beginning of year.....	2,581,923.20	2,026,513.14		
Fund balance, end of year.....	<u>\$ 2,857,278.21</u>	<u>\$ 2,589,632.32</u>		

CITY OF POOLER, GEORGIA

Fund 210 - Forfeiture Fund
 Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>		
REVENUES				
Fines and forfeitures.....	\$ 38,292.93	\$ 19,602.82		
Investment earnings.....	223.59	155.84		
Total revenues.....	<u>38,516.52</u>	<u>19,758.66</u>	18,757.86	94.93%
EXPENDITURES				
Current				
Public safety.....	3,728.85	12,685.60		
Total expenditures.....	<u>3,728.85</u>	<u>12,685.60</u>	(8,956.75)	-70.61%
Excess (deficiency) of revenues over (under) expenditures.....	<u>34,787.67</u>	<u>7,073.06</u>		
Fund balance, beginning of year.....	120,812.07	109,758.62		
Fund balance, end of year.....	<u>\$ 155,599.74</u>	<u>\$ 116,831.68</u>		

CITY OF POOLER, GEORGIA

Fund 230 - American Rescue Plan Local Fiscal Recovery Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>		
REVENUES				
Intergovernmental grants.....	\$ 9,595,073.00	\$ -		
Investment earnings.....	6,696.45	5,658.66		
Total revenues.....	<u>9,601,769.45</u>	<u>5,658.66</u>	9,596,110.79	169582.74%
EXPENDITURES				
Current				
Health and welfare.....	-	-		
Total expenditures.....	<u>-</u>	<u>-</u>	-	
Excess (deficiency) of revenues over (under) expenditures.....	<u>9,601,769.45</u>	<u>5,658.66</u>		
OTHER FINANCING SOURCES (USES)				
Transfers out.....	<u>(9,609,445.14)</u>	-	(9,609,445.14)	
Total other financing sources (uses)	<u>(9,609,445.14)</u>	-		
Net change in fund balance.....	(7,675.69)	5,658.66		
Fund balance, beginning of year.....	7,675.69	1,132.84		
Fund balance, end of year.....	<u>\$ -</u>	<u>\$ 6,791.50</u>		

CITY OF POOLER, GEORGIA

Fund 275 - Accommodation Excise Tax Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>		
REVENUES				
Taxes.....	\$ 2,544,337.37	\$ 2,204,306.49		
Total revenues.....	<u>2,544,337.37</u>	<u>2,204,306.49</u>	340,030.88	15.43%
EXPENDITURES				
Intergovernmental:				
Assistance.....	1,272,168.69	1,102,153.26		
Total expenditures.....	<u>1,272,168.69</u>	<u>1,102,153.26</u>	170,015.43	15.43%
Excess (deficiency) of revenues over (under) expenditures.....	<u>1,272,168.68</u>	<u>1,102,153.23</u>		
OTHER FINANCING SOURCES (USES)				
Transfers out.....	<u>(1,272,168.68)</u>	<u>(1,102,153.23)</u>	(170,015.45)	15.43%
Total other financing sources (uses)	<u>(1,272,168.68)</u>	<u>(1,102,153.23)</u>		
Net change in fund balance.....	-	-		
Fund balance, beginning of year.....	-	-		
Fund balance, end of year.....	<u>\$ -</u>	<u>\$ -</u>		

CITY OF POOLER, GEORGIA

Fund 320 - Special Purpose Local Option Sales Tax (SPLOST) Fund
 Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>		
REVENUES				
Intergovernmental.....	\$ 5,816,754.58	\$ 5,449,977.83		
Investment earnings.....	307,376.28	20,473.49		
Total revenues.....	<u>6,124,130.86</u>	<u>5,470,451.32</u>	653,679.54	11.95%
EXPENDITURES				
Capital outlay				
Public works.....	782,183.48	932,457.66		
Recreation.....	2,222,779.30	138,974.89		
Total expenditures.....	<u>3,004,962.78</u>	<u>3,586,118.14</u>	(581,155.36)	-16.21%
Excess (deficiency) of revenues over (under) expenditures.....	<u>3,119,168.08</u>	<u>1,884,333.18</u>		
Fund balance, beginning of year.....	<u>7,698,715.93</u>	<u>4,420,409.33</u>		
Fund balance, end of year.....	<u><u>\$ 10,817,884.01</u></u>	<u><u>\$ 6,304,742.51</u></u>		

CITY OF POOLER, GEORGIA

Fund 350 - Local Resources Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the Eleven Months Ended November 30, 2023 and 2022

	<u>2023</u>	<u>2022</u>	
REVENUES			
Intergovernmental.....	\$ -	\$ -	
Investment earnings.....	-	-	
Total revenues.....	<u>-</u>	<u>-</u>	-
EXPENDITURES			
Capital outlay			
General government.....	417,180.25	-	
Public safety.....	47,145.00	-	
Public works.....	612,521.33	-	
Recreation.....	100,060.37	-	
Total expenditures.....	<u>1,176,906.95</u>	<u>-</u>	1,176,906.95
Excess (deficiency) of revenues over (under) expenditures.....	<u>(1,176,906.95)</u>	<u>-</u>	
OTHER FINANCING SOURCES (USES)			
Transfers in.....	1,176,906.95	-	1,176,906.95
Total other financing sources (uses)	<u>1,176,906.95</u>	<u>-</u>	
Net change in fund balance.....	-	-	
Fund balance, beginning of year.....	-	-	
Fund balance, end of year.....	<u>\$ -</u>	<u>\$ -</u>	

CITY OF POOLER, GEORGIA

Fund 505 - Water and Sewer Fund Comparative Statement of Revenues, Expenses, and Changes in Net Position For the Eleven Months Ended November 30, 2023 and 2022

	2023	2022		
OPERATING REVENUES				
Water fees.....	\$ 4,275,099.84	\$ 3,980,961.03		
Sewer fees.....	5,132,329.96	5,042,315.59		
Miscellaneous fees.....	203,469.00	125,076.70		
Total operating revenues.....	<u>9,610,898.80</u>	<u>9,148,353.32</u>	462,545.48	5.06%
OPERATING EXPENSES				
<u>Sewer and Wastewater Treatment Plant</u>				
Purchased and contracted services.....	2,241,441.51	1,858,837.43		
Materials and supplies.....	1,953,782.59	1,355,456.10		
Total sewer and wastewater treatment plant.....	<u>4,195,224.10</u>	<u>3,214,293.53</u>	980,930.57	30.52%
<u>Water</u>				
Personnel services and employee benefits.....	652,624.19	646,024.80		
Purchased and contracted services.....	521,931.88	337,605.32		
Materials and supplies.....	1,995,911.38	1,765,115.58		
Total water.....	<u>3,170,467.45</u>	<u>2,748,745.70</u>	421,721.75	15.34%
Total operating expenses.....	<u>7,365,691.55</u>	<u>5,963,039.23</u>	1,402,652.32	23.52%
Operating income (loss).....	<u>2,245,207.25</u>	<u>3,185,314.09</u>	(940,106.84)	-29.51%
NONOPERATING REVENUES (EXPENSES)				
Interest income.....	438,077.55	86,248.63		
Interest expense.....	(301,062.39)	(296,384.69)		
Total nonoperating revenues (expenses).....	<u>137,015.16</u>	<u>(210,136.06)</u>	347,151.22	165.20%
Income (loss) before capital contributions.....	<u>2,382,222.41</u>	<u>2,975,178.03</u>	(592,955.62)	-19.93%
CAPITAL CONTRIBUTIONS AND TRANSFERS				
Tap fees.....	884,432.40	520,651.48		
Capital cost recovery charges.....	4,346,534.54	7,166,438.98		
Transfers in.....	9,609,445.14	-		
Total capital contributions.....	<u>14,840,412.08</u>	<u>7,687,090.46</u>	7,153,321.62	93.06%
Change in net position.....	17,222,634.49	10,662,268.49	6,560,366.00	61.53%
Net position, beginning of year.....	63,204,310.41	54,822,228.61		
Net position, end of year.....	<u>\$80,426,944.90</u>	<u>\$65,484,497.10</u>		



City of Pooler Fire-Rescue Services

Fire-Rescue Report Nov. 1st - 30th, 2023

MAJOR INCIDENT TYPE	# INCIDENTS Nov. 2023	% Of TOTAL Nov. 2023	YEAR to Date 2023	YEAR to Date 2022
Fires	11	3.13%	139	147
❖ Structure Fires	3	-	44	56
Emergency Medical Service	269	49.66%	2638	2894
Motor Vehicle Collisions	66	11.86%	563	517
Technical Rescues	4	1.34%	86	96
Hazardous Condition (No Fire)	9	1.34%	73	89
Service Call	46	12.30%	517	559
Good Intent Call	34	12.75%	399	372
False Alarm & False Call	44	7.62%	408	398
Severe Weather & Natural Disaster	0	0	22	13
Special Incident/Citizen Complaint	0	0	0	1
TOTAL	483	100%	4845	5086

*Nov Call Volume **Increased** from 385 in 2022 to 483 in 2023, (25.46 % increase)*

For the year, call volume has decreased by 241 calls or 4.74%.

Total Fire Loss Year to Date 2023 - \$1,325,752

Total Fire Loss Year to Date 2022 - \$746,507

	November	Year to Date
1. Child Locked in Auto	0	21
2. Animal Locked in Auto	1	26
3. Blood Draws	8	112



Pooler Police Department

Council Report

Monday December 20, 2023

NOVEMBER 2023



- A total of **63 Part 1 crimes** were reported in the month of November.
- From the prior year 2022, there is a **decrease of 2%**
- A total of **21 shopliftings** were reported in the month of November.
- From the prior year 2022, this is an **increase of 12%**.
- **Total Calls for service** in November were **2,293**.
- From the prior year 2022, this is a **decrease of 7%**.
- A total of **1,247 citations** were issued in the month of November.
- From prior year 2022, this is a **decrease of 9%**
- A total of **115 arrests** were made in the month of November.
- From the prior year 2022, this is a **decrease of 5%**.
- A total of **16 DUI arrests** were made in the month of November.
- From the prior year 2022, this is a **decrease of 9%**.

Activity	Time Period 9/1-9/30/2023	Year to Date 2023	Year to Date 2022	Percentage Change from 22 - 23
Part 1 crimes	63	709	724	-2%
Shopliftings	21	281	252	12%
Calls for service	2,293	24,331	26,075	-7%
Citation	1,247	15,236	16,690	-9%
Arrests	115	1,383	1,459	-5%
DUI arrests	16	269	294	-9%

Pooler Parks & Recreation



Monthly Report: November 2023

Recreation Department

- 1 Dance classes continued in November. Registrations opened for December and January.
- 2 Gymnastics, classes continued in November. Registrations for new sessions are open.
- 3 Games for youth tackle football, flag football, soccer, and cheer ended.
- 4 Pooler Stadium hosted a National Post Graduate Athletic Association semifinal football game. Teams from Florida participated.
- 5 6u basketball season ended. Registration for youth basketball concluded, and league practices started.
- 6 The Rec Department hosted 2 high school football playoff games in November. New Hampstead v Westside Macon and Savannah Christian v Peach County.
- 7 The annual Pooler Bowl Games were held at the stadium for youth football.

Senior Center

- 1 All regularly scheduled classes continued in November.
- 2 The center hosted a Thanksgiving dinner and celebration.
- 3 Seniors participated in the Veteran's Day Parade in Savannah.
- 4 The center added a Tai-Chi class to the weekly schedule.
- 5 Trips for November included day trips to Metter and Vidalia. Seniors also had the opportunity to travel to Cherokee, NC.
- 6

Parks

- 1 Parks performed routine maintenance at all 5 parks, the community and senior centers, and the cemetery.
- 2 Christmas lights were put up on Hwy 80 and tree was put up at memorial park, and park was prepped for Christmas tree lighting.
- 3

City of Pooler
Planning & Zoning Minutes
November 27, 2023

CALL TO ORDER:

Chairman Matt Saxon called the meeting to order at 3:00 p.m.
Commissioner Simmons led the Pledge of Allegiance.

Attendee Name	Title	Status
Matt Saxon	Chairman	Present
Brad Rife	Alternate	Present
Shirlenia Daniel	Commissioner	Absent
Sean Evans	Commissioner	Present
Wade Simmons	Commissioner	Present
Mark Williams	Commissioner	Present
Ashley Brown	Commissioner	Present
Pete Chaison	Commissioner	Present
Brian Crooks	City Planner	Present
Nicole Dixon	Planning & Development Director	Present
Kimberly Dyer	Zoning Administrator/Secretary	Absent

APPROVAL OF MINUTES

The minutes of the November 13, 2023, Pooler Planning and Zoning Commission were reviewed, and no corrections or amendments were noted.

Result: *Approved*

1-Motion: Commissioner Brown

2-Second: Commissioner Rife

Passed without opposition.

NEW BUSINESS:

A. Zoning Map Amendment Request for Cheval Lane

Nicole Dixon, Planning & Development Director, presented the request to the Commission for their review and recommendation. The request is to rezone approximately 21 acres from C-2 to R-3-B. David Hornsby, the applicant, spoke in favor of the request where the intent is to build 246 garden-style apartments. A resident of Bridgewater, Charles Archer, spoke in opposition of the request stating there is insufficient infrastructure to support the development, specifically road size of Pine Barren to handle any future traffic and school capacity at the nearby middle and elementary school. Commissioner Simmons asked if the applicant would be willing to participate in the improvements to the Pine Barren and Pooler Parkway intersection.

Result: *After review of the criteria, a motion was made to recommend approval of the map amendment from C-2 to R-3-B subject to the following conditions: the site shall not have access to Pine Barren Road, other than*

any required for emergency access, except as part of any future curb cut on the extension of Cheval Lane and the applicant work with the City in contributing to improvements for the Pine Barren and Pooler Parkway Intersection.

1- Motion: Commissioner Simmons

2- Second: Commissioner Williams

Passed without opposition.

The foregoing minutes are true and correct and approved by me on this 29th day of November 2023.

Brian Crooks, City Planner

**City of Pooler
Single Family Detached Permits
November 2023**

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN #	Flood Zone/Flood Way
11/7/2023	231493	Ellis Park	147 Kraft Kove, Lot 294	DR Horton	Same	51009Q11004	
11/7/2023	231494	Ellis Park	145 Kraft Kove, Lot 295	DR Horton	Same	51009Q11005	
11/7/2023	231495	Ellis Park	143 Kraft Kove, Lot 296	DR Horton	Same	51009Q11006	
11/7/2023	231496	Ellis Park	110 Windrush Pines	DR Horton	Same	51009Q11017	
11/7/2023	231497	Ellis Park	108 Windrush Pines	DR Horton	Same	51009Q11018	
11/7/2023	231507	Ellis Park	106 Windrush Pines	DR Horton	Same	51009Q11019	
11/7/2023	231508	Ellis Park	104 Windrush Pines	DR Horton	Same	51009Q11020	
11/7/2023	231509	Ellis Park	102 Windrush Pines	DR Horton	Same	51009Q11021	
11/7/2023	231510	Ellis Park	100 Windrush Pines	DR Horton	Same	51009Q12001	
11/3/2023	231525	Westbrook	142 Tupleo St., Lot 215	Michael Rogers Construction	Robbie & Allison White	51009G13006	
11/8/2023	231536	Westbrook	123 Binscombe Ln., Lot 966	Lennar Carolinas	Same	51009R05031	
11/8/2023	231551	Westbrook	125 Binscombe Ln., Lot 967	Lennar Carolinas	Same	51009R05032	
11/8/2023	231552	Westbrook	128 Binscombe Ln., Lot 997	Lennar Carolinas	Same	51009R05063	
11/8/2023	231553	Westbrook	126 Binscombe Ln., Lot 998	Lennar Carolinas	Same	51009R05064	
11/8/2023	231554	Westbrook	113 Holloway Hill, Lot 1019	Lennar Carolinas	Same	51009R05086	
11/8/2023	231555	Westbrook	126 Holloway Hill, Lot 1038	Lennar Carolinas	Same	51009R05106	
11/8/2023	231559	Westbrook	115 Holloway Hill, Lot 1018	Lennar Carolinas	Same	51009R05085	
11/17/2023	231612	Forest Lakes	165 Champlain Dr., Lot 1019	Landmark 24 Homes of Savannah	Same	51014C12015	Yes/No
11/17/2023	231613	Forest Lakes	155 Champlain Dr., Lot 1024	Landmark 24 Homes of Savannah	Same	51014C12010	Yes/No
11/27/2023	231646	Harmony	15 Jazz Dr., Lot 724	Landmark 24 Homes of Savannah	Same	51010F15009	
11/27/2023	231648	Harmony	17 Jazz Dr., Lot 725	Landmark 24 Homes of Savannah	Same	51010F15010	
11/27/2023	231650	Harmony	19 Jazz Dr., Lot 726	Landmark 24 Homes of Savannah	Same	51010F15011	
11/27/2023	231651	Harmony	14 Jazz Dr., Lot 728	Landmark 24 Homes of Savannah	Same	51010F16009	
11/27/2023	231652	Harmony	18 Jazz Dr., Lot 730	Landmark 24 Homes of Savannah	Same	51010F16011	
11/29/2023	231653	Westbrook	147 Wood Haven Ln., Lot 442	Grant Homes Inc	Martha Langbo	51009G14013	Yes/No
Total	25						

**City of Pooler
Townhome Permits
November 2023**

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN #
11/7/2023	231511	Towne Park	470 Governor Treutlen Cr., Lot 34	Horizon Homes Builderes	Same	5001902035
11/7/2023	231512	Towne Park	472 Governor Treutlen Cr., Lot 35	Horizon Homes Builderes	Same	5001902036
11/7/2023	231513	Towne Park	474 Governor Treutlen Cr., Lot 36	Horizon Homes Builderes	Same	5001902037
11/7/2023	231514	Towne Park	476 Governor Treutlen Cr., Lot 37	Horizon Homes Builderes	Same	5001902038
11/7/2023	231515	Towne Park	478 Governor Treutlen Cr., Lot 38	Horizon Homes Builderes	Same	5001902039
11/7/2023	231516	Towne Park	475 Governor Treutlen Cr., Lot 182	Horizon Homes Builderes	Same	5001903021
11/7/2023	231517	Towne Park	473 Governor Treutlen Cr., Lot 183	Horizon Homes Builderes	Same	5001903022
11/7/2023	231518	Towne Park	471 Governor Treutlen Cr., Lot 184	Horizon Homes Builderes	Same	5001903023
11/7/2023	231519	Towne Park	469 Governor Treutlen Cr., Lot 185	Horizon Homes Builderes	Same	5001903024
11/7/2023	231520	Towne Park	467 Governor Treutlen Cr., Lot 186	Horizon Homes Builderes	Same	5001903025
11/7/2023	231521	Towne Park	447 Governor Treutlen Cr., Lot 194	Horizon Homes Builderes	Same	5001903033
11/7/2023	231522	Towne Park	445 Governor Treutlen Cr., Lot 195	Horizon Homes Builderes	Same	5001903034
11/7/2023	231523	Towne Park	443 Governor Treutlen Cr., Lot 196	Horizon Homes Builderes	Same	5001903035
11/7/2023	231524	Towne Park	441 Governor Treutlen Cr., Lot 197	Horizon Homes Builderes	Same	5001903036
11/17/2023	231589	Savannah Quarters-Easthaven	246 Oldwood Dr., Lot 505	Dream Finders Homes LLC	Same	51009N06134
11/17/2023	231590	Savannah Quarters-Easthaven	248 Oldwood Dr., Lot 506	Dream Finders Homes LLC	Same	51009N06133
11/17/2023	231591	Savannah Quarters-Easthaven	250 Oldwood Dr., Lot 507	Dream Finders Homes LLC	Same	51009N06132
11/17/2023	231592	Savannah Quarters-Easthaven	252 Oldwood Dr., Lot 508	Dream Finders Homes LLC	Same	51009N06131
11/17/2023	231594	Savannah Quarters-Easthaven	254 Oldwood Dr., Lot 509	Dream Finders Homes LLC	Same	51009N06130
11/17/2023	231595	Savannah Quarters-Easthaven	256 Oldwood Dr., Lot 510	Dream Finders Homes LLC	Same	51009N06129
11/17/2023	231596	Savannah Quarters-Easthaven	258 Oldwood Dr., Lot 511	Dream Finders Homes LLC	Same	51009N06128
11/17/2023	231597	Savannah Quarters-Easthaven	260 Oldwood Dr., Lot 512	Dream Finders Homes LLC	Same	51009N06127
11/17/2023	231598	Savannah Quarters-Easthaven	239 Oldwood Dr., Lot 533	Dream Finders Homes LLC	Same	51009N06063
11/17/2023	231599	Savannah Quarters-Easthaven	241 Oldwood Dr., Lot 534	Dream Finders Homes LLC	Same	51009N06064
11/17/2023	231600	Savannah Quarters-Easthaven	243 Oldwood Dr., Lot 535	Dream Finders Homes LLC	Same	51009N06065
11/17/2023	231601	Savannah Quarters-Easthaven	245 Oldwood Dr., Lot 536	Dream Finders Homes LLC	Same	51009N06066
11/17/2023	231602	Savannah Quarters-Easthaven	247 Oldwood Dr., Lot 537	Dream Finders Homes LLC	Same	51009N06067
11/17/2023	231603	Savannah Quarters-Easthaven	249 Oldwood Dr., Lot 538	Dream Finders Homes LLC	Same	51009N06068
11/17/2023	231604	Savannah Quarters-Easthaven	251 Oldwood Dr., Lot 539	Dream Finders Homes LLC	Same	51009N06069
11/17/2023	231605	Savannah Quarters-Easthaven	253 Oldwood Dr., Lot 540	Dream Finders Homes LLC	Same	51009N06070
11/30/2023	231660	Savannah Quarters-Easthaven	264 Oldwood Dr., Lot 513	Dream Finders Homes LLC	Same	51009N06126
11/30/2023	231661	Savannah Quarters-Easthaven	266 Oldwood Dr., Lot 514	Dream Finders Homes LLC	Same	51009N06125
11/30/2023	231662	Savannah Quarters-Easthaven	268 Oldwood Dr., Lot 515	Dream Finders Homes LLC	Same	51009N06124
11/30/2023	231663	Savannah Quarters-Easthaven	270 Oldwood Dr., Lot 516	Dream Finders Homes LLC	Same	51009N06123
11/30/2023	231664	Savannah Quarters-Easthaven	272 Oldwood Dr., Lot 517	Dream Finders Homes LLC	Same	51009N06122
11/30/2023	231665	Savannah Quarters-Easthaven	274 Oldwood Dr., Lot 518	Dream Finders Homes LLC	Same	51009N06121
11/30/2023	231667	Savannah Quarters-Easthaven	257 Oldwood Dr., Lot 541	Dream Finders Homes LLC	Same	51009N06071
11/30/2023	231668	Savannah Quarters-Easthaven	259 Oldwood Dr., Lot 542	Dream Finders Homes LLC	Same	51009N06072
11/30/2023	231669	Savannah Quarters-Easthaven	261 Oldwood Dr., Lot 543	Dream Finders Homes LLC	Same	51009N06073

**City of Pooler
Townhome Permits
November 2023**

11/30/2023	231670	Savannah Quarters-Easthaven	265 Oldwood Dr., Lot 544	Dream Finders Homes LLC	Same	51009N06074
11/30/2023	231671	Savannah Quarters-Easthaven	267 Oldwood Dr., Lot 545	Dream Finders Homes LLC	Same	51009N06075
11/30/2023	231672	Savannah Quarters-Easthaven	269 Oldwood Dr., Lot 546	Dream Finders Homes LLC	Same	51009N06076
11/30/2023	231673	Savannah Quarters-Easthaven	271 Oldwood Dr., Lot 547	Dream Finders Homes LLC	Same	51009N06077
11/30/2023	231674	Savannah Quarters-Easthaven	273 Oldwood Dr., Lot 548	Dream Finders Homes LLC	Same	51009N06078
Total	44					

Misc. Permits November 2023

Date	Permit #	Address	Contractor	Owner	Project Type	PIN #	Flood Zone
11/28/2023	231073	205 Grand Central Blvd.	Clayton Signs	Chick-Fil-A	Multiple Signs		
11/9/2023	231311	7 Brighton Woods Ct.	Denis Reyes	Same	Interior Renovation	50004B03005	
11/14/2023	231316	200 Tanger Outlets Blvd. Ste 621	JSC Systems	Adidas America Inc.	Fire Alarm System		
11/27/2023	231325	633 Wyndham Way	Sun Drenched Pools	Richard and Judy Tutschek	Inground Fiberglass Pool		
11/1/2023	231473	131 Bramswell Rd.	Pride Pools	Marsha & Joe Broce	Inground Fiberglass Pool		
11/29/2023	231477	103 Bramswell Rd.	JDH Decks and Fences Inc	Christopher Loughrey	4' Black Aluminum Fence		
11/1/2023	231504	1024 W. Hwy 80 Unit 105	GOM Printing & Signs	Pooler 80 West LLC	Wall Sign		
11/3/2023	231537	Pooler Pkwy	Georgia Power Company	Same	Excavtion/Encroachment		
11/3/2023	231538	Westside Blvd.	Comcast	Same	Excavtion/Encroachment		
11/3/2023	231539	Mosaic Circle	Fiberoptic	Clearwave Fiber	Excavtion/Encroachment		
11/3/2023	231540	2001 Pooler Pkwy	AAA Sign Co. Inc.	Realty Income Properties 28 LLC	Multiple Signs		
11/1/2023	231543	5 Harmony Ct.	Zea Home Improvement LLC	Dinise Felton	Porch Addition	51010F07025	
11/3/2023	231545	2 Amalfi Avenue	Quality Electric	Dream Finders Homes LLC	Electrical		
11/1/2023	231546	233 Tahoe Dr.	Palmetto Solar	Rakeshkumar Patel	Roof Mounted Solar Panels		
11/3/2023	231548	200 Tanger Outlets Blvd. Ste 356	Sign D'Sign	Tanger Outlets	Wall Sign		
11/13/2023	231549	240 Tanger Outlets Blvd. Unit 105	CamKen Construction	HRE Real Estate Services Inc	Wall Sign		
11/7/2023	231562	1 Wildcat Dam Rd.	Coleman Electric Co. Inc	Arachie Seabrooks	Electrical		
11/9/2023	231566	1215 E Hwy 80 Unit 600	The Sign Store Online Inc	T&M Commercial Development	Pylon Face and Wall Sign		
11/9/2023	231567	Governor Treuitlen Dr.	Coastal Rail Buffs Inc.	Same	Tempoary Sign		
11/16/2023	231567	1585 Pooler Pkwy	Pye Barker	Palmaccio Group	Fire Suppression System		
11/9/2023	231568	Morgan Lakes Industrial Blvd.	AT&T	Same	Excavtion/Encroachment		
11/9/2023	231569	2121 Pooler Pkwy	KTM Builders LLC	Same	Tempoary Office Trailer		
11/14/2023	231570	230 Longleaf Circle	Scott Nienke	Same	Storage Building		
11/14/2023	231571	1119 Plantation Dr.	Thompson Pools	Robert Conley	Vinyl Liner Inground Pool		
11/14/2023	231572	264 Silver Brook Cr.	Dyess Air and Plumbing	Derek and Candice Mowery	Plumbing		
11/14/2023	231573	166 Tahoe Dr	Dyess Air and Plumbing	Roger Bunch	Plumbing		
11/14/2023	231574	100 Kita Ave	JSC Systems	Pittman Real Estate Holdings	Fire Alarm System		
11/14/2023	231575	421 Morgan Lakes Ind Blvd	Champion Fire Protection	Morgan Lakes Industrial XIII	Fire Sprinkler System		
11/14/2023	231577	163 Brooklyn Way	Veterans Fence and Supply	Gia French	4' and 6' Wood Fence		
11/14/2023	231580	Westside Blvd.	Comast	Same	Excavtion/Encroachment		
11/14/2023	231581	Oldwood Dr and Canal Cove	AT&T	Same	Excavtion/Encroachment		
11/14/2023	231582	Lake Way	Georgia Power Company	Same	Excavtion/Encroachment		
11/14/2023	231583	Oldwood Dr/Petworth/Overbrook	Georgia Power Company	Same	Excavtion/Encroachment		
11/16/2023	231584	143 Fern Rd.	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/16/2023	231585	139 Fern Rd.	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/16/2023	231587	131 Fern Rd.	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/16/2023	231588	114 Fern Rd.	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/16/2023	231593	605 W. Hwy 80	Veterans Fence and Supply	Advanced Academics	Vinyl Privacy Fence		
11/17/2023	231611	500 E. Hwy 80	Aquatica Pools and Spas	Drury Savannah LLC	Commercial Pool		
11/20/2023	231614	12 Palladian Way	Generators Supercenter	Monique Bell	Electrical		
11/20/2023	231615	Tanger Outlets Blvd	Southeast Utilities	Comcast	Excavtion/Encroachment		
11/20/2023	231616	Old Dean Forest Rd.	Southeast Utilities	Comcast	Excavtion/Encroachment		
11/20/2023	231617	Grand Central Blvd	Seimitsu	Same	Excavtion/Encroachment		
11/20/2023	231618	151 Panpas Dr	Titan Solar Power GA Inc	George Sigalas	Roof Mounted Solar Panels		
11/20/2023	231623	1017 E Hwy 80 Ste 8	Donnie Edwards	Reed Blake	Minor Renovation		
11/21/2023	231624	108 Royal Palm Cr.	Poly Energy	James Sanders	Roof Mounted Solar Panels		

Misc. Permits November 2023

Date	Permit #	Address	Contractor	Owner	Project Type	PIN #	Flood Zone
11/21/2023	231625	104 Canal Cove	Poly Energy	John and Sophia Smith	Roof Mounted Solar Panels		
11/27/2023	231626	146 Binscombe Ln.	Superior Fence and Rail	Len Stone	5' Black Aluminum Fence		
11/27/2023	231627	118 Barrington Rd.	Superior Fence and Rail	Joseph Day	6' Vinyl Privacy Fence		
11/21/2023	231628	143 Puttenham Xing	Aqua Blue Pools of Charleston	Feffrey & Donna Jepson	Gunitite Inground Pool		
11/27/2023	231629	300 Silver Brook Cr.	Superior Fence and Rail	David Foulkrod	6' Wood Privacy Fence		
11/21/2023	231630	25 Lake Heron Ct. W.	Coastal Empire Designs LLC	Jimmy Taylor	Inground Concrete Pool & Decking		
11/22/2023	231631	366 Serengeit Blvd.	Freedom Forever GA LLC	Anthony and Justine Alexander	Roof Mounted Solar Panels		
11/21/2023	231632	133 Coleman Blvd	AAA Sign Co. Inc.	Sunport Holdings LLC	Wall Sign		
11/21/2023	231634	101 Blue Moon Xing, Ste. 4	Ayzo Ridge Cosulting LLC	Publix Supermarkets Inc	Tenant sign panel		
11/29/2023	231638	115 Grand Central Blvd	Tony Brown	Same	Shipping Storage Container		
11/27/2023	231639	301 Spanton Crescent	Jeff Stewart Electrical Services LLC	Comcast	Electrical		
11/29/2023	231640	7 Brighton Woods Ct.	Denis Reyes	J.M. Wilson Electric Inc	Electrical		
11/29/2023	231641	125-129 W Hwy 80	CGNR LLC	Parker Properties	Demolition	5000501002	
11/27/2023	231644	101 Tippens Ct.	Frank Somoskey	Same	Enclose Patio	51009M01037	
11/27/2023	231649	1108 E Hwy 80 Ste. 400	KPC Signs	Goldstein Pooler LLC	Wall Sign		
11/29/2023	231656	108 North Trail Way	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/29/2023	231657	104 North Trail Way	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/29/2023	231658	134 Fern Rd.	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/29/2023	231659	111 South Trail Way	Palmetto Solar	Drayton Holdings LLC	Roof Mounted Solar Panels		
11/29/2023	231666	Amalfi Ave and Benton Grove	Southeast Utilities	Comcast	Excavtion/Encroachment		
11/30/2023	231675	220 Symons St.	Tyler Wilson	Same	Rear Addition	5000603007	
11/30/2023	231676	136 Jepson Way	Superior Fence and Rail	Isabel Velarde	4' Black Aluminum Fence		
11/30/2023	231678	5240 Old Louisville Rd. Bldg 44	Sign D'Sign	Pooler Distribution Complex LLC	Two Signs		
11/30/2023	231679	501 Memorial Blvd.	The Sign Store Online Inc	Lewis Commercial Properties	Pylon Sign		
Total	70						

**City of Pooler
Certificate of Occupancy
November 2023**

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
11/1/2023	230901		155 Traders Way Unit 150	Restaurant Buildout	A1 Construction	Seoul Soontofu LLC
11/1/2023	230450	Westbrook	151 Binscombe Ln., Lot 980	Single Family Detached	Lennar Carolinas LLC	Same
11/1/2023	231107		1215 E. Hwy 80 Unit 800	Fast Signs Buildout	Rhomus Services LLC	Farid Faziz
11/1/2023	230151	Benton Grove Townhomes	32 Naples Ln., Lot 19B	Townhome	Dream Finders Homes LLC	Same
11/2/2023	230106	Westbrook	151 Holloway Hill, Lot 1083	Townhome	DR Horton	Same
11/2/2023	230933	Westbrook	181 Wood Haven Ln., Lot 426	Single Family Detached	Michael Neal	ASA Nails
11/2/2023	230869		225 Nordic Way	Office For Storage Yard	Landmark 24 Homes of Georgia	North Godley Industrial Park
11/3/2023	230549	Towne Park	554 Governor Treutlen Cr., Lot 76	Townhome	Horizon Home Builders	Same
11/3/2023	230558	Towne Park	566 Governor Treutlen Cr., Lot 82	Townhome	Horizon Home Builders	Same
11/6/2023	221132	Westbrook	623 Blue Moon Xing., Lot 856	Townhome	Logan Homes SC LLC	Same
11/6/2023	220950	Westbrook Villas	115 Waterside Ln., Lot 190	Single Family Detached	Village Park Homes LLC	Same
11/7/2023	230819		1384 S. Rogers St.	Interior Renovation	Vanderbrink Paasch Builders	Barney LLC.
11/7/2023	230644	Telfair Park	116 Jepson Way, Lot 376	Single Family Detached	Mungo Homes	Same
11/7/2023	230755	Westbrook	167 Holloway Hill, Lot 1075	Townhome	DR Horton	Same
11/7/2023	200228	Pooler III Apartments	3002 Benton Grove	Maintenance Building	Morrow Construction	DD Benton LLC
11/8/2023	230275	Westbrook	157 Binscombe Ln., Lot 983	Single Family Detached	Lennar Carolinas LLC	Same
11/8/2023	230280	Westbrook	148 Binscombe Ln., Lot 987	Single Family Detached	Lennar Carolinas LLC	Same
11/8/2023	230447	Westbrook	734 Blue Moon Xing., Lot 932	Single Family Detached	Lennar Carolinas LLC	Same
11/8/2023	230747	Telfair Park	134 Jepson Way, Lot 385	Single Family Detached	Mungo Homes	Same
11/9/2023	230449	Westbrook	149 Binscombe Ln., Lot 979	Single Family Detached	Lennar Carolinas LLC	Same
11/13/2023	221472	Westbrook	141 Tuleo St., Lot 251	Single Family Detached	Logan Homes SC LLC	Same
11/14/2023	230814	Westbrook	107 Holloway Hill, Lot 1022	Single Family Detached	Lennar Carolinas LLC	Same
11/14/2023	230445	Westbrook	735 Blue Moon Xing., Lot 922	Single Family Detached	Lennar Carolinas LLC	Same
11/14/2023	230745	Telfair Park	136 Jepson Way, Lot 386	Single Family Detached	Mungo Homes	Same
11/15/2023	230683	Westbrook	112 Holloway Hill, Lot 1031	Single Family Detached	Lennar Carolinas LLC	Same
11/16/2023	230141	Tanger Outlets	200 Tanger Outlets Blvd. B-10	Retail Shell	Rescon Group	Tanger Outlets
11/16/2023	230591	Towne Park	549 Governor Treutlent Cr., Lot 113	Townhome	Beacon Builders	Same
11/17/2023	230763	Harmony	138 Melody Dr., Lot 612	Single Family Detached	Landmark 24 Homes of Georgia	Same
11/17/2023	230476	Westbrook	147 Binscombe Ln., Lot 978	Single Family Detached	Lennar Carolinas LLC	Same
11/17/2023	231471	Westbrook	127 Quince St., Lot 250	Single Family Detached	Logan Homes SC LLC	Same
11/17/2023	221467	Westbrook	123 Quince St., Lot 248	Single Family Detached	Logan Homes SC LLC	Same
11/17/2023	221470	Westbrook	125 Quince St., Lot 249	Single Family Detached	Logan Homes SC LLC	Same
11/20/2023	230198	Benton Grove Townhomes	9 Naples Ln., Lot 16A	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230199	Benton Grove Townhomes	11 Naples Ln., Lot 16B	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230200	Benton Grove Townhomes	13 Naples Ln., Lot 16C	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230201	Benton Grove Townhomes	15 Naples Ln., Lot 16D	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230206	Benton Grove Townhomes	20 Naples Ln., Lot 21A	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230207	Benton Grove Townhomes	18 Naples Ln., Lot 21B	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230208	Benton Grove Townhomes	16 Naples Ln., Lot 21C	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230209	Benton Grove Townhomes	14 Naples Ln., Lot 21D	Townhome	Dream Finders Homes LLC	Same
11/20/2023	230536	Westbrook	108 Holloway Hill, Lot 1029	Single Family Detached	Lennar Carolinas LLC	Same
11/20/2023	230162	Westbrook	744 Blue Moon Xing., Lot 927	Single Family Detached	Lennar Carolinas LLC	Same
11/21/2023	230813	Westbrook	140 Binscombe Ln., Lot 991	Single Family Detached	Lennar Carolinas LLC	Same

**City of Pooler
Certificate of Occupancy
November 2023**

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
11/21/2023	230678	Westbrook	105 Hollwoay Hill, Lot 1023	Single Family Detached	Lennar Carolinas LLC	Same
11/21/2023	230270	Tanger Outlets	200 Tanger Outlets Blvd. Ste. 790	Dave and Buster's Buildout	Rescon Group	Dave and Buster's
11/27/2023	230448	Westbrook	732 Blue Moon Xing., Lot 933	Single Family Detached	Lennar Carolinas LLC	Same
11/27/2023	230645	Telfair Park	120 Jepson Way, Lot 378	Single Family Detached	Mungo Homes	Same
11/27/2023	230744	Telfair Park	124 Jepson Way, Lot 380	Single Family Detached	Mungo Homes	Same
11/27/2023	230548	Towne Park	552 Governor Treutlen Cr., Lot 75	Townhome	Horizon Home Builders	Same
11/27/2023	231622		200 Governor Treutlen Rd., Unit 10	Interior Renovation	Young Inc	PV Shopping Center
11/27/2023	230183	Benton Grove Townhomes	1 Naples Ln., Lot 15A	Townhome	Dream Finders Homes LLC	Same
11/27/2023	230184	Benton Grove Townhomes	3 Naples Ln., Lot 15B	Townhome	Dream Finders Homes LLC	Same
11/27/2023	230185	Benton Grove Townhomes	5 Naples Ln., Lot 15C	Townhome	Dream Finders Homes LLC	Same
11/27/2023	230186	Benton Grove Townhomes	7 Naples Ln., Lot 15D	Townhome	Dream Finders Homes LLC	Same
11/27/2023	230210	Benton Grove Townhomes	12 Naples Ln., Lot 21E	Townhome	Dream Finders Homes LLC	Same
11/28/2023	230682	Westbrook	110 Holloway Hill, Lot 1030	Single Family Detached	Lennar Carolinas LLC	Same
11/28/2023	230469	Westbrook	143 Binscombe Ln., Lot 976	Single Family Detached	Lennar Carolinas LLC	Same
11/28/2023	230347	Westbrook	163 Holloway Hill, Lot 1077	Townhome	DR Horton	Same
11/28/2023	231048	Ellis Park	116 Kraft Kove, Lot 282	Single Family Detached	DR Horton	Same
11/28/2023	231049	Ellis Park	114 Kraft Kove, Lot 283	Single Family Detached	DR Horton	Same
11/28/2023	230882		2101 Dean Forest Rd.	Office For Trucking Yard	Griffin Contracting Inc	2101 Travis Partners LLC
11/29/2023	221376	Westbrook	620 Blue Moon Xing., Lot 900	Townhome	Logan Homes SC LLC	Same
11/29/2023	221377	Westbrook	618 Blue Moon Xing., Lot 901	Townhome	Logan Homes SC LLC	Same
11/29/2023	230730	Towne Park	321 Governor Gwinnett Way, Lot 170	Townhome	Beacon Builders	Same
11/29/2023	230731	Towne Park	323 Governor Gwinnett Way, Lot 171	Townhome	Beacon Builders	Same
11/29/2023	230732	Towne Park	325 Governor Gwinnett Way, Lot 172	Townhome	Beacon Builders	Same
11/29/2023	230729	Towne Park	327 Governor Gwinnett Way, Lot 173	Townhome	Beacon Builders	Same
11/30/2023	231041	Ellis Park	134 Charles Ln., Lot 253	Single Family Detached	DR Horton	Same
11/30/2023	231043	Ellis Park	138 Charles Ln., Lot 255	Single Family Detached	DR Horton	Same
11/30/2023	231044	Ellis Park	140 Charles Ln., Lot 256	Single Family Detached	DR Horton	Same
11/30/2023	231271		133 Coleman Blvd. Ste. 200	Addition/Renovation	Basin Co LLC	Sunport Holdings
Total	71					

**Monthly Report
November 2023**

INSPECTORS

Scott MacPherson	269	Inspections (Included in Salary)
Frank Garza	694	Inspections (Included in Salary)
Josh Moody	17	Inspections
Total Inspections:	980	Inspections



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

RESOLUTION R2023-11.B
Fiscal Year 2024 Budget Approval

WHEREAS, the City of Pooler, Georgia has prepared and submitted to the Governing Authority a budget for the year beginning January 1, 2024 and ending December 31, 2024, and

WHEREAS, the Mayor and Council of the City of Pooler have studied and revised the proposed budget, it is considered in the best interest of the citizens of the City of Pooler to adopt it.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Pooler, Georgia that the budget attached hereto and made a part of hereof for the year beginning January 1, 2024 and ending December 31, 2024, is approved.

First Reading: _____

Second Reading: _____

ADOPTED this 18th day of December 2023.

CITY OF POOLER, GEORGIA

Rebecca C. Benton, Mayor

ATTEST:

Kiley Fusco, Clerk of Council

**CITY OF POOLER
PUBLIC HEARING**

A Public Hearing will be held before the Mayor and Council of the City of Pooler to discuss the proposed 2024 Budget. The hearing will take place on Monday, December 4, 2023 at 4:00 pm in the Council Chambers at City Hall located at 100 SW Highway 80. A copy of the proposed budget is available for public inspection at City Hall between the hours of 9:00 am and 5:00 pm Monday through Friday.

Following is a summary of the proposed general fund budget:

General Fund Budget:

Inflows

Taxes.....	\$ 27,605,000
Licenses and permits.....	1,225,000
Intergovernmental.....	175,000
Charges for services.....	3,714,000
Fines and forfeitures.....	815,000
Interest earned.....	300,000
Contributions and donations.....	31,915
Miscellaneous.....	72,000
Transfers in.....	1,375,000
Use of fund balance.....	1,520,000
Total inflows.....	<u>\$ 36,832,915</u>

Outflows

Legislative.....	\$ 344,905
General government.....	4,622,825
Judicial.....	531,335
Public safety.....	15,920,975
Public works.....	7,732,200
Health and welfare.....	220,095
Recreation and parks.....	1,977,465
Housing and development.....	1,438,735
Debt service.....	2,110,580
Transfers out.....	1,933,800
Total outflows.....	<u>\$ 36,832,915</u>

RESOLUTION R2023-12.A
Budget Amendment 2023-05

WHEREAS the 2023 annual budget for the General Fund, Special Revenue Funds, Capital Projects Funds, and the Water/Sewer Fund of the City of Pooler was adopted on December 19, 2022, and

WHEREAS it is necessary to amend said Budget, now

THEREFORE, BE IT RESOLVED by the Pooler City Council, that the following amendments to the annual budget be made:

Increase (decrease) General Fund revenue and appropriations as follows:

<u>Source:</u>	<u>Amount</u>
Taxes	\$ 1,496,062
Intergovernmental	284,140
Interest earnings	281,010
Other financing source	50,000
<u>Use:</u>	
City Council	10,500
Clerk of Council	10,000
Financial administration	93,200
Information technology	(6,000)
Government buildings	12,500
General administrative fees	6,000
Municipal Court	22,500
Fire department	59,250
Roads and streets	152,360
Storm drainage	21,350
Senior Citizens Center	6,000
Recreation	48,222
Debt service	1,821,040
Other financing use	1,116,750
Change in fund balance	<u><u>\$(1,262,460)</u></u>

The above additional General Fund appropriations are funded by unanticipated revenues and fund balance.

Increase (decrease) Forfeiture Fund revenue and appropriations as follows:

<u>Source:</u>	<u>Amount</u>
Forfeitures	\$ 3,500
<u>Use:</u>	
Public safety	3,500
Change in fund balance	<u><u>\$ -</u></u>

The above Forfeiture Fund appropriations are funded by unanticipated revenues.

Increase (decrease) American Rescue Plan Fund revenue and appropriations as follows:

<u>Source:</u>	<u>Amount</u>
Intergovernmental	\$ 9,601,824
<u>Use:</u>	
Interfund transfer to fund 505	9,609,500
Change in fund balance	<u>\$ (7,676)</u>

The above American Rescue Plan Fund appropriations are funded by revenues and fund balance.

Increase (decrease) Accommodation Excise Tax Fund revenue and appropriations as follows:

<u>Source:</u>	<u>Amount</u>
Taxes	\$ 890,000
<u>Use:</u>	
Tourism	445,000
Interfund transfer to fund 100	445,000
Change in fund balance	<u>\$ -</u>

The above Accommodation Excise Tax Fund appropriations are funded by unanticipated revenues.

Approved by the Mayor and Council of Pooler on the 18th day of December 2023.

Rebecca Benton, Mayor

Attested by:

Kiley Fusco, City Clerk



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Map Amendment for Louisville Rd

Project:	#231561
P&Z Meeting Date:	December 11, 2023
Public Hearing Date:	December 18, 2023
Applicant and Authorized Agent:	Josh Yellin
Location (Address):	1300 Block of Louisville Road
Parcel (PIN):	51010 01071
Existing Zoning:	Various
<hr/>	
Zoning Action:	Map Amendment
Request:	Request to rezone parcels located along Louisville Rd from R-A and R-A-1 districts to I-1 and C-2
<hr/>	
Application Filed:	October 30, 2023
Legal Notice Published:	November 19, 2023
Sign Posted:	November 15, 2023
Letters Mailed:	November 15, 2023
<hr/>	
Staff Recommendation:	Approval w/ conditions <ul style="list-style-type: none">• The I-1 zoned portions shall only have truck access from Old Louisville Rd; and,• The C-2 zoned portions shall provide undisturbed buffers along the rear of the properties and Triplett Park Dr of 50'.
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommend <u>approval with the conditions as written.</u></i>

<p>Recommended Motion:</p>	<p><i>"After review of the criteria, move for approval of the request subject to the zoning condition that the I-1 zoned portions shall only have truck access from Old Louisville Rd and the C-2 zoned portions shall provide undisturbed buffers along the rear of the properties and Triplett Park Dr of 50'."</i></p>
<p>Background:</p>	<p>The subject site is approximately 54.5 acres with frontage along Louisville Rd and Old Louisville Rd. The subject site is comprised of three parcels, split into six different tracts. The site is generally undeveloped and is heavily wooded. The Old Louisville Rd portion is adjacent to the Bassford Industrial Park and other existing warehouse facilities. The Louisville Rd portion fronts Tom Triplett park, with railroad right-of-way separating the park and subject site. Additionally, the entrance road to the park, Triplett Park Dr, bisects a portion of the Louisville Rd tracts.</p> <p>The applicant is requesting to rezone from C-2, R-A-1, and R-A to I-1 and C-2. The Old Louisville Rd portion is proposed for I-1, which entails approximately 29.5 acres. The Louisville Rd portion is proposed for C-2, which entails approximately 25 acres. No specific land uses are proposed as part of the application.</p> <p>The general area includes relatively recent rezonings to Light Industrial, specifically for the Bassford Industrial Park, the Hayman Tract, the Strategic Investment site, and the Oglethorpe Speedway/Country Home Estates.</p> <p>The Pooler 2040 Comprehensive Plan includes this area within the Commercial, Industrial, and Residential Homestead character areas. The FLUM designates this area as Commercial and Industrial.</p>
<p>Relevant Ordinances:</p>	<p>App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District</p>
<p>Zoning Action Standards:</p>	<ol style="list-style-type: none"> 1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area? <ul style="list-style-type: none"> • <i>Yes, the two tracts both abut or are adjacent to either heavy commercial or light industrial zoning districts. The districts as proposed would improve the pattern of uses than what the current zoning districts, particularly the residential zoned portions, would allow.</i> 2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area? <ul style="list-style-type: none"> • <i>No, the request would entail extension of existing zoning districts. Likewise, it would be compatible and</i>

consistent with the existing development pattern in the area for commercial and industrial development. The FLUM also identifies this area for both commercial and industrial development.

3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - *The proposed uses would be located on a major roadways and corridors designed and intended for commercial and industrial development. The proposed uses would not traverse through residential neighborhoods.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *No, the FLUM designates this area for both commercial and industrial development. Likewise, the proposed zoning districts would be compatible and consistent with the existing districts and uses found within the general area.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - *Yes, the properties have remained vacant for several years and have lost previous development that existed upon them. The tracts are likely to see use and development under the proposed zoning versus if left as currently zoned.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - *No, the proposed zoning districts would be in character with existing zoning districts and nearby development.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - *Potentially; there are a handful of existing residential properties located between Old Louisville Rd and Louisville Rd that are already sandwiched between existing commercial and industrial development. Transition of those properties would be consistent and compatible with the existing conditions of the area. Transition of the subject site and the other properties referenced would likely not accelerate or generate impacts greater than what already exists.*

8. Will the action adversely impact adjacent or nearby properties in terms of:
- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *The tracts as they currently exist are undeveloped and heavily wooded. The development of these tracts would lead to clearing and disturbance of the existing site. While these would affect existing livability and environmental quality, it would not be incompatible with the established development pattern.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*
9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?
- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility of the developer and would not place a burden on the City.*

Conclusion: Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request, subject to the following conditions: *the I-1 zoned portions shall only have truck access from Old Louisville Rd and the C-2 zoned portions shall provide undisturbed buffers along the rear of the properties and Triplett Park Dr of 50'.*

- Attachments:
- A. Vicinity Map
 - B. Zoning Map
 - C. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231561 - Louisville Rd Rezoning

12/07/2023

Parcels





CITY OF POOLER
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Project #231561 - Louisville Rd Rezoning

12/07/2023

-  Parcels
-  Business/Commercial
-  Industrial
-  PUD
-  Residential

City of Pooler Zoning Map Amendment Application

Date: 11/7/23 File #: 231561
Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

1. Name of owner/authorized agent: Josh Yellin - HunterMaclean
2. Address of owner/authorized agent: 200 E. Saint Julian Street, Savannah, GA 31401
3. Telephone number of owner/agent: 912-236-0261
4. Have any previous applications been made for a text or map amendment affecting these same premises? ___ Yes or X No
5. If yes, give file number, date and action taken: _____
(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

Information Required:

1. General location of property (the area) street number and location with respect to nearby public roads in common use: 1323 Hwy. 80, Pooler; Old Louisville Road
2. Legal description of property (name of subdivision, block and lot number: A portion of Block B, D.R. Thomas Tract
3. PIN #: 50987A01007; -008; 5098702001B
4. Zone Classification: Present R-A / R-A-1/ C-2 Requested: C-2; I-1
5. Owner of property: (If same as applicant, leave blank) EMB, LLC
6. Address of owner: PO Box 625, Pooler, GA 31322
7. Telephone number of owner: _____
8. Total area of property: (acres or approximate sq. feet) approximately 54.48 acres
9. Existing land use (specify such as grocery store, single-family residence, vacant land, etc.)
vacant, residential, former fueling station/former commercial
10. Desire land use (specify such as residence, grocery store, mobile home park, etc.) _____
commercial and light industrial

Reasons and Certifications

(Required for all amendments)

- Reasons for requesting change of zoning map which would support the purposes of the zoning program: Please see attached.

Reasons and Certifications

(A) Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?

Yes, the request is a logical extension of zoning boundaries that would improve the pattern of use in the general area.

The properties to be rezoned to C-2 are contiguous with properties zoned C-2 and I-1.

The property to be rezoned to I-1 is contiguous with properties zoned C-2 and I-1.

(B) Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?

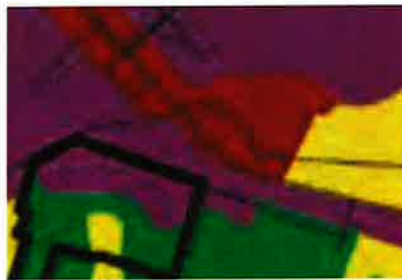
No, the request is not spot zoning and is related to the existing zoning and development pattern of development in the area, which currently contains a mix of industrial and commercial uses. The properties front Highway 80 and Old Louisville Road. The R-A and R-A-1 zoning classifications are out of place for the pattern of development in the area.

(C) Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?

No, there are no single-family neighborhoods impacted by the proposed rezonings. The commercial development will have access on Highway 80. The industrial development will have access on Old Louisville Road.

(D) Will this request place irreversible limitations on the area as it is or on future plans for it?

No, the Pooler shows the future land use for the sites as being commercial and industrial.



(E) Is there an imminent need for the rezoning and is the property likely to be used for the use requested?

Yes, the property is likely to be used for the use(s) requested and there is an imminent need for the rezoning in order to commence development of the sites.

(F) Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?

No, the proposed use(s) are in-line with and are similar to use neighboring uses to the properties and the uses in the vicinity of the properties.

(G) Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?

No, the area surrounding the properties are already zoned commercial and industrial.

(H) Will the action adversely impact adjacent or nearby properties in terms of:

(1) Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern.

No, the action will not negatively impact the environmental quality or livability of the area. The development of the properties will be compatible with the established development pattern.

(2) Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

No, the action will not negatively impact property values.

(3) Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?

No, all development will meet or exceed City of Pooler regulations and will provide modern stormwater management facilities.

(I) Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

No, the action will not result in public service requirements that cannot be provided on economic basis.



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Container Storage Yard at 1485 Pine Barren Rd

Project:	#231643
P&Z Meeting Date:	December 11, 2023
Public Hearing Date:	December 18, 2023
Applicant and Authorized Agent:	Greg Coleman / Coleman Company (Agent)
Location (Address):	1485 Pine Barren Rd
Parcel (PIN):	51023 01013
Existing Zoning:	I-1 (Light Industrial)
Zoning Action:	Conditional Use
Request:	Request to establish a container storage yard.
Application Filed:	November 16, 2023
Legal Notice Published:	December 1, 2023
Sign Posted:	November 30, 2023
Letters Mailed:	November 27, 2023
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 42.13 acres. The site is zoned I-1 (Light Industrial). The site is presently undeveloped with wetlands

throughout the site. The site has frontage along Pine Barren Road. The parcel to the south shows a possible, future request related to additional container storage, which would require future map amendment and conditional use approvals. The two parcels to the north include proposed development for their respective sites, including commercial and industrial uses.

The developed area for the overall site is approximately 19 acres including a variety of stacking and storage for containers, with associated office and infrastructure. Trailer parking, which is a permitted use, is also shown on the concept plan as part of this site. Access to the site is proposed from Pine Barren Rd through the existing roundabout from Jimmy DeLoach Parkway.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District
App. A, Art. III, Sec. 31 – Container Storage Yard.

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with surrounding uses, which includes an existing warehouse use and proposed trailer storage yard. The proposed concept plan meets and exceeds the standards of App. A, Art. III, Sec. 31 for the proposed use.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an allowed use within the I-1 District and would be similar to other nearby warehousing and storage uses, including trailer storage. The proposed concept plan also provides significant, more than required additional buffer areas around the container storage areas. Likewise, the wetland areas are not proposed to be disturbed for development.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard. The*

proposed access is from Jimmy DeLoach through the existing roundabout on Pine Barren Rd and would have limited impacts on the residential areas.

4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.*
5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The approximately 94-acre site is sufficient to accommodate the proposed use whereby only approximately 19 acres is proposed for the development.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion:

The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation



CITY OF POOLER
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Project #231643 - Container Storage Yard at 1485 Pine Barren Rd

12/06/2023

Parcels





RECEIVED

NOV 16 2023

ZONING DEPARTMENT

Conditional Use Application

Applicant Information	Applicant <u>Greg Coleman - Applicant</u> Mailing address <u>1480 Chatham Parkway Suite 100, Sav GA 31405</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912)200-3041</u> Fax () <u>Gcoleman@cci-sav.com</u>
Property Ownership	Property Owner(s) <u>1485 Pine Barren Road, LLC</u> Mailing address <u>4 Bradley Pines, , Ga 31410</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31410</u> Telephone () <u>912-660-7788</u> Fax () <u>marketurner@me.com</u>
Contact Person	Contact Person(s) <u>Greg Coleman</u> Telephone <u>(912)200-3041</u> Fax () _____ E-mail <u>Gcoleman@cci-sav.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>1485 Pine Barren Road</u> PIN #s <u>5102301013 & 5102301018</u> Current Zoning <u>I-1</u> Present use <u>Vacant Wooded Lot</u> <p>Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: Proposed Use: Container Stacking and Storage including trailer, chassis and truck parking. The proposed plan meets or exceeds all items noted in Appendix A - Zoning, Article III General Provisions Section 31. - Container Storage Yard. The proposed plan specifically exceeds Section (C) 1,2b, & 4. Description of the activities, # of units and hours of operation of the proposed conditional use:</p> <p><u>As shown on the site plan, we are asking for a conditional use for Container, Trailer, Chasis Stacking/Storage as well as office and parking to support the use totaling approximately 19 Acres.</u></p> <p>A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy:</p> <p><u>Assuming 7 months of Design and Permitting construction would begin in July 2024 with a construction period of 12 months and occupancy/operations beginning in July 2025.</u></p> <p>A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>As shown on the site plan there are increased undisturbed buffers and screening above and beyond the requirements of Section 31. The container storage areas shown on the plan are at a minimum 975' from any residential property in Pooler. All access for the property will be from Jimmy DeLoach Parkway and Pine Barren Rd (Bloomingdale) to the round about installed for the adjacent MSI Industrial Project.</u></p>

Conditional Use Application (CONT.)

* This application will not be processed until **ALL** of the following items are submitted *

Filing Requirements

- Filing fee (see scheduled fees). Make checks payable to the City of Pooler.
- A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)
- A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities.
- Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Signed and dated Campaign Contributions and acceptance of conditional standards.
- Authorization of property owner signed, dated and notarized. (page 3)

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary.

(Required)

Crossing Pooler, LLC 855 Valley Rd #203 Clifton, NJ 07013

Savannah Economic Development Authority 906 Drayton Street, Savannah Ga 31401

Ankit Patel 175 Butler Dr. Richmond Hill, GA 31324

Somersby Homeowners Association Inc 463 Pooler Pkwy Unit 383, Pooler Ga 31322

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- * No. I have not made campaign contributions to any Pooler City Official(s). *(Please sign below at the *)*
- * Yes. I have made campaign contributions to one or more Pooler City Official(s). *(Please sign below at the *)*

City Official	Title	Dollar Value	Description of gift

* *Signature:* *Date:* 11/1/23

If more space is needed for campaign contributions attach another copy of this form.

Signature & Date

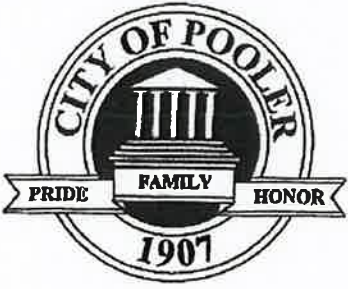
I attest that all the information provided is true to fact: _____
(Applicants Signature)

Date: ___ / ___ / ___

Attest: _____
(Zoning Administrator or Agent thereof)

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 12/18/23
- Notice published in newspaper on: 12/3/23 12/1 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 11/30
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: 12/1



City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Greg Coleman - Coleman Company

Address: 1480 Chatham Parkway Suite 100

City & State: Savannah, GA Zip 31405

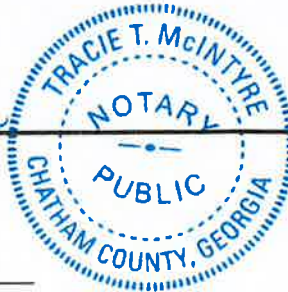
Telephone number: 912-200-3041

Signature of owner

Personally appeared before me MARK E TURNER

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

Tracie T. McIntyre
Notary Public



September 1, 2023
Date

TRACIE T. MCINTYRE
NOTARY PUBLIC
Chatham County
State of Georgia
My Comm. Expires February 23, 2027



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

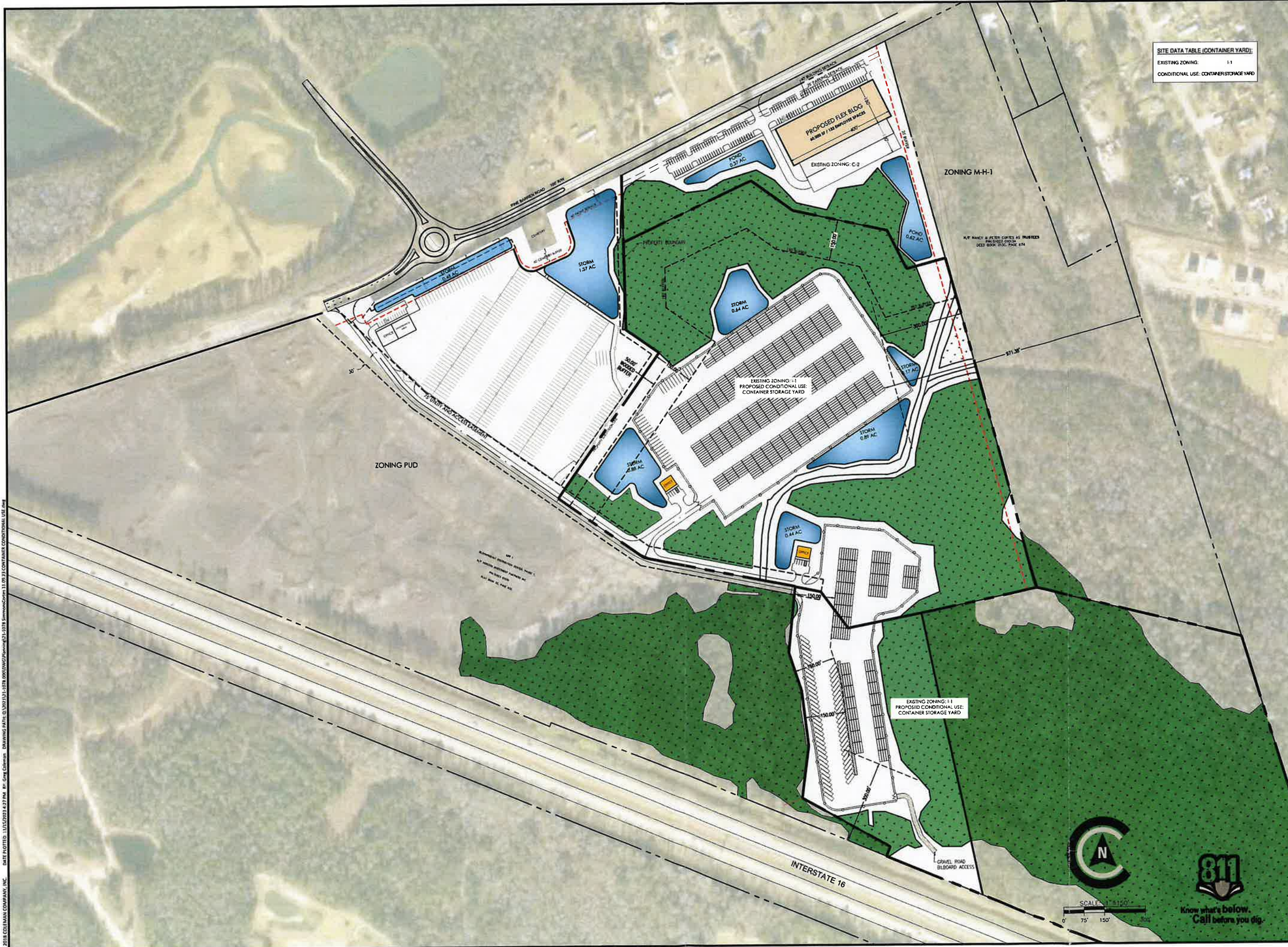
Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

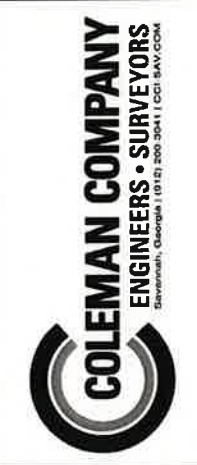
If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

Applicant/Owner initial as received

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 11/12/2023 2:27 PM BY: Greg Coleman DRAWING PATH: E:\2023\11-12\23_0905\DWG\Plan\23-11-09-31-CONTAINER CONDITIONAL USE.dwg



SITE DATA TABLE (CONTAINER YARD):
EXISTING ZONING: I-1
CONDITIONAL USE: CONTAINER STORAGE YARD



NOT FOR CONSTRUCTION
SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

REVISIONS:

CONTAINER STACKING CONDITIONAL USE EXHIBIT
FOR
SIMMONS CORTES TRACT
LOCATED IN POOLER, GA
PREPARED FOR TURNER ENTERPRISES OF SAVANNAH

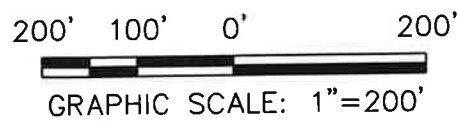
JOB NUMBER: 21-1078
DATE: 11/09/23
DRAWN BY: JWR
CHECKED BY: GJC
SCALE: AS NOTED

EXHIBIT

SHEET:
EX2.0

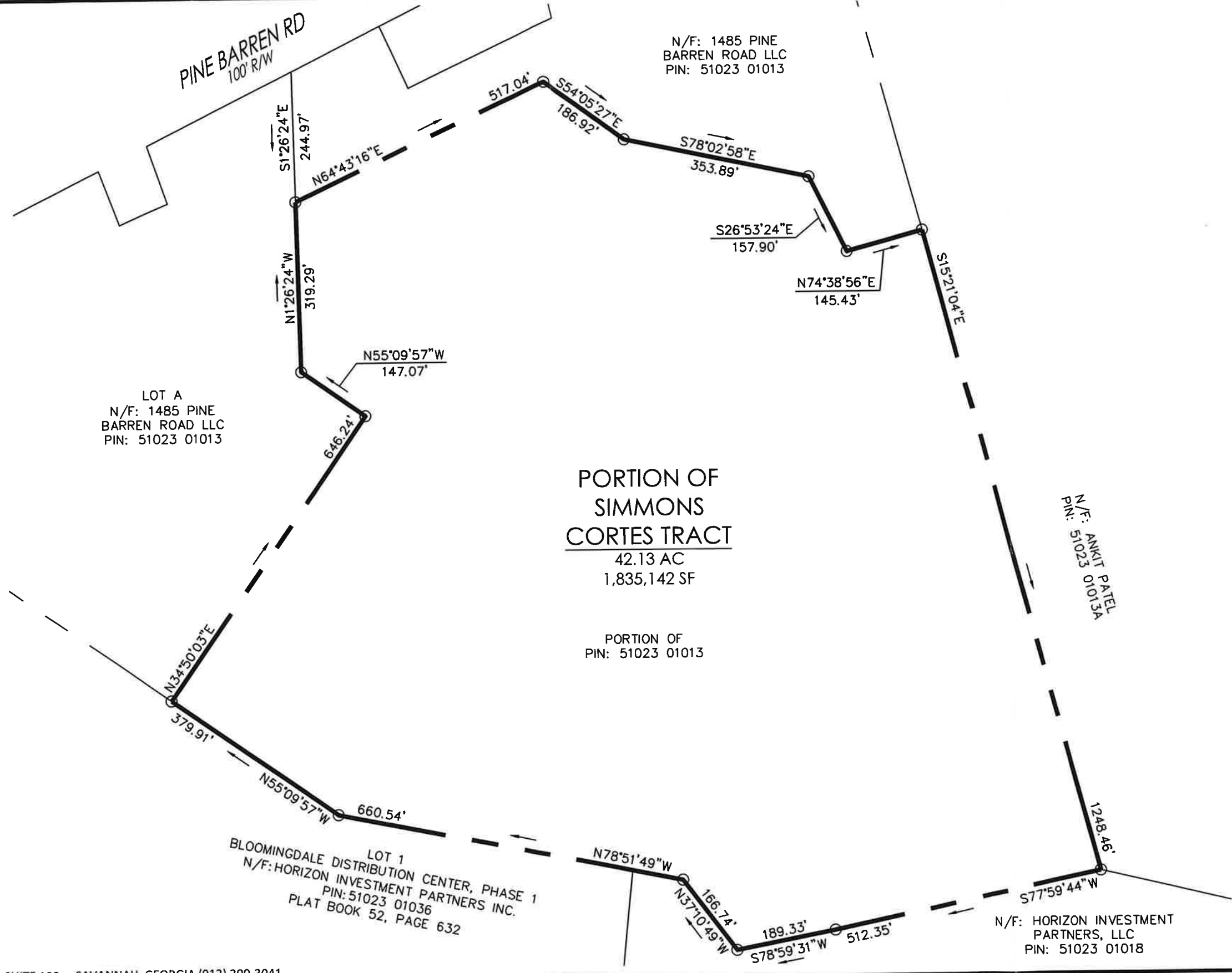


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COLEMAN COMPANY, INC • 1480 CHATHAM PARKWAY, SUITE 100 • SAVANNAH, GEORGIA (912) 200-3041

SHEET#:	JOB NUMBER: 22-402
1/1	DATE: 11/15/2023
	DRAWN BY: JPA
	CHECKED BY: JPA
	SCALE: 1"=200'



A ZONING EXHIBIT OF A 42.13 ACRE
 PORTION OF SIMMONS CORTES TRACT,
 8TH G.M. DISTRICT, CITY OF POOLER,
 CHATHAM COUNTY, GEORGIA
 PREPARED FOR: TURNER ENTERPRISES OF SAVANNAH



© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 11/12/2023 2:37 PM BY: Greg Coleman DRAWING PATH: E:\2023\11-12\23_1078_800\DWG\Plan\EX2.0_23_1078_800\CONTRADITIONAL USE.dwg



SITE DATA TABLE (CONTAINER YARD):
EXISTING ZONING: I-1
CONDITIONAL USE: CONTAINER STORAGE YARD



NOT FOR CONSTRUCTION
SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

REVISIONS:

CONTAINER STACKING CONDITIONAL USE EXHIBIT
FOR
SIMMONS CORTES TRACT
LOCATED IN POOLER, GA
PREPARED FOR TURNER ENTERPRISES OF SAVANNAH

JOB NUMBER: 21-1078
DATE: 11/09/23
DRAWN BY: JWR
CHECKED BY: GJC
SCALE: AS NOTED

EXHIBIT

SHEET:
EX2.0



COMMENTS FROM THE PUBLIC RE: Conditional Use Request for 1485 Pine Barren Rd

Please be advised that I am 100% NOT in agreement with this. I live in Somersby and this would be a disaster to deal with. The effects would be heavy traffic, noise, safety and the quality of life very much compromised.

I will try to attend the Monday meeting, if not, this is my registered objection.

Kristine Marks

Many industrial distribution warehouses have recently been built in Bloomingdale at the big bend (now a traffic circle) of Pine Barren Rd. As a result, there has been a tremendous increase in tractor trailer/truck traffic on both sides of Pine Barren off of Pooler Parkway. The multiple signs that say NO TRUCKS allowed do not seem to prevent that traffic. While I see many trucks traversing Pine Barren Road to and from the distribution warehouses, I rarely see police stopping, preventing or ticketing the too many trucks that use Pine Barren Rd. To grant this request for a Container/Trailer Stacking and Storage Yard would only increase this problem and make the residential communities in this area even more uncomfortable and dangerous (noise, speeding, road deterioration) than they are now. How would these containers get to and from this proposed storage yard, if not on trucks that are already prohibited on Pine Barren Rd.?

When we moved into Somersby, this end of Pine Barren Road was a nice quiet community with not a lot of traffic. Just a few years later, it is so built up around here, especially along Pooler Parkway. It is too much, too quickly, with no infrastructure improvements in place. Getting around in morning and evening rush hours is like living in a large urban area. Short errands that used to take 5-10 minutes now take 20-30 minutes because of traffic.

Pooler needs to stop and rethink all this building. How about some parks, walk/bike trails, and green space in Pooler instead of clearing wide swaths of trees for more stores, strip malls, and warehouses/container storage, of which there are already too many.

I urge you and the Pooler City Council to NOT allow this Conditional Use Permit for 1485 Pine Barren Road.

Geoff Collier

I would like to express my safety concerns regarding conditional permit 1485 for Pine Barron Road. pine Barron has been labeled a No Truck road. While it is labeled as such trucks continue to use the road. As a residence of the sumerby neighborhood we are already seeing damage done just from the current construction. By allowing a container/trailer stacking storage facility the roads would sustain further damage. It would be difficult to leave the neighborhood because trucks would come quickly around the curve on Pine Barron making exiting the neighborhood more dangerous. The added traffic and noise and wear and tear on a road that is not constructed for this type of traffic. As well as the inconvenience for those who live in this area. Thank you for your time and attention to this issue.

Sincerely,

Barbara Rennert

Hello

I cannot attend the Dec 18 council meeting because of work.

I am a Somersby resident.

I would ask the council NOT approve, but table, the CUP review for Coleman's CUP for storage yard at 1485 Pine Barren.

In the Planning/Zoning packet, they claim "no effect on property values". A subjective opinion is not enough for the 300+ homeowners in the residential zone/PUD.

The also claim no effect on noise or traffic. Noise doesn't abide by codes or laws!

Pine barren is a no truck zone, so even if 100% of container trucks go Jimmy DeLoach, in their submitted plan, the employee entrance is down the road on Pine Barren proper. There are school kids , elderly and church people down that way! This is additional traffic that will negatively impact an already bad route for residents.

For both of those points, I would ask they submit objective, open, transparent research to support their claims.

Pine barren also needs physical restriction for truck traffic, signage for the blind/hidden entrance to Somersby coming from that facility to Pooler Parkway, and increased policing to prevent truck traffic. We live here!

Thanks, John

Dear Kiley,

I am aware of a meeting on Monday, 12/18 at 4 pm for the above mentioned request. I will be at work, but I was told we could mail you our comments.

With the many industrial warehouses recently built at the end of Pine Barren where there is now a circle, we have seen a tremendous increase in tractor trailer trucks. On both sides of Pine Barren off of Pooler Parkway, there are multiple signs that say no trucks are allowed. Obviously they are not followed and I rarely see police stopping and ticketing the too many trucks that use Pine Barren. To grant this request for a Container/Trailer Stacking and Storage Yard would only increase this problem and make the communities in this area even more uncomfortable than they are now. How would these containers get to it, if not on trucks that are already prohibited on Pine Barren?

When I moved into Somersby, it was a nice quiet community with not a lot of traffic. Just 7 years later, it is so built up around here (too much and too quickly, with no infrastructure in place) that trying to get around in morning and evening rush hours is like it was when I lived in a large, urban city.

I think Pooler needs to stop and regroup with all this building going on. For example, why does Pooler need more than 10 tire stores, or over a dozen nail salons? Let's get some more green space in Pooler instead of taking down trees and building more structures.

Lisa Collier
207 Somersby Blvd.

Hello,

My name is Michael Maher, a resident of Pooler, in the Somersby Subdivision, since 2006.

I would like to strenuously object to the Conditional Use Request for a Container Stacking and Storage Yard at 1485 Pine Barren Road to be considered at the City Council meeting December 18, 2023.

I will be out of town visiting family, so I have lodged my complaints here.

Pine Barren Road (on the Somersby side) is a quiet, residential area. There are also at least 4 places of worship, a cemetery, subdivisions, apartment buildings and a to-be retirement community.

We cannot abide the noise, traffic, and general disturbance of a container and storage yard. This would give us too much traffic and affect our quality of life - not to mention our safety! Pine Barren Road is already marked as prohibited to truck traffic, but that signage is widely ignored. We do not want this development near our homes. How does the developer plan to have containers come into the facility if truck traffic is prohibited?

Our home values would plummet, and this area would become a wasteland.

I would like to commend our city council on a job well done so far, and encourage less commercial development, less traffic, more greenspace, more quiet, and a better quality of life.

Thank you,
Michael Maher
114 Somersby Blvd
Pooler, GA



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Warehouse at Country Homes Estates/Oglethorpe Speedway

Project:	#231649
P&Z Meeting Date:	December 11, 2023
Public Hearing Date:	December 18, 2023
Applicant and Authorized Agent:	Greg Coleman / Coleman Company (Agent)
Location (Address):	Oglethorpe Speedway / Country Homes Estates Subdivision
Parcel (PIN):	Various
Existing Zoning:	I-1 (Light Industrial)
Zoning Action:	Conditional Use
Request:	Request to establish a warehouse development.
Application Filed:	November 17, 2023
Legal Notice Published:	December 1, 2023
Sign Posted:	December 1, 2023
Letters Mailed:	November 27, 2023
Staff Recommendation:	Approval w/ conditions: <ul style="list-style-type: none"><i>No site plan shall be approved until all parcels considered under the conditional use request have been combined via a recombination plat.</i>
Planning & Zoning Commission:	<i>P&Z agreed with staff and recommend approval with conditions:</i> <ul style="list-style-type: none"><i><u>No site plan will be approved until all closings have been completed.</u></i>

<p><i>Recommended Motion:</i></p>	<p><i>"After review of the criteria, move for approval of the request with the following condition: No site plan shall be approved until all parcels considered under the conditional use request have been combined via a recombination plat."</i></p>
<p>Background:</p>	<p>The subject site is approximately 294 acres and includes approximately 89 individual parcels. The subject site was rezoned with conditions in December 2022.</p> <p>The request is to specifically establish the proposed warehousing as part of the development. A total of 15 warehouses, totaling over 4 million square feet of warehouse space, are proposed. As per the zoning conditions, all access will be from Raymond Rd onto Old Dean Forest Rd and Dean Forest Rd. Dublin Rd will be closed at the rail road tracks.</p>
<p>Relevant Ordinances:</p>	<p>App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District</p>
<p>Zoning Action Standards:</p>	<ol style="list-style-type: none"> 1. The proposed use will not be contrary to the purpose of this ordinance. <ul style="list-style-type: none"> • <i>The proposed use would be consistent with the purpose of the ordinance for industrial development. Similar industrial development is located along the periphery of the subject site.</i> 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers. <ul style="list-style-type: none"> • <i>All tracts, with the exception of one lot, are now zoned I-1 within the subdivision. The one lot, zoned R-A-2, would be equally impacted by this or any other industrial use that would be otherwise permitted. The proposed use would have to comply with all applicable setback and buffer requirements where abutting the single property. The proposed use is an allowed use within the I-1 District and would be similar to the other warehousing and industrial uses nearby and otherwise allowed in the I-1 zoning district.</i> 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.

- *The developer would be responsible for mitigating all potential impacts related to this development via the site planning process. These include both internal and external impacts associated with this level of development, including traffic, stormwater, noise, and other issues.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses generally.*
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is of sufficient size to satisfy all site design requirements for the use.*
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments: A. Vicinity Map
B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA

A great place to Live, Work and Play

Project #231649 - County Home Estates

12/06/2023

Parcels





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NOV 17 2023

ZONING DEPARTMENT

Conditional Use Application

Applicant Information	Applicant <u>SDP Acquisitions, LLC / Greg Coleman representing</u> Mailing address <u>1480 Chatham Parkway Suite 100, Sav GA 31405</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912)200-3041</u> Fax () <u>Gcoleman@cci-sav.com</u>
Property Ownership	Property Owner(s) <u>Please see attached list of Property Owners, Addresses and Authorizations</u> Mailing address <u>3715 Northside Parkway Building 400, Suite 425</u> City <u>Atlanta</u> State <u>GA</u> Zip <u>30327</u> Telephone () <u>404-852-2214</u> Fax () <u>jyoung@strategicrepartners.com</u>
Contact Person	Contact Person(s) <u>Greg Coleman</u> Telephone <u>(912)200-3041</u> Fax () _____ E-mail <u>Gcoleman@cci-sav.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>See Attached Exhibit A</u> Current Zoning <u>I-1</u> Present use <u>Vacant / Residential</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Proposed use is Warehouse and Storage.</u> <hr/> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Please see the attached site plan and site data. This will be predominately be warehouse distribution and truck terminal. Hours of operation will vary by tenant.</u> <hr/> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Start date for construction is expected to be 3rd quarter 2024 for all offsite improvements required by zoning and phase 1. This will be a multi year project constructed in phases. The length of the project will be determined by market and tenant demand.</u> <hr/> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: * As shown in the site plan all adjacent residential properties, except for one parcel, are under contract and included in this request. Access has been coordinated with the City and will be solely via Raymond Road, Old Dean Forest Road and Dean Forest Road so that HWY 80 and Dublin Road will not be affected.

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 12/18
- Notice published in newspaper on: 12/1 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 11/30
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: 12/1



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

GC

Applicant/Owner initial as received

Oglethorpe Speedway - Property Assemblage Conditional Use Information
EXHIBIT A

Zoning Authorization Form:	Owner Name:	Subject Property Address:	Subject Property Parcel #(s):	Acres:
Received	1 Harper L. Bragg Jr.	144 Bluffton Road Pooler, GA 31322	5-0987A-02-020	0.87
Received	2 Jerry L. Waller Brianna M. Waller	140 Bluffton Road Pooler, GA 31322 172 Bluffton Road Pooler, GA 31322	5-0987A-02-021 5-0924E-02-001A	0.86 1.62
Received	4 Bill Thomas Proctor	134 Bluffton Road Pooler, GA 31322	5-0987A-02-022	0.84
Received	5 Margaret Jean Hillis Et, Al.	130 Bluffton Road Pooler, GA 31322	5-0924E-02-009	0.83
Received	6 Lynn Jeffers	118 Bluffton Road Pooler, GA 31322	5-0924E-02-001	2.41
Received	7 Leon B. Williams Leon B. Williams	135 Bluffton Road Pooler, GA 31322 125 Bluffton Road Pooler, GA 31322	5-0987A-03-001 5-0924E-01-005	1.30 3.20
Received	8 Judy Marian Smith	121 Jesup Road Pooler, GA 31322	5-0924E-01-004	2.42
Received	9 Mary Dell	127 Jesup Road Pooler, GA 31322	5-0924E-01-003	0.81
Received	10 Roger Hudson Roger Hudson	131 Jesup Road Pooler, GA 31322 135 Jesup Road Pooler, GA 31322	5-0924E-01-002 5-0924E-01-001	0.46 0.46
Received	11 Jimmie Neal Thompson	Dublin Road Pooler, GA 31322	5-0924E-06-001	0.47
Received	12 Thomas O. Triplett	214 Dublin Road Pooler, GA 31322	5-0924E-03-002	2.56
Received	13 Henry Morgan	224 Dublin Road Pooler, GA 31322	5-0924E-03-003	3.32
Received	17 Travis B. Cowart Travis B. Cowart	110 Claxton Road Pooler, GA 31322 118 Claxton Road Pooler, GA 31322	5-0988C-02-002 5-0988C-02-003	1.38 2.30
Received	18 Marsha Yvonne Harmon	126 Claxton Road Pooler, GA 31322	5-0988C-02-004	3.03
Received	19 Santos Hernandez Gaspar	136 Claxton Road Pooler, GA 31322	5-0988C-02-005	3.02
Received	19.1 Santos Hernandez Gaspar	170 Baxley Road Pooler, GA 31322	5-0988C-02-013	1.58
Received	20 Gerald W. Poole	156 Claxton Road Pooler, GA 31322	5-0988C-02-007	3.33
Received	21 Gerald W. Poole Jr. Gerald W. Poole Jr. Gerald W. Poole Jr.	154 Baxley Road Pooler, GA 31322 148 Baxley Road Pooler, GA 31322 Claxton Road Pooler, GA 31322	5-0988C-02-010 5-0988C-02-011 5-0988C-02-006	0.45 0.46 3.00
Received	22 J Reynolds Properties, LLC	182 Baxley Road Pooler, GA 31322	5-0988C-01-015	3.18
Received	23 Gary E. Smith Gary E. Smith Gary E. Smith	278 Raymond Road Pooler, GA 31322 Raymond Road Pooler, GA 31322 Raymond Road Pooler, GA 31322	5-0988B-02-008 5-0988B-02-017 5-0988B-02-009D	3.57 0.88 0.07
Received	24 Kevin Smith / Jessica Smith	284 Raymond Road Pooler, GA 31322	5-0988B-02-016	0.69
Received	25 Danny Toole	266 Raymond Road Pooler, GA 31322	5-0988B-02-018	3.40
Received	26 Pearl G. Hendley	258 Raymond Road Pooler, GA 31322	5-0988B-02-006	3.20
Received	27 Ted Clinton Hendley	250 Raymond Road Pooler, GA 31322	5-0988B-02-005	1.57
Received	28 Staci D. Lucas	244 Raymond Road Pooler, GA 31322	5-0988B-02-004	1.67
Received	29 Lowell D. Grovenstein	234 Raymond Road Pooler, GA 31322	5-0988B-02-014	1.75
Received	30 James M. Turner	226 Raymond Road Pooler, GA 31322	5-0988B-02-020	1.28
Received	31 Cheri D. Hurt	220 Raymond Road Pooler, GA 31322	5-0988B-02-001	0.46
Received	32 Wayne & Gloria Sumner Wayne & Gloria Sumner	212 Raymond Road Pooler, GA 31322 Raymond Road Pooler, GA 31322	5-0924E-04-005 5-0924E-04-006	0.46 0.46
Received	33 Robbie & Allison White	238 Raymond Road Pooler, GA 31322	5-0988B-02-021	3.03
Received	34 Wesley R. Bashlor	219 Raymond Road Pooler, GA 31322	5-0988B-01-009	3.20
Received	35 Hollie Jean Colaw	107 Lyons Road Pooler, GA 31322	5-0924E-03-006	0.48
Received	37 Raymond (Ray) Thomas	111 Lyons Road Pooler, GA 31322	5-0924E-05-003	0.48
Received	38 Joann F. Kirkland	115 Lyons Road Pooler, GA 31322	5-0924E-05-004	0.47
Received	39 Danny E. Polk Danny E. Polk	119 Lyons Road Pooler, GA 31322 123 Lyons Road Pooler, GA 31322	5-0924E-05-005 5-0924E-05-006	0.47 0.47
Received	40 Zachary W. Coffindaffer	102 Lyons Road Pooler, GA 31322	5-0924E-03-011	0.51
Received	42 Robert E. Payton	110 Lyons Road Pooler, GA 31322	5-0924E-03-009	0.51
Received	43 Julie Ann Vaughn Julie Ann Vaughn Julie Ann Vaughn	Lyons Road Pooler, GA 3132 120 Lyons Road Pooler, GA 31322 114 Lyons Road Pooler, GA 31322	5-0924E-03-006 5-0924E-03-007 5-0924E-03-008	2.72 0.65 0.47
Received	44 Robert E. Smith	227 Raymond Road Pooler, GA 31322	5-0988B-01-008	1.63
Received	45 Ken Morgan Ken Morgan	235 Raymond Road Pooler, GA 31322 237 Raymond Road Pooler, GA 31322	5-0988B-01-011 5-0988B-01-012	0.69 0.80
Received	46 Gail Wilda Warnock	255 Raymond Road Pooler, GA 31322	5-0988B-01-014	2.25
Received	47 Ginger Elaine Boatright	253 Raymond Road Pooler, GA 31322	5-0988B-01-013	2.15
Received	48 Richard McAleer	259 Raymond Road Pooler, GA 31322	5-0988B-01-004	1.88
Received	49 Betty J. Stone Betty J. Stone Betty J. Stone Betty J. Stone	267 Raymond Road Pooler, GA 31322 Jesup Road Pooler, GA 31322 200 Dublin Road Pooler, GA 31322 Dublin Road Pooler, GA 31322	5-0988B-01-003 5-0924E-02-007 5-0987-06-001 5-0987-06-010	3.50 2.36 111.29 20.47
Received	50 Virginia Coley Virginia Coley Virginia Coley Virginia Coley Virginia Coley	275 B Raymond Road Pooler, GA 31322 275 Raymond Road Pooler, GA 31322 281 Raymond Road Pooler, GA 31322 287 Raymond Road Pooler, GA 31322 293 Raymond Road Pooler, GA 31322	5-0988B-01 - 002A 5-0988B-01-002 5-0988B-01-002C 5-0988B-01-002B 5-0988B-01-001	0.04 1.35 0.99 1.17 1.50
Received	51 Demetre Kyriacos	113 Country Lane Pooler, GA 31322	5-0988B-02-009C	0.84
Received	52 John Steven Spilliards	109 Country Lane Pooler, GA 31322	5-0988B-02-009B	0.57
Received	53 James L. Hardison	105 Country Lane Pooler, GA 31322	5-0988B-02-009A	0.64
Received	54 Maria Del Carmen Jaco	207 Cassidy Way Pooler, GA 31322	5-0988B-01-001A	1.03
Received	55 Rolland G. Keller	126 Baxley Road Pooler, GA 31322	5-0988B-01-001B	1.26
Received	56 Terri Jenkins Alvarez	140 Baxley Road Pooler, GA 31322	5-0988C-02-012	1.09
Received	57 Jane W. Allen	115 Baxley Road Pooler, GA 31322	5-0988B-02-011	1.74
Received	58 James L. Spilliards	123 Baxley Road Pooler, GA 31322	5-0988B-02-013	1.00
Received	59 Mark E. Stokes	131 Baxley Road Pooler, GA 31322	5-0988B-02-013	2.30
Received	60 Kenneth F. Roberson	143 Baxley Road Pooler, GA 31322	5-0988C-01-001B	2.38
Received	61 Mario Gonzalez	157 Baxley Road Pooler, GA 31322	5-0988C-01-001B	3.88
Received	62 Tru Cong Nguyen	165 Baxley Road Pooler, GA 31322	5-0988C-01-001A	2.52
Received	63 Tammy Corey Cupp	175 Baxley Road Pooler, GA 31322	5-0988C-01-002A	1.29
Received	64 Charles H. Huss Charles H. Huss	183 Baxley Road Pooler, GA 31322 189 Baxley Road Pooler, GA 31322	5-0988C-01-002A 5-0988C-01-003	5.19 1.60
Received	65 James Hendrix	157 Claxton Road Pooler, GA 31322	5-0988C-01-010	0.46
Received	66 Priscilla M. Jenkins	145 Claxton Road Pooler, GA 31322	5-0988C-01-016	1.00
Received	67 Sue Hurt	350 Dublin Road Pooler, GA 31322	5-0988C-01-014	2.40
Received	68 Jose De Rios	135 Claxton Road Pooler, GA 31322	5-0988C-01-013	2.40
Received	69 Armanda McKim - Edie Eason - Mike McKim	314 Dublin Road Pooler, GA 31322	5-0988C-01-001	3.82
Received	70 Matt and Tina Box	306 Dublin Road Pooler, GA 31322	5-0924E-05-007	3.14
Received	71 Iris J. Gonzales	250 Dublin Road Pooler, GA 31322	5-0924E-03-005	2.21
Received	72 Jesse D. Roop Jesse D. Roop	236 Dublin Road Pooler, GA 31322 244 Dublin Road Pooler, GA 31322	5-0924E-03-004A 5-0924E-03-004A	1.35 1.34
Received	73 Huilin Chen Huilin Chen	129 Raymond Road Pooler, GA 31322 145 Raymond Road Pooler, GA 31322	5-0924E-03-013 5-0924E-03-012	2.74 2.39
Received	74 Ralph E. Taylor	121 Raymond Road Pooler, GA 31322	5-0924E-03-014	0.35

PROPERTY DESCRIPTION:

ALL THAT CERTAIN TRACT OF LAND KNOWN AS OGLETHORPE SPEEDWAY AND SURROUNDING PARCELS, 8TH G.M. DISTRICT, CITY OF POOLER, CHATHAM COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED AT THE INTERSECTION OF THE WESTERN RIGHT-OF-WAY LINE OF DUBLIN ROAD AND THE SOUTHERN RIGHT-OF-WAY LINE OF SEABOARD COASTLINE RAILROAD; THENCE ALONG THE RIGHT-OF-WAY LINE OF DUBLIN ROAD FOR AN APPROXIMATE DISTANCE OF 227' TO A POINT; THENCE CROSSING THE RIGHT-OF-WAY LINE OF DUBLIN ROAD A DISTANCE OF 60' TO A POINT; THENCE ALONG THE PROPERTY LINE OF NOW OR FORMERLY BETTY J. STONE AN APPROXIMATE DISTANCE OF 808' TO A POINT; THENCE ALONG THE WESTERN PROPERTY LINE OF NOW OR FORMERLY GENELLS S. HENDRIX AN APPROXIMATE DISTANCE OF 324' TO A POINT; THENCE ALONG THE SOUTHERN PROPERTY LINE OF NOW OR FORMERLY GENELLS S. HENDRIX AN APPROXIMATE DISTANCE OF 437' TO A POINT; THENCE ALONG THE RIGHT -OF-WAY OF RAYMOND ROAD AN APPROXIMATE DISTANCE OF 810' TO A POINT; THENCE CROSSING THE RIGHT-OF-WAY OF RAYMOND ROAD A DISTANCE OF 60' TO A POINT; THENCE ALONG THE SOUTHERN PROPERTY LINE OF NOW OR FORMERLY SOUTHEASTERN FREIGHT LINES, INC. AN APPROXIMATE DISTANCE OF 210' TO A POINT; THENCE ALONG THE WESTERN PROPERTY LINE OF NOW OR FORMERLY SOUTHEASTERN FREIGHT LINES, INC. AN APPROXIMATE DISTANCE OF 458' TO A POINT; THENCE IN A SOUTHERLY DIRECTION ALONG THE PROPERTY LINE OF A PORTION OF THE REYNOLDS DAIRY TRACT AN APPROXIMATE DISTANCE OF 1312' TO A POINT; THENCE IN A WESTERLY DIRECTION ALONG THE PROPERTY LINE OF NOW OR FORMERLY SAVANNAH ECONOMIC DEVELOPMENT APPROXIMATE DISTANCE OF 1990' TO A POINT; THENCE IN A WESTERLY DIRECTION ALONG THE RIGHT-OF-WAY LINE OF THE SAVANNAH AND OGEECHEE CANAL AN APPROXIMATE DISTANCE OF 4120' TO A POINT; THENCE ALONG THE PROPERTY LINE OF TOM TRIPLET PARK NOW OR FORMERLY CHATHAM COUNTY FOR AN APPROXIMATE DISTANCE OF 5958' TO A POINT; THENCE ALONG THE SOUTHERN RIGHT-OF-WAY LINE OF SEABOARD COASTLINE RAILROAD AN APPROXIMATE DISTANCE OF 1373' TO THE POINT OF BEGINNING; AND CONTAINING APPROXIMATELY 300 ACRES.

LESS AND EXCEPT THE FOLLOWING TRACT:

106 LYONS ROAD, KNOWN AS LOT LETTER B OF TRACT 22 REYNOLDS DAIRY TRACT, NOW OR FORMERLY JUDITH A. & MARVIN L. SNELLINGS, BEING BOUNDED ON THE NORTH BY SHENG JIAN & HUI LIN CHEN, ON THE EAST BY ZACHARY W. COFFINDAFFER, ON THE SOUTH BY LYONS ROAD, ON THE WEST BY VANESSA A. & ROBERT E. PAYTON AND CONTAINING APPROXIMATELY 0.5 ACRES.

NOT FOR CONSTRUCTION
SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

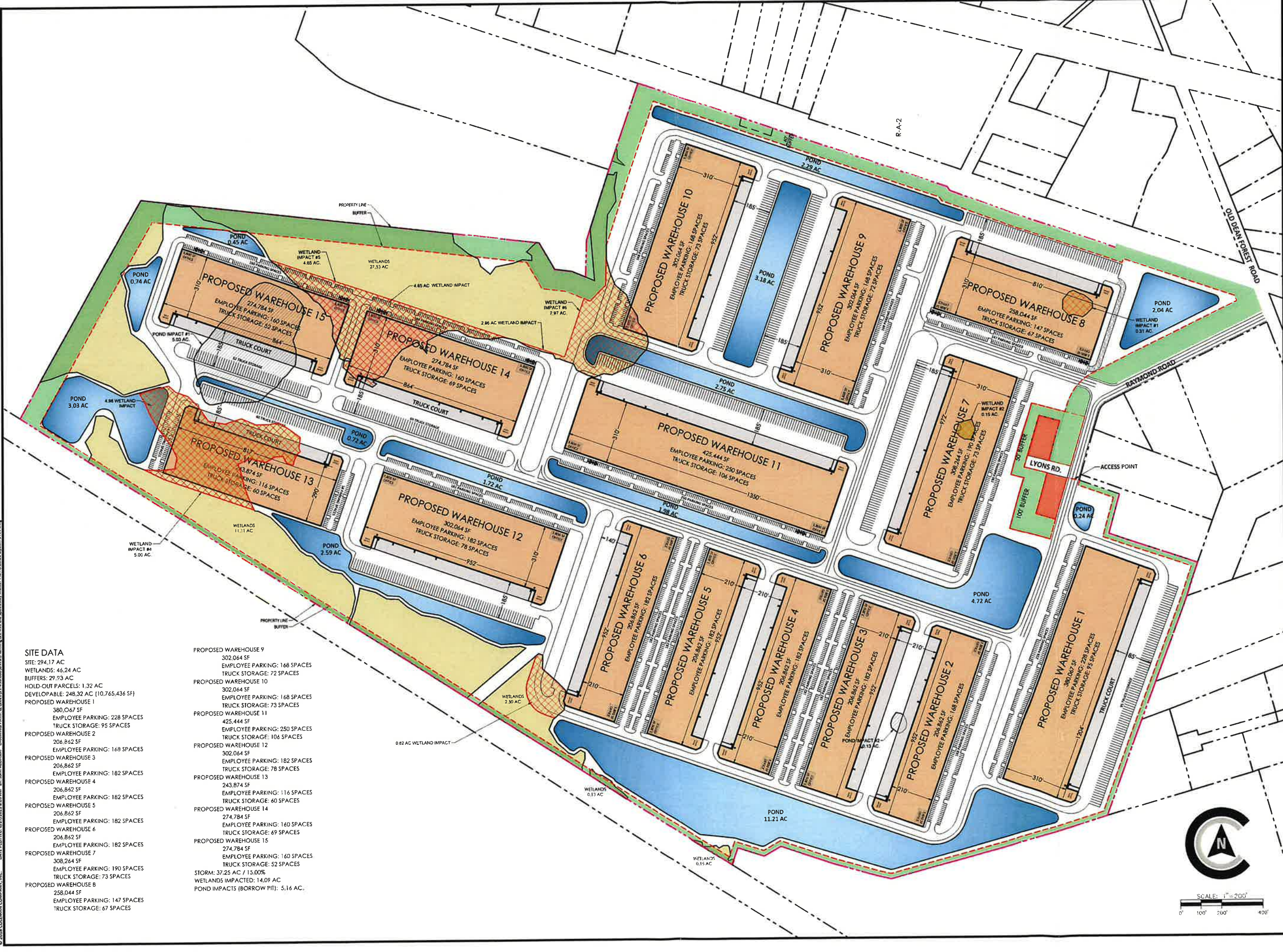
REVISIONS:

CONCEPTUAL PLAN
OGLETHORPE SPEEDWAY
LOCATED IN POOLER, GEORGIA

JOB NUMBER: 21-490.00
DATE: 6/26/23
DRAWN BY: JWR
CHECKED BY: GJC
SCALE: AS NOTED

CONCEPTUAL PLAN

SHEET:
CP1.0



SITE DATA
SITE: 294.17 AC
WETLANDS: 46.24 AC
BUFFERS: 29.93 AC
HOLD-OUT PARCELS: 1.32 AC
DEVELOPABLE: 248.32 AC (110,765,436 SF)
PROPOSED WAREHOUSE 1
380,067 SF
EMPLOYEE PARKING: 228 SPACES
TRUCK STORAGE: 95 SPACES
PROPOSED WAREHOUSE 2
206,862 SF
EMPLOYEE PARKING: 168 SPACES
PROPOSED WAREHOUSE 3
206,862 SF
EMPLOYEE PARKING: 182 SPACES
PROPOSED WAREHOUSE 4
206,862 SF
EMPLOYEE PARKING: 182 SPACES
PROPOSED WAREHOUSE 5
206,862 SF
EMPLOYEE PARKING: 182 SPACES
PROPOSED WAREHOUSE 6
206,862 SF
EMPLOYEE PARKING: 182 SPACES
PROPOSED WAREHOUSE 7
308,264 SF
EMPLOYEE PARKING: 190 SPACES
TRUCK STORAGE: 73 SPACES
PROPOSED WAREHOUSE 8
258,044 SF
EMPLOYEE PARKING: 147 SPACES
TRUCK STORAGE: 67 SPACES

PROPOSED WAREHOUSE 9
302,064 SF
EMPLOYEE PARKING: 168 SPACES
TRUCK STORAGE: 72 SPACES
PROPOSED WAREHOUSE 10
302,064 SF
EMPLOYEE PARKING: 168 SPACES
TRUCK STORAGE: 73 SPACES
PROPOSED WAREHOUSE 11
425,444 SF
EMPLOYEE PARKING: 250 SPACES
TRUCK STORAGE: 106 SPACES
PROPOSED WAREHOUSE 12
302,064 SF
EMPLOYEE PARKING: 182 SPACES
TRUCK STORAGE: 78 SPACES
PROPOSED WAREHOUSE 13
243,874 SF
EMPLOYEE PARKING: 116 SPACES
TRUCK STORAGE: 60 SPACES
PROPOSED WAREHOUSE 14
274,784 SF
EMPLOYEE PARKING: 160 SPACES
TRUCK STORAGE: 69 SPACES
PROPOSED WAREHOUSE 15
274,784 SF
EMPLOYEE PARKING: 160 SPACES
TRUCK STORAGE: 52 SPACES

STORM: 37.25 AC / 15.00%
WETLANDS IMPACTED: 14.09 AC
POND IMPACTS (BORROW PIT): 5.16 AC

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 6/27/2023 8:05 AM BY: John Robinson DRAWING PATH: G:\2023\21-490\000\DWG\Plan\CP1-490-00-Speedway Master Plan & 21.23 Option 1.rvt



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Warehouse at 385 Morgan Lakes Industrial Blvd

Project:	#231647
P&Z Meeting Date:	December 11, 2023
Public Hearing Date:	December 18, 2023
Applicant and Authorized Agent:	Greg Coleman / Coleman Company (Agent)
Location (Address):	385 Morgan Lakes Industrial Blvd
Parcel (PIN):	51015 01102
Existing Zoning:	I-1 (Light Industrial)
Zoning Action:	Conditional Use
Request:	Request to establish a warehouse.
Application Filed:	November 16, 2023
Legal Notice Published:	December 1, 2023
Sign Posted:	November 30, 2023
Letters Mailed:	November 27, 2023
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 18 acres and is accessed from Morgan Lakes Industrial Blvd. The site is currently undeveloped.

The general area includes other warehouse and similar industrial uses.

The applicant is requesting to establish a 234,300 sf warehouse at the site, along with associated infrastructure. Trailer parking is also proposed as part of the development but is not subject to this request.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with surrounding uses, which includes other warehouses and similar uses. The proposed use would be consistent with the purpose of the ordinance for industrial development.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an allowed use within the I-1 District and would be similar to the other warehousing and industrial uses nearby.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.*
5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.

- *The subject site is of sufficient size to satisfy all site design requirements for the use.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

- Attachments:
- A. Vicinity Map
 - B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA

A great place to Live, Work and Play

Project #231647 - 385 Morgan Lakes Industrial Blvd

12/06/2023





RECEIVED

NOV 16 2023

RECEIVED

ZONING DEPARTMENT

NOV 16 2023



Conditional Use Application

Applicant Information	Applicant <u>Coleman Company, Inc - Greg Coleman</u> ZONING DEPARTMENT Mailing address <u>1480 Chatham Parkway, Suite 100</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone <u>(912) 200-3041</u> Fax <u>() gcoleman@cci-sav.com</u>
Property Ownership	Property Owner(s) <u>North Point Industrial, LLC - Wrenn Blalock</u> Mailing address <u>113 Houston Street</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31401</u> Telephone <u>(912) 443-1577</u> Fax <u>() wblalock@northpoint-re.com</u>
Contact Person	Contact Person(s) <u>Coleman Company, Inc - Patrick Warner</u> Telephone <u>(912) 200-3041</u> Fax <u>()</u> E-mail <u>pwarner@cci-sav.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>Morgan Lakes Industrial Blvd.</u> Current Zoning <u>I-1</u> Present use <u>Vacant Cleared Lot</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Proposed Use: Warehousing and trailer storage with small office space inside the warehouse</u> <u>The proposed plan meets or exceeds all items noted in Appendix A - Article V - Section 7</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>As shown on the site plan we are asking for conditional use for 234,300 sf warehouse, 65 trailer parks, as well as office and parking to support the 17.956 acre site use.</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>As we are near the end of the permitting process, construction would begin in January 2024 and with a construction period of 12 months operation would begin January 2025.</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <ul style="list-style-type: none"> ▪ <u>The property area is at minimum 300' from any residentially or commercially zoned property, all access will be from Morgan Lakes Industrial Blvd from Jimmy Deloach Pkwy</u> ▪ <u>All buffer, setback, and screening requirements are met as well as review criteria in Appendix A, Article V, Section 7</u>

Conditional Use Application (CONT.)

* This application will not be processed until ALL of the following items are submitted *

- Filing Requirements**
- Filing fee (see scheduled fees). Make checks payable to the City of Pooler.
 - A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)
 - A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities.
 - Submit one copy if 11" x 17" or smaller, 16 copies if larger.
 - Signed and dated Campaign Contributions and acceptance of conditional standards.
 - Authorization of property owner signed, dated and notarized. (page 3)

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary.
(Required)

Morgan Lakes Property LLC 1007 N. Patterson Street, Valdosta, GA 31501

Savannah Economic Development Authority 906 Drayton Street, Savannah, GA 31501

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- * No. I have not made campaign contributions to any Pooler City Official(s). *(Please sign below at the *)*
- * Yes. I have made campaign contributions to one or more Pooler City Official(s). *(Please sign below at the *)*

City Official	Title	Dollar Value	Description of gift

* *Signature:*  *Date:* 11/16/23

If more space is needed for campaign contributions attach another copy of this form.

Signature & Date

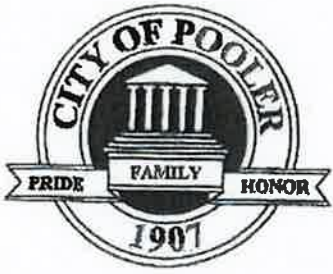
I attest that all the information provided is true to fact: _____
 (Applicants Signature)

Date: / /

Attest: _____
 (Zoning Administrator or Agent thereof)

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 12/18/23
- Notice published in newspaper on: 12/13/23 12/1 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 12/30
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: 12/1



City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Justin Palmer / Coleman Company

Address: 1480 Chatham Pkwy

City & State: Savannah, GA Zip 31405

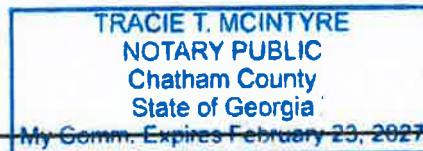
Telephone number: 912-200-3041

Signature of owner

Personally appeared before me Wrenn Blalock

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

Tracie T. McIntyre
Notary Public



11-3-2023
Date





Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

GC

Applicant/Owner initial as received



NOT FOR CONSTRUCTION

SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
 PHASE 1
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
 DATE: 11/16/23
 DRAWN BY: CLM
 CHECKED BY: PJW
 SCALE: AS NOTED

EXHIBIT

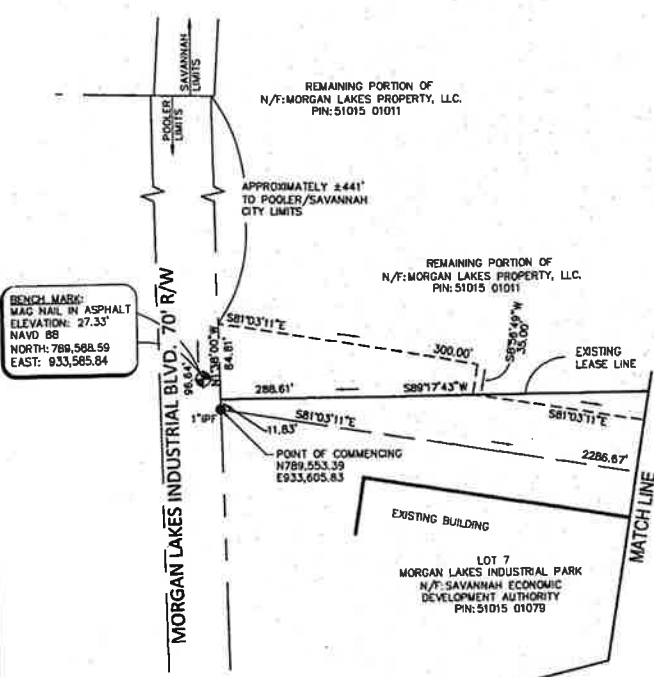
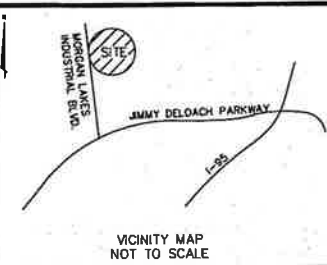
SHEET:
EXH



SCALE: 1"=120'
 0' 60' 120' 240'



Know what's below.
 Call before you dig.

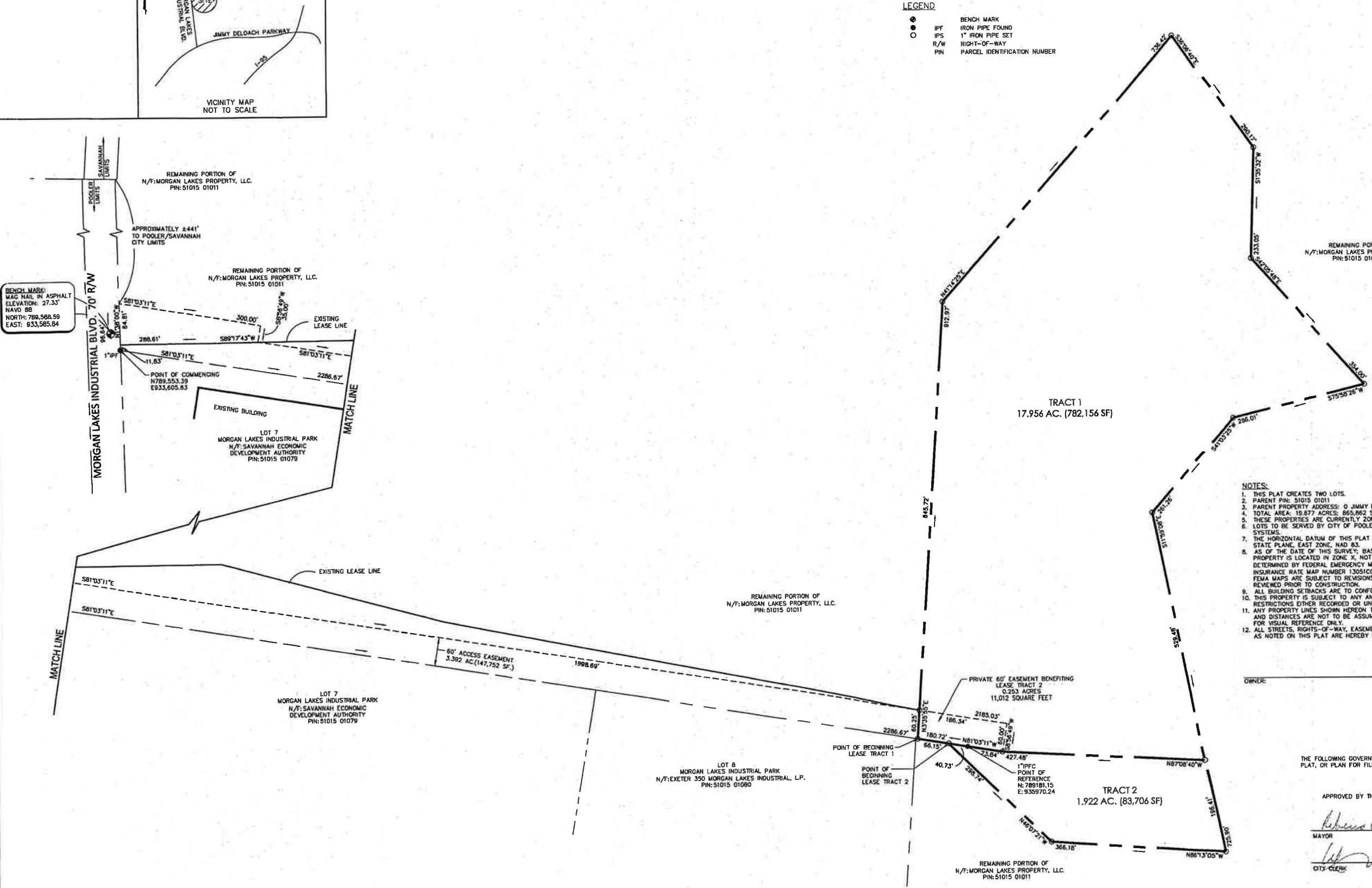


BENCH MARK:
MAG NAIL IN ASPHALT
ELEVATION: 27.33'
NAVD 88
NORTH: 789,588.59
EAST: 933,585.84

SURVEY DATE: 10/31/2023
GPS EQUIPMENT USED: CARLSON BRX78 ON EOPS RTK NETWORK
CONVENTIONAL EQUIPMENT USED: ELECTRONIC TOTAL STATION
ANGULAR ERROR PER "Δ" = 05"
ADJUSTED BY COMPASS RULE
PLAT ERROR OF CLOSURE: 1/180,924
FIELD ERROR OF CLOSURE: 1/28,928

REFERENCE:
1. PLAT RECORD BOOK 51, PAGE 234.

- LEGEND**
- BENCH MARK
 - IRON PIPE FOUND
 - 1" IRON PIPE SET
 - R/W RIGHT-OF-WAY
 - PIN PARCEL IDENTIFICATION NUMBER



- NOTES:**
- THIS PLAT CREATES TWO LOTS.
 - PARENT PIN: 51015 01011
 - PARENT PROPERTY ADDRESS: 0 JIMMY DELOACH PARKWAY
 - TOTAL AREA: 19,877 ACRES; 865,862 SQUARE FEET.
 - THESE PROPERTIES ARE CURRENTLY ZONED PUD.
 - LOTS TO BE SERVED BY CITY OF POOLER WATER AND SANITARY SEWER SYSTEMS.
 - THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 - AS OF THE DATE OF THIS SURVEY, BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 13051C00170, EFFECTIVE DATE: 07/07/2014. FEMA MAPS ARE SUBJECT TO REVISIONS AND AMENDMENTS AND SHOULD BE REVIEWED PRIOR TO CONSTRUCTION.
 - ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 - THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 - ANY PROPERTY LINES SHOWN HEREON THAT ARE NOT LABELED WITH BEARINGS AND DISTANCES ARE NOT TO BE ASSUMED TO BE SURVEY GRADE, AND ARE FOR VISUAL REFERENCE ONLY.
 - ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER: _____ DATE: _____

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY THE MAYOR OF THE CITY OF POOLER

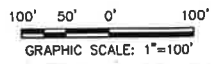
Rebecca C. Bentz 11/06/23
MAYOR DATE

[Signature] 11/06/23
CITY CLERK DATE

SURVEYORS CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

[Signature] 11/14/23
DON EDWARDS TAYLOR, JR.
GA REG. LAND SURVEYOR NO. 3417
COLEMAN COMPANY, INC.
CERTIFICATE OF AUTHORIZATION: LSF 1167



A MINOR SUBDIVISION PLAT OF
A PORTION OF MORGAN LAKES PROPERTY, LLC.
8TH G.M. DISTRICT, CITY OF POOLER,
CHATHAM COUNTY, GEORGIA
PREPARED FOR: MAHANY CONSTRUCTION

JOB NUMBER:	22-843
DATE:	11/1/2023
DRAWN BY:	DET/JTP
CHECKED BY:	
SCALE:	1"=100'
MINOR SUBDIVISION	
SHEET:	1/1

COMMENTS FROM THE PUBLIC RE: Conditional Use Request for a Warehouse at 385 Morgan Lakes Industrial Blvd

Hello Council Members,

My name is Chris Perez and my wife and I moved to The Farm at Morgan Lake in August 2022. I'd like to reiterate everything in the attached letter from our HOA, and express personal concerns.

Having recently seen the staked and flattened area for the proposed plan at 385 Morgan Lake Industrial Blvd, I noticed it is extremely close to the centerpiece of our community, the lake. Our clubhouse, pool, and playground are all located on the lake. All community events are held there, kids and dogs swim in the lake, and many of us use the lake for paddle boarding, kayaking, etc. The hike around the lake is a peaceful escape from the trucks, traffic, warehouses, and container yards all over Jimmy Deloach. It is the primary reason I chose to purchase a home and raise a family here.

The planned area is certainly visible from houses, the clubhouse, the pool, and our dock. Besides the visible impact, I also have serious concerns about pests, pollution from runoff, and the impact on water that so many swim in.

In the past few months, I reported to city council that one of the ponds (connected to our lake) was FULL of what appeared to be residential trash. Coincidentally that pond is very close to the proposed site. I don't know that the same owners are planning this yard, but the disregard for the environment and the direct impact on our lake is concerning. I've added a picture for anyone unfamiliar, and you can see one of the pipes, covered with trash. This pipe is part of a series of waterways that connect to our lake.



Unfortunately, after the city intervened, whoever was responsible just buried the trash to avoid cleaning it up. Who knows what could be seeping into the connected waterway to our lake, and how that might

impact anyone swimming. Was the water treated? Was the pond cut off from the lake? Is poor treatment from surrounding warehouses to blame for the lack of aquatic wildlife? Our lake has ZERO fish, which seems extremely odd.

My wife and I recently found out we are expecting and look forward to raising a family here, walking through the woods, canoeing on the lake, sitting on the dock, hosting birthday parties at the lake.

Please consider our community in your vote.

I'm not able to attend the meeting due to travel, but please feel free to contact me with any questions.

Chris Perez
757-768-9934
123 Pickett Fence Ln
Pooler, GA 31322



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Plan for Mahany Construction at 385 Morgan Lakes Industrial Blvd

Project:	#231002
P&Z Meeting Date:	December 11, 2023
City Council Meeting Date:	December 18, 2023
Applicant and Authorized Agent:	Coleman Company (Engineer)
Location (Address):	385 Morgan Lakes Industrial Blvd
Parcel (PIN):	51015 01102
Acreage:	17.956 total – 22.8 disturbed
Zoning:	I-1 (Light Industrial)
Proposed Use:	Warehousing & Trailer Parking Yard
Staff Recommendation:	Approval <ul style="list-style-type: none"><i>Pending approval of the conditional use request for the warehousing.</i>
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.

2. Whether the site plan provides for adequate pedestrian and traffic access.
 - The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for industrial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public serves to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.

9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
 - The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

- Attachments:
- A. Vicinity Map
 - B. Application and Submittal Documentation
 - C. Approval Letter



CITY OF POOLER
GEORGIA

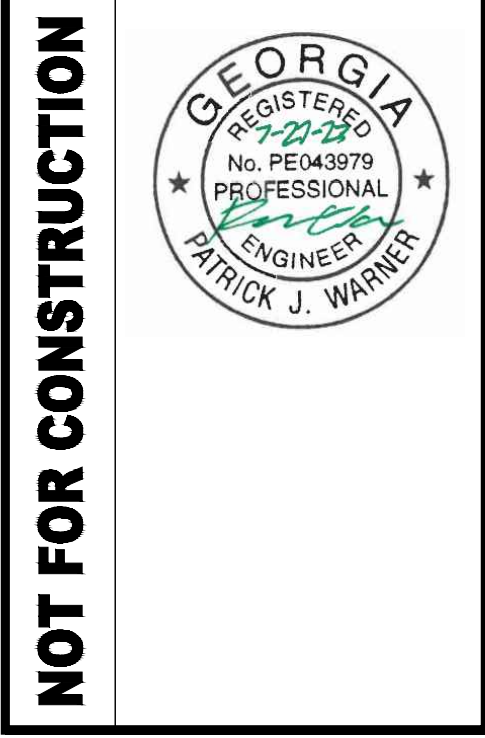
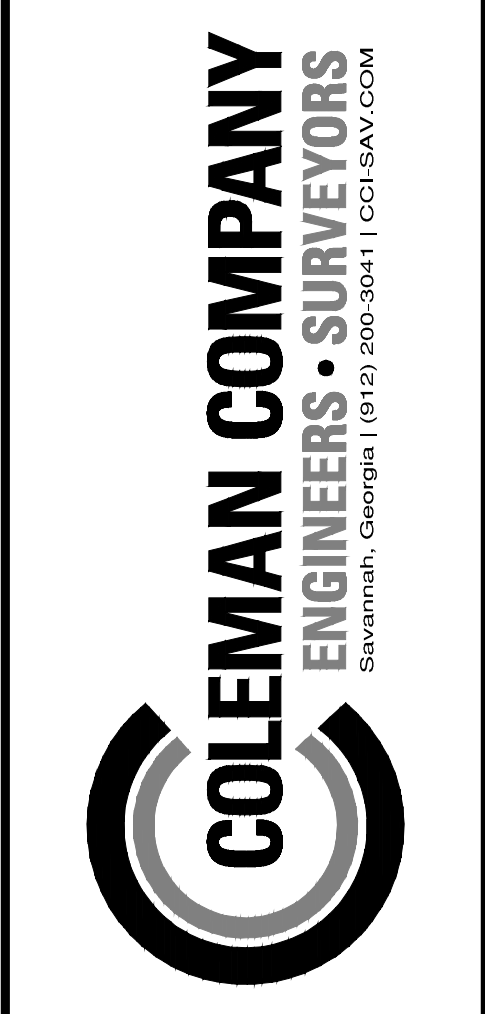
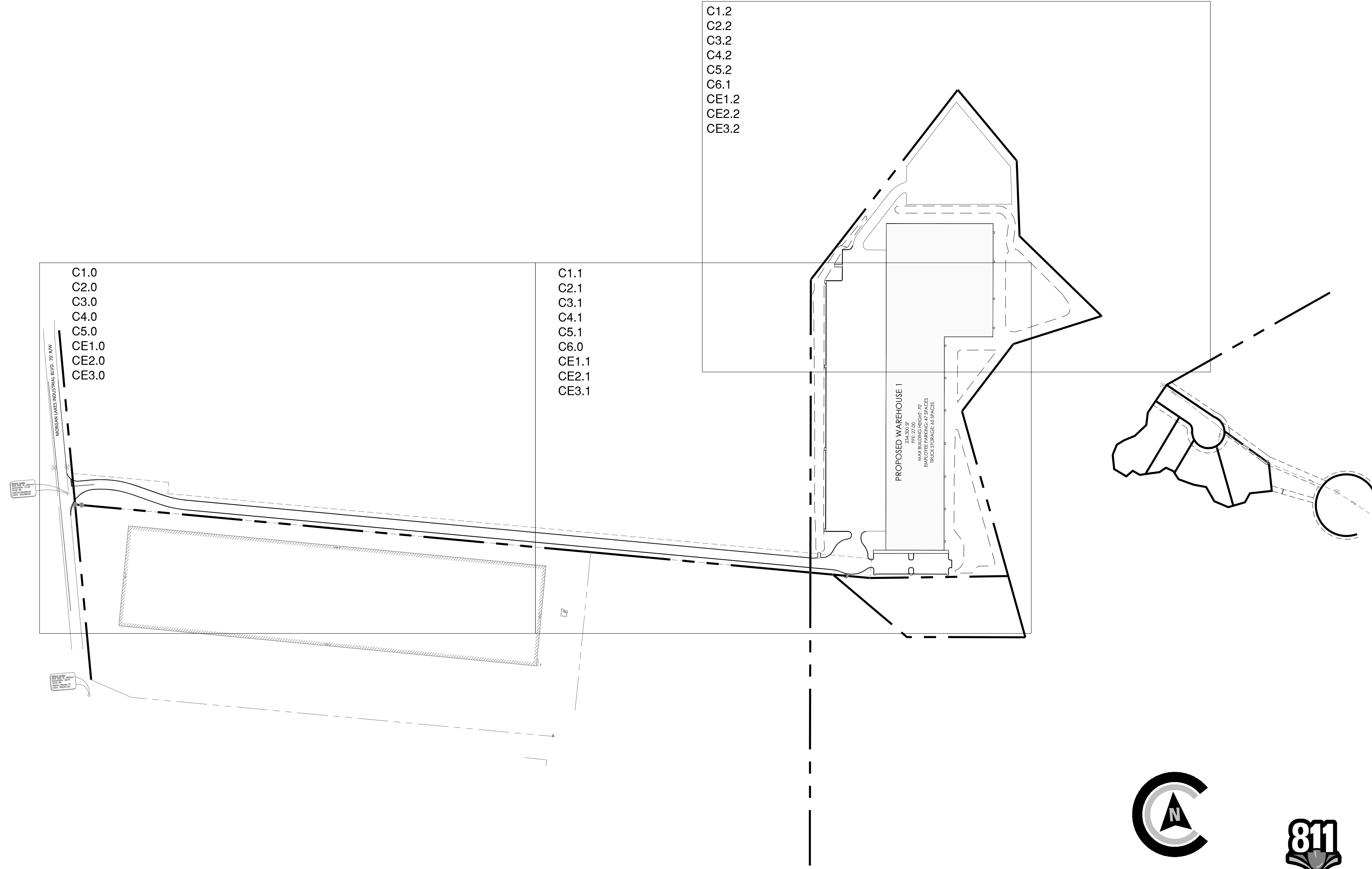
A great place to Live, Work and Play

Project #231002 - 385 Morgan Lakes Industrial Blvd

12/06/2023







NOT FOR CONSTRUCTION

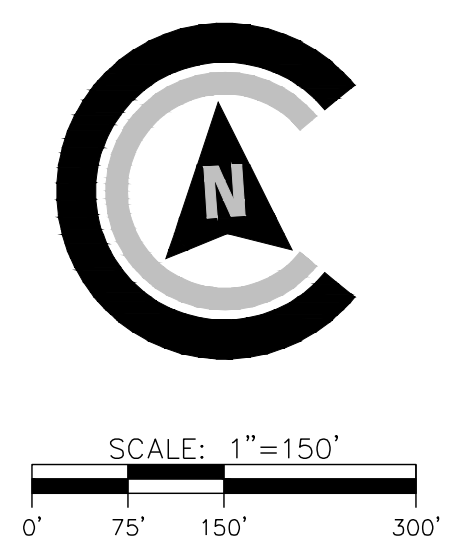
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

SHEET LEGEND

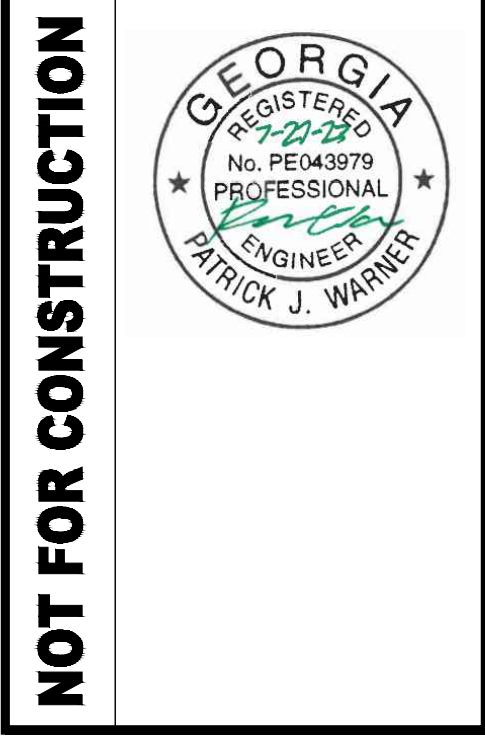
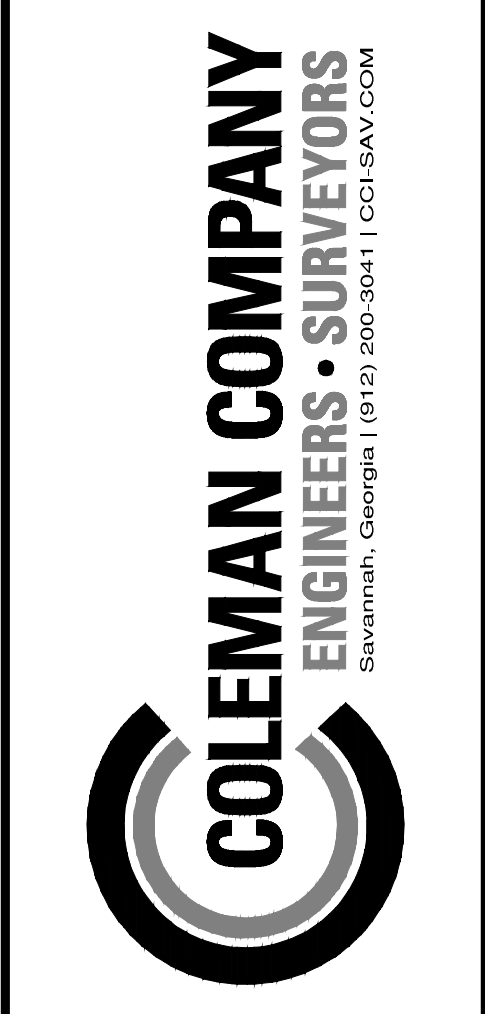
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MATCHLINE: SHEET C1.1



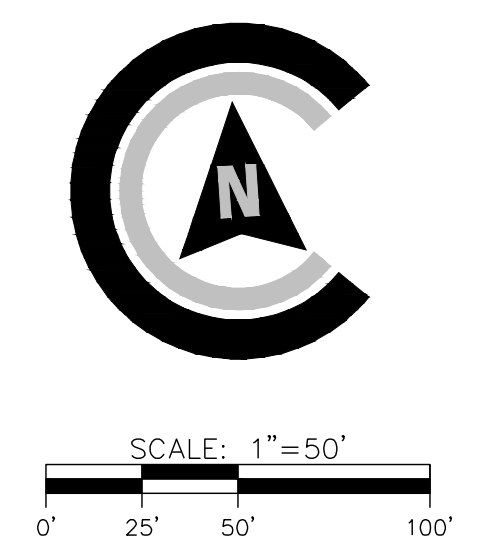
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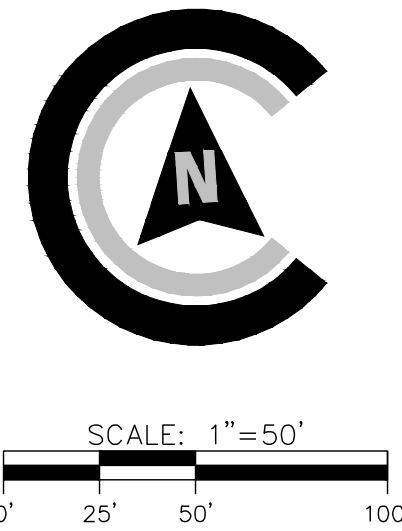
EXISTING PLAN

SHEET:
C1.0



EXISTING BUILDING
 ONE STORY
 STUCCO
 WAREHOUSE
 FFE: 30.18'

MATCHLINE: SHEET C1.0



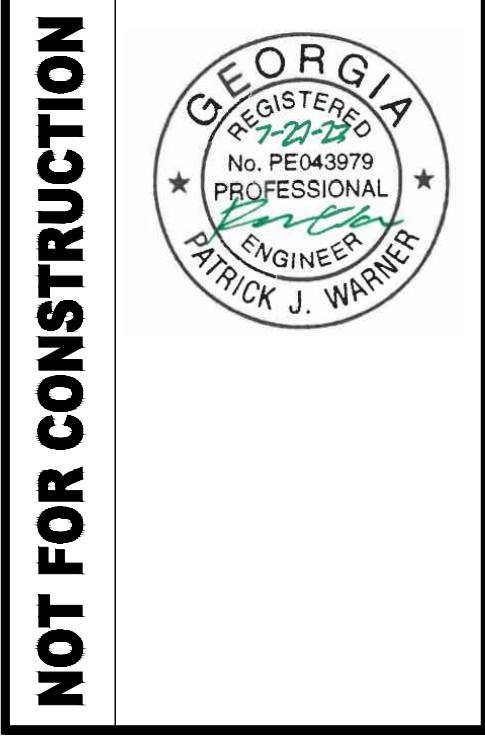
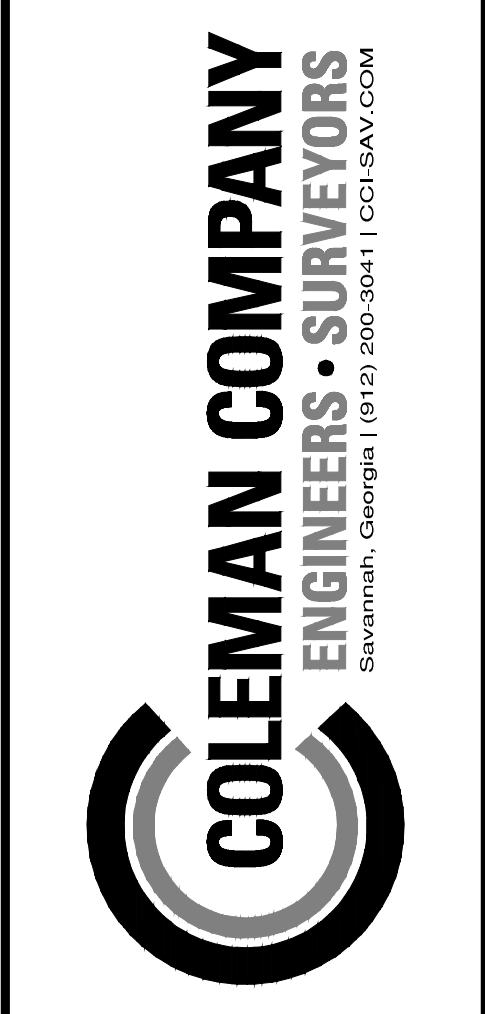
LOT 8
MORGAN LAKES INDUSTRIAL PARK
XETER 350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE: SHEET C1.2



REMAINING
DEVELOPMENT
MOR
N/F: MORGAN L
PIN: 5



NOT FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

EXISTING PLAN

SHEET:
C1.1

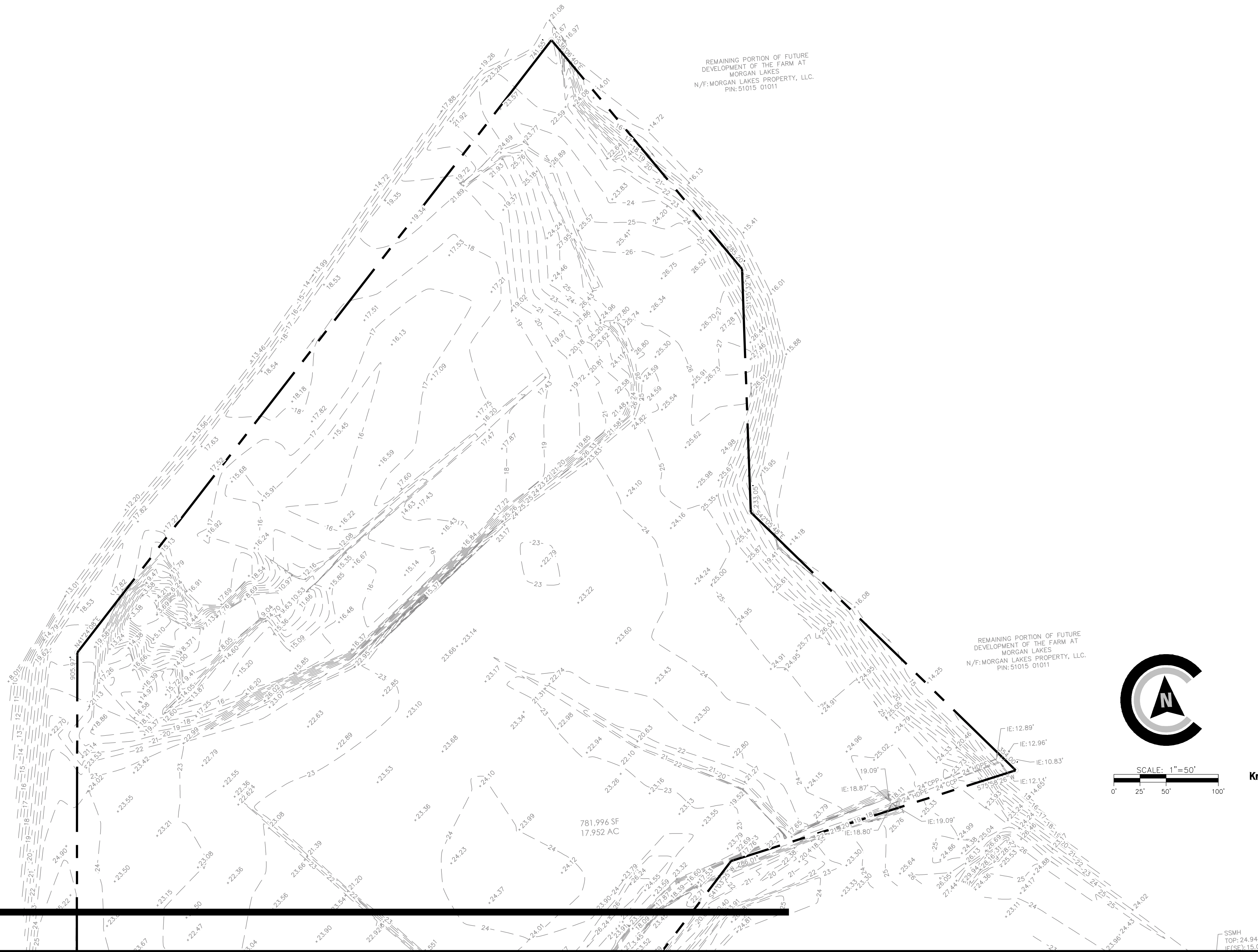
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REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

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MATCHLINE: SHEET C1.1



NOT FOR CONSTRUCTION



REVISIONS:

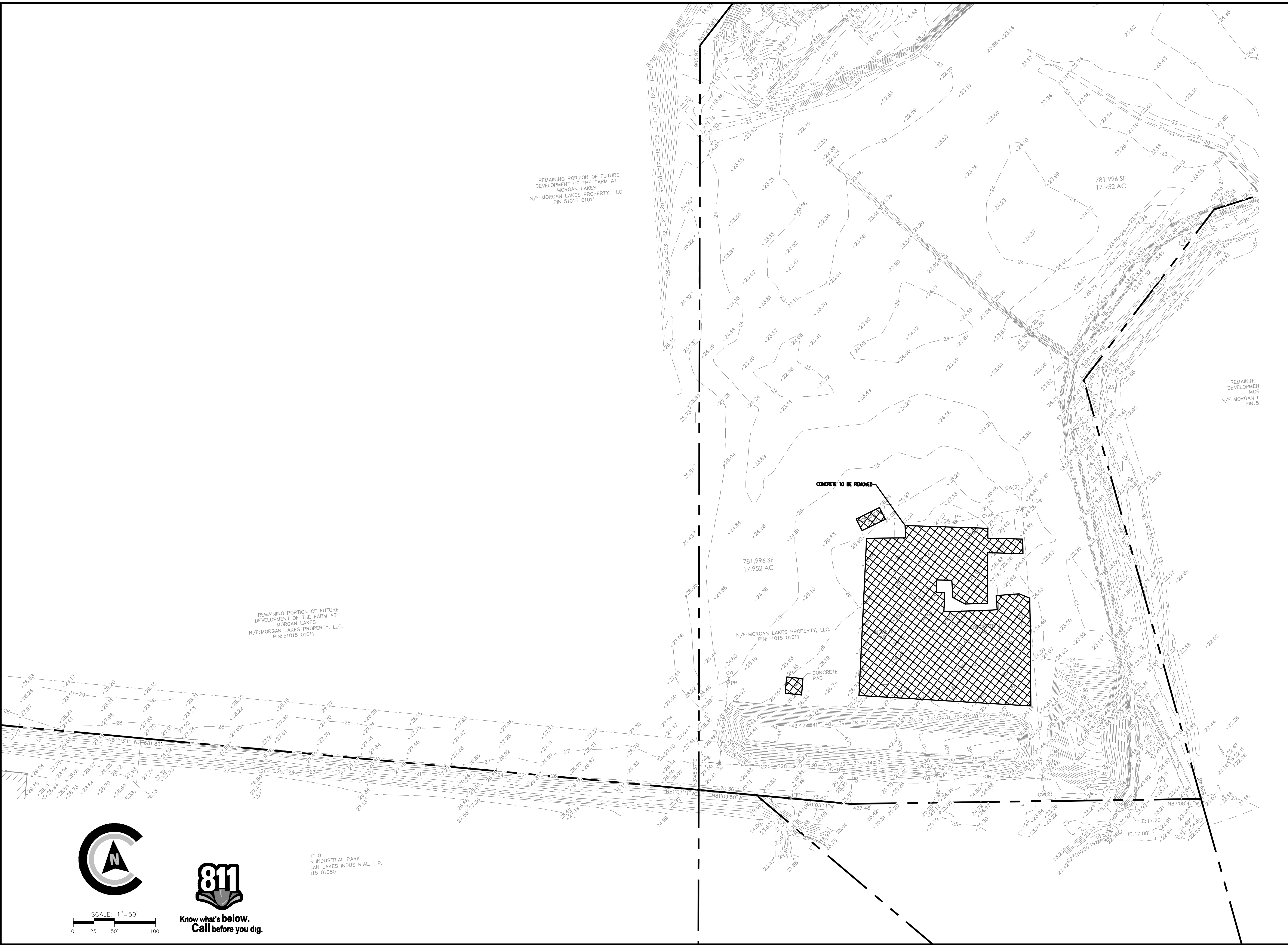
CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
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JOB NUMBER:	22-643
DATE:	12/07/23
DRAWN BY:	CLM
CHECKED BY:	PJW
SCALE:	AS NOTED

EXISTING PLAN

SHEET:
C1.2

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 12/27/2023 12:03 PM BY: Corbin Halliwell REF: BAKING PATH, CL 2023123-643, 0000DWG/C1.3-64313AK.dwg



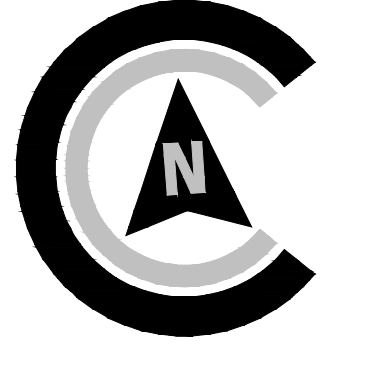
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

781,996 SF
17.952 AC

REMAINING DEVELOPMENT MOR N/F: MORGAN L L PIN: 5

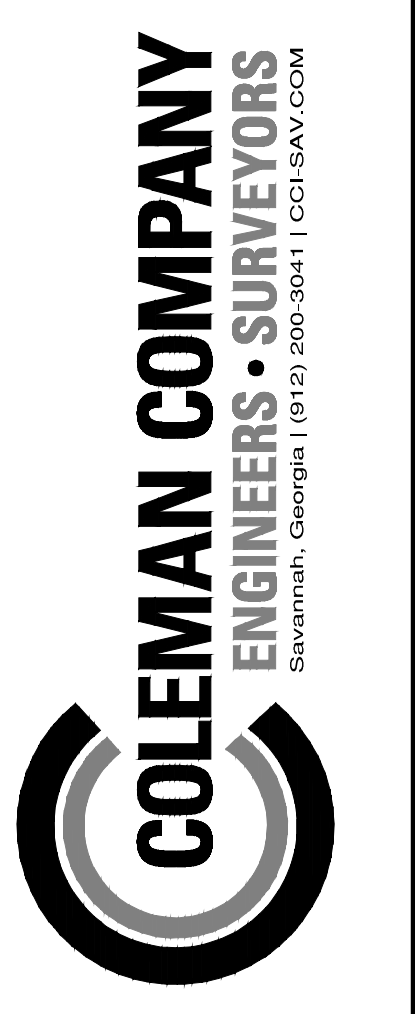


SCALE: 1"=50'
0' 25' 50' 100'



Know what's below.
Call before you dig.

IT 8
INDUSTRIAL PARK
MORGAN LAKES INDUSTRIAL, L.P.
115 01080



NOT FOR CONSTRUCTION

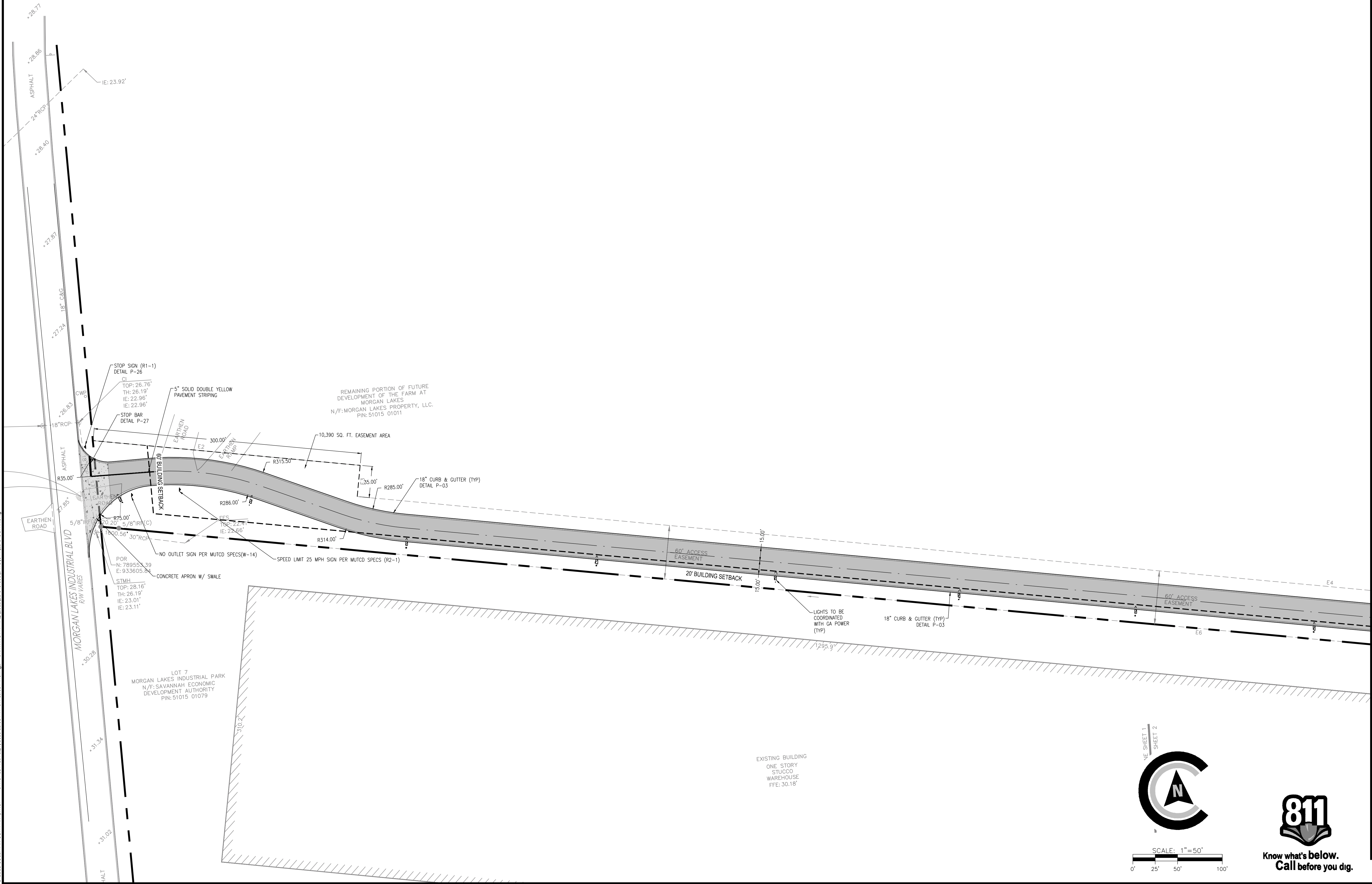
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
 PHASE 1
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR MAHANY CONSTRUCTION CO.

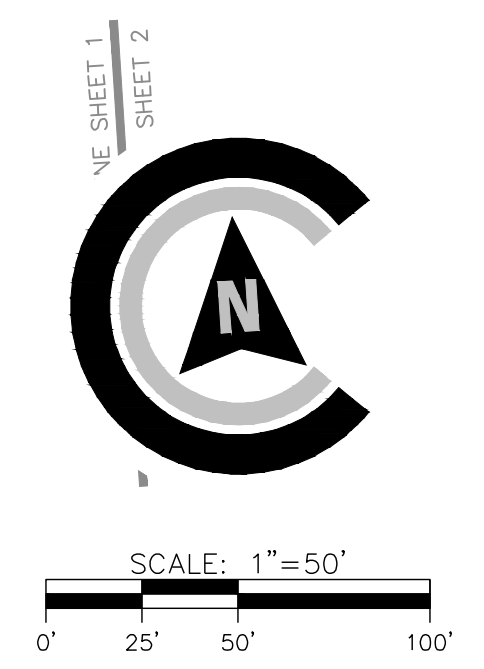
JOB NUMBER: 22-643
 DATE: 12/07/23
 DRAWN BY: CLM
 CHECKED BY: PJW
 SCALE: AS NOTED

DEMOLITION PLAN

SHEET:
C1.3



MATCHLINE: SHEET C2.1



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

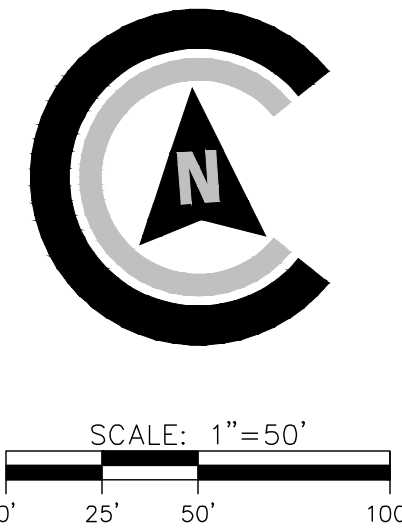
JOB NUMBER:	22-643
DATE:	12/07/23
DRAWN BY:	CLM
CHECKED BY:	PJW
SCALE:	AS NOTED

STAKING PLAN

SHEET:
C2.0

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MATCHLINE: SHEET C2.0

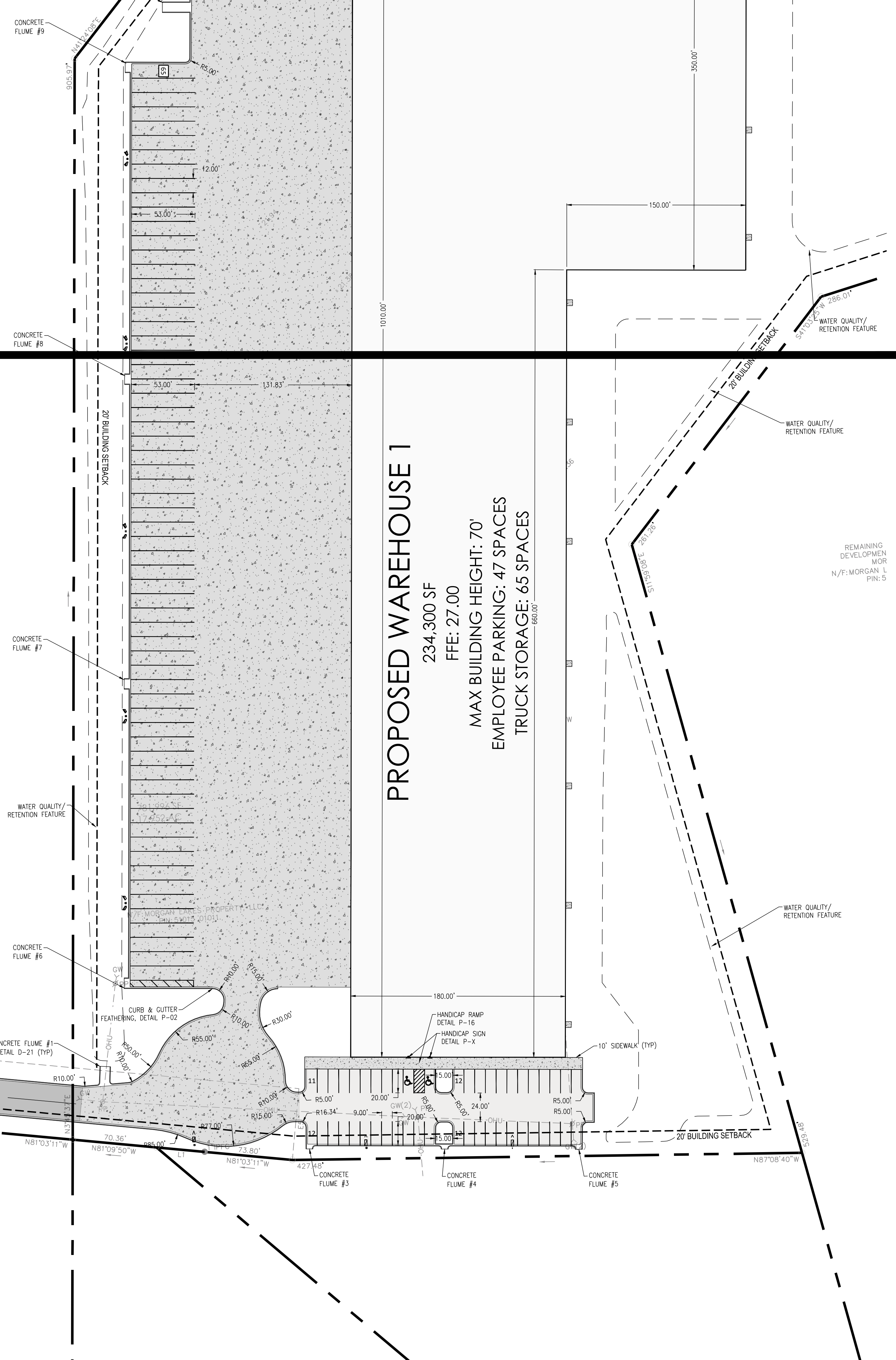


LOT 8
MORGAN LAKES INDUSTRIAL PARK
350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE: SHEET C2.2



PROPOSED WAREHOUSE 1

234,300 SF
FFE: 27.00
MAX BUILDING HEIGHT: 70'
EMPLOYEE PARKING: 47 SPACES
TRUCK STORAGE: 65 SPACES

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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

STAKING PLAN

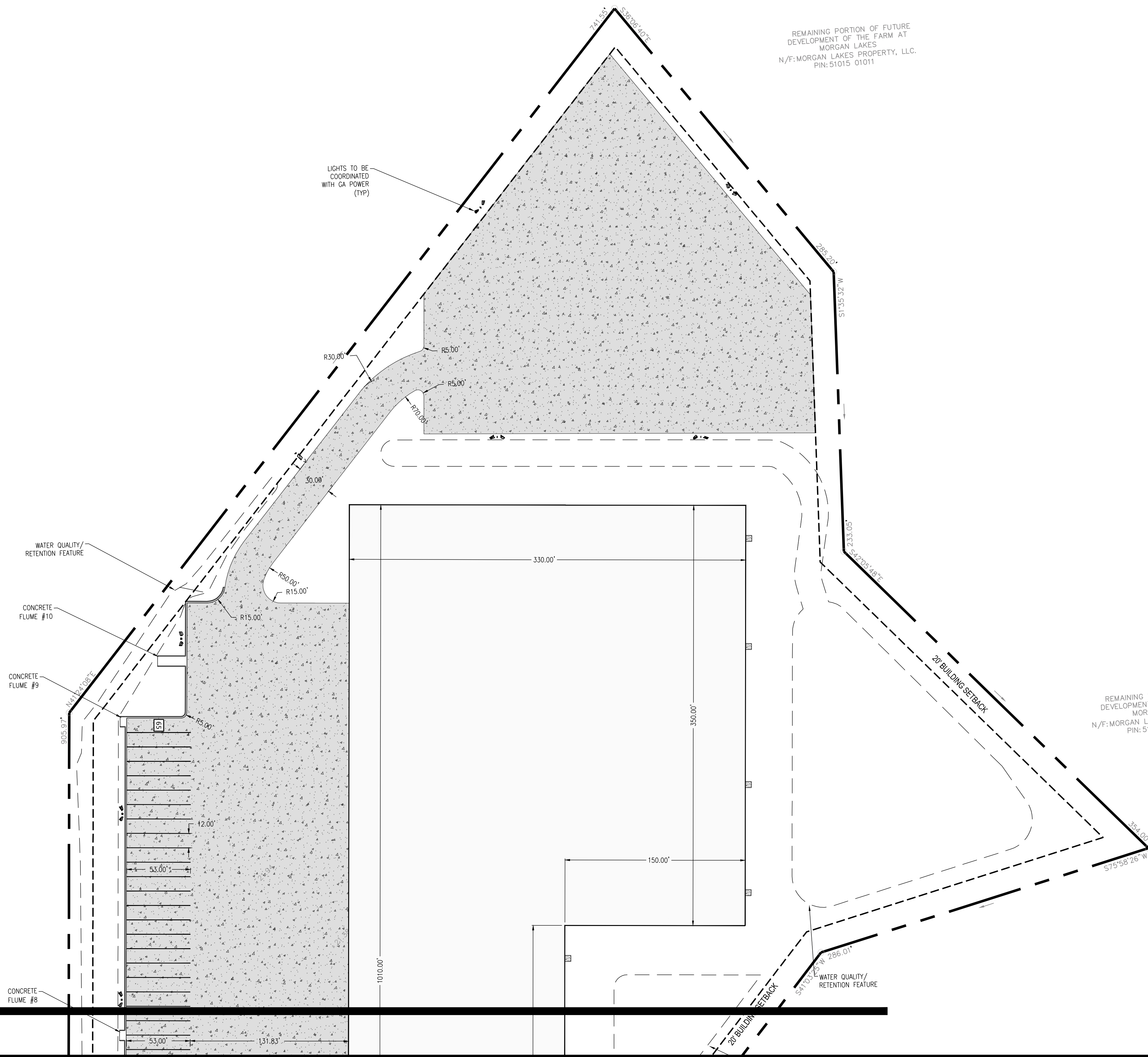
SHEET:
C2.1

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 12/7/2023 12:01 PM BY: Carson Hallinger DRAWING PATH: Q:\2023\22-643 Morgan Lakes\Drawings\C2.2-643 STAK.dwg

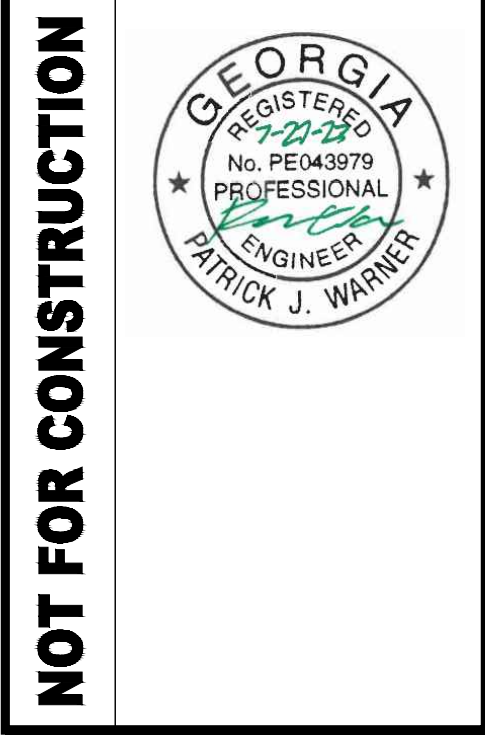
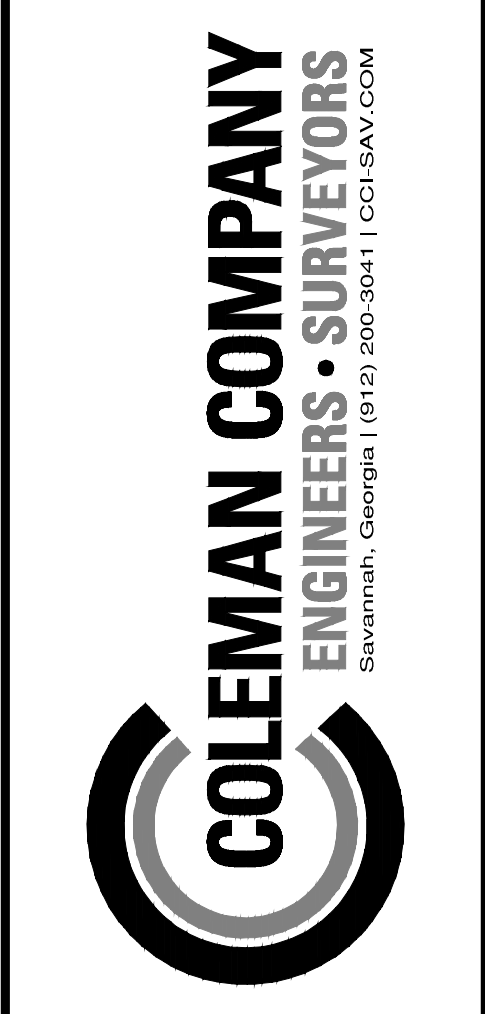
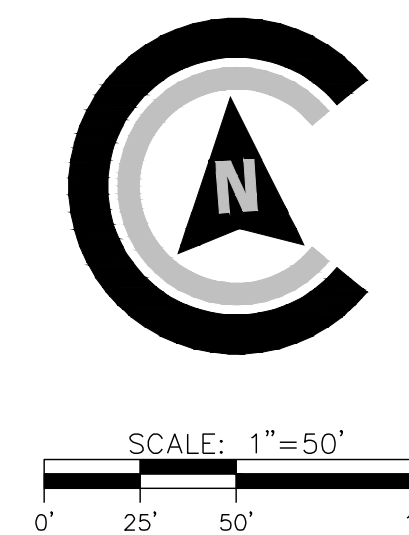
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011



MATCHLINE: SHEET C2.1



NOT FOR CONSTRUCTION

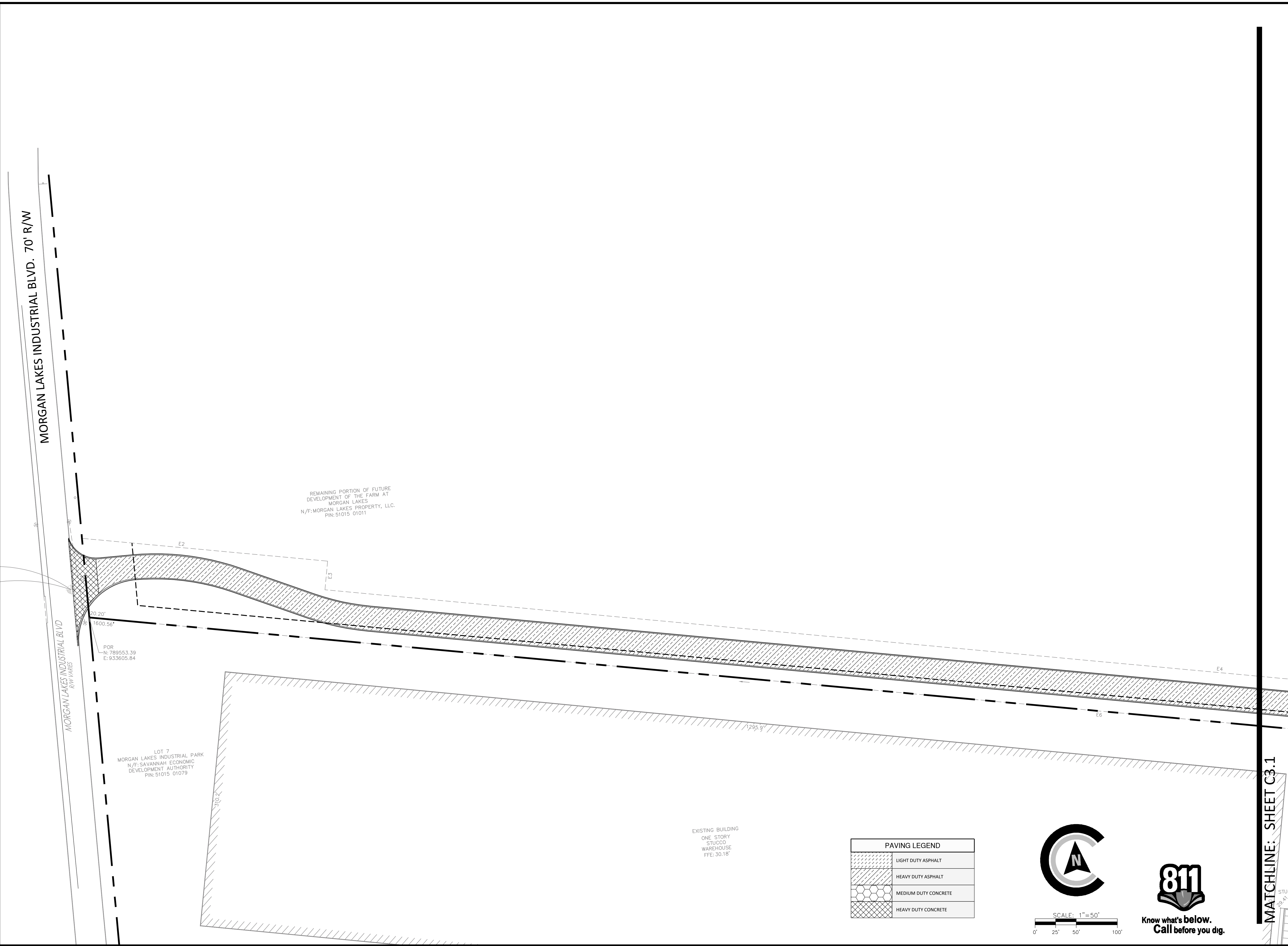
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
 PHASE 1
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR MAHANY CONSTRUCTION CO.

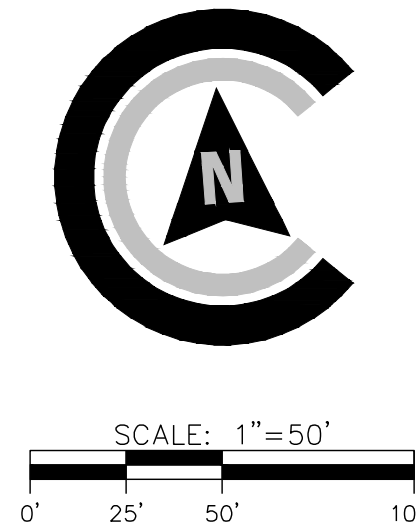
JOB NUMBER: 22-643
 DATE: 12/07/23
 DRAWN BY: CLM
 CHECKED BY: PJW
 SCALE: AS NOTED

STAKING PLAN

SHEET:
C2.2



PAVING LEGEND	
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	MEDIUM DUTY CONCRETE
	HEAVY DUTY CONCRETE



MATCHLINE: SHEET C3.1

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REVISIONS:

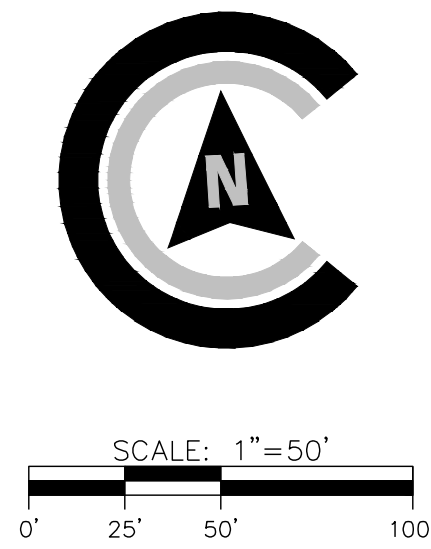
CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

PAVING PLAN

SHEET:
C3.0

MATCHLINE: SHEET C3.0



PAVING LEGEND	
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	MEDIUM DUTY CONCRETE
	HEAVY DUTY CONCRETE

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

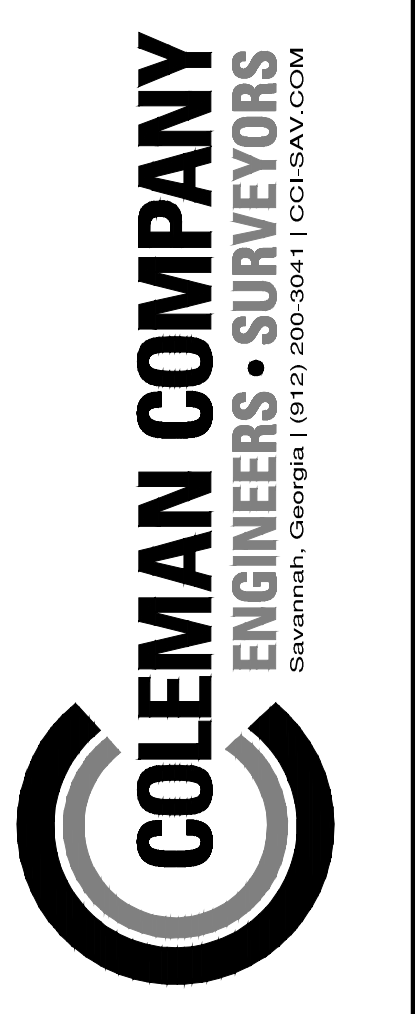
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

MATCHLINE: SHEET C3.2

PROPOSED WAREHOUSE 1

234,300 SF
FFE: 27.00
MAX BUILDING HEIGHT: 70'
EMPLOYEE PARKING: 47 SPACES
TRUCK STORAGE: 65 SPACES

REMAINING DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011



NOT FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

PAVING PLAN

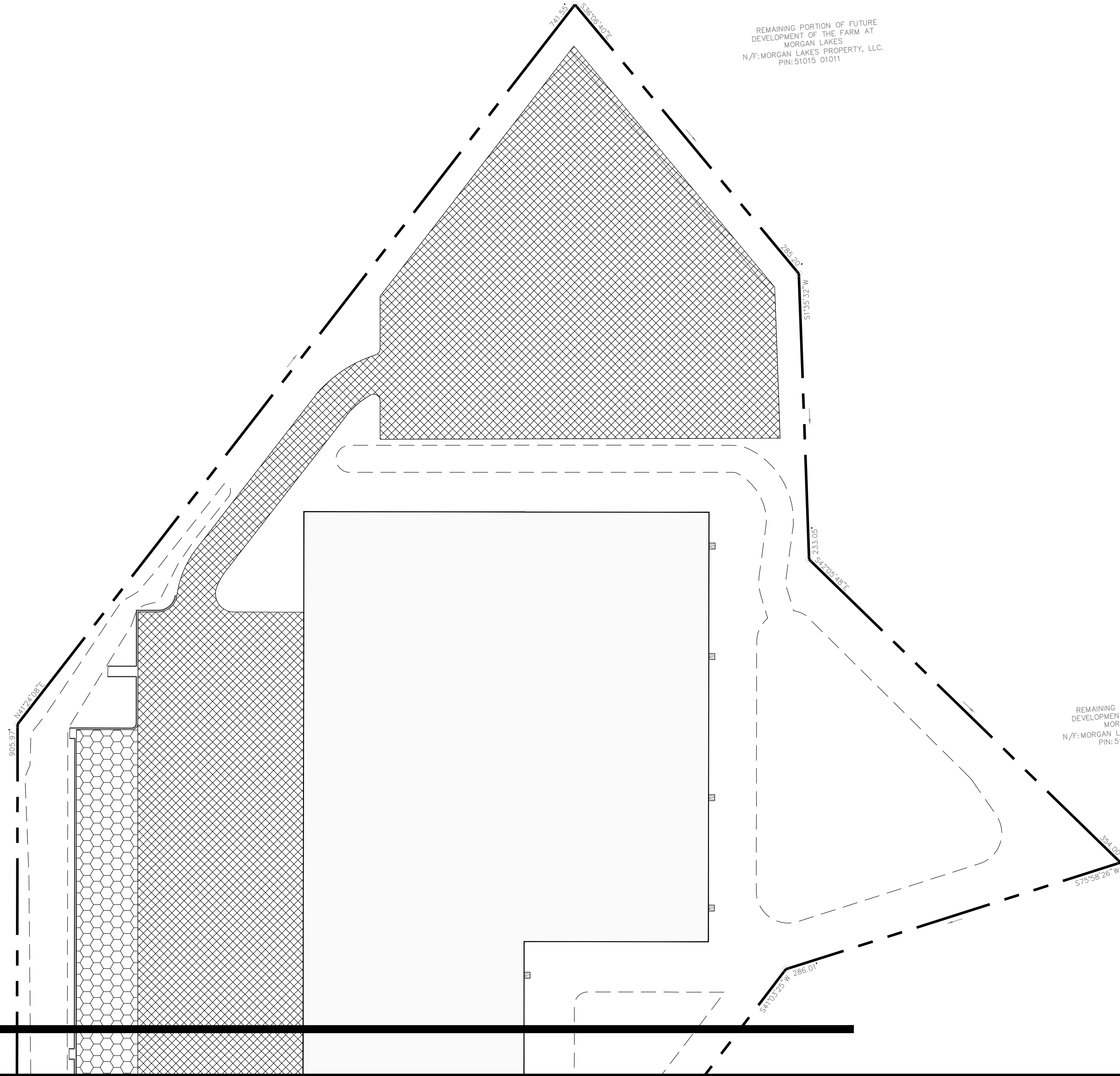
SHEET:
C3.1

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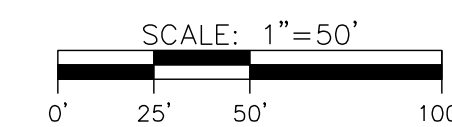
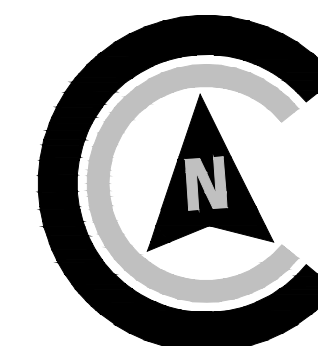
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION C DEVELOPMENT OF THE MORGAN LAKE N/F: MORGAN LAKES PROJ PIN: 51015 01011

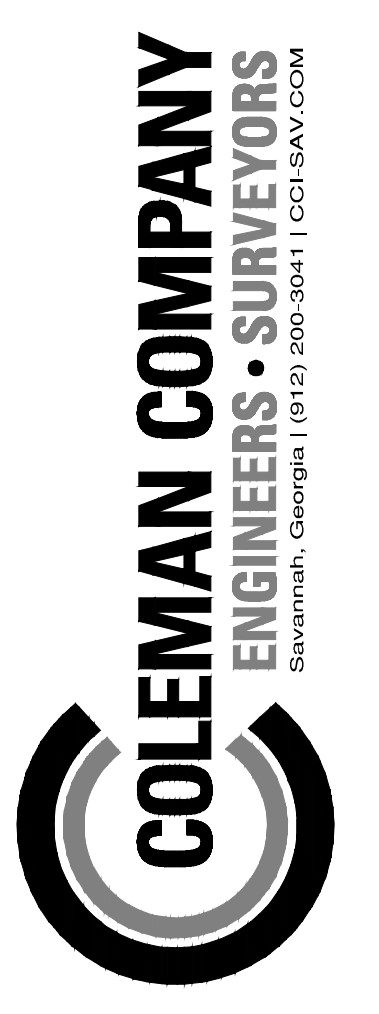


PAVING LEGEND	
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	MEDIUM DUTY CONCRETE
	HEAVY DUTY CONCRETE



Know what's below. Call before you dig.

MATCHLINE: SHEET CE1.1



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REVISIONS:

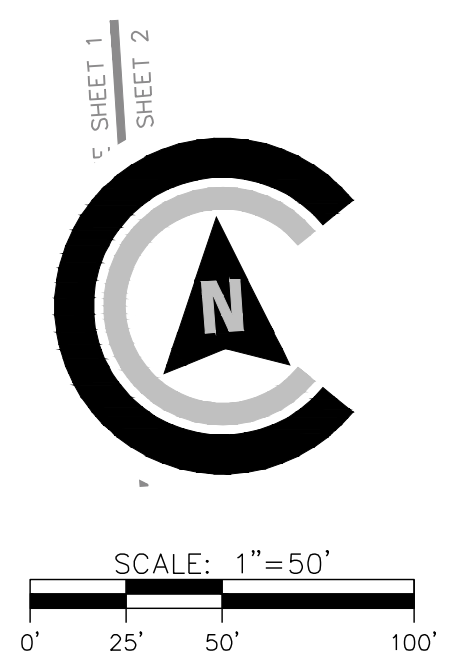
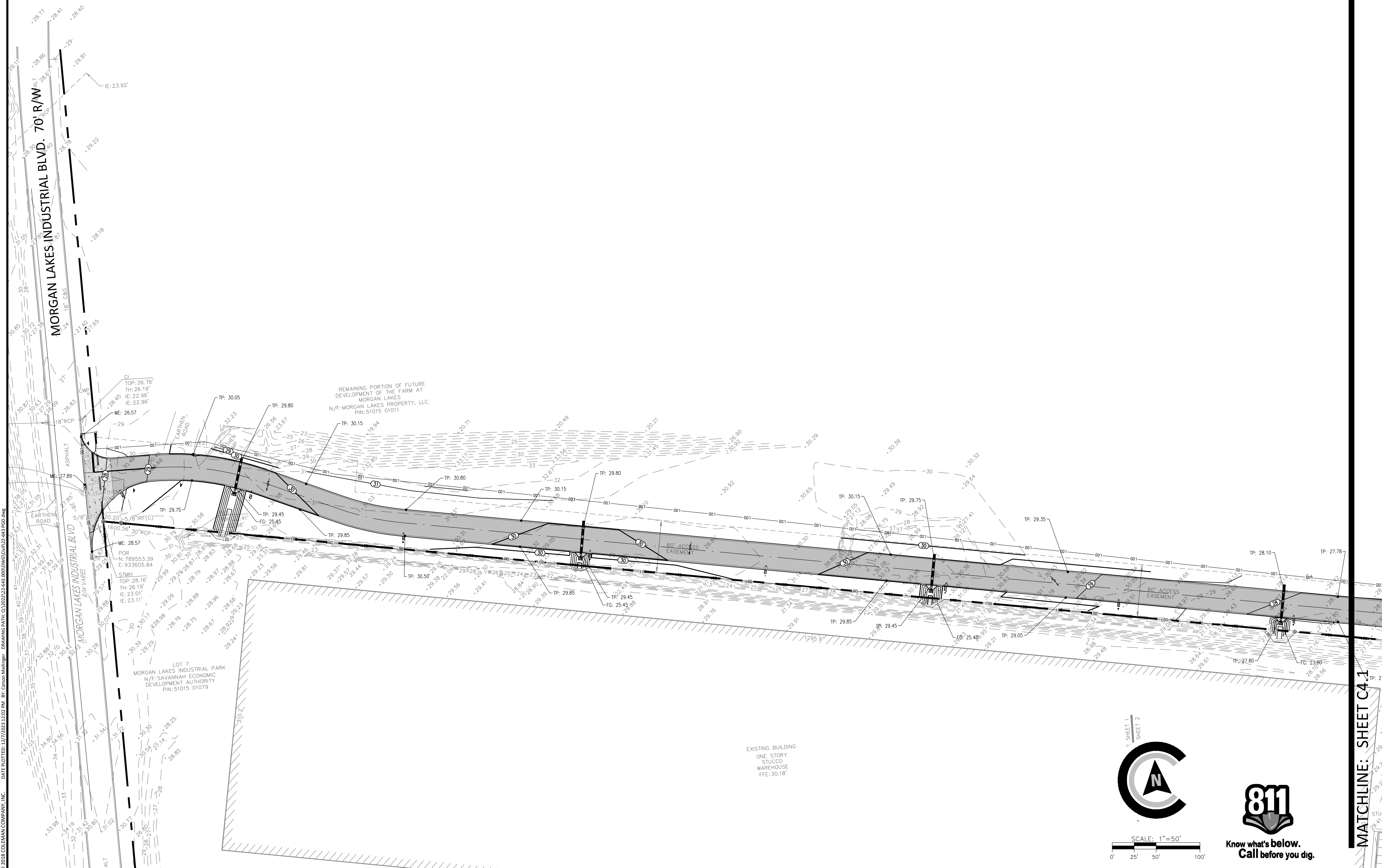
CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

PAVING PLAN

SHEET:
C3.2

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MATCHLINE: SHEET C4.1

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CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

GRADING PLAN

SHEET:
C4.0

POND & SHALL DATA:			
DETENTION POND 1	DETENTION POND 2	DETENTION POND 3	DITCH 2
TOB: 22.00'	TOB: 22.00'	TOB: 22.00'	TOB: 21.14'
NWL: 15.00'	NWL: 15.00'	NWL: 15.00'	1-YR: 20.32' - 15,431 CF
WGL: 14.00'	WGL: 14.00'	WGL: 14.00'	5-YR: 20.74' - 15,736 CF
WO VOLUME: 54,020 CF	WO VOLUME: 72,980 CF	WO VOLUME: 72,980 CF	10-YR: 20.83' - 15,736 CF
1-YR: 18.95' - 27,523 CF	1-YR: 18.95' - 24,779 CF	1-YR: 18.95' - 10,317 CF	25-YR: 21.04' - 15,837 CF
5-YR: 19.05' - 59,173 CF	5-YR: 19.05' - 27,848 CF	5-YR: 19.14' - 10,317 CF	100-YR: 21.41' - 16,040 CF
10-YR: 19.07' - 76,336 CF	10-YR: 19.06' - 28,577 CF	10-YR: 19.20' - 10,317 CF	
25-YR: 19.10' - 82,529 CF	25-YR: 19.16' - 29,861 CF	25-YR: 19.26' - 10,317 CF	
100-YR: 19.38' - 102,143 CF	100-YR: 19.34' - 32,151 CF	100-YR: 19.33' - 16,807 CF	

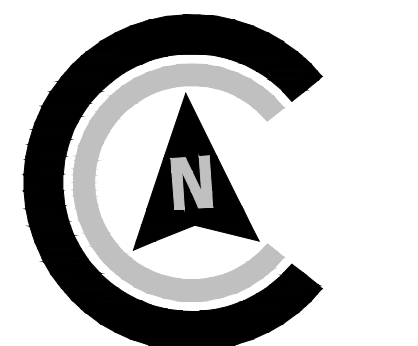
REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE: SHEET C4.2

PROPOSED WAREHOUSE 1

234,300 SF
FFE: 27.00
MAX BUILDING HEIGHT: 70'
EMPLOYEE PARKING: 47 SPACES
TRUCK STORAGE: 65 SPACES

MATCHLINE: SHEET C4.0



SCALE: 1"=50'



Know what's below.
Call before you dig.

LOT 8
MORGAN LAKES INDUSTRIAL PARK
ETER 350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

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GEORGIA
REGISTERED
No. PE143975
PROFESSIONAL
ENGINEER
PATRICK J. WARNER

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

GRADING PLAN

SHEET:
C4.1

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE I
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

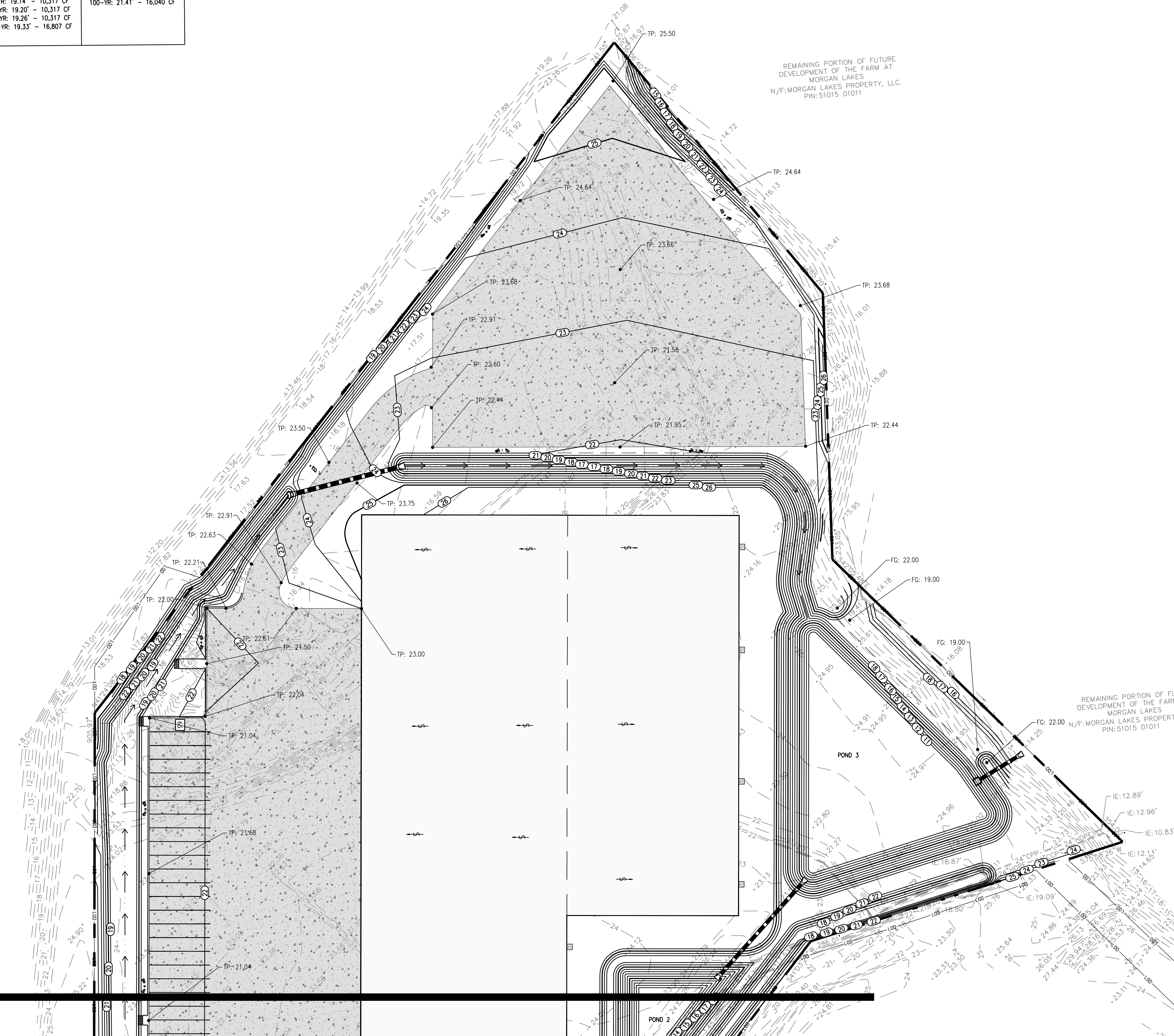
JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

GRADING PLAN

SHEET:
C4.2

POND & SWALE DATA:

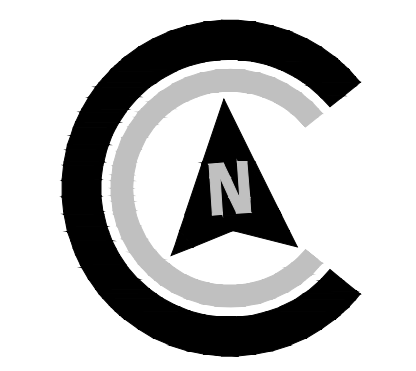
DETENTION POND 1	DETENTION POND 2	DETENTION POND 3	DITCH 2
TOB: 22.00'	TOB: 22.00'	TOB: 22.00'	TOB: 21.14'
NWL: 19.00'	NWL: 19.00'	NWL: 19.00'	1-YR: 20.32' - 15,431 CF
WOL: 15.00'	WOL: 15.00'	WOL: 15.00'	5-YR: 20.74' - 15,736 CF
WO VOLUME: 54,020 CF	WO VOLUME: 72,980 CF	WO VOLUME: 72,980 CF	10-YR: 20.83' - 15,736 CF
1-YR: 18.95' - 27,523 CF	1-YR: 18.95' - 24,779 CF	1-YR: 18.95' - 10,317 CF	25-YR: 21.04' - 15,837 CF
5-YR: 19.05' - 59,173 CF	5-YR: 19.05' - 27,848 CF	5-YR: 19.14' - 10,317 CF	100-YR: 21.41' - 16,040 CF
10-YR: 19.07' - 76,336 CF	10-YR: 19.06' - 28,577 CF	10-YR: 19.20' - 10,317 CF	
25-YR: 19.10' - 82,529 CF	25-YR: 19.16' - 29,861 CF	25-YR: 19.26' - 10,317 CF	
100-YR: 19.38' - 102,143 CF	100-YR: 19.34' - 32,151 CF	100-YR: 19.33' - 16,807 CF	



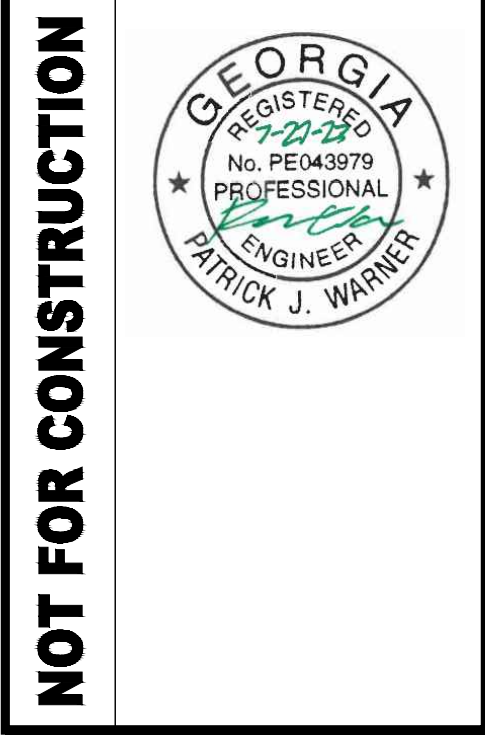
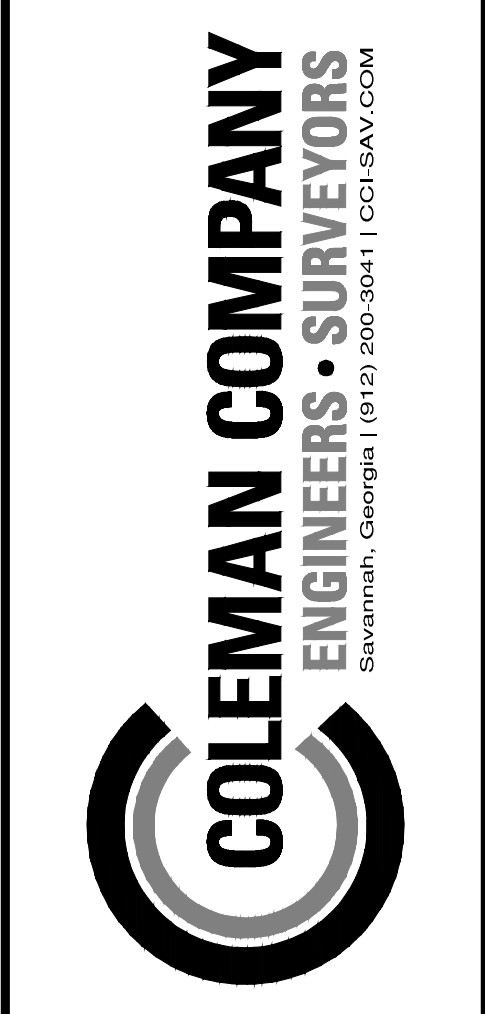
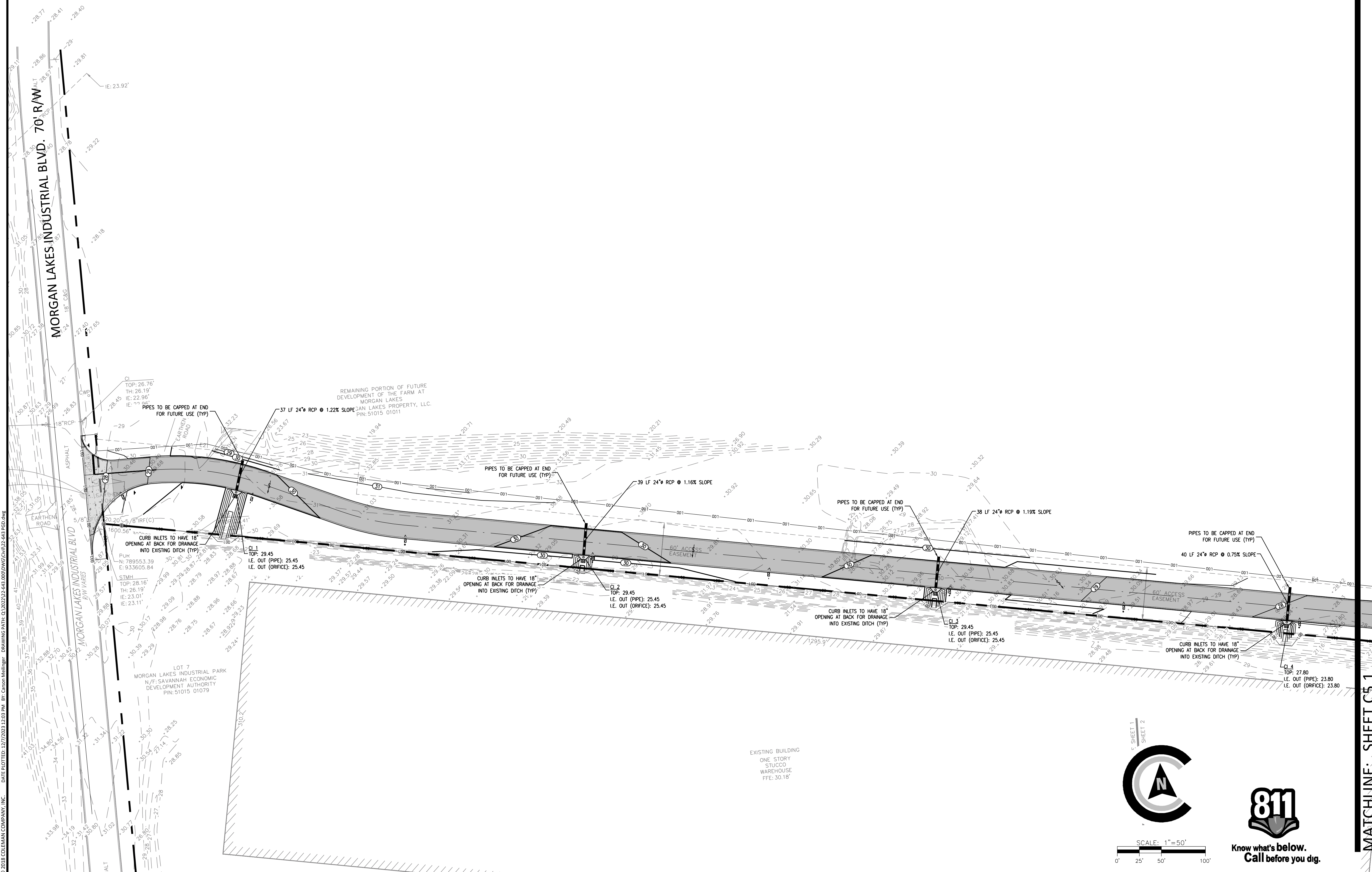
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011



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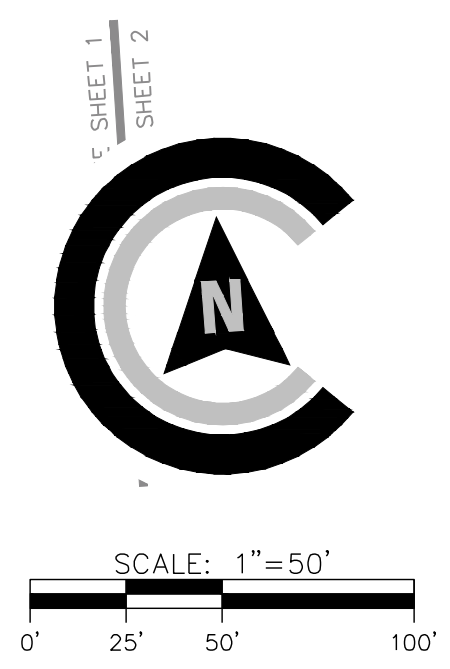
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
 PHASE 1
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
 DATE: 12/07/23
 DRAWN BY: CLM
 CHECKED BY: PJW
 SCALE: AS NOTED

DRAINAGE PLAN

SHEET:
C5.0

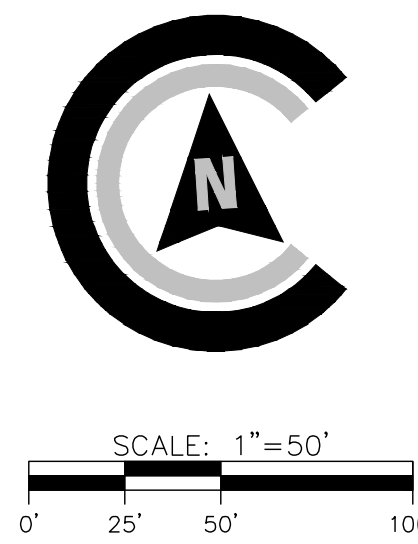


MATCHLINE: SHEET C5.1

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MATCHLINE: SHEET C5.0

POND & SWALE DATA:			
RETENTION POND 1	RETENTION POND 2	RETENTION POND 3	DITCH 2
TOB: 22.00'	TOB: 22.00'	TOB: 22.00'	TOB: 21.14'
NWL: 19.00'	NWL: 19.00'	NWL: 19.00'	1-YR: 20.32' - 28,317 CF
WOL: 15.00'	WOL: 15.00'	WOL: 15.00'	5-YR: 20.74' - 37,327 CF
WO VOLUME: 46,868 CF	WO VOLUME: 12,626 CF	WO VOLUME: 82,280 CF	10-YR: 20.83' - 39,258 CF
1-YR: 18.95' - 71,928 CF	1-YR: 18.95' - 22,533 CF	1-YR: 18.95' - 120,542 CF	25-YR: 21.04' - 43,763 CF
5-YR: 19.05' - 73,749 CF	5-YR: 19.05' - 23,093 CF	5-YR: 19.14' - 126,340 CF	100-YR: 21.41' - 51,701 CF
10-YR: 19.07' - 74,113 CF	10-YR: 19.06' - 23,150 CF	10-YR: 19.20' - 128,171 CF	
25-YR: 19.10' - 74,659 CF	25-YR: 19.16' - 23,720 CF	25-YR: 19.26' - 130,002 CF	
100-YR: 19.38' - 79,768 CF	100-YR: 19.34' - 24,747 CF	100-YR: 19.33' - 132,139 CF	

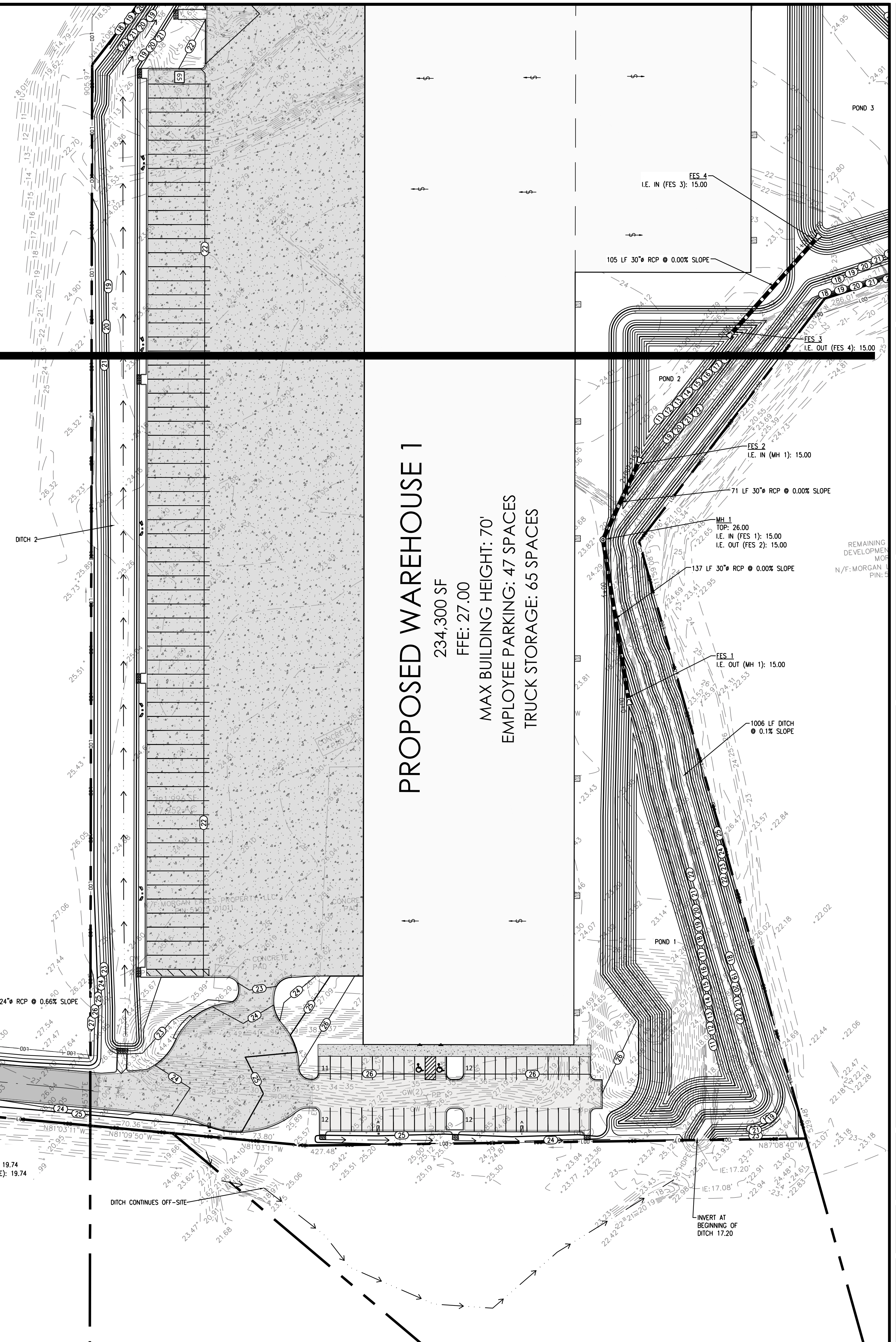


LOT 8
MORGAN LAKES INDUSTRIAL PARK
N/F: EXETER 350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE: SHEET C5.2



PROPOSED WAREHOUSE 1
234,300 SF
FFE: 27.00
MAX BUILDING HEIGHT: 70'
EMPLOYEE PARKING: 47 SPACES
TRUCK STORAGE: 65 SPACES

COLEMAN COMPANY
ENGINEERS • SURVEYORS
Savannah, Georgia | (912) 806-3841 | CCI@SAV.COM

NOT FOR CONSTRUCTION

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE143875
PATRICK J. WARNER

REVISIONS:

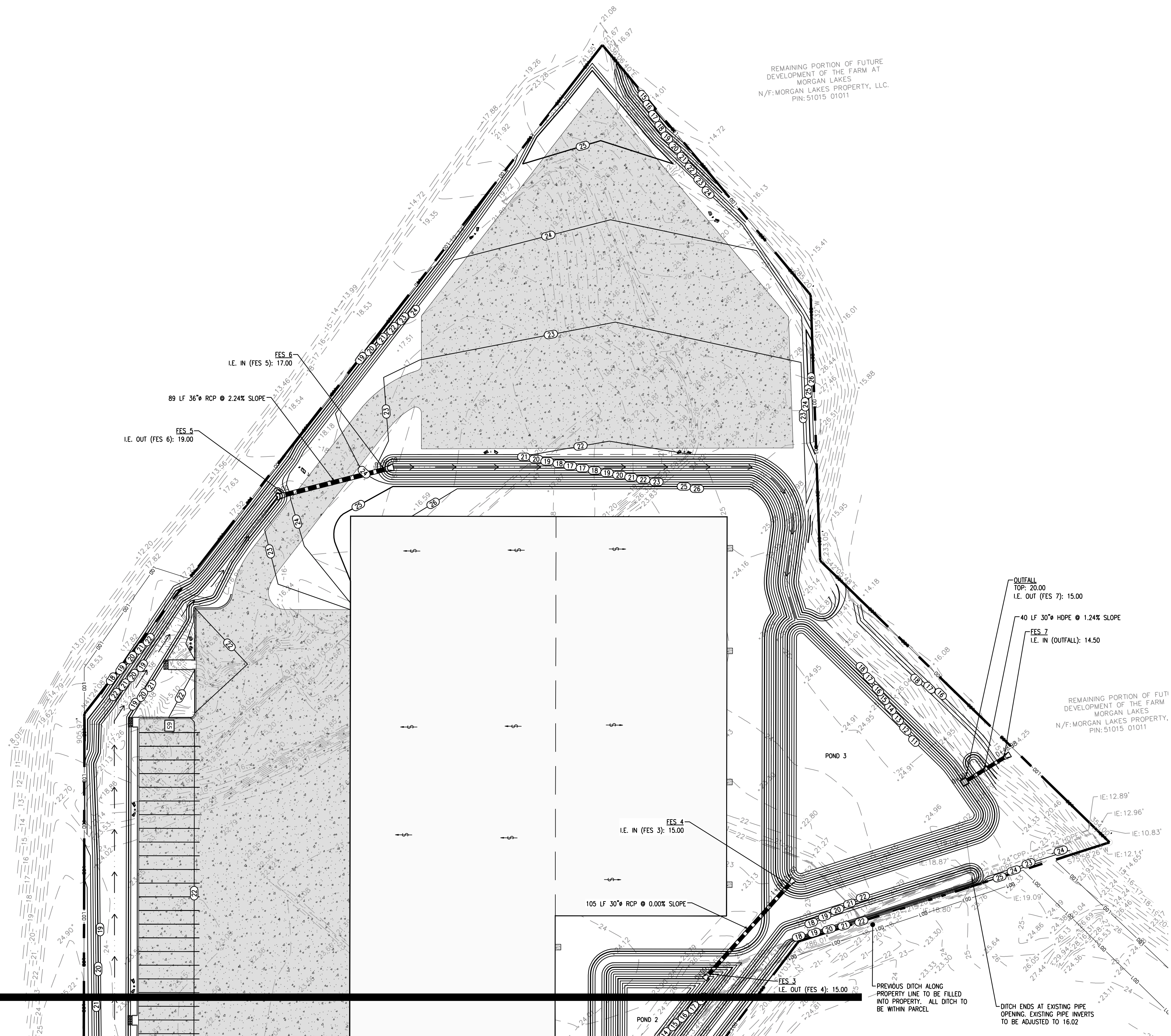
CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: P/JW
SCALE: AS NOTED

DRAINAGE PLAN

SHEET:
C5.1

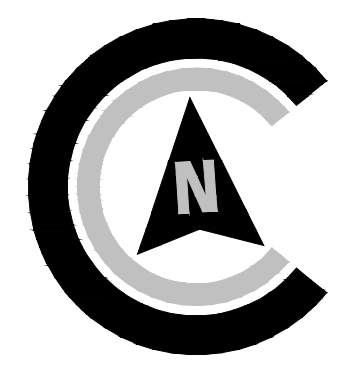
POND & SWALE DATA:			
DETENTION POND 1 TOB: 22.00' NWL: 19.00' WDL: 15.00' WO VOLUME: 54,020 CF 1-YR: 18.95' - 27,523 CF 5-YR: 19.05' - 59,173 CF 10-YR: 19.07' - 76,336 CF 25-YR: 19.10' - 82,529 CF 100-YR: 19.38' - 102,143 CF	DETENTION POND 2 TOB: 22.00' NWL: 19.00' WDL: 15.00' WO VOLUME: 72,980 CF 1-YR: 18.95' - 24,779 CF 5-YR: 19.05' - 27,848 CF 10-YR: 19.06' - 28,577 CF 25-YR: 19.15' - 29,861 CF 100-YR: 19.34' - 32,151 CF	DETENTION POND 3 TOB: 22.00' NWL: 19.00' WDL: 15.00' WO VOLUME: 72,980 CF 1-YR: 18.95' - 10,317 CF 5-YR: 19.14' - 10,317 CF 10-YR: 19.20' - 10,317 CF 25-YR: 19.26' - 10,317 CF 100-YR: 19.33' - 16,807 CF	DITCH 2 TOB: 21.14' 1-YR: 20.32' - 15,431 CF 5-YR: 20.74' - 15,736 CF 10-YR: 20.83' - 15,736 CF 25-YR: 21.04' - 15,837 CF 100-YR: 21.41' - 16,040 CF



REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011



SCALE: 1"=50'



Know what's below. Call before you dig.

MATCHLINE: SHEET C5.1

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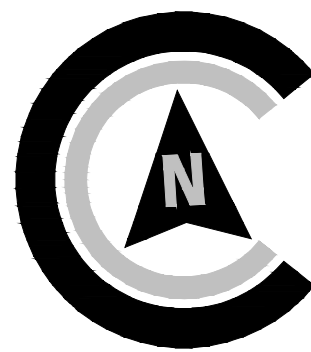
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

DRAINAGE PLAN

SHEET:
C5.2



SCALE: 1"=50'
0' 25' 50' 100'



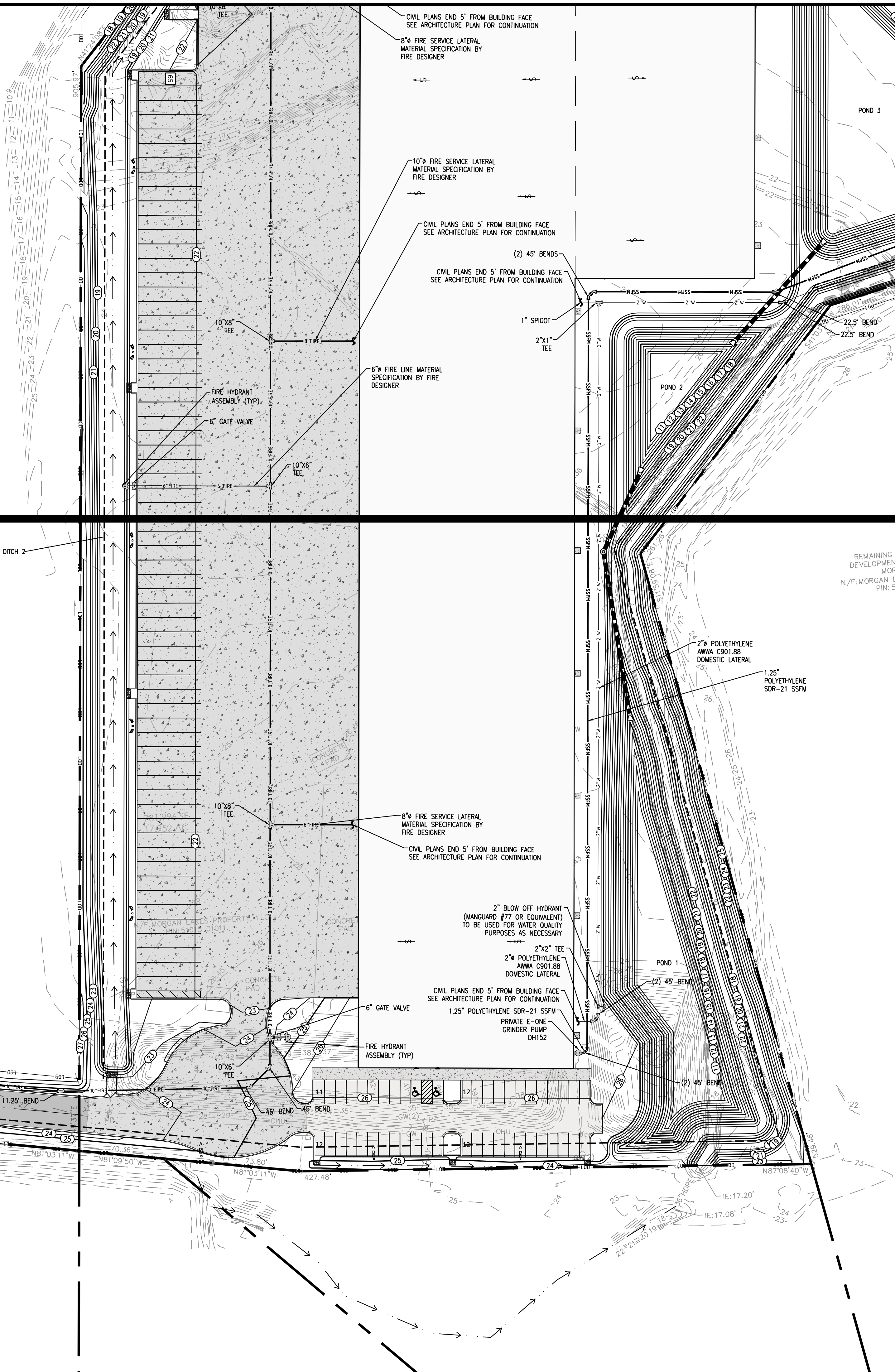
Know what's below.
Call before you dig.

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE: SHEET C6.1

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

LOT 8
MORGAN LAKES INDUSTRIAL PARK
N/F: EXETER 350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080



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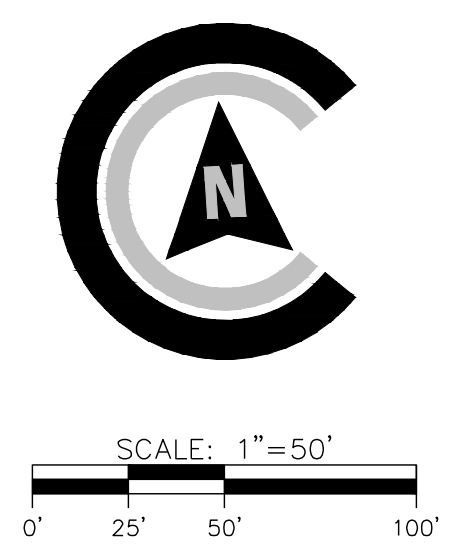
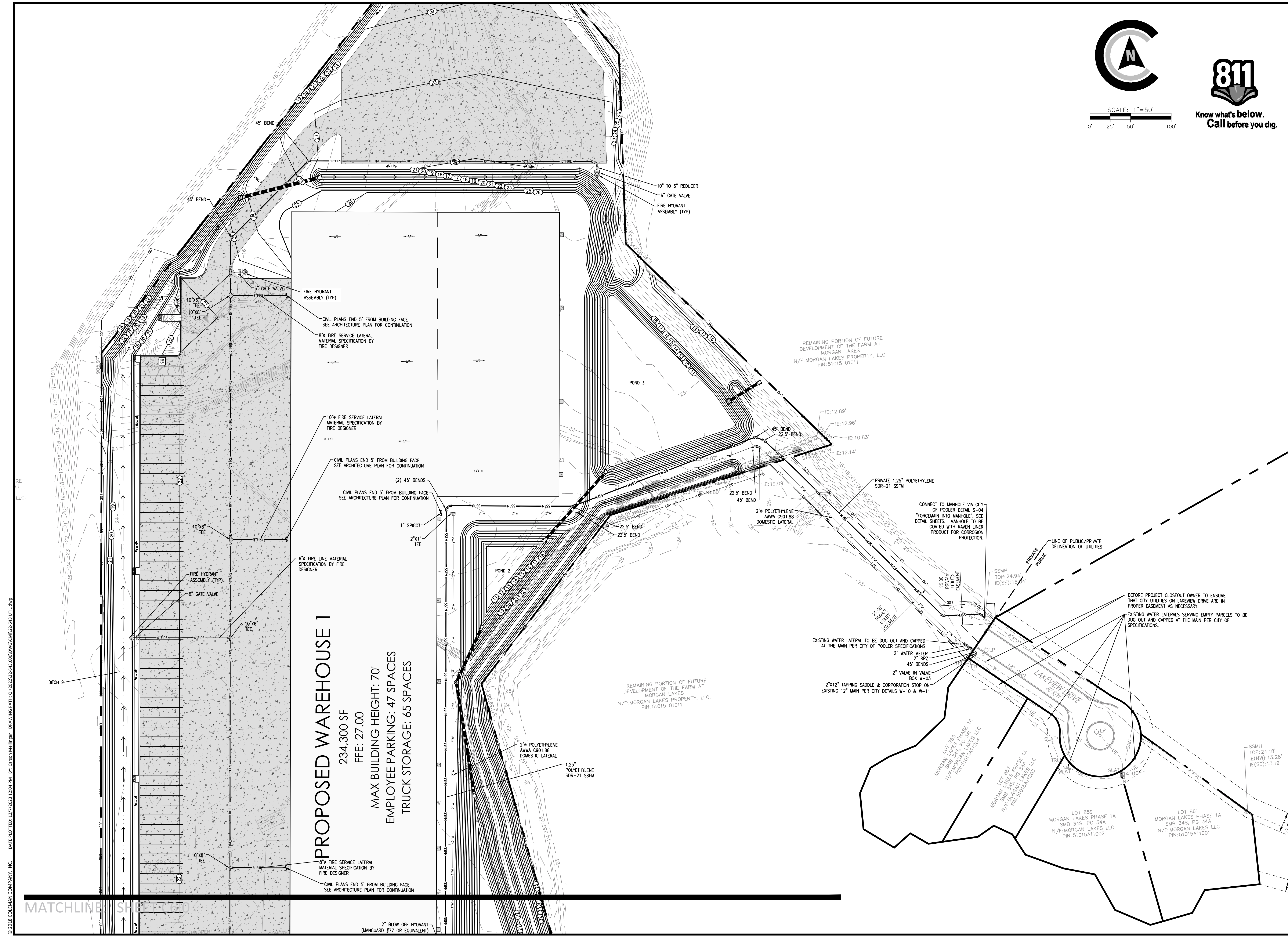
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 12/07/23
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

UTILITY PLAN

SHEET:
C6.0



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER:	22-643
DATE:	12/07/23
DRAWN BY:	CLM
CHECKED BY:	PJW
SCALE:	AS NOTED

UTILITY PLAN

SHEET:
C6.1

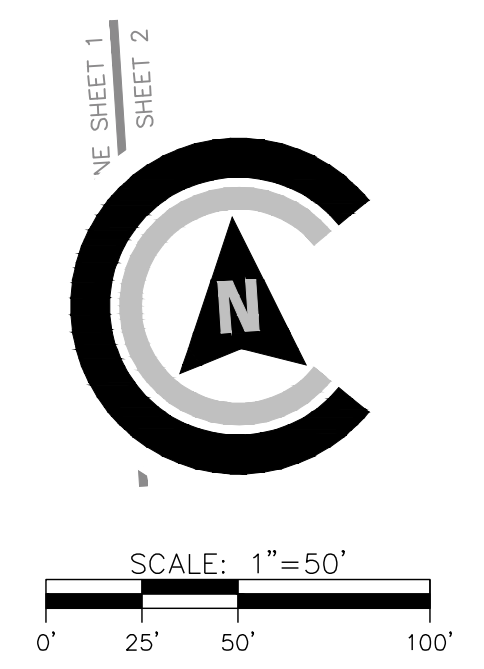
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MATCHLINE SHEET

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LANDSCAPE ARCHITECT'S NOTE
PER CITY OF POOLER SEC. 42-198 - SIGNIFICANT TREES. THIS IS TO CERTIFY THAT THERE ARE NO EXISTING TREES ON-SITE.



MATCHLINE: SHEET C1.1

NOT FOR CONSTRUCTION



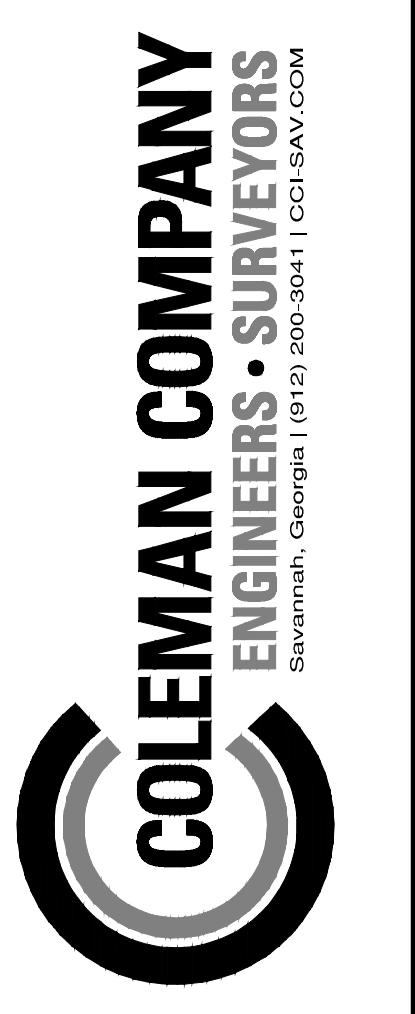
REVISIONS:

LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

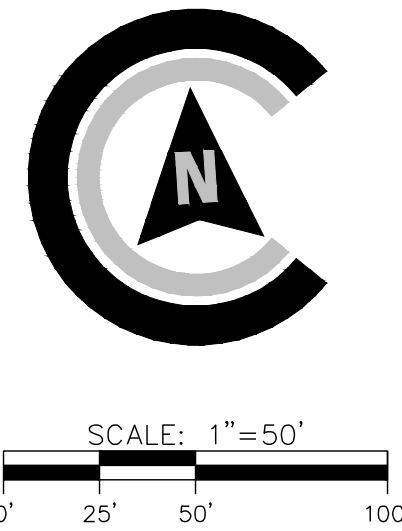
JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: SMA
SCALE: AS NOTED

EXISTING PLAN

SHEET:
L1.0



MATCHLINE: SHEET C1.0



LOT 8
MORGAN LAKES INDUSTRIAL PARK
XETER 350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

MATCHLINE: SHEET C1.2

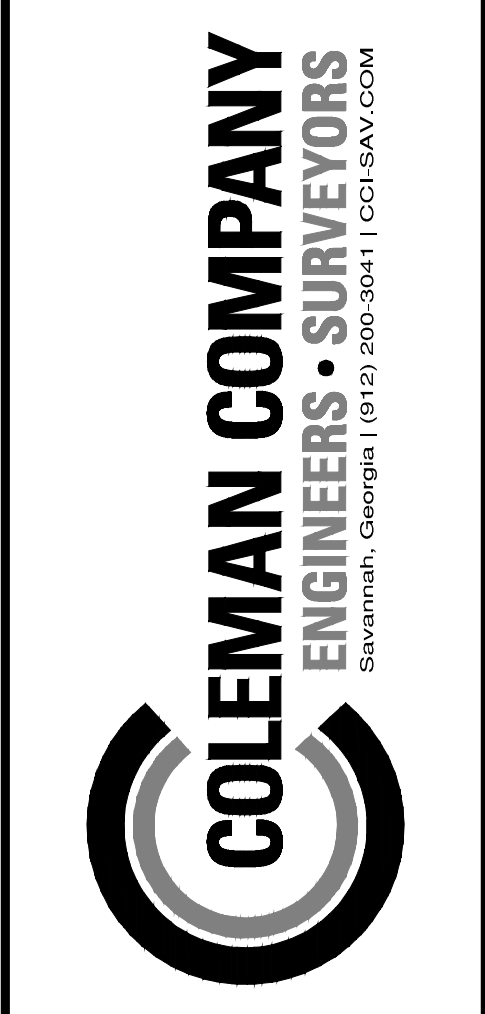
REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

MATCHLINE SHEET 4
MATCHLINE SHEET 2

MATCHLINE SHEET 2
MATCHLINE SHEET 3

REMAINING
DEVELOPMENT
MOR
N/F: MORGAN L
PIN: 5

LANDSCAPE ARCHITECT'S NOTE
PER CITY OF POOLER SEC. 42-198 - SIGNIFICANT TREES THIS IS
TO CERTIFY THAT THERE ARE NO EXISTING TREES ON-SITE.



NOT FOR CONSTRUCTION

REVISIONS:

LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: CCH
SCALE: AS NOTED

EXISTING
PLAN

SHEET:
L1.1

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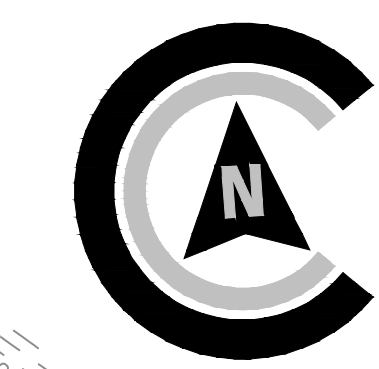
REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

MATCHLINE SHEET 4
MATCHLINE INSET 3

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

LANDSCAPE ARCHITECT'S NOTE
PER CITY OF POOLER SEC. 42-198. - SIGNIFICANT TREES, THIS IS TO CERTIFY THAT THERE ARE NO EXISTING TREES ON-SITE.

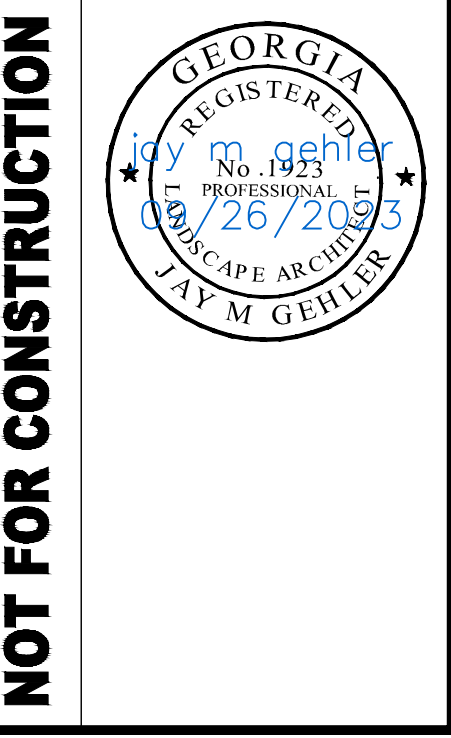
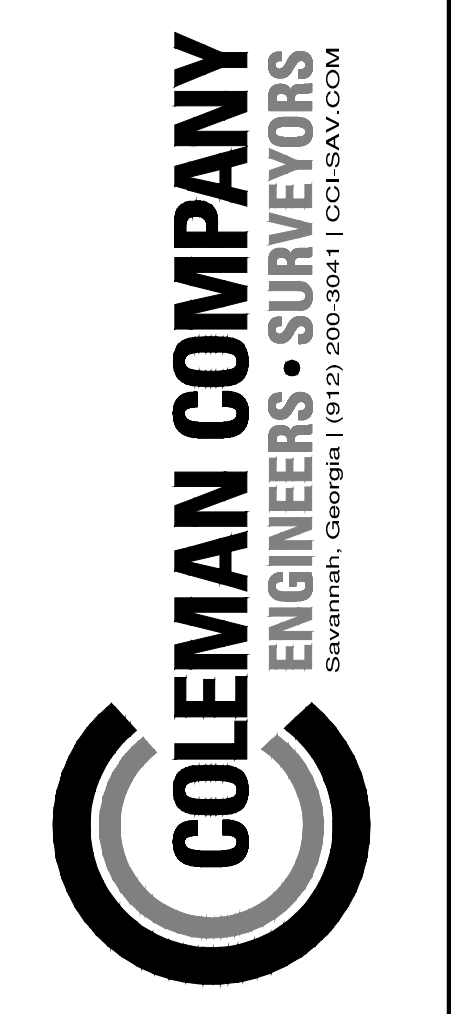
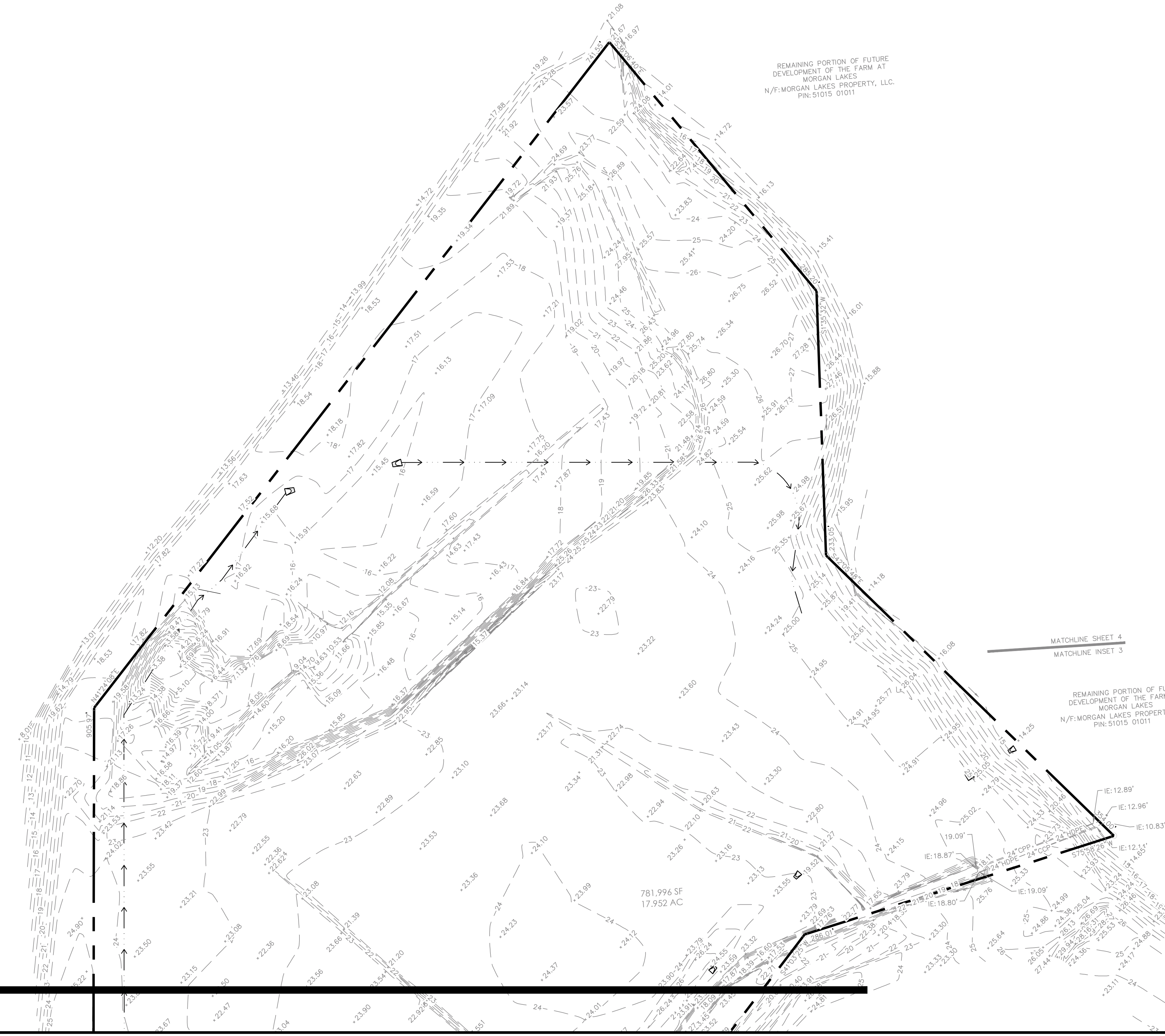


SCALE: 1"=50'
0' 25' 50' 100'



Know what's below.
Call before you dig.

MATCHLINE: SHEET C1.1



NOT FOR CONSTRUCTION

REVISIONS:

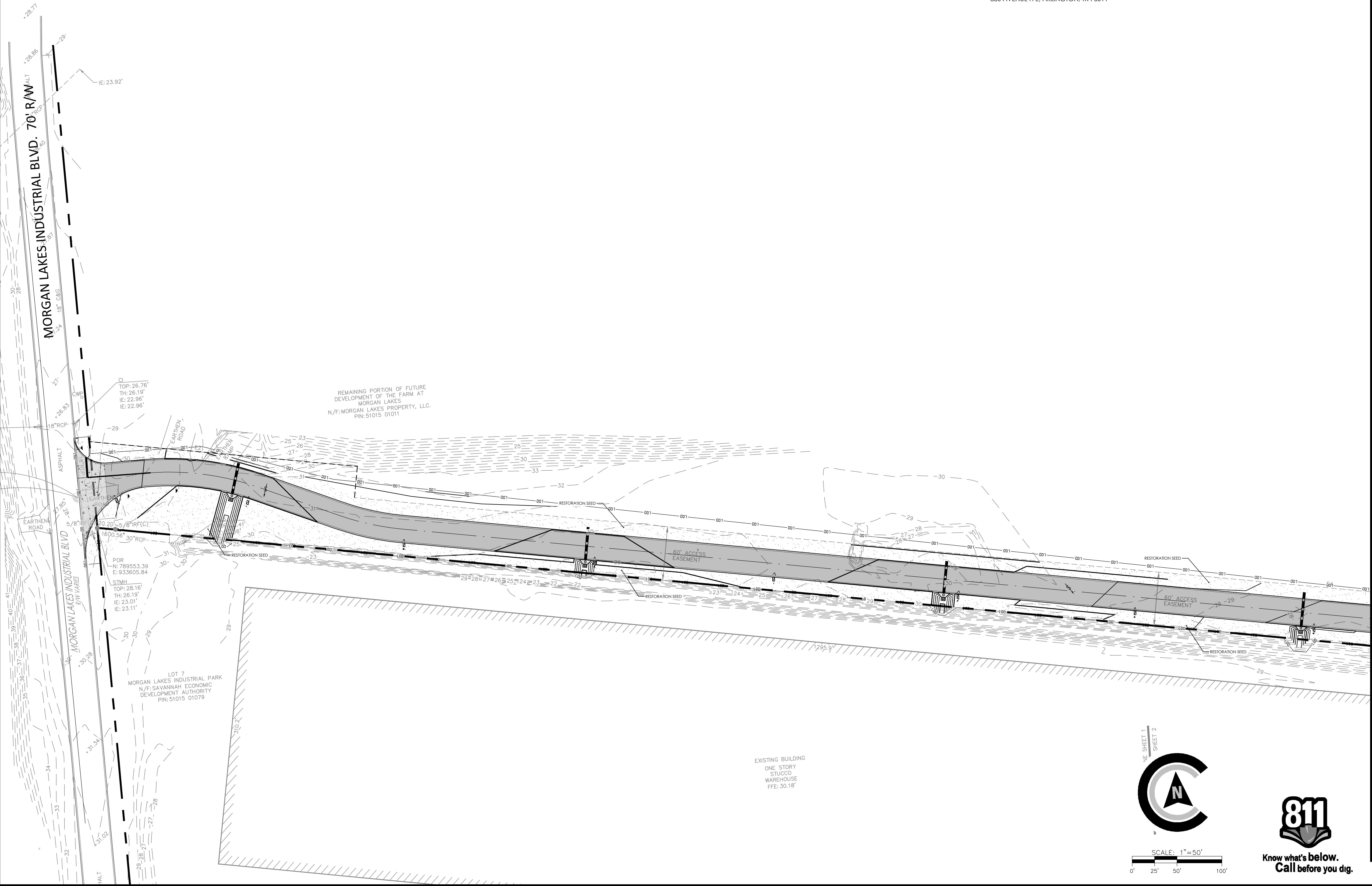
LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: SMA
SCALE: AS NOTED

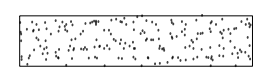
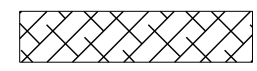
EXISTING PLAN

SHEET:
L1.2

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SITE RESTORATION NOTES

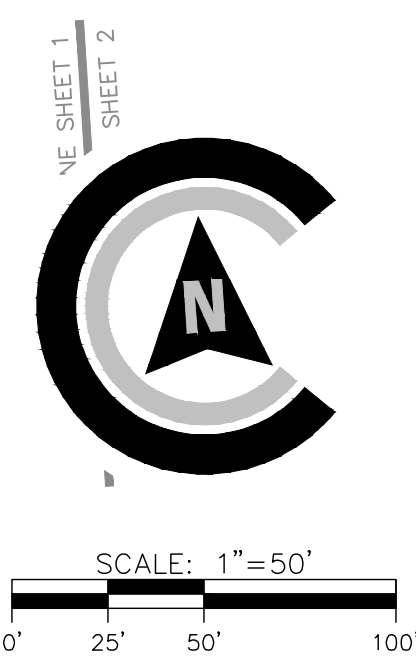
<p> RESTORATION SEED 150,000 SF</p> <p> INFILTRATION BASIN SEED/EROSION MAT 210,000 SF</p> <p>210,000 SF PERENNIAL RYEGRASS</p> <p>210,000 SF EROSION CONTROL MAT</p>	<p>SOUTHEAST CONTRACTOR SEED MIX</p> <p>INFILTRATION SWALE SEED MIX</p> <p>PERENNIAL RYEGRASS</p> <p>EROSION CONTROL MAT</p>	<p>HANCOCK SEED COMPANY OR EQUIVALENT 18724 HANCOCK FARM ROAD, DADE CITY, FL 33523</p> <p>AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536</p> <p>AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536</p> <p>AEC PREMIER STRAW MAT OR EQUIVALENT 850 AVENUE H E, ARLINGTON, TX 76011</p>	<p>SEASON PERMITTING; APPLY @ 150 LB PLS/ACRE APPLY BY HYDROSEED W/TACKIFIER OR EQUIVALENT</p> <p>SEASON PERMITTING; APPLY @ 10 LB/ACRE WWW.AGRECOL.COM</p> <p>SEASON PERMITTING; APPLY AT 50 LB/ACRE WWW.AGRECOL.COM</p>
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REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

POR
N: 789553.39
E: 933005.84
STMH
TOP: 28.16'
TH: 26.19'
IE: 23.01'
IE: 23.11'

LOT 7
MORGAN LAKES INDUSTRIAL PARK
N/F: SAVANNAH ECONOMIC DEVELOPMENT AUTHORITY
PIN: 51015 01079

EXISTING BUILDING
ONE STORY
STUCCO
WAREHOUSE
FFE: 30.18'



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REVISIONS:

LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

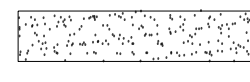
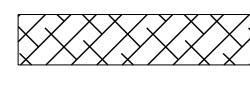
JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: SMA
SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L2.0

MATCHLINE: SHEET C2.1

SITE RESTORATION NOTES

	RESTORATION SEED 150,000 SF	SOUTHEAST CONTRACTOR SEED MIX	HANCOCK SEED COMPANY OR EQUIVALENT 18724 HANCOCK FARM ROAD, DADE CITY, FL 33523	SEASON PERMITTING: APPLY @ 150 LB PLS/ACRE APPLY BY HYDROSEED W/TACKIFIER OR EQUIVALENT
	INfiltration BASIN SEED/EROSION MAT			
	210,000 SF	INFILTRATION SWALE SEED MIX	AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536	SEASON PERMITTING: APPLY @ 10 LB/ACRE WWW.AGRECOL.COM
	210,000 SF	PERENNIAL RYEGRASS	AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536	SEASON PERMITTING: APPLY AT 50 LB/ACRE WWW.AGRECOL.COM
	210,000 SF	EROSION CONTROL MAT	AEC PREMIER STRAW MAT OR EQUIVALENT 850 AVENUE H E, ARLINGTON, TX 76011	

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

MATCHLINE: SHEET C2.2

MATCHLINE SHEET 4
MATCHLINE SHEET 2

REMAINING PORTION OF FUTURE DEVELOPMENT OF THE FARM AT MORGAN LAKES N/F: MORGAN LAKES PROPERTY, LLC. PIN: 51015 01011

LOT 8
MORGAN LAKES INDUSTRIAL PARK
350 MORGAN LAKES INDUSTRIAL, L.P.
PIN: 51015 01080

PROPOSED WAREHOUSE 1

234,300 SF

FFE: 27.00

MAX BUILDING HEIGHT: 70'

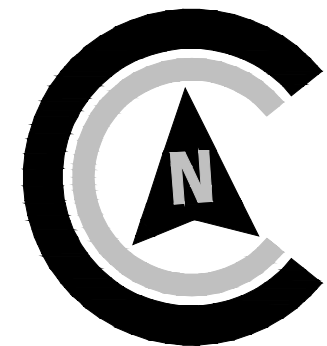
EMPLOYEE PARKING: 47 SPACES

TRUCK STORAGE: 65 SPACES

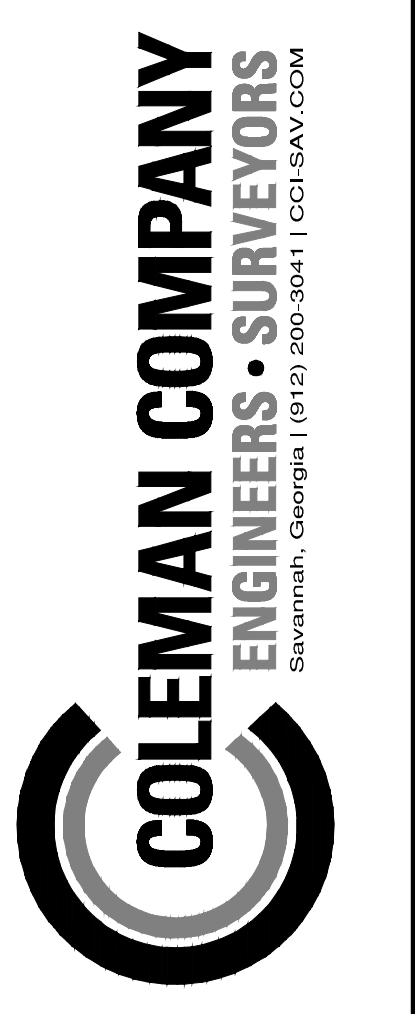
REMAINING DEVELOPMENT MOR N/F: MORGAN L PIN: 5

MATCHLINE: SHEET C2.0

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SCALE: 1"=50'
0' 25' 50' 100'



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REVISIONS:


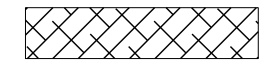
LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: SMA
SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L2.1

SITE RESTORATION NOTES

-  RESTORATION SEED
150,000 SF SOUTHEAST CONTRACTOR SEED MIX
-  INFILTRATION BASIN SEED/EROSION MAT
210,000 SF INFILTRATION SWALE SEED MIX
- 210,000 SF PERENNIAL RYEGRASS
- 210,000 SF EROSION CONTROL MAT

HANCOCK SEED COMPANY OR EQUIVALENT
18724 HANCOCK FARM ROAD, DADE CITY, FL 33523

AGRECOL, LLC OR EQUIVALENT
10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536

AGRECOL, LLC OR EQUIVALENT
10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536

AEC PREMIER STRAW MAT OR EQUIVALENT
850 AVENUE H E, ARLINGTON, TX 76011

SEASON PERMITTING; APPLY @ 150 LB PLS/ACRE
APPLY BY HYDROSEED W/TACKIFIER OR EQUIVALENT

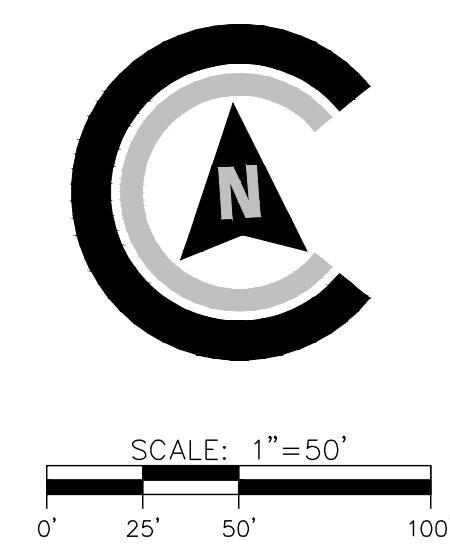
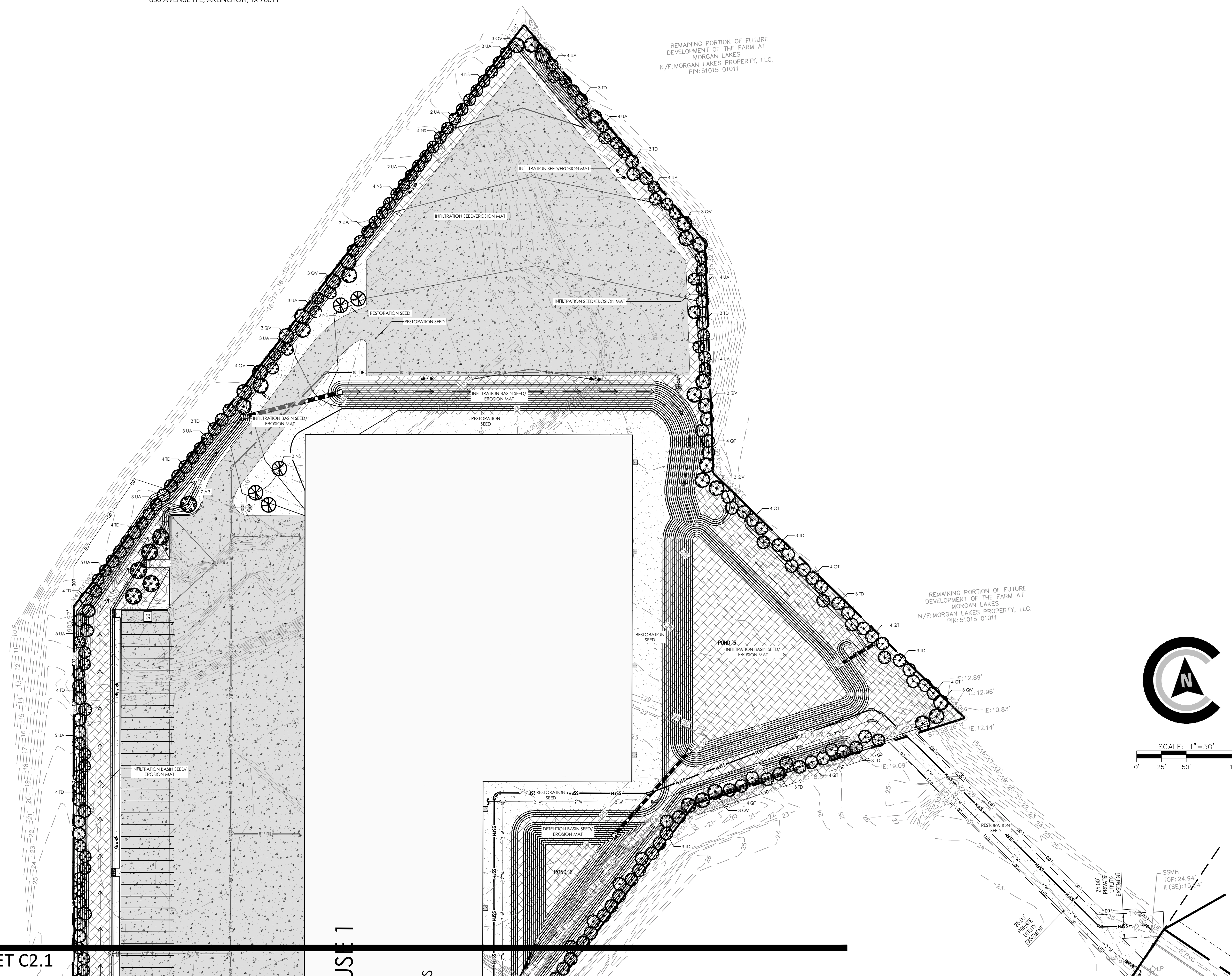
SEASON PERMITTING; APPLY @ 10 LB/ACRE
WWW.AGRECOL.COM

SEASON PERMITTING; APPLY AT 50 LB/ACRE
WWW.AGRECOL.COM

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011

REMAINING PORTION OF FUTURE
DEVELOPMENT OF THE FARM AT
MORGAN LAKES
N/F: MORGAN LAKES PROPERTY, LLC.
PIN: 51015 01011



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MATCHLINE: SHEET C2.1

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REVISIONS:

LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANEY CONSTRUCTION COMPANY

JOB NUMBER: 22-643
DATE: 2023.12.07
DRAWN BY: JMG
CHECKED BY: SMA
SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L2.2

SITE RESTORATION NOTES

RESTORATION SEED 160,000 SF	SOUTHEAST CONTRACTOR SEED MIX	HANCOCK SEED COMPANY OR EQUIVALENT 18724 HANCOCK FARM ROAD, DADE CITY, FL 33523	SEASON PERMITTING: APPLY @ 150 LB/ACRE APPLY BY HYDROSEED W/TACKIFIER OR EQUIVALENT
DETENTION BASIN SEED/EROSION MAT 203,000 SF	INFILTRATION SWALE SEED MIX	AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536	SEASON PERMITTING: APPLY @ 6 LB/ACRE WWW.AGRECOL.COM
203,000 SF	ANNUAL RYEGRASS	AGRECOL, LLC OR EQUIVALENT 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536	SEASON PERMITTING: APPLY AT 50 LB/ACRE WWW.AGRECOL.COM
104,000 SF	EROSION CONTROL MAT	AEC PREMIER STRAW MAT OR EQUIVALENT 850 AVENUE H E, ARLINGTON, TX 76011	

CITY OF POOLER SEC. 42-197(q) MINIMAL TREE COVERAGE

CRITERIA (b) Multi-family, commercial and industrial requirement—The minimum allowable post development tree coverage for all development sites shall be 15 existing healthy large species trees (excluding pine trees and Sweet Gums), a minimum of six-inch diameter at breast height (dbh) and larger per acre of developable land (excluding buffers and wetlands). Tree species must be on the approved preferred species list. Each tree with a diameter of 24 inches dbh or larger (Live Oak with a dbh of 18 inches or larger) must be designated on the landscape plan and may count as three trees towards meeting the minimum allowable coverage. Each tree with a diameter of 40 inches dbh or larger must also be designated on the landscape plan and may count as five trees towards meeting the minimum allowable coverage.

REQUIREMENT 22.24 ACRES * 15 TREES/ACRE - 334 TREES REQUIRED

SYMBOL	QUANTITY	PLANT NAME	BOTANICAL NAME	CONDITION
AR	13	RED MAPLE	ACER RUBRUM	2' BB
NS	35	TUPELO	NYSSA SYLVATICA	2' BB
QT	42	NUTTALL OAK	QUERCUS TEXANA	2' BB
QV	30	LIVE OAK	QUERCUS VIRGINIANA	2' BB
TD	99	BALDCYPRESS	TAXODIUM DISTICHUM	2' BB
UA	98	AMERICAN ELM 'PRINCETON'	ULMUS AMERICANA 'PRINCETON'	2' BB
TOTAL	337			

PLANTED TREES SHALL BE: HARDWOOD TREES NO LESS THAN TWO-INCH DBH AND A MINIMUM HEIGHT REQUIREMENT OF EIGHT FEET. THE TREES TO BE PLANTED MUST BE PREFERRED HARDWOODS THAT CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTED OR RELOCATED TREES SHOULD BE APPROPRIATELY PLACED SO AS TO ENHANCE THE OVERALL LANDSCAPING OF THE SITE. ALL TREES PLANTED OR RELOCATED ON THE SITE MUST BE PROTECTED AND NURTURED UNTIL FINAL INSPECTION AND APPROVAL OF IMPROVEMENTS BY THE CITY BUILDING OFFICIAL. POOLER, GEORGIA, CODE OF ORDINANCES >> PART II - CODE OF ORDINANCES >> CHAPTER 42 - ENVIRONMENT >> ARTICLE VI. TREE PROTECTION >> SEC. 42-199. REPLACEMENT.

PREFERRED TREE LIST FOR MULTI-FAMILY, COMMERCIAL AND INDUSTRIAL REQUIREMENT:

LARGE SPECIES: AMERICAN BEECH, AMERICAN ELM HYBRIDS, AMERICAN SYCAMORE, GREEN ASH, WHITE ASH, BALD CYPRESS, POND CYPRESS, GINKGO (MALE), HICKORY SPECIES, SOUTHERN MAGNOLIA, LIVE OAK, NUTTALL OAK, OVERCUP OAK, SHUMARD OAK, WHITE OAK, WILLOW OAK, SOUTHERN RED OAK, AND YELLOW POPLAR.

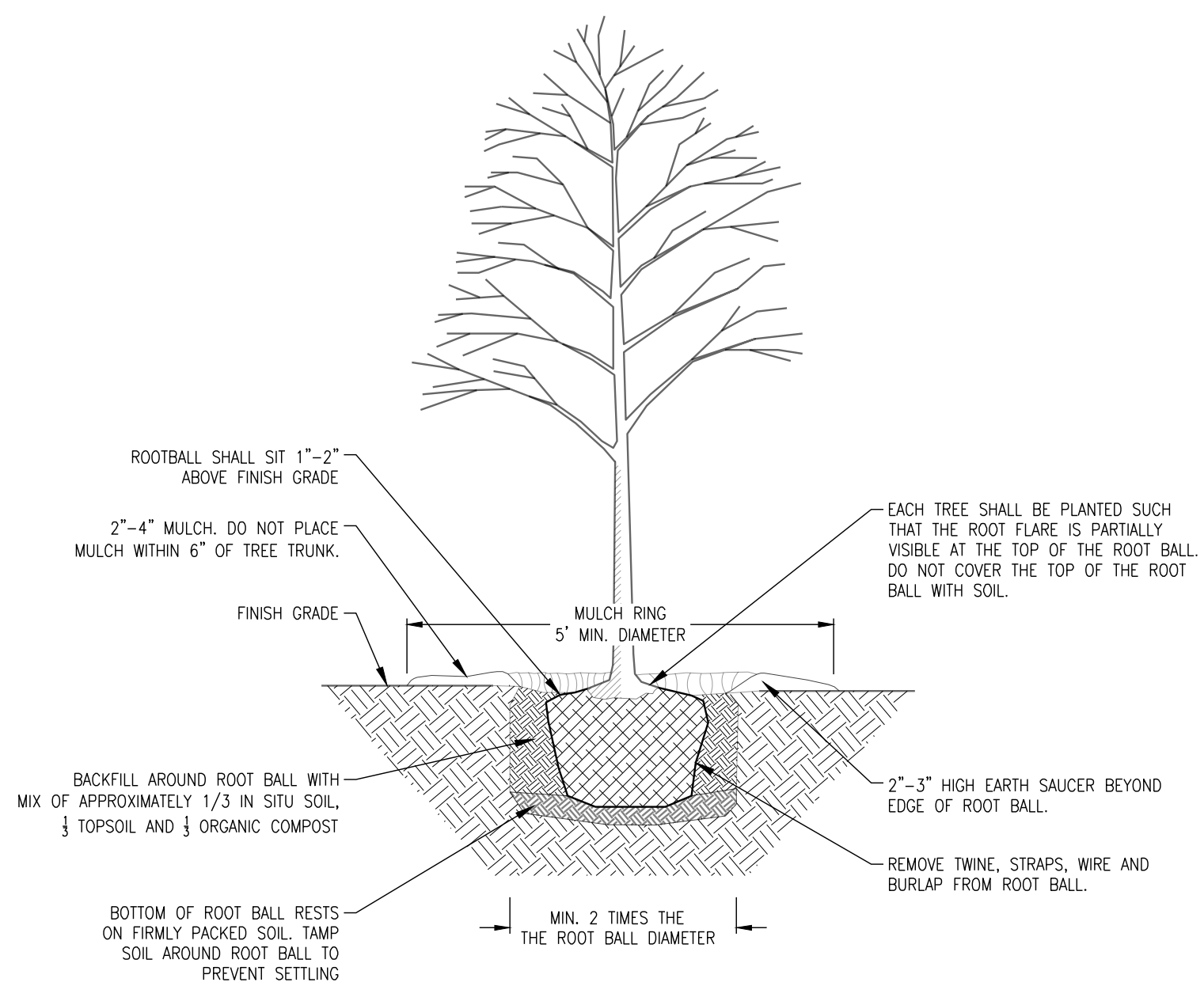
MEDIUM SPECIES: AMERICAN HOLLY, RED MAPLE, FLORIDA MAPLE, TRIDENT MAPLE, EASTERN RED CEDAR

SMALL SPECIES: EASTERN REDBUD, ATTENUATA HYBRIDS HOLLY, YAUPON HOLLY, SWEETBAY, MAGNOLIA, FRINGE TREE

NO MORE THAN 30% OF SMALL SPECIES CAN BE USED FOR TREE REPLACEMENT, MINIMUM 500 SF OF PLANTING AREA PER TREE

NO MORE THAN 30% OF REPLACEMENT TREES SHALL BE ONE SPECIES

NOTE: CHANGING SPECIES OF TREES MUST BE APPROVED BY THE CITY OF POOLER PRIOR TO INSTALLATION



NOTE:

- TREES SHALL BE PRUNED IMMEDIATELY AFTER PLANTING TO REMOVE DEAD, BROKEN, DISEASED, DYING OR CROSSING BRANCHES. CO-DOMINANT STEMS LESS THAN 4" IN DIAMETER AT THE FORK SHALL BE PRUNED OFF AND ONE MAIN STEM REMAIN. TREE TOPPING OR HEADING IS NOT PERMITTED AT ANY TIME.
- STAKING IS NOT REQUIRED, BUT IF INSTALLED IT SHALL BE REMOVED NO LATER THAN SIX MONTHS AFTER PLANTING.

TREE PLANTING DETAIL

NOT TO SCALE

PLANTING NOTES

GENERAL:

- CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL OTHER SITE IMPROVEMENTS PRIOR TO STARTING LANDSCAPE WORK AND SHALL PROMPTLY REPORT ANY DISCREPANCIES.
- CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY EXISTING UTILITIES. IF ANY ARE ENCOUNTERED, CONTRACTOR IS TO PROMPTLY ADVISE THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND OWNER.
- GENERAL SITE CONTRACTOR SHALL PROVIDE SUBGRADE TO WITHIN 1/4" OF FINISH GRADE.
- ALL PLANTING SHALL ADHERE TO THE STANDARDS AS SPECIFIED IN CITY OF POOLER ORDINANCE.

PLANT QUALITY:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TREES, SHRUBS, GROUND COVER, VINES AND SOD AS SHOWN ON LANDSCAPE PLAN. ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS PUBLISHED BY: THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION d/b/a AMERICAN HORT.
- ALL PLANT MATERIAL SHALL HAVE A ONE-YEAR WARRANTY UPON ACCEPTANCE BY THE OWNER.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE A NORMAL WELL DEVELOPED BRANCHING STRUCTURE AND A VIGOROUS FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM INSECTS AND DISEASE. TREE TRUNKS NOT LOWER THAN FOUR FEET ABOVE THE GROUND, DEPENDENT ON THE SPECIES. TRUNKS AND STEMS SHALL BE FIRM WITH NO INDICATION OF FUNGAL CANKERS, GALLS, INSECT BORERS, DIE BACK, FROST CRACKS, SUN SCALD, OR OTHER DEFECTS THAT WOULD CAUSE THE TREE TO DECLINE OR BECOME STRUCTURALLY UNSOUND. TREES SHALL BE DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS SHALL BE COMMERCIAL GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF POOLER, GA.
- ALL PLANTS SHALL EQUAL OR EXCEED THE MINIMUM SIZE AS SHOWN IN THE PLANT LIST, AND ALL METHODS OF PLANT MEASUREMENT SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK".
- CALIPER OF MULTI-TRUNK TREES SHALL BE DETERMINED BY MEASURING THE LARGEST TRUNK ONLY.
- PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATIONS AND REQUIREMENTS. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK. ACCEPTANCE AT THE NURSERY, IN WHICH THE PLANT IS GROWING PRIOR TO TRANSPLANTING, DOES NOT PRECLUDE REJECTION AT THE SITE FOR JUST CAUSE.

ROOT SYSTEM:

- ALL TREE SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NO BARE ROOT TREES SHALL BE ACCEPTABLE.
- ALL SHRUBS SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NOR BARE ROOT SHRUBS SHALL BE ACCEPTABLE.
- THE MINIMUM SIZE OF BALLS, BALL DEPTHS, AND BALL DIAMETER SHALL CONFORM TO BALLING AND BURLAPPING SPECIFICATIONS AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL BALLED AND BURLAPPED PLANTS SHALL HAVE ALL OF THE BURLAP, WIRE BASKETS AND TYING TWINE REMOVED FROM THE BALL AFTER THE POSITION OF THE PLANT IS STABILIZED.

SEEDING AND SODDING:

- ALL EXTERIOR GROUND AREA NOT OCCUPIED BY BUILDINGS, STRUCTURES, PAVEMENT, PLANT MATERIAL, AND MULCH SHALL BE SEED OR SODDED IN AN ACCEPTABLE MANNER IN ACCORDANCE WITH LOCAL NURSERY STANDARDS. UNLESS OTHERWISE NOTED.
- ALL SEED SHALL BE PURCHASED FROM A REPUTABLE SUPPLIER AND SHALL BEAR THE CURRENT SEASON'S CERTIFICATES OF WEIGHT, PURITY AND GERMINATION.
- ALL SOD SHALL BE COMMERCIAL GROWN IN GEORGIA OR NEIGHBORING AREAS, STRONGLY ROOTED AND FREE FROM WEEDS.
- ALL SOD SHALL BE LAYED WITHIN 48 HOURS AFTER BEING CUT AT THE NURSERY.
- SOD SHALL BE LAYED OUT SO THAT NO VOIDS OCCUR AND IN SUCH A MANNER THAT THE END JOINTS BETWEEN INDIVIDUAL SOD PIECES OF ADJOINING ROW DO NOT COINCIDE. SOD SHALL BE LAID ON TOPSOIL AT THE REQUIRED FINISH GRADE AND SHALL BE FLUSH WITH ADJACENT PAVEMENT, CURBS, AND PLANTING BED EDGES.

TOPSOIL:

- CONTRACTOR SHALL PROVIDE A MINIMUM 3" DEPTH OF TOPSOIL IN ALL PLANTING AREAS.
- ALL TOPSOIL SHALL BE FREE FROM ROCKS, DEBRIS, NOXIOUS WEEDS, EXCESSIVE WEEDS, PLANT WASTE, SUBSOIL, HEAVY CLAY, ROOTS, STUMPS, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH
- TOPSOIL SHALL BE NATURAL, FERTILE, SANDY LOAM POSSESSING CHARACTERISTICS COMMON TO PRODUCTIVE SOILS IN THE SOUTHEASTERN COASTAL REGION, AND IT SHALL NOT CONTAIN ANY TOXIC SUBSTANCES.

PLANTING:

- GROUND COVER SHALL BE PLANTED AS SPECIFIED BELOW:
 - GROUND COVER SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLANT LIST.
 - WHERE GROUND COVER ABUTS CURBS, PAVEMENT, SIGNS AND POLES, MINIMUM PLANTING DISTANCE SHALL BE 12" FROM CENTER OF PLANT TO SAID OBJECT.
 - GROUND COVER SHALL BE PLANTED A MINIMUM OF 4" FROM CENTER OF ALL TREES.
- SHRUBS AND GRASSES SHALL BE PLANTED A MINIMUM OF 4" FROM CENTER OF ALL LARGE TREES.
- SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 36" FROM CURBS AT CAR PARKING AREAS TO ALLOW FOR OVERHANG, UNLESS WHEEL STOPS ARE PROVIDED.
- NO LARGE OR MEDIUM TREE SPECIES SHALL BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITY LINE OR UNDERNEATH ANY OVERHEAD POWER LINES. SMALL TREE SPECIES MUST MAINTAIN A MINIMUM FIVE (5) FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.
- TREES SHALL BE PLANTED AT PROPER DEPTH OR SHALL BE REJECTED AT TIME OF INSPECTION.
- STAKE TREES ONLY WHEN NECESSARY.

FERTILIZER:

- CONTRACTOR SHALL PERFORM A SOIL TEST ON ALL PROPOSED LANDSCAPE AREAS BEFORE INSTALLING ANY PROPOSED PLANT MATERIAL.
- IF A SOIL TEST DETERMINES THAT ADDITIONAL SOIL AMENDMENTS ARE REQUIRED, CONTRACTOR SHALL APPLY AN APPROPRIATE FERTILIZER IN CONFORMANCE WITH INSTRUCTIONS ON THE CONTAINER.

MULCH:

- ALL TREES AND SHRUBS SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 3" LAYER OF ACCEPTABLE MATERIAL.
- ALL GROUND COVER SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 1" LAYER OF ACCEPTABLE MATERIAL.
- ACCEPTABLE MULCHING MATERIAL INCLUDES PINE NEEDLES, SHREDDED BARK, AND WOOD CHIPS.

WATERING:

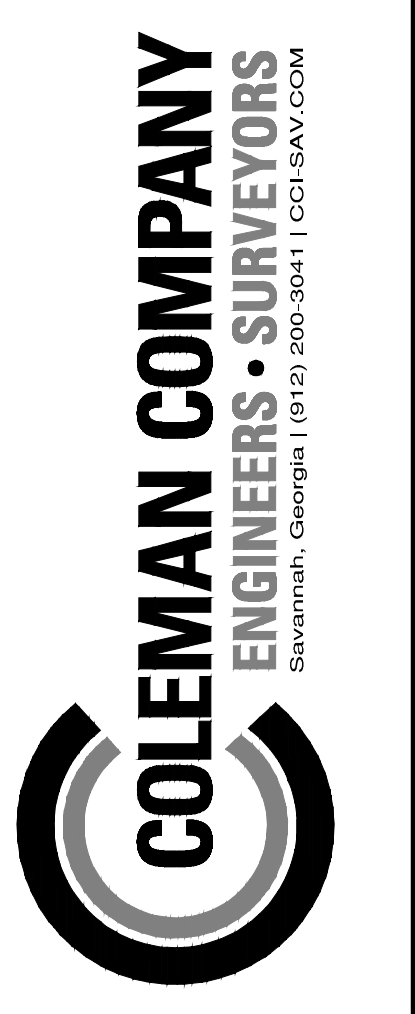
- ALL PLANTS INCLUDING TREES, SHRUBS, AND GROUND COVER SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.
- ALL SEEDED AND SODDED AREAS SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.

MAINTENANCE:

- CONTRACTOR SHALL INSPECT PLANTS ON A WEEKLY BASIS; MAINTAIN AND WATER ALL SODDED AREAS AND PLANT MATERIALS; AND WEED, PRUNE, AND RE-MULCH PLANTING BEDS AS NECESSARY MAINTAIN HEALTHY GROWING CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETE.
- OWNER IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL PLANT MATERIAL UPON COMPLETION OF LANDSCAPE INSTALLATION.
- GUYING AND STAKING SHALL BE REMOVED NO LATER THAN 6 MONTHS AFTER INSTALLATION.

PLANT ALTERATIONS AND SUBSTITUTIONS:

- ANY CHANGE TO PLANT QUANTITY, PLANT SPECIES, PLANT SIZE, OR PLANT LOCATION IS UNACCEPTABLE WITHOUT SPECIFIC APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.



REVISIONS:

LANDSCAPE PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
 PHASE 1
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR MAHANEY CONSTRUCTION COMPANY

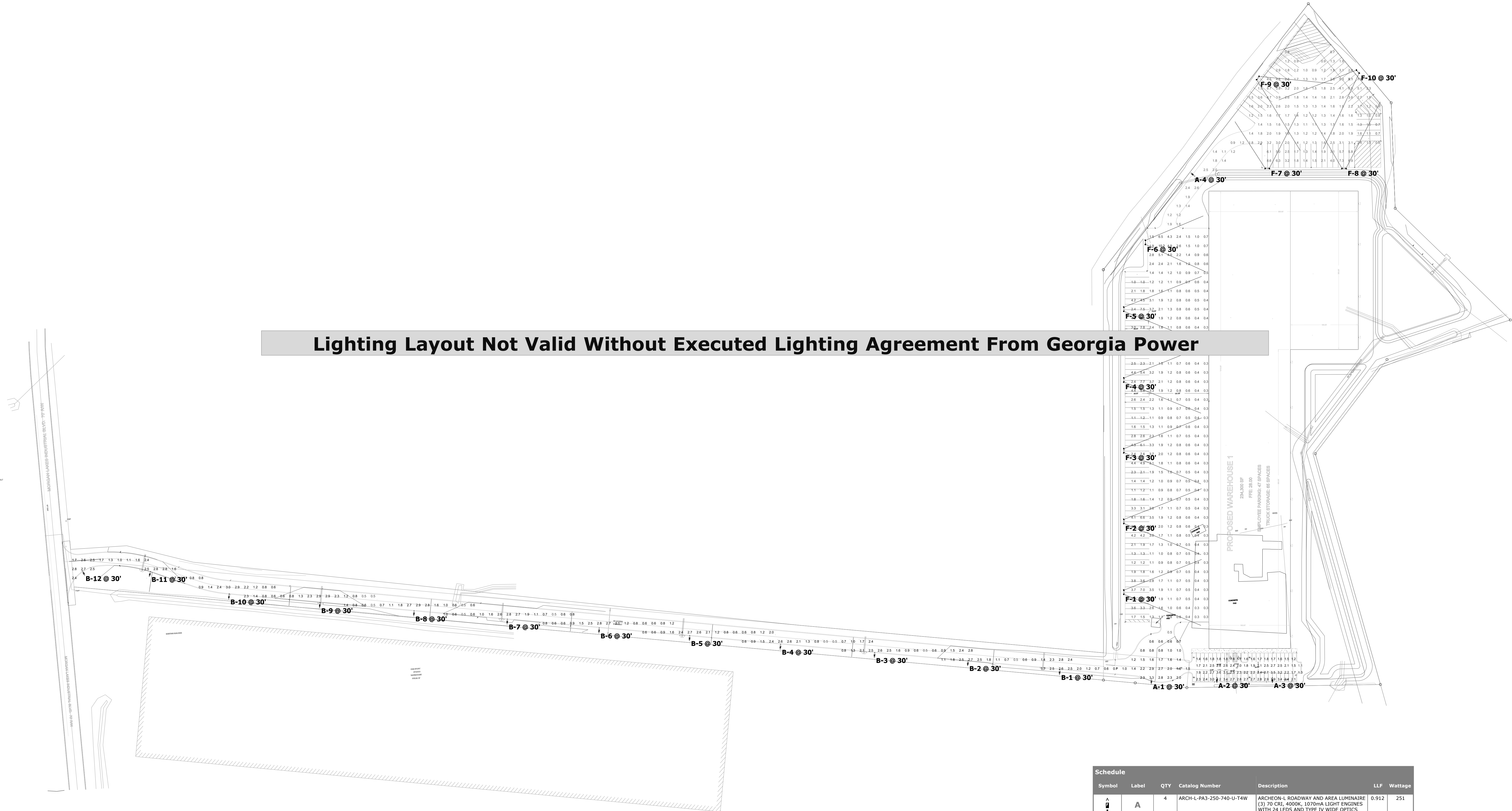
JOB NUMBER:	22-643
DATE:	2023.12.07
DRAWN BY:	JMG
CHECKED BY:	SMA
SCALE:	AS NOTED

LANDSCAPE
 DETAILS

SHEET:
L3.0



Know what's below.
 Call before you dig.



Lighting Layout Not Valid Without Executed Lighting Agreement From Georgia Power

Plan View
Scale - 1" = 100ft

Schedule						
Symbol	Label	QTY	Catalog Number	Description	LLF	Wattage
	A	4	ARCH-L-PA3-250-740-U-T4W	ARCHEON-L ROADWAY AND AREA LUMINAIRE (3) 70 CRI, 4000K, 1070mA LIGHT ENGINES WITH 24 LEADS AND TYPE IV WIDE OPTICS	0.912	251
	B	12	ARCH-L-PA3-180-740-U-T3	ARCHEON-L ROADWAY AND AREA LUMINAIRE (3) 70 CRI, 4000K, 775mA LIGHT ENGINES WITH 24 LEADS AND TYPE III OPTICS	0.912	181
	F	10	UFLD-L-CA4-370-740-U-66	UTILITY FLOOD LARGE, 6x6 OPTIC	0.912	732

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Employee Parking	+	2.3 fc	4.2 fc	1.1 fc	3.8:1	2.1:1
Entrance Road	+	1.5 fc	3.3 fc	0.5 fc	6.6:1	3.0:1
Long Truck Court	+	1.5 fc	10.2 fc	0.3 fc	34.0:1	5.0:1
Trailer Parking	+	2.2 fc	9.1 fc	0.7 fc	13.0:1	3.1:1

- Notes**
1. Readings are shown in units of maintained footcandles.
 2. Total Light Loss Factor (LLF) = .912 LLF for LED
 3. Test Plane = 0' Above grade
 4. Fixture Mounting Height = See Plan view.
 5. Fixture Spacing = See Plan view.
 6. This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
 7. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Disclaimer
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Frazier Photometrics is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Frazier Photometrics be held responsible for any loss resulting from any use of this lighting design.



December 6th, 2023

Patrick J. Warner, P.E.
Coleman Company
1480 Chatham Parkway, Suite 100
Savannah, GA 31405

Dear Mr. Warner,

I am pleased to provide you with a recommendation for Approval of the site development plans for Morgan Lakes Industrial Park, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	<i>Dec. 2023</i>
	GSWCC Approval of ES&PC Plans.....	<i>Dec. 2023</i>
	Stormwater Management Report.....	<i>Nov. 2023</i>
	Engineering Report – Water System.....	<i>Nov. 2023</i>
	Engineering Report – Fire Sprinkler System.....	<i>Nov. 2023</i>
	Stormwater Maintenance Agreement.....	<i>Oct. 2023</i>
	Technical Traffic Memorandum.....	<i>Oct. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.





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Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for American Pet Resort at 900 Clear Lake Way

Project:	#230167
P&Z Meeting Date:	December 11, 2023
City Council Meeting Date:	December 18, 2023
Applicant and Authorized Agent:	Haines, Gipson & Associates (Engineer)
Location (Address):	900 Clear Lake Way
Parcel (PIN):	51011F 01004A
Acreage:	2.194 total – 2.19 disturbed
Zoning:	C-2 (Heavy Commercial)
Proposed Use:	Pet boarding facility with associated grooming and veterinary care services
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommend <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #230617 - 900 Clear Lake Way

12/07/2023

Parcels





TENANT	BLDG. AREA (S.F.)	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED			SITE AREA
			STANDARD	HC	TOTAL	
PET PARADISE	13,066	30	35	2	37	2.19 ACRES

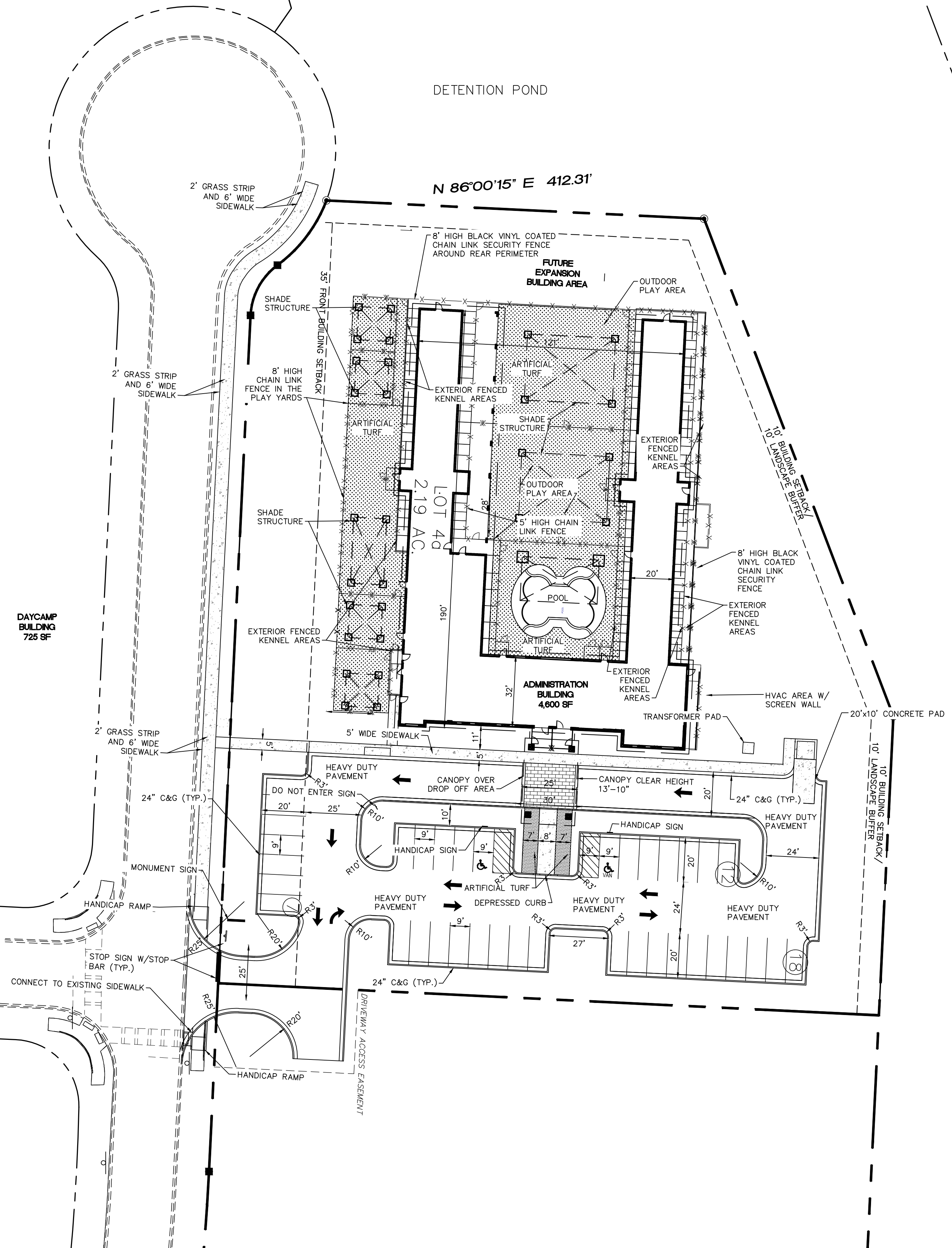
- SITE PLAN NOTES:**
1. ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB, EDGE OF ASPHALT, AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED. ALL RADII DIMENSION ADJACENT TO PARKING SPACES ARE 3' UNLESS OTHERWISE NOTED.
 2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DWGS. FOR STRUCTURE COMPLIANCE.
 3. UNLESS OTHERWISE NOTED, ALL PAVEMENT IS TO BE STANDARD DUTY ASPHALT.
 4. TYPICAL PAVEMENT SECTION FOR THE NEW PAVEMENTS ARE INCLUDED IN THE CONSTRUCTION DETAIL SHEETS.
 5. ALL CONSTRUCTION TO CONFORM TO CITY OF POOLER STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
 6. ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

- SITE PLAN NOTES:**
1. ALL DIMENSIONS AND RADII ARE TO/FROM THE FACE OF CURB, EDGE OF ASPHALT, AND/OR THE OUTSIDE FACE OF THE BUILDING WALL UNLESS OTHERWISE STATED. ALL RADII DIMENSIONS ADJACENT TO PARKING SPACES ARE 3' UNLESS OTHERWISE NOTED.
 2. ALL NEW CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (A.D.A.). SEE ARCHITECTURAL DRAWINGS FOR STRUCTURE COMPLIANCE.
 3. UNLESS OTHERWISE NOTED, ALL PAVEMENT IS TO BE STANDARD DUTY ASPHALT.
 4. TYPICAL PAVEMENT SECTIONS FOR THE NEW PAVEMENTS ARE INCLUDED IN THE CONSTRUCTION DETAIL SHEETS.
 5. ALL CONSTRUCTION TO CONFORM TO ALL RELEVANT JURISDICTIONAL AUTHORITIES STANDARDS AND SPECIFICATIONS WHETHER OR NOT REVIEW COMMENTS WERE MADE.
 6. SITE IS ZONED C2 (GENERAL BUSINESS.)
 7. ALL PAVEMENT MARKINGS, STRIPING, AND SIGNAGE SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION, THE STATE D.O.T., AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 8. SIDEWALKS ARE NOT ALLOWED WITHIN 13 FEET FROM THE EDGE OF THE ROADWAY WITHOUT CURB AND GUTTER AND ANY NECESSARY DRAINAGE STRUCTURES.
 9. EXISTING STRUCTURES ARE LOCATED ONSITE.

- THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS ON THE SITE
- THERMOPLASTIC PAVEMENT MARKINGS REQUIRED IN THE R.O.W.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS. ANY BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD NOT BE USED TO LAYOUT THE BUILDING OR ITS APPURTENANCES (STAIRS, DOORS, DOCKS ETC...)
- FRONT BUILDING SETBACK APPROVED VIA VARIANCE PIN# 5-1011F-01-004A

LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING CURB & GUTTER
- EXISTING BUILDING
- SETBACK/ L/S STRIP LINE
- PROPOSED CURB & GUTTER
- PROPERTY LINES
- PROPOSED CROSSWALK
- PROPOSED SIGNAGE
- PROPOSED SIGNAGE SYMBOLS
- PROPOSED HANDICAP RAMPS
- PROPOSED R.O.W. PAVING
- PROPOSED LIGHT DUTY ASPHALT
- 8' HIGH OPAQUE DECORATIVE SCREENING FENCE
- 8' HIGH WHITE VINYL FENCE
- 8' HIGH BLACK VINYL COATED CHAIN LINK FENCE

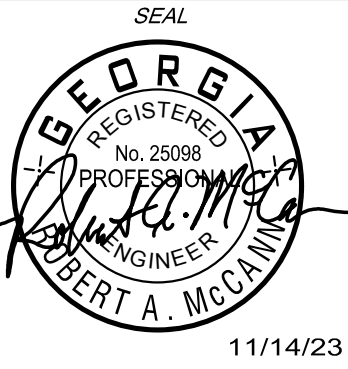
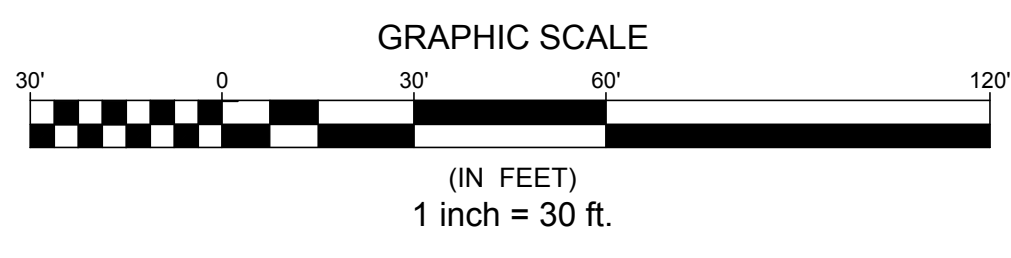


Know what's below.
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Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & WERE OBTAINED FROM OPERATIONS AT THE SITE AND/OR FROM THE UTILITY OWNERS, HAINES GIBSON & ASSOCIATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 48 HOURS (BUT NO MORE THAN 10 WORKING DAYS) BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. LOCATE SERVICES SHALL INCLUDE TRAFFIC SIGNAL AND FIBER OPTIC EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**SITE PLAN WITH
NEW BUILDING
FOOTPRINT**



PetParadise
5130 UNIVERSITY BOULEVARD WEST
JACKSONVILLE, FL 32216

PET PARADISE
CLEAR LAKE WAY
CLEAR LAKE RESERVE - LOT 4A
PARCEL No. 51011F01004A
POOLER, GEORGIA 31322

NO.	BY	DATE	DESCRIPTION
1	TUP	9/28/23	REV. PER POOLER REVIEW COMMENTS

DRAWN BY	CHECKED BY	DATE	SHEET TITLE	SHEET NUMBER
TUP	RAM	8-16-23	SITE PLAN	C1.0

GENERAL UTILITY NOTES:

- UNLESS SPECIFICALLY DENOTED IN CONTRACT DOCUMENTS, CONTRACTOR TO RETAIN AND PROTECT ALL EXISTING UTILITIES. IF CONFLICT OCCURS, CONTACT CIVIL ENGINEER IMMEDIATELY.
- CONTRACTOR TO COORDINATE ALL UTILITY SERVICE ROUTING WITH EACH UTILITY PROVIDER, AS APPLICABLE. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, SIZES, MATERIAL TYPES, AND INVERT ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE OWNER AND CIVIL ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED.
- VARIATIONS TO CONDITIONS OR DISCREPANCY IN ACTUAL CONDITIONS AS THEY APPLY TO THE DEMOLITION OR SITE DEVELOPMENT WORK ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE AND ENGINEER PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
- CONTRACTOR IS ADVISED TO VISIT THE SITE AND MAKE HIMSELF FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- MIN. HORIZONTAL SEPARATION OF 10'-FT. AND VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN WATER AND SANITARY SEWER FACILITIES.
- ALL UTILITY WORK SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS OF THE GOVERNING AUTHORITY. CONTRACTOR SHALL BE FAMILIAR WITH ALL APPLICABLE REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.

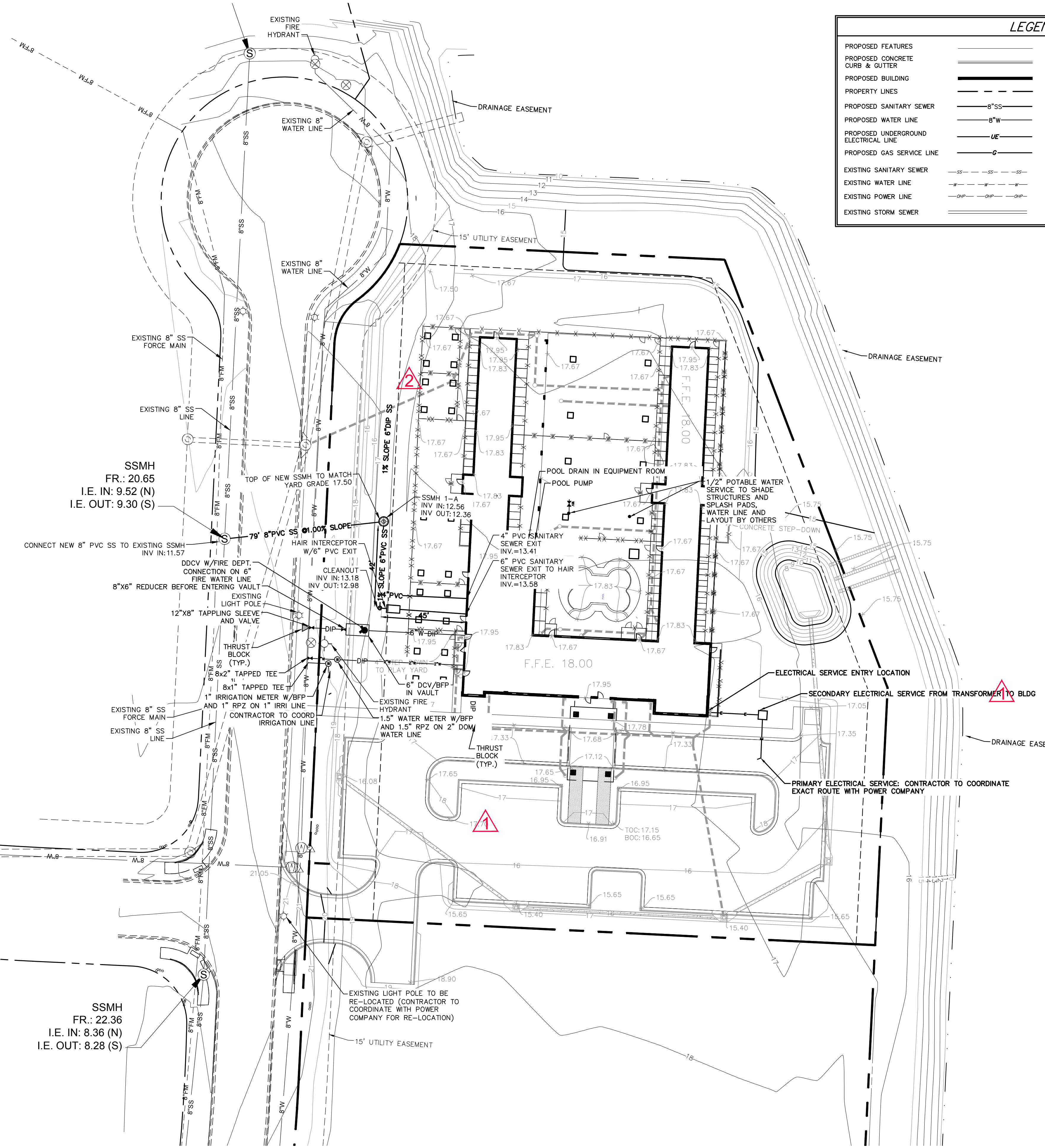
WATER SYSTEM NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE WATER SYSTEM MUST COMPLY IN ALL RESPECTS TO THE CITY OF POOLER WATER DEPARTMENT SPECIFICATIONS AND INSPECTION REQUIREMENTS.
- PLACEMENT OF FIRE HYDRANTS SHALL BE MINIMUM OF 3 FT. AND A MAXIMUM OF 15 FT. FROM THE BACK OF THE CURB OR ROAD EDGE WITH THE LARGE FIRE DEPARTMENT CONNECTION FACING THE NEAREST FIRE DEPARTMENT ACCESS POINT AND SET A MINIMUM OF 18" AND A MAXIMUM OF 36" ABOVE FINISHED GRADE TO THE CENTER OF THE LARGE FIRE DEPARTMENT CONNECTION. AUTHORITY HAVING JURISDICTION.
- THRUST BLOCKS SHALL BE PLACED AT ALL BENDS AND TEES ON ALL WATERLINES THAT ARE 4" AND LARGER.
- MAINTAIN 10' HORIZONTAL/18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
- FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- REFER TO PLUMBING AND/OR FIRE PROTECT. SHEETS FOR FIRE LINE LEAD-IN LOCATION AND DETAIL.

SANITARY SEWER NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS USED IN THE SEWER SYSTEM MUST COMPLY IN ALL RESPECTS TO THE CITY OF POOLER SPECIFICATIONS AND INSPECTION REQUIREMENTS.
- CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF WASTEWATER PIPE FOR CONNECTION TO EXISTING WASTEWATER SYSTEMS.
- SEWERS SHOULD BE LAID AT LEAST 10 FEET HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN, WITH THE WATER MAIN ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, EITHER THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
- DIP SHALL BE PRESSURE CLASS 350 MANUFACTURED IN ACCORDANCE WITH AWWA C151.
- SANITARY SEWER PIPE SHALL BE 6" PVC SDR 26 MINIMUM PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 6" DIP PER ASTM A 746, FOR PIPES MORE THAN 12' DEEP.

WATER LINE LENGTHS
130' OF 6" DIP PIPE
136' OF 2" DIP PIPE



LEGEND

PROPOSED FEATURES	PROPOSED MANHOLE
PROPOSED CONCRETE CURB & GUTTER	PROPOSED CLEANOUT
PROPOSED BUILDING	PROPOSED FIRE HYDRANT
PROPERTY LINES	PROPOSED GATE VALVE
PROPOSED SANITARY SEWER	PROP. CONCRETE THRUST BLOCK
PROPOSED WATER LINE	PROPOSED TRANSFORMER PAD
PROPOSED UNDERGROUND ELECTRICAL LINE	PROPOSED SANITARY SEWER EASEMENT
PROPOSED GAS SERVICE LINE	EXISTING NATURAL GAS
EXISTING SANITARY SEWER	EXISTING TELEPHONE
EXISTING WATER LINE	EXISTING FIRE HYDRANT
EXISTING POWER LINE	EXISTING UTILITY POLE
EXISTING STORM SEWER	EXISTING TRANSFORMER PAD

ALL TREES MUST BE PLANTED AT LEAST 10- FEET FROM ANY UTILITY LINE

THIS UTILITY PLAN INDICATES POTABLE WATER SERVICE LINES AND SANITARY SEWER LATERALS. GEORGIA STATE LAW REQUIRES THIS WORK TO BE INSTALLED BY GEORGIA LICENSED MASTER PLUMBER. THIS PLUMBING INSTALLATION REQUIRES A SEPARATE SITE PLUMBING PERMIT WHICH CAN BE OBTAINED FROM THE GWINNETT COUNTY BUILDING PERMITS. ALL WORK SHALL BE INSPECTED BY THE GWINNETT COUNTY PLUMBING INSPECTIONS.

SEE LANDSCAPE AND HARDSCAPE PLANS FOR EXACT SIDEWALK LAYOUT, HARDSCAPE PLAN, DISPOSITION OF CONCRETE SIDEWALK OR OTHER SURFACE TREATMENT, LANDSCAPE AREAS, AND GRASSED AREAS.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

FIRE DEPARTMENT NOTE:

- CONTRACTOR SHALL ENSURE THAT THERE ARE NO DOMESTIC WATER OR IRRIGATION LINES CONNECTED TO THE WATER LINE PAST THE DDCV AND FIRE DEPARTMENT CONNECTION.
- IF ANY DOMESTIC WATER OR IRRIGATION LINES ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER, ARCHITECT, AND CIVIL ENGINEER IMMEDIATELY. ALL SUCH WATER LINES MUST BE REMOVED AND RE-CONNECTED TO A WATER SOURCE IN FRONT OF THE DDCV AND FIRE DEPARTMENT CONNECTION LOCATION.

CONTRACTOR TO VERIFY IF EXISTING SEWER LATERAL PRESENT CONNECTING TO SITE

NOTE: SEE PLUMBING DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT THE BUILDING. LOCATIONS SHOWN ON THIS PLAN ARE FOR GENERAL COORDINATION PURPOSES ONLY AND SHOULD BE VERIFIED PRIOR TO INSTALLATION.

NOTE: CONTRACTOR TO COORDINATE GAS LINE INSTALLATION WITH UTILITY PROVIDER.

NOTE: ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION.

NOTE: CONTRACTOR TO SEE ELECTRICAL DWGS. FOR COORDINATION WITH SITE LIGHTING, TELECOMMUNICATIONS REQUIREMENTS.



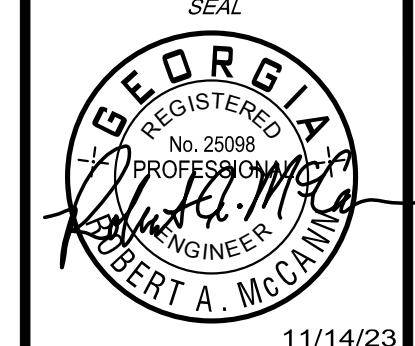
Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411

THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) SHOWN ON THESE DRAWINGS ARE APPROXIMATE & WERE OBTAINED FROM OPERATORS AT THE SITE AND/OR FROM THE UTILITY OWNERS. HANES, SPORN & ASSOC. INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY OR HIS AGENT AND/OR THE CONTRACTOR TO DETERMINE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) & TO NOTIFY UTILITY OWNERS BEFORE BEGINNING ANY CONSTRUCTION.

CAUTION-NOTE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. GA LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 48 HOURS (BUT NO MORE THAN 10 WORKING DAYS) BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. LOCATE SERVICES SHALL INCLUDE TRAFFIC SIGNAL AND FIBER OPTIC EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

UTILITY PLAN

GRAPHIC SCALE
30' 0' 30' 60' 120'
(IN FEET)
1 inch = 30 ft.



PET PARADISE
CLEAR LAKE WAY
CLEAR LAKE RESERVE- LOT 44
PARCEL No. 51011F01004A
POOLER, GEORGIA 31322

NO.	BY	DATE	DESCRIPTION
1	TUP	4/7/23	REV. PER POOLER REVIEW COMMENTS
1	TUP	9/28/23	REV. PER POOLER REVIEW COMMENTS

DRAWN BY	CHECKED BY	DATE
TUP	RAM	8-16-23

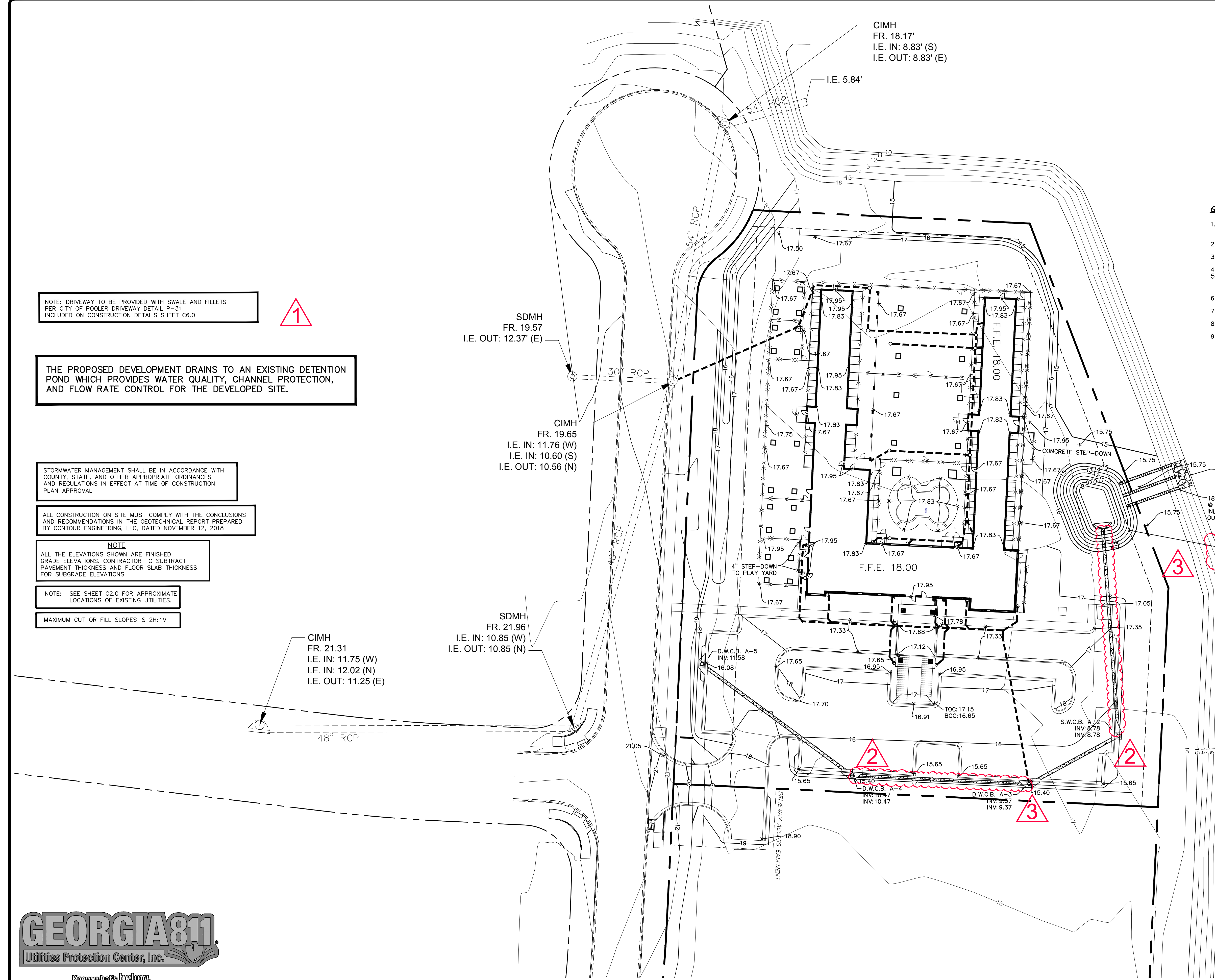
SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C2.0

LEGEND	
PROPERTY LINES	---
EXISTING FEATURES	---
EXISTING CONTOUR ELEVATION	----- 970 -----
EXISTING CONTOUR LINE	----- (+970.06) -----
EXISTING SPOT ELEVATION	○
EXISTING STORM SEWER	---
PROPOSED FEATURES	---
PROPOSED BUILDING	---
PROPOSED CONTOUR ELEVATION	----- 924 -----
PROPOSED SPOT ELEVATION	○ +924.50
PROPOSED DIRECTION OF FLOW	↗
PROPOSED STORM SEWER	---
PROPOSED STORM INLET	○

GRADING NOTES:

1. A PORTION OF THE AREA SHOWN IS LOCATED IN A 100 YEAR FLOOD HAZARD AREA PER FIRM PANEL 12051C0107H DATED 08/16/18. THE BUILDING SITS 2 FEET ABOVE THE FLOOD PLAIN ELEVATION ON THE SITE.
2. TEMPORARY SEDIMENT CONTROLS ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
3. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
4. CUT OR FILL SLOPES SHALL BE NO STEEPER THAN 2H:1V.
5. IF ANY EXISTING FEATURES ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND REQUIREMENTS, AND BE CONSTRUCTED TO SAME.
8. ALL CONSTRUCTION MUST COMPLY WITH THE CONCLUSIONS AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.



NOTE: DRIVEWAY TO BE PROVIDED WITH SWALE AND FILLETS PER CITY OF POOLER DRIVEWAY DETAIL P-31 INCLUDED ON CONSTRUCTION DETAILS SHEET C6.0



THE PROPOSED DEVELOPMENT DRAINS TO AN EXISTING DETENTION POND WHICH PROVIDES WATER QUALITY, CHANNEL PROTECTION, AND FLOW RATE CONTROL FOR THE DEVELOPED SITE.

STORMWATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL

ALL CONSTRUCTION ON SITE MUST COMPLY WITH THE CONCLUSIONS AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT PREPARED BY CONTOUR ENGINEERING, LLC, DATED NOVEMBER 12, 2018

NOTE
ALL THE ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.

NOTE: SEE SHEET C2.0 FOR APPROXIMATE LOCATIONS OF EXISTING UTILITIES.

MAXIMUM CUT OR FILL SLOPES IS 2H:1V

SDMH
FR. 19.57
I.E. OUT: 12.37' (E)

CIMH
FR. 19.65
I.E. IN: 11.76 (W)
I.E. IN: 10.60 (S)
I.E. OUT: 10.56 (N)

SDMH
FR. 21.96
I.E. IN: 10.85 (W)
I.E. OUT: 10.85 (N)

CIMH
FR. 21.31
I.E. IN: 11.75 (W)
I.E. IN: 12.02 (N)
I.E. OUT: 11.25 (E)



18" HDPE PIPES
Ø 1% SLOPE
INLET ELEV: 13.30
OUTLET ELEV: 12.96

WATER QUALITY INFILTRATION POND
VOLUME PROVIDED: 9,408 CU FT

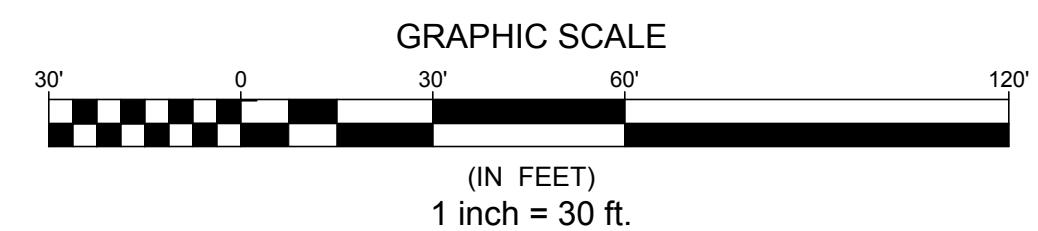


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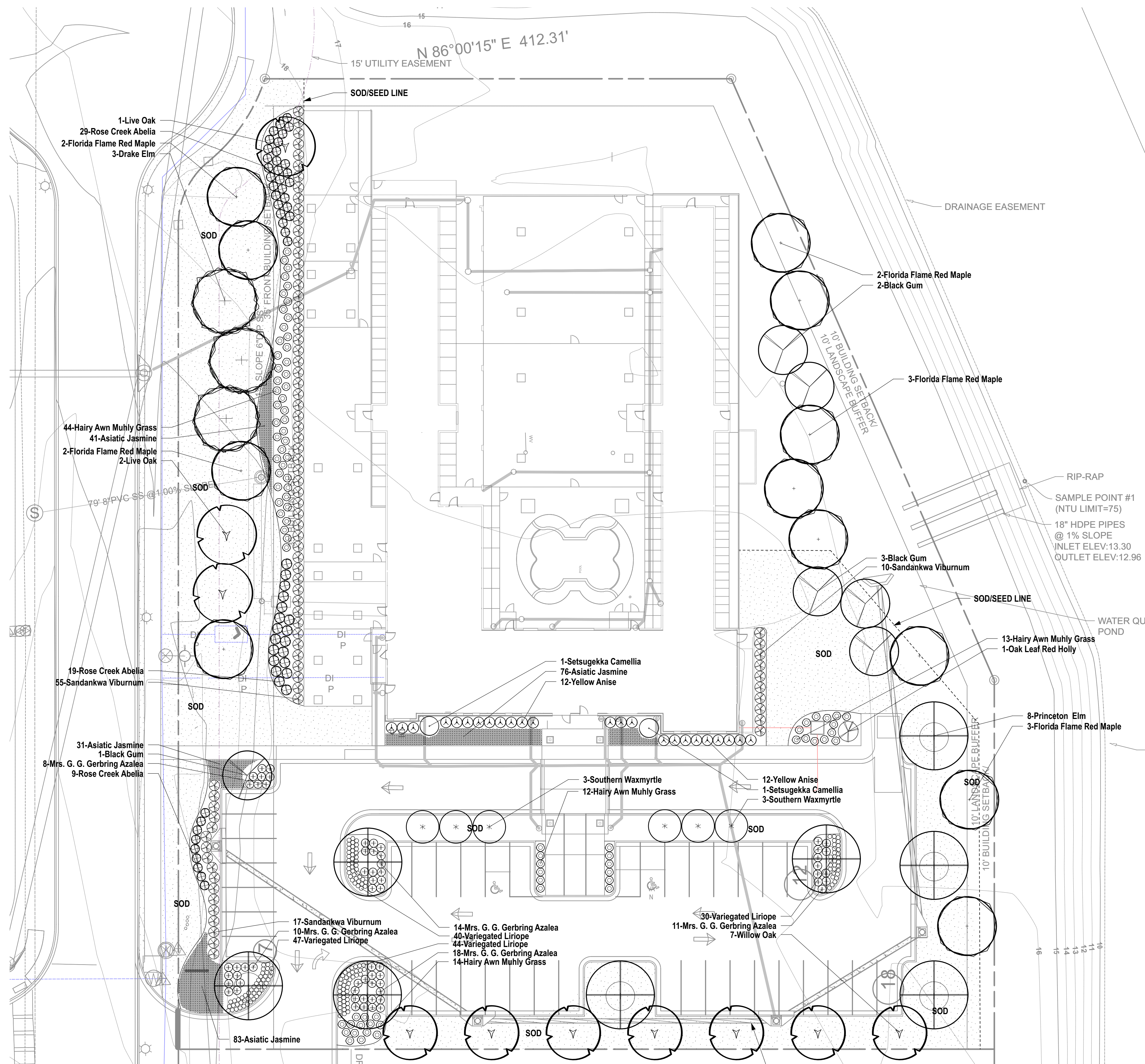
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GRADING PLAN



NO.	BY	DATE	DESCRIPTION
1	TUP	4/7/23	REV. PER POOLER REVIEW COMMENTS
2	TUP	9/28/23	REV. PER POOLER REVIEW COMMENTS
3	TUP	11/14/23	REV. PER POOLER REVIEW COMMENTS

DRAWN BY	CHECKED BY	DATE
TUP	RAM	8-16-23
SHEET TITLE		
GRADING PLAN		
SHEET NUMBER		
C3.0		



PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
12	Acer rubrum 'Florida Flame'	Florida Flame Red Maple	3" Cal.	B & B; single straight leader
1	Ilex x 'Conat'	Oak Leaf Red Holly	2" Cal; B & B	Single stem, full to ground
6	Nyssa sylvatica	Black Gum	3" Cal; 10' Hgt.	B & B; single straight leader
7	Quercus phellos	Willow Oak	3" Cal; 10' Hgt.	B & B; single straight leader
3	Quercus virginiana	Live Oak	3" Cal.; 10'Hgt.	B & B
8	Ulmus americana 'Princeton'	Princeton Elm	3" Cal.; 12' Hgt.	B & B
3	Ulmus parvifolia 'Drake'	Drake Elm	3" Cal.; 12' Hgt.	B & B, Straight Leader
Shrubs				
57	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal	
61	Azalea indica 'Mrs. G. G. Gerbring'	Mrs. G. G. Gerbring Azalea	3 Gal.	
2	Camellia sasanqua 'Setsugekka'	Setsugekka Camellia	7 Gal.	
24	Illicium parviflorum	Yellow Anise	3 Gal.	
83	Muhlenbergia capillaris 'Hairy Awn'	Hairy Awn Muhly Grass	3 Gal.	Tree Form
6	Myrica cerifera	Southern Waxmyrtle	5'-6" Hgt.	
82	Viburnum suspensum	Sandankwa Viburnum	3 Gal.	
Groundcovers				
161	Liriope muscarum 'Variegata'	Variagated Liriope	1 Gal.	Plant 18" O.C.
253	Trachelospermum asiaticum	Asiatic Jasmine	1 Gal.	
0				
20004	Cynodon dactylon	Common Bermuda Grass	SF; Seed	
Other				

GENERAL LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Details and Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- Contractor is responsible for understanding and adhering to all constraints and limits of the site ie: Code requirements as stated on the landscape plan, minimum plant sizes in the plant list, property boundaries, limits of disturbance, easements and buffers.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- Tree protection areas shall be protected from sedimentation.
- Tree protection fencing shall be inspected daily; repair or replaced as needed.
- No parking, storage or other construction activities shall occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- Minimum 4" depth of topsoil shall be added to all planting and sodded areas. Graded areas shall be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris from all parking lot islands, fracture/loosen subgrade to a min. 24" depth and add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans shall be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (brown, double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrubs and trees. Set plant material 2-3" above finish grade. Backfill planting pit with planting mix as specified in the Landscape Specifications.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

A. TREE REQUIREMENTS		CLEAR LAKE RESERVE DEVELOPMENT GUIDELINES	
REQUIRED	1. Each building site is required to have 1 Large Tree for every 2,500 SF of lot area Site: 95,564 SF / 2,500		= 39 Large Trees
PROVIDED	1. Qty: Tree:		
	12 Red Maple		
	6 Black Gum		
	7 Willow Oak		
	3 Live Oak		
	11 Princeton Elm		
	39 Overstory Trees		

*** NO SPECIMEN TREES ON SITE**

Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
770.442.8171 tel

PET PARADISE
IT'S A NEW DAY IN PET CARE

PET PARADISE

POOLER, GA

PROJECT INFORMATION:

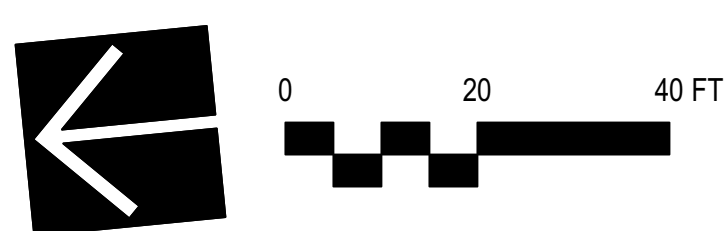
REVISION SCHEDULE:

NO.	DATE	BY	DESCRIPTION
1	3/20/23	MB	City Comments
2	11/13/23	MB	New Site Plan

MLD PROJECT #: 2023010
DRAWN BY: MB
CHECKED BY: AN
DATE: 1/20/23

Landscape Plan

PERMIT **L-100**



LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

1. Soil preparation.
2. Trees, shrubs, ground covers, and annuals/perennials.
3. Planting mixes.
4. Top Soil, Mulch and Planting accessories.
5. Maintenance.
6. Decorative stone.

Related Work:

1. Irrigation System.

QUALITY ASSURANCE

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

PROJECT CONDITIONS

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

WARRANTY

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting installation.

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

ACCEPTANCE

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on storage will be rejected if they show signs of growth during the storage period.

1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable.
2. Container- grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
 - a. No plants shall be loose in the container.
 - b. Container stock shall not be pot bound.
3. Plants planted in rows shall be matched in form.
4. Plants larger than those specified in the plant list may be used when acceptable to the Landscape Architect.
 - a. If the use of larger plants is acceptable, increase the spread of roots or root ball in proportion to the size of the plant.
5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list.
6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
7. Evergreen trees shall be branched to the ground or as specified in plant list.
8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant list.
 - a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.
 - b. Single stemmed or thin plants will not be accepted.
 - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushy to the ground.
 - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building material, etc.) prior to adding and spreading of the top soil.

1. **Sod Areas:** Spread a minimum 4" layer of top soil and rake smooth.
2. **Planting bed areas:** Spread a minimum 4" layer of top soil and rake smooth.
3. **Landscape Islands/Medians:** Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing.
4. **Annual/Perennial bed areas:** Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on location of plantings. Hold mulch 4" from tree trunks and shrub stems.

1. **Hardwood:** 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of wood chips and sawdust. Install minimum depth of 3". Color: Dark brown
2. **Mini Nuggets:** Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.
3. **River Rock (when needed):** (color) light gray to buff to dark brown, washed river rock, 1" - 3" in size. Install in shrub beds to an even depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution during installation not to damage plant material.

Guying/Staking:

1. As per details.
2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draf paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 - EXECUTION

INSPECTION

Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil if provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

PREPARATION

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" - 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

Mulching:

1. Mulch tree and shrub planting pits and shrub beds with required mulching material; depth of mulch as noted above. **Hold mulch back 4" away from tree trunks and shrub stems.** Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

Decorative Stone: (where indicated on landscape plan or as approved during installation)

1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
2. Place stone without damaging weed barrier.
3. Arrange stones for best appearance and to cover all weed barrier fabric.

Wrapping, guying, staking:

1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
2. Wrapping:
 - a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
 - b. Overlap 1/2 the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
 - c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
 - d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early spring.
 - d. Tree wraps are temporary and no longer needed once the trees develop corky bark.
3. Staking/Guying:
 - a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
 - b. Stake deciduous trees as per details.
 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil.
 2. Ties are attached to the tree, usually at the lowest branch.
 - c. Guy deciduous trees as per details.
 4. **Remove all guying and staking after one year from planting.**

Pruning:

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP

During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and debris. Remove all plant tags and other debris from lawns and planting areas.

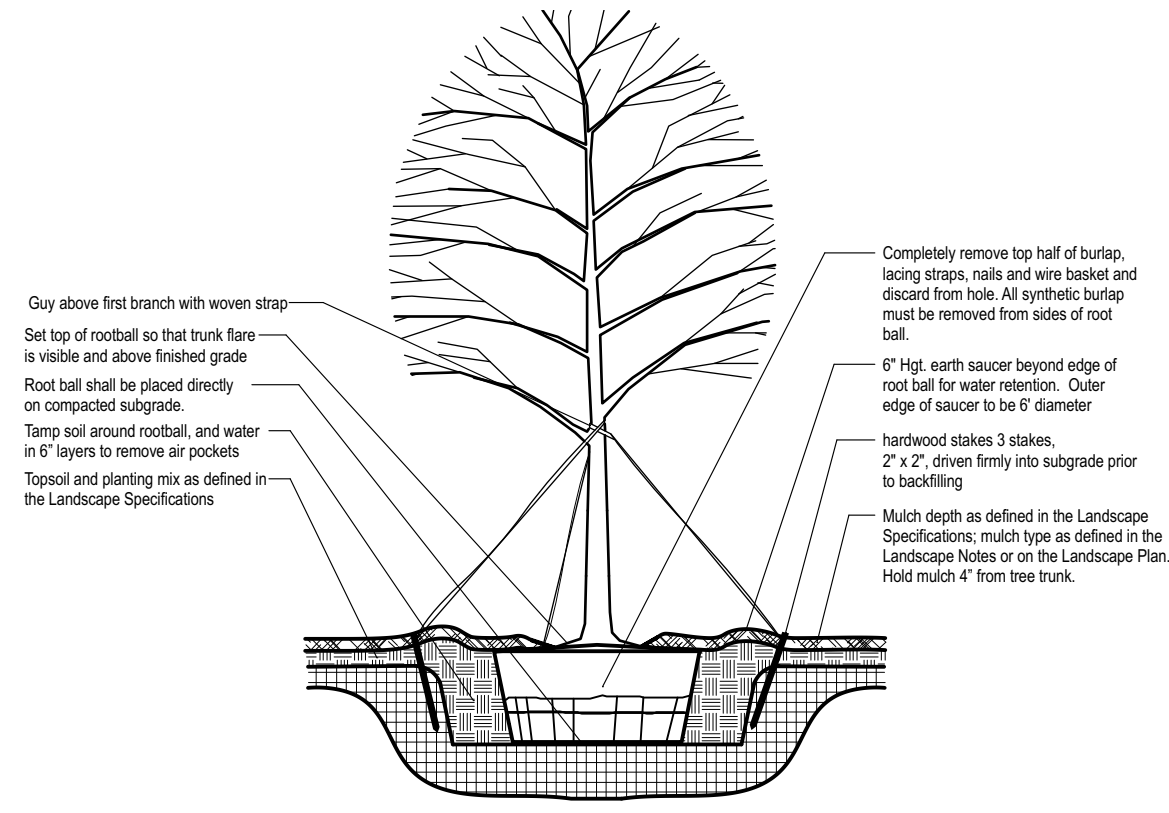
Any damage to the landscape, the structure, or the irrigation system caused by the landscape contractor shall be repaired by the landscape contractor without charge to the owner.

MAINTENANCE

Contractor shall provide maintenance until work has been accepted by the Owner's Representative.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
2. repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

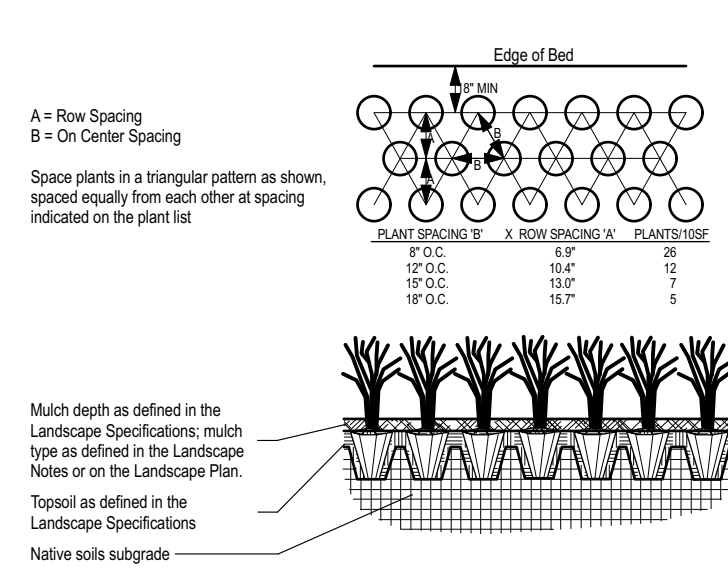


NOTE

1. Holes to be twice the width of the rootball.
2. Do not heavily prune tree at planting. Remove only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
3. Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
4. Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING & STAKING

SCALE: NTS

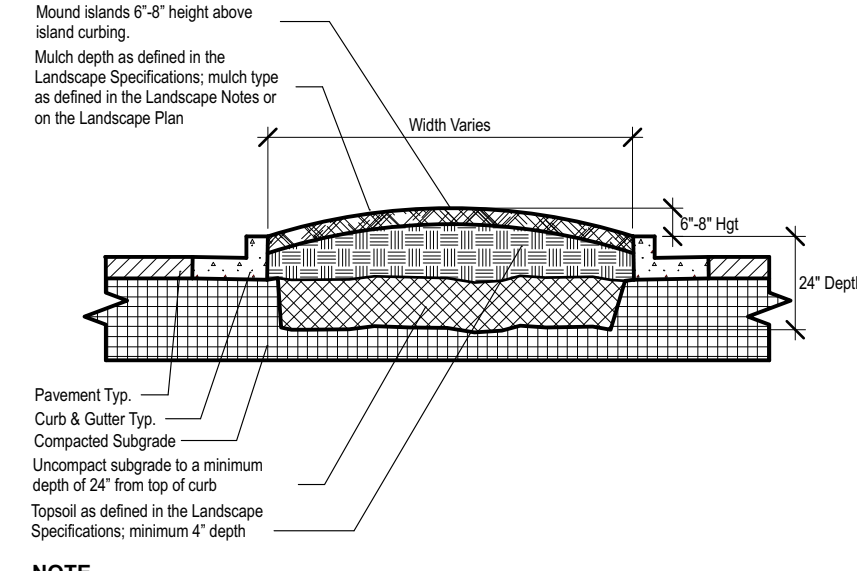


NOTE

1. Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
2. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
3. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

3 GROUNDCOVER PLANTING DETAIL

SCALE: NTS

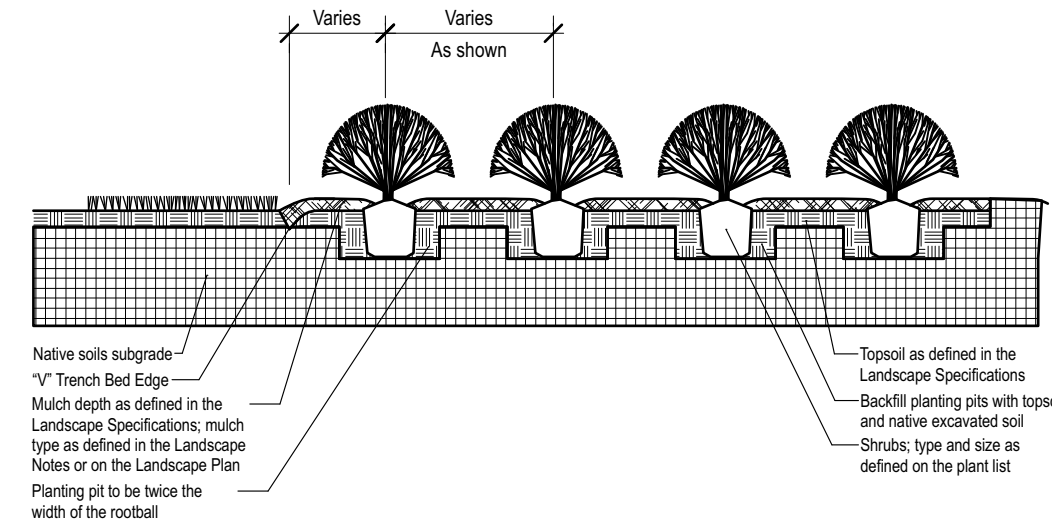


NOTE

1. Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, etc.) prior to installing topsoil and plant material.
2. Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum balled 6" height above island curbing.
3. Island plant material as per the Landscape Plan.
4. Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
5. Install mulch or soil as specified on the Landscape Plan, and as defined in the Landscape Specifications.

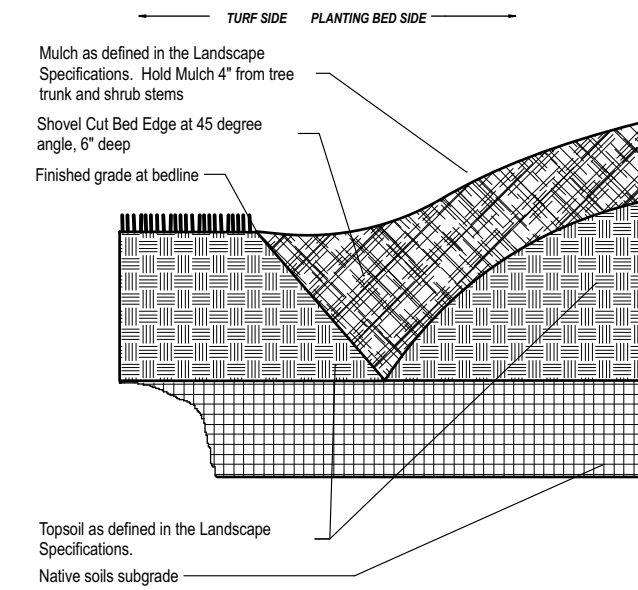
4 PARKING ISLAND DETAIL

SCALE: NTS



2 SHRUB BED PLANTING DETAIL

SCALE: NTS



NOTE

1. Topsoil as defined in the Landscape Specifications.
2. Native soils subgrade.

5 "V" TRENCH BED EDGING

SCALE: NTS



Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009

770.442.8171 tel

CLUEW:



PET PARADISE

POOLER, GA

PROJECT INFORMATION



REVISION SCHEDULE:

NO.	DATE	BY	DESCRIPTION
1	3/20/23	MB	City Comments

MLD PROJECT #: 2023010

DRAWN BY: MB

CHECKED BY: AN

DATE: 1/20/23

Landscape
Specifications &
Details

L-101

PERMIT

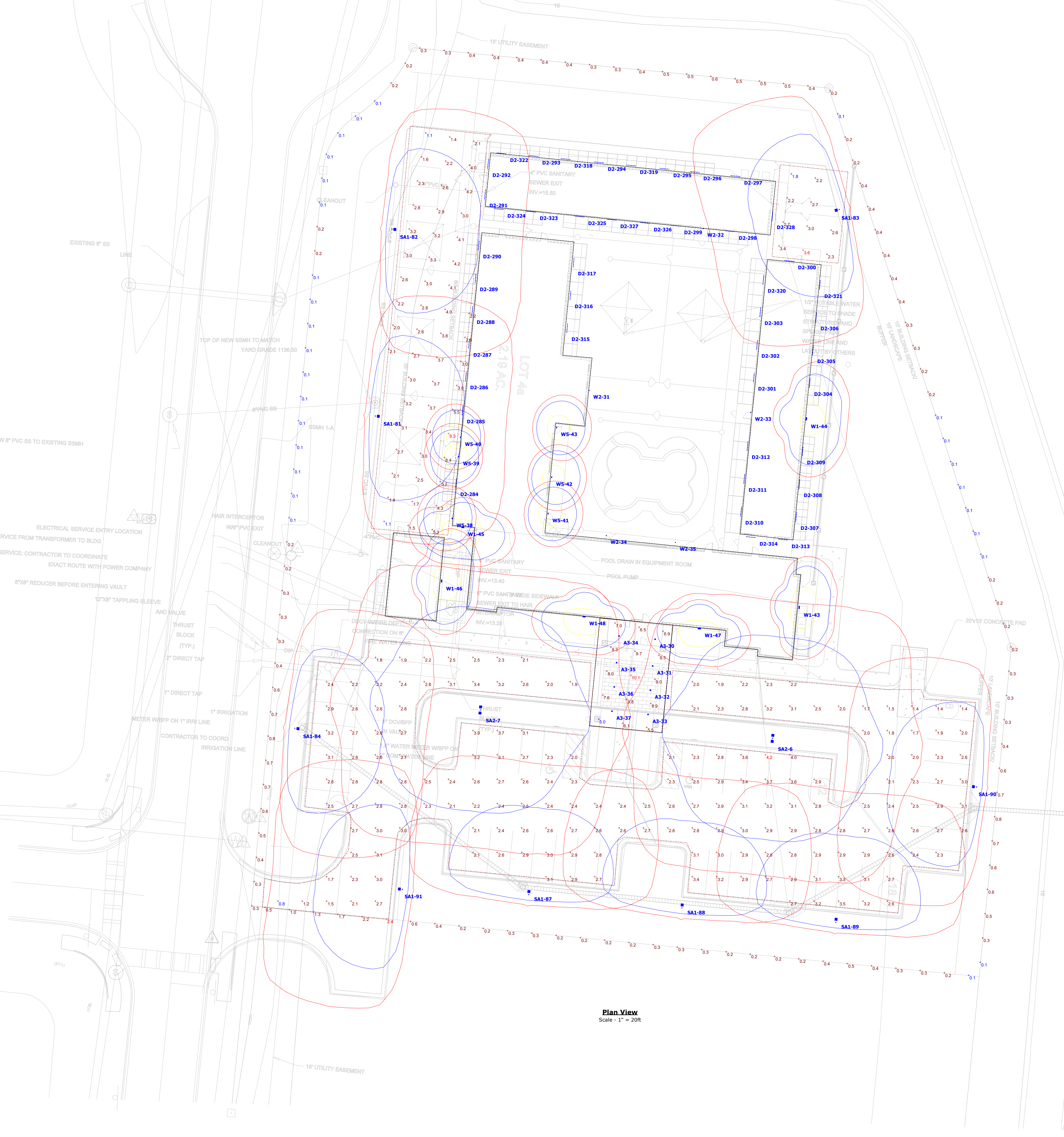
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
○	A3	8	Intense Lighting	SSG64DL3358 /IC630HZ	6" SS LED Downlight Gen 4	PL-CUBE-2000-G4	1	1702	0.9	17.2
	D2	45	AXIS LIGHTING INC.	BWLED-500-35-SO-4	AXIS LIGHTING WET BEAM DIRECT LED LUMINAIRE	LED	1	1999	0.9	22.18
□	SA1	9	SIGNIFY Gardco	SFA-48L-700-NW-G2-3-HIS	SlenderForm Arm Mount LED SFA, 48 LED's, 4000K CCT, TYPE 3-HIS OPTIC, House-side Internal Shielding	(3) LEDGine Array(s) DRIVEN AT 700mA	1	9476	0.9	104.3
□	SA2	2	SIGNIFY Gardco	SFA-48L-700-NW-G2-3	SlenderForm Arm Mount LED SFA, 48 LED's, 4000K CCT, TYPE 3 OPTIC, No Shield	(3) LEDGine Array(s) DRIVEN AT 700mA	1	11610	0.9	208.6
□	W1	6	WILLIAMS OUTDOOR	WVPM-L30-740-T3-SDGL-0PT-EDD-UNV	VOLTAIRE HORIZONTAL ARCHITECTURAL WALL PACK WITH TYPE III MOLDED REFRACTIVE CLEAR ACRYLIC LED LENS AND A SOLITE GLASS LENS.	(4) LUXEON M 4000K LEDES	1	3106	0.9	35.4
○	W2	5	PROGRESS	P6341 30K	LED FLOODLIGHT WITH TWO HEADS AND PHOTOCELL	SIX LED	1	1048	0.9	20.1
□	W5	6	PHILIPS STONCO	PW15-NW-G1-8	Philips Stonco Low Profile Wall		1	1656	0.9	15

- Note**
1. Pole mounted fixtures and poles shall be black.
 2. Poles shall be direct buried fiberglass.
 3. Wall mounted lights shall be black.
 4. All fixtures are full-cutoff.
 5. Refer to the Luminaire Locations chart and the "MH" column for the mounting heights of each fixture.
 6. All exterior site lighting shall be designed to prevent off-site glare.
 7. The two SA2 lights shall remain on all night. All other pole lights shall turn off by midnight with a timeclock.

Description	Symbol	Avg	Min	Max/Min	Max	Avg/Min
CANOPY	+	7.8 fc	5.0 fc	2.0:1	10.1 fc	1.6:1
PARKING	+	2.6 fc	0.8 fc	5.3:1	4.2 fc	3.3:1
PLAY AREA (EAST)	+	2.7 fc	1.8 fc	2.0:1	3.6 fc	1.5:1
PLAY AREA (WEST)	+	3.2 fc	1.1 fc	8.5:1	9.3 fc	2.9:1
PROPERTY LINE	+	0.4 fc	0.1 fc	24.0:1	2.4 fc	4.0:1

1.2 ft at intersecting roadway.

Location		Aim								
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
30	A3	72.80	-48.86	16.33	16.33	95.37	0.00	72.80	-48.86	0.00
31	A3	71.77	-59.81	16.33	16.33	95.37	0.00	71.77	-59.81	0.00
32	A3	70.83	-69.76	16.33	16.33	95.37	0.00	70.83	-69.76	0.00
33	A3	69.90	-79.72	16.33	16.33	95.37	0.00	69.90	-79.72	0.00
34	A3	58.00	-47.51	16.33	16.33	95.37	0.00	58.00	-47.51	0.00
35	A3	56.97	-58.46	16.33	16.33	95.37	0.00	56.97	-58.46	0.00
36	A3	56.03	-68.41	16.33	16.33	95.37	0.00	56.03	-68.41	0.00
37	A3	55.09	-78.37	16.33	16.33	95.37	0.00	55.09	-78.37	0.00
284	D2	-8.92	15.20	7.75	7.75	275.61	-90.00	-16.63	15.95	7.75
285	D2	-6.24	44.99	7.75	7.75	275.61	-90.00	-13.95	45.75	7.75
286	D2	-4.87	58.93	7.75	7.75	275.61	90.00	-12.58	59.68	7.75
287	D2	-3.55	72.36	7.75	7.75	275.61	90.00	-11.26	73.12	7.75
288	D2	-2.23	85.80	7.75	7.75	275.61	-90.00	-9.94	86.55	7.75
289	D2	-0.91	99.23	7.75	7.75	275.61	90.00	-8.63	99.99	7.75
290	D2	0.41	112.67	7.75	7.75	275.61	90.00	-7.31	113.42	7.75
291	D2	3.04	133.67	7.75	7.75	275.61	90.00	-4.68	134.43	7.75
292	D2	4.26	146.11	7.75	7.75	275.61	90.00	-3.45	146.87	7.75
293	D2	22.92	149.47	7.75	7.75	5.61	-90.00	23.68	157.18	7.75
294	D2	48.79	146.83	7.75	7.75	5.61	90.00	50.55	154.54	7.75
295	D2	76.66	144.19	7.75	7.75	5.61	-90.00	77.42	151.90	7.75
296	D2	89.01	142.89	7.75	7.75	5.61	-90.00	89.76	150.61	7.75
297	D2	105.74	141.20	7.75	7.75	5.61	-90.00	106.50	148.92	7.75
298	D2	103.52	118.56	7.75	7.75	185.61	-90.00	102.76	110.85	7.75
299	D2	81.09	120.85	7.75	7.75	185.61	90.00	80.33	113.13	7.75
300	D2	127.79	106.39	7.75	7.75	5.61	-90.00	128.54	114.11	7.75
301	D2	113.26	58.46	7.75	7.75	275.61	90.00	105.55	59.22	7.75
302	D2	114.58	71.90	7.75	7.75	275.61	-90.00	106.87	72.65	7.75
303	D2	115.90	85.33	7.75	7.75	275.61	90.00	108.19	86.09	7.75
304	D2	136.22	56.25	7.75	7.75	95.61	90.00	143.93	55.49	7.75
305	D2	137.54	69.69	7.75	7.75	95.61	-90.00	145.25	68.93	7.75
306	D2	138.86	83.12	7.75	7.75	95.61	90.00	146.57	82.37	7.75
307	D2	130.67	1.28	7.75	7.75	95.61	90.00	138.38	0.52	7.75
308	D2	131.99	-14.72	7.75	7.75	95.61	-90.00	139.70	-13.96	7.75
309	D2	133.31	28.15	7.75	7.75	95.61	90.00	141.02	27.40	7.75
310	D2	108.03	3.50	7.75	7.75	95.61	-90.00	100.32	4.26	7.75
311	D2	109.35	16.94	7.75	7.75	95.61	90.00	101.64	17.70	7.75
312	D2	110.67	30.38	7.75	7.75	95.61	-90.00	102.95	31.13	7.75
313	D2	125.24	-7.98	7.75	7.75	5.61	-90.00	124.48	-15.69	7.75
314	D2	112.03	-6.94	7.75	7.75	5.61	-90.00	111.27	-14.65	7.75
315	D2	36.72	78.79	7.75	7.75	95.61	-90.00	44.43	78.04	7.75
316	D2	38.04	92.23	7.75	7.75	95.61	90.00	45.75	91.47	7.75
317	D2	39.36	105.67	7.75	7.75	95.61	-90.00	47.07	104.91	7.75
318	D2	36.11	148.17	7.75	7.75	5.61	-90.00	36.87	155.89	7.75
319	D2	62.98	145.53	7.75	7.75	5.61	90.00	63.74	153.25	7.75
320	D2	117.19	98.66	7.75	7.75	275.61	90.00	109.47	99.42	7.75
321	D2	140.39	96.46	7.75	7.75	95.61	-90.00	148.11	95.70	7.75
322	D2	9.69	150.51	7.75	7.75	5.61	-90.00	10.45	158.22	7.75
323	D2	21.86	126.60	7.75	7.75	5.61	-90.00	22.62	134.32	7.75
324	D2	8.63	127.64	7.75	7.75	5.61	-90.00	9.39	135.36	7.75
325	D2	41.75	124.59	7.75	7.75	5.61	-90.00	42.50	132.30	7.75
326	D2	68.62	121.95	7.75	7.75	5.61	90.00	69.37	129.66	7.75
327	D2	54.93	123.29	7.75	7.75	5.61	90.00	55.69	131.01	7.75
328	D2	120.91	124.66	7.75	7.75	275.61	90.00	113.20	125.42	7.75
6	SA2	120.95	-89.51	25.00	25.00	6.08	0.00			
SA2-1		121.08	-88.27	25.00	25.00	6.08	0.00	121.08	-88.27	0.00
SA2-2		120.82	-90.76	25.00	25.00	186.08	0.00	120.82	-90.76	0.00
7	SA2	1.06	-77.87	25.00	25.00	6.08	0.00			
SA2-1		1.19	-76.63	25.00	25.00	6.08	0.00	1.19	-76.63	0.00
SA2-2		0.93	-79.12	25.00	25.00	186.08	0.00	0.93	-79.12	0.00
81	SA1	-42.00	42.72	25.00	25.00	94.29	0.00	-40.75	42.63	0.00
82	SA1	-35.21	119.42	25.00	25.00	94.29	0.00	-33.96	119.33	0.00
83	SA1	148.30	127.48	25.00	25.00	256.72	0.00	147.08	127.19	0.00
84	SA1	-75.00	-85.40	25.00	25.00	96.08	0.00	-73.76	-85.53	0.00
87	SA1	20.90	-153.62	25.00	25.00	6.08	0.00	21.02	-153.38	0.00
88	SA1	83.77	-159.12	25.00	25.00	6.08	0.00	83.90	-157.88	0.00
89	SA1	146.90	-165.00	25.00	25.00	6.08	0.00	147.03	-163.76	0.00
90	SA1	204.62	-109.48	25.00	25.00	276.08	0.00	203.38	-109.35	0.00
91	SA1	-30.88	-151.48	25.00	25.00	276.08	0.00	-32.12	-151.35	0.00
43	W1	131.89	-35.78	8.00	8.00	95.61	0.00	131.89	-35.78	0.00
44	W1	134.85	41.61	10.50	10.50	95.61	0.00	134.85	41.61	0.00
45	W1	-6.14	-2.96	8.50	8.50	185.61	0.00	-6.14	-2.96	0.00
46	W1	-14.82	-24.99	8.50	8.50	95.61	0.00	-14.82	-24.99	0.00
47	W1	90.94	-44.49	8.00	8.00	185.61	0.00	90.94	-44.49	0.00
48	W1	43.63	-39.61	8.00	8.00	185.61	0.00	43.63	-39.61	0.00
31	W2	45.81	53.25	13.00	13.00	275.61	-90.00	58.75	51.98	13.00
32	W2	92.51	119.57	13.00	13.00	5.61	-90.00	91.24	106.64	13.00
33	W2	112.03	44.19	13.00	13.00	95.61	-90.00	99.09	45.46	13.00
34	W2	52.78	-6.28	13.00	13.00	185.61	-90.00	54.05	6.66	13.00
35	W2	81.14	-9.06	13.00	13.00	185.61	-90.00	82.41	3.88	13.00
38	W5	-10.48	0.74	7.75	7.75	275.61	0.00	-10.48	0.74	0.00
39	W5	-7.76	26.06	7.75	7.75	275.61	0.00	-7.76	26.06	0.00
40	W5	-6.98	34.02	7.75	7.75	275.61	0.00	-6.98	34.02	0.00
41	W5	28.90	2.68	7.75	7.75	95.61	0.00	28.90	2.68	0.00
42	W5	30.37	17.61	7.75	7.75	95.61	0.00	30.37	17.61	0.00
43	W5	32.37	38.01	7.75	7.75	95.61	0.00	32.37	38.01	0.00



Plan View
 Scale - 1" = 20ft

Designer
 Date
 2023
 Scale
 As indicated
 Drawing No.
 Summary



EOM Operations
Your solution to a better tomorrow

November 21st, 2023

Robert A. McCann, P.E.
Haines Gipson & Associates
1550 N Brown Rd, Suite 100
Lawrenceville, GA 30043

Dear Mr. McCann,

I am pleased to provide you with a recommendation for Approval of the site development plans for Pet Paradise, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	Nov. 2023
	Stormwater Management Report.....	Nov. 2023
	Stormwater Maintenance Agreement.....	Oct. 2023
	GSWCC Approval of ES&PC Plans.....	May 2023

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits and approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the required testing data, certifications, and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



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Ph: 912.445.0050
F: 912.756.5882



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To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



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CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for HOM @ Pooler at 100 Commons Way

Project:	#231436
P&Z Meeting Date:	December 11, 2023
City Council Meeting Date:	December 18, 2023 (Tentative)
Applicant and Authorized Agent:	Brian Clouser, Kimley-Horn (Engineer)
Location (Address):	100 Commons Way
Parcel (PIN):	51009 01089
Acreage:	18.965 total – 18.5 disturbed
Zoning:	PUD (Savannah Quarters, Phase 2 [Blakely Commons])
Proposed Use:	Multi-family Apartments (348 units)
Staff Recommendation:	Approval <ul style="list-style-type: none">All comments have been satisfactorily addressed.
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation per the Savannah Quarters PUD; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Savannah Quarters PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions of the Savannah Quarters PUD related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions of the Savannah Quarters PUD related to the location of uses/development areas, development standards for commercial development, and buffer standards.
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with the Savannah Quarters PUD; Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions of the Savannah Quarters PUD related to buffer and screening standards.

- 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.
 - The site plan complies with the provisions of the Savannah Quarters PUD and Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
- 10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies, generally, with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan generally addresses the site plan approval criteria, apart from the comments noted in the recommendation. As such, staff recommends **Approval** of the request, subject to the pending comments being satisfactorily addressed.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
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Project #231436 - HOM @ Pooler

12/08/2023

Parcels



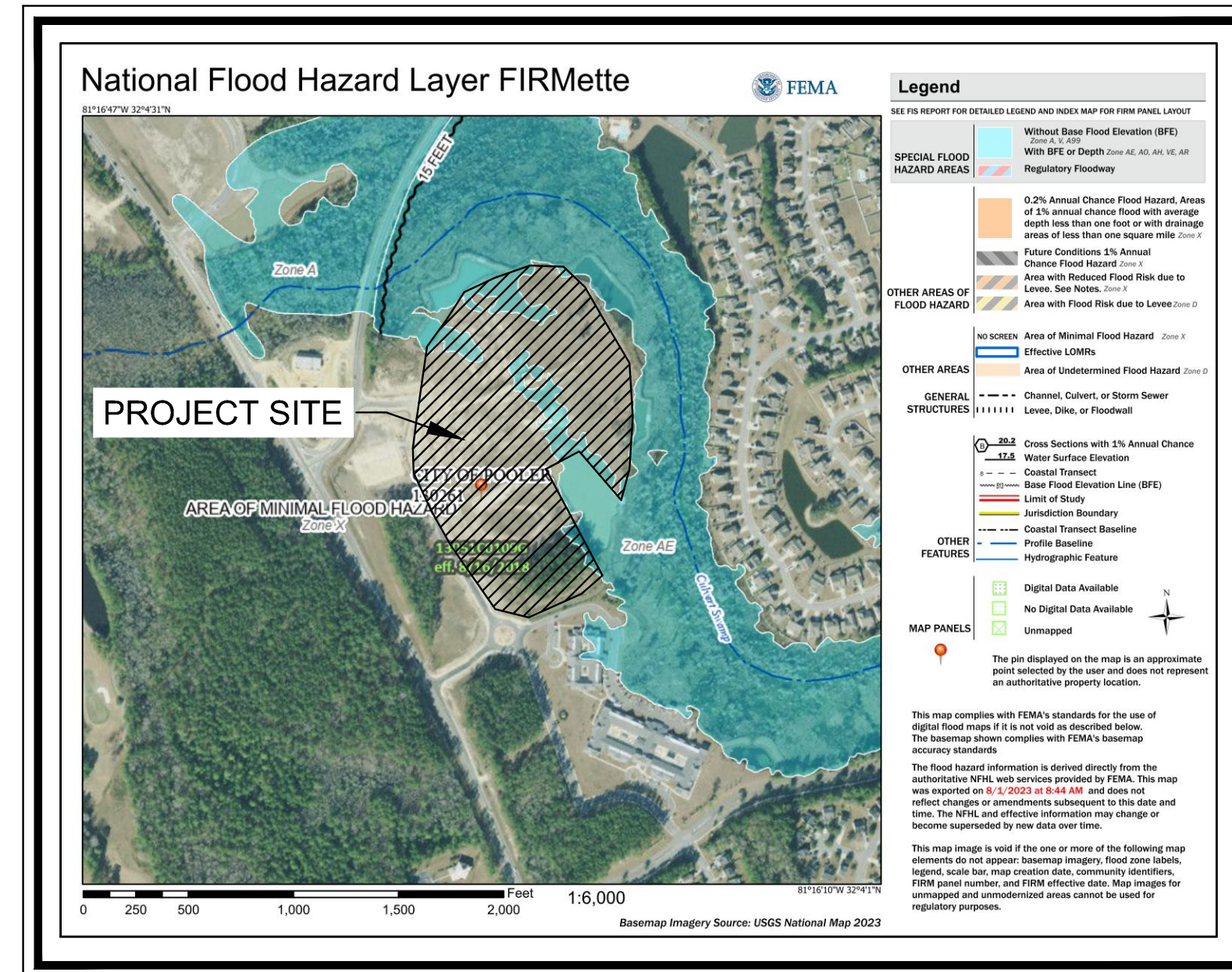
COMMONS

WILLIAM BLAKELY XING

WILLIAM BLAKELY XING

WILLIAM BLAKELY XING

CIVIL CONSTRUCTION DRAWINGS FOR HOM AT POOLER COMMONS WAY, POOLER, GA 31322



FEMA MAP

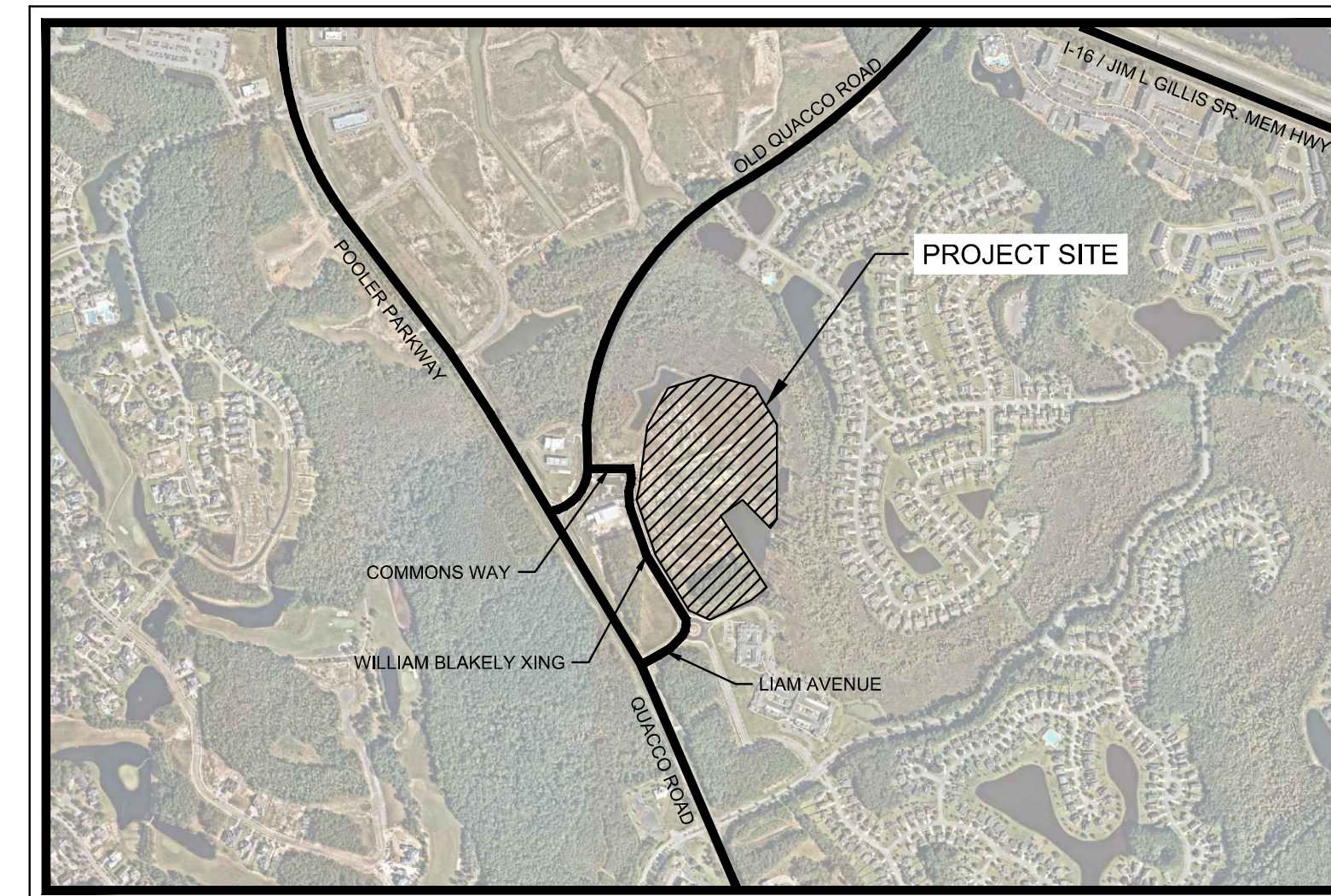
THE PROJECT SITE DOES LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13051C0109G DATED 08/16/2018.

8TH G.M.D. OF CHATHAM COUNTY
SUBJECT PROPERTY: LOT 13-A REMAINDER OF THE BLAKELY COMMONS PUD

PARCEL NO.: 51009-01089
EXISTING ZONING: PUD (BLAKELY COMMONS)
CITY OF POOLER, CHATHAM COUNTY, GEORGIA

PROPERTY AREA = 18.965 ACRES
TOTAL DISTURBED AREA = 18.5 ACRES
IMPERVIOUS AREA = 9.49 ACRES (50.0%)
PERVIOUS AREA = 9.48 ACRES (50.0%)

CITY OF POOLER CASE #: _____



VICINITY MAP

PROJECT NARRATIVE:

HOM AT POOLER IS A PROPOSED MULTIFAMILY DEVELOPMENT THAT WILL CONTAIN 348 MULTIFAMILY UNITS, 6 GARAGE UNITS, AND 4 ACCESSORY BUILDINGS.

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF SURFACE PARKING, STORMWATER CONVEYANCE INTO EXISTING DETENTION BASINS, AND ALL ASSOCIATED UTILITIES. THE PROPERTY AREA ON SITE IS 18.965 ACRES, AND THE TOTAL DISTURBED AREA IS 18.5 INCLUDING PUBLIC ROW.

NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
- IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.
- THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN (CHAPTER 42, ARTICLE V, SECTION 42-183.4(6)).
- THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA (CHAPTER 42, ARTICLE V, SECTION 42-183.4(5)).

PROJECT CONTACTS

OWNER: IMPACT DEVELOPMENT PARTNERS
900 CIRCLE 75 PARKWAY, SUITE 550
ATLANTA, GA 30339
PHONE: 678.483.5379
CONTACT: MIKE LOPEZ, P.E.

ARCHITECT: GROUP 4 DESIGN, INC.
1939 HENDRICKS AVENUE
JACKSONVILLE, FL 32207
PHONE: 904.353.5900
CONTACT: TYLER VIRTUE

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
25 BULL STREET, SUITE 400
SAVANNAH, GA 31401
PHONE: 912.231.4384
CONTACT: BRIAN CLOUSER, P.E.

SURVEYOR: MAXWELL-REDDICK
40 JOE KENNEDY BLVD.
STATESBORO, GA 30458
PHONE: 912.489.7112
CONTACT: DENVER W. YOUNGBLOOD, R.L.S.

24-HR CONTACT: MIKE LOPEZ
IMPACT DEVELOPMENT PARTNERS
PHONE: 704.975.3812

OWNER CERTIFICATION:

THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN (CHAPTER 42, ARTICLE V, SECTION 42-183.4(6)).

SIGNATURE _____ DATE _____

DESIGNER CERTIFICATION:

THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA (CHAPTER 42, ARTICLE V, SECTION 42-183.4(5)).

SIGNATURE *Brian D. Clouser* DATE 12/12/2023

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

BRIAN D. CLOUSER
Level II Certified Design Professional

CERTIFICATION NUMBER 0000073524
ISSUED: 03/13/2021 EXPIRES: 03/13/2024

GEORGIA811
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REV. NO.	SHEET NO.	SHEET TITLE
	C0-00	COVER SHEET
	--	SURVEY 1
	--	SURVEY 2
	C1-01	DEMOLITION PLAN
	C1-02	DEMOLITION PLAN
	C1-03	DEMOLITION PLAN
	C1-04	DEMOLITION PLAN
	C2-00	OVERALL SITE PLAN
	C2-01	SITE PLAN
	C2-02	SITE PLAN
	C2-03	SITE PLAN
	C2-04	SITE PLAN
	C2-30	FIRE PROTECTION PLAN
	C2-31	FIRE TRUCK TURN
	C2-50	PHASING PLAN
	C3-00	OVERALL GRADING & DRAINAGE PLAN
	C3-01	GRADING & DRAINAGE PLAN
	C3-02	GRADING & DRAINAGE PLAN
	C3-03	GRADING & DRAINAGE PLAN
	C3-04	GRADING & DRAINAGE PLAN
	C3-50	STORM SEWER PROFILES
	C3-51	STORM SEWER PROFILES
	C3-52	STORM SEWER PROFILES
	C3-53	STORM SEWER PROFILES
	C4-00	OVERALL UTILITY PLAN
	C4-01	UTILITY PLAN
	C4-02	UTILITY PLAN
	C4-03	UTILITY PLAN
	C4-04	UTILITY PLAN
	C4-50	SANITARY SEWER PROFILES
	C4-51	SANITARY SEWER PROFILES
	C4-52	SANITARY SEWER PROFILES
	C4-60	WATER PROFILES
	C4-61	WATER PROFILES
	C4-62	WATER PROFILES
	C4-63	WATER PROFILES
	C4-70	FORCE MAIN PLAN AND PROFILE
	C4-71	LIFT STATION LAYOUT

REV. NO.	SHEET NO.	SHEET TITLE
	C5-00	EROSION CONTROL NOTES
	C5-01	EROSION CONTROL NOTES
	C5-02	EROSION CONTROL NOTES
	C5-03	EROSION CONTROL NOTES
	C5-10	EROSION CONTROL PLAN - PHASE 1
	C5-20	EROSION CONTROL PLAN - PHASE 2
	C5-30	EROSION CONTROL PLAN - PHASE 3
	C5-80	EROSION CONTROL DETAILS
	C5-81	EROSION CONTROL DETAILS
	C5-82	EROSION CONTROL DETAILS
	C6-00	CONSTRUCTION DETAILS
	C6-01	CONSTRUCTION DETAILS
	C6-40	PAVING & DRAINAGE DETAILS
	C6-41	PAVING & DRAINAGE DETAILS
	C6-50	WASTEWATER COLLECTION DETAILS
	C6-51	WASTEWATER COLLECTION DETAILS
	C6-52	ELECTRICAL SYSTEM DETAILS
	C6-63	ELECTRICAL SYSTEM DETAILS
	C6-64	ELECTRICAL SYSTEM DETAILS
	C6-66	LIFT STATION MECHANICAL DETAILS
	C6-66	LIFT STATION AND FORCE MAIN DETAILS
	C6-60	WATER SYSTEMS DETAILS
	C6-61	WATER SYSTEMS DETAILS
	E9-00	LIFT STATION ELECTRICAL NOTES
	E9-01	LIFT STATION ELECTRICAL SCHEMATIC
	L1-00	TREE PROTECTION PLAN
	L1-11	LANDSCAPE ISLAND EXHIBIT
	L1-12	LANDSCAPE ISLAND EXHIBIT
	L1-13	LANDSCAPE ISLAND EXHIBIT
	L1-14	LANDSCAPE ISLAND EXHIBIT
	L2-00	OVERALL TREE REPLACEMENT PLAN
	L2-01	TREE REPLACEMENT PLAN
	L2-02	TREE REPLACEMENT PLAN
	L2-03	TREE REPLACEMENT PLAN
	L2-04	TREE REPLACEMENT PLAN
	L2-10	LANDSCAPE DETAILS
	--	LIGHTING PLAN

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
25 BULL STREET, SUITE 400
SAVANNAH, GA 31401
PHONE: (912) 231-4384
WWW.KIMLEY-HORN.COM

IMPACT DEVELOPMENT PARTNERS
900 CIRCLE 75 PARKWAY, SUITE 550
ATLANTA, GA 30339
PHONE: 678.483.5379

HOM AT POOLER
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE040973
BRIAN D. CLOUSER
12/12/2023

GSWCC NO. (LEVEL II) 0000073524
DRAWN BY AJP
DESIGNED BY AJP
REVIEWED BY BDC
DATE 10/21/2023
PROJECT NO. 017879000
TITLE COVER SHEET
SHEET NUMBER C0-00

Drawing name: K:\S\AV_Civil\17879000_DP_Pooler Multifamily\CAD_24x36\Plansheets\C0-00 - CIVIL COVER SHEET.dwg C0-00 COVER SHEET Dec 11, 2023 6:00pm by: alex.puliz

LEGEND	
WOODS BOUND LINE	WOODS BOUND LINE
STORM PIPE	STORM PIPE
SANITARY FORCE MAIN	SANITARY FORCE MAIN
WATER MAIN	WATER MAIN
FIBER OPTIC	FIBER OPTIC
CONCRETE	CONCRETE
UNDERGROUND POWER	UNDERGROUND POWER
SANITARY CLEANOUT	SANITARY CLEANOUT
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY LATERAL	SANITARY LATERAL
STORM MANHOLE	STORM MANHOLE
MANHOLE	MANHOLE
LIGHT POLE	LIGHT POLE
ELECTRIC BOX	ELECTRIC BOX
WATER VALVE	WATER VALVE
WATER METER	WATER METER
WATER MARKING POST	WATER MARKING POST
IRRIGATION VALVE	IRRIGATION VALVE
IRRIGATION SPRINKLER	IRRIGATION SPRINKLER
FIBER OPTIC BOX	FIBER OPTIC BOX
FIBER OPTIC PEDestal	FIBER OPTIC PEDestal
CONCRETE	CONCRETE
ASPHALT	ASPHALT
CROSSING	CROSSING
RIGHT OF WAY	RIGHT OF WAY
CAPED NEWM BELT	CAPED NEWM BELT
WATER PIPE FOUND	WATER PIPE FOUND
WIRE FOUND	WIRE FOUND
MAG-HUL NAL SET	MAG-HUL NAL SET

SUBJECT PROPERTY

- PREVIOUS PLAT FOUND IN P.B. 53, PG. 324
- TAX PARCEL ID NUMBER 510091099
- ADDRESS QUACCO ROAD POOLER, GEORGIA

REFERENCES

- PLAT BOOK 53, PAGE 76
- PLAT BOOK 53, PAGE 284
- PLAT BOOK 53, PAGE 284
- PLAT BOOK 53, PAGE 284
- PLAT BOOK 53, PAGE 284

EXPLANATION OF UTILITY LOCATIONS

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF HOLES, MANHOLES, VALVES, PIPES, ETC. AND THE UNDEVELOPED AREAS ARE SHOWN AS PER THE UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPARE WITH THE UTILITY RECORDS. THE SURVEYOR IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES IN THE AREAS NOT SHOWN OR UNDEVELOPED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE BEST EFFORTS THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

UTILITIES WERE MARKED BY LONG ENGINEERING ON 06-10-2023.

ALL SPT AND MATERIAL TYPE ARE UNKNOWN UNLESS SPECIFIED ON DRAWING. ALL UTILITIES OWNED BY THE CITY OF POOLER.

ALL UTILITIES OWNED BY GEORGIA POWER COMPANY.

ALL UTILITIES OWNED BY COMCAST.

FLOOD ZONE NOTE

BY GEORGIA PLOTTING, ACCORDING TO F.L.M. MAP NO. 138510100, WITH AN EFFECTIVE DATE OF 08-28-2018, A PORTION OF THIS PROPERTY IS WITHIN ZONE "AE" ZONE "AE" IS A SPECIAL FLOOD HAZARD ZONE INDICATED BY THE 100-YR FLOOD. THE REMAINDER OF THIS PROPERTY IS WITHIN ZONE "X".

WETLANDS NOTE

ALL Tidal AND NON-Tidal THREATENED, MARSH AREAS AND WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS UNDER THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATION AND APPROVAL FROM THOSE AGENCIES. NO WETLANDS WERE DELINEATED AT THE TIME OF THIS SURVEY.

GENERAL SITE NOTES

- HORIZONTAL DATUM IS BASED ON NAD 83 GA. EAST ZONE ESTABLISHED BY USING EGS SOLUTIONS NETWORK GPS. DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
- ELEVATION DATUM IS BASED ON NAVD 1989 GA. EAST ZONE ESTABLISHED BY USING EGS SOLUTIONS NETWORK GPS.
- A HORVIC TOTAL STATION WAS USED TO COMPLETE THIS SURVEY. GPS WAS UTILIZED TO ESTABLISH STATION FRAME COORDINATES AND BENCHMARK ELEVATIONS.
- A TRIMBLE REAL-TIME PROMOTEY GPS RECEIVER WAS UTILIZED FOR REAL TIME KINEMATIC (RTK) POSITIONS ADJUSTED BY THE EGS NETWORK. THIS RECEIVER HAS A MAXIMUM HORIZONTAL ACCURACY OF 8MM + 1PPM RMS AND A MAXIMUM VERTICAL ACCURACY OF 15MM + 1PPM RMS AS PER THE MANUFACTURER.
- OWNERS AND TAX ID NUMBERS WERE TAKEN FROM THE CHATHAM COUNTY SAGIS WEB SITE.
- LAND SURVEYORS AS LICENSED PROFESSIONALS BY THE STATE OF GEORGIA ARE NOT EXPERTS IN THE RELEVANT PROFESSIONS AND ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATION AND APPROVAL FROM THOSE AGENCIES. NO WETLANDS WERE DELINEATED AT THE TIME OF THIS SURVEY.
- PROPERTIES WITHIN THE LIMITS OF THIS SURVEY MAY BE SUBJECT TO EASEMENTS, RESERVATIONS, RIGHTS OF WAY OR RESTRICTIONS WHICH ARE NOT RECORDED OR ARE OTHERWISE UNKNOWN TO THE SURVEYOR. THEREFORE EXCEPTION IS MADE TO ANY SUCH ITEMS.

PRECISION DATA

FIELD METHOD	1/162074	TRIMBLE L1 GPS	JOB NO.	2023196
FIELD METHOD	07/01/01	MARKET LOCATOR	DATE	06-07-2023
ADJ. METHOD	NETWORK LEAST SQUARES	TRIMBLE ACCESS	FIELD EQUIPMENT	
E.C. DATE	11/15/16	TRIMBLE SCB-1000		

DRAWING NUMBER

1

1 OF 2 SHEETS

TOPOGRAPHIC SURVEY OF AN EXISTING PARCEL PREPARED FOR IMPACT DEVELOPMENT MANAGEMENT LOCATED IN THE 8TH G.M.D. CITY OF POOLER, CHATHAM COUNTY, GA.

MAXWELL REDDICK & ASSOCIATES, P.C.

CHATHAM COUNTY, GEORGIA

40 JOE KENNEDY BLVD. STATESBORO, GA 30428

912-548-7112 OFFICE

2500 NORTHWINDS PRVY. SUITE 300 ALPHARETTA, GA 30009

404-880-1010 OFFICE

THE DRAWING WAS PREPARED WITHOUT THE BENEFIT OF AN INVESTIGATION OR SEARCH FOR EASEMENTS, ENCUMBRANCES OR OTHER FACTS OF RECORD, THAT ACCURATELY DEFINE THE BOUNDARY DISCLOSED.

DRAWN BY: AW, JTD, DY

FIELD WORK: 06-01-2023

DATE: 06-07-2023

PRECISION DATA

FIELD METHOD	1/162074	TRIMBLE L1 GPS	JOB NO.	2023196
FIELD METHOD	07/01/01	MARKET LOCATOR	DATE	06-07-2023
ADJ. METHOD	NETWORK LEAST SQUARES	TRIMBLE ACCESS	FIELD EQUIPMENT	
E.C. DATE	11/15/16	TRIMBLE SCB-1000		

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1 OF 2 SHEETS

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404-880-1010 OFFICE



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	200.00	28.27	24.47	N 37°53'44" E
C2	229.92	29.89	29.97	N 60°57'59" E
C3	81.00	13.67	13.66	S 87°03'29" W
C4	25.00	79.30	77.68	N 66°02'00" W
C5	182.00	34.83	34.78	N 25°10'19" W
C6	182.00	117.36	115.34	N 01°10'31" W
C7	142.00	56.39	66.09	N 23°23'52" W
C8	170.00	66.09	65.67	S 73°23'52" W
C9	177.33	22.97	22.96	S 88°00'12" W

LINE	BEARING	DISTANCE
L1	N 55°23'05" W	133.13
L2	N 27°48'50" W	59.91
L3	N 63°29'04" E	54.88
L4	S 69°13'17" E	16.23
L5	N 46°59'11" E	67.91
L6	S 54°42'48" E	39.92
L7	S 42°07'00" E	44.33
L8	S 64°16'53" W	49.58
L9	S 56°45'01" E	47.50
L10	N 70°00'37" E	60.38
L11	N 19°59'23" E	60.00
L12	S 70°00'37" W	60.00
L13	S 19°59'23" E	65.34
L14	S 84°33'01" W	79.27
L15	N 88°13'01" W	56.26
L16	N 44°08'44" W	21.98

APPROXIMATE LIMITS OF 100-YR FLOOD.

APPROXIMATE LIMITS OF 100-YR FLOOD.

APPROXIMATE LIMITS OF 100-YR FLOOD.

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APPROXIMATE LIMITS OF 100-YR FLOOD.

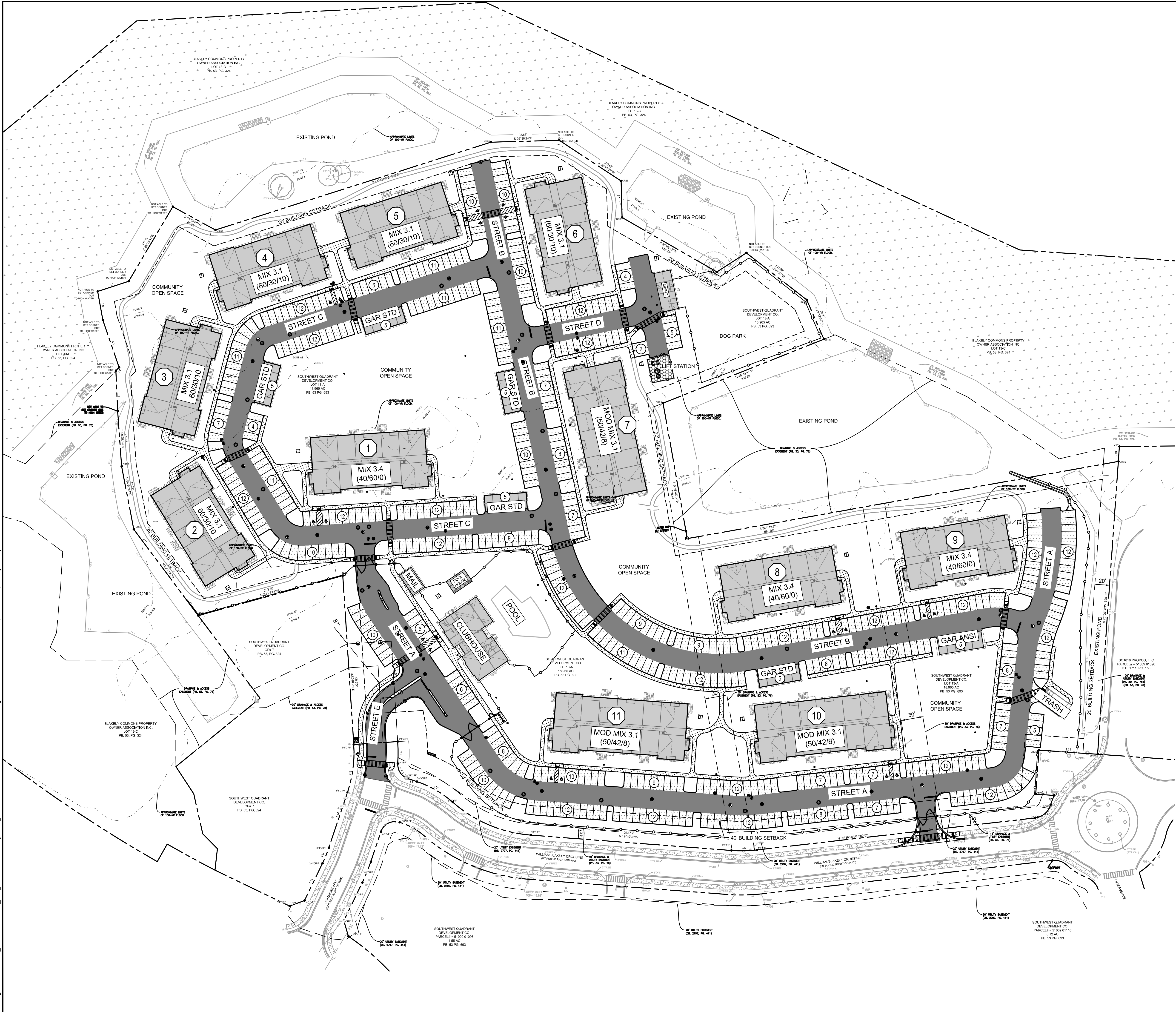
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APPROXIMATE LIMITS OF 100-YR FLOOD.

Drawing name: K:\SAV_Civil\17879000_DP_Pooler MultiFamily\CAD_24x36\Plansheets\C2-00 - SITE PLAN.dwg C2-00 SITE PLAN Dec 11, 2023 6:01 pm by alex.putz



DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	PUD (BLAKELY COMMONS)
SITE AREA:	18.965 ACRES
IMPERVIOUS AREA:	9.49 ACRES (50.0%)
PERVIOUS AREA:	9.48 ACRES (50.0%)
MAX IMPERVIOUS COVERAGE:	60%
TOTAL DISTURBED AREA:	18.5 ACRES
BUILDING SETBACK:	
FRONT:	40 FT
SIDE:	20 FT
BACK:	20 FT
ACCESSORY:	20 FT
PROPOSED BUILDING HEIGHT:	42'-2"
MAXIMUM BUILDING HEIGHT:	50'-0"
PROPOSED LAND USES & DENSITIES:	MULTIFAMILY RESIDENTIAL 348 UNITS
PARKING SUMMARY:	
REQUIRED PARKING:	609 SPACES (TOTAL)
MULTIFAMILY (348 UNITS)	609 SPACES (1.75/UNIT)
PROPOSED PARKING:	611 SPACES (TOTAL)
STANDARD	563 SPACES
GARAGE	30 SPACES
HANDICAP (VAN)	10 SPACES
HANDICAP (NON-VAN)	8 SPACES

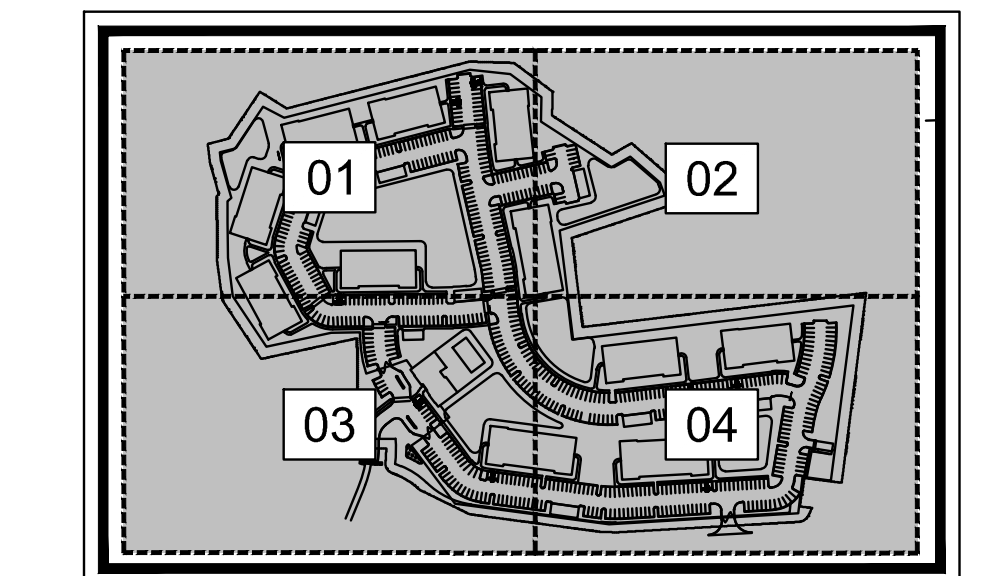
CONDITION - IF GARAGES ARE USED FOR PURPOSES OTHER THAN PARKING, ADDITIONAL PARKING WILL BE REQUIRED

SITE NOTES:

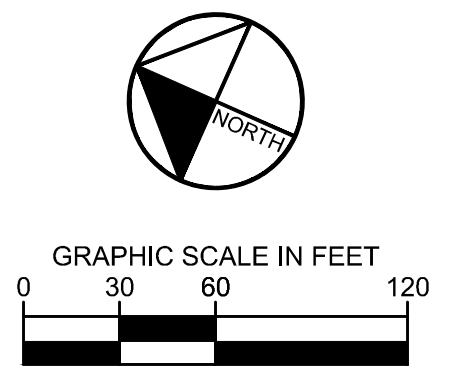
- THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY GROUP 4 DESIGN, INC., DATED 05/15/2023 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY MAXWELL-REDDICK, DATED 06/27/2023.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
- ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA STATE CODE.
- REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE INDICATED ON THE SITE PLAN.

SITE PLAN LEGEND:

	PROPERTY LINE
	40 / 20 FT BUILDING SETBACK LINE
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	STANDARD DUTY CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	CRUSHER RUN GRAVEL
	PARKING COUNT



KEY MAP
NOT TO SCALE



PREPARED BY: **Kimley»Horn**
 DEVELOPMENT PARTNER: **IMPACT**
 900 CIRCLE 75 PARKWAY, SUITE 650
 ATLANTA, GA 30339
 PHONE: (404) 231-4384
 WWW.KIMLEY-HORN.COM

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT: **HOM AT POOLER**
 COMMONS WAY, POOLER, GA 31322
 LAND LOT 13-A, 7TH DISTRICT
 PARCEL ID: 51009-01089

REGISTERED PROFESSIONAL ENGINEER
 No. PE040973
 BRAD D. CLOVIS

GSWCC NO. (LEVEL II)	0000073524
DRAWN BY	AJP
DESIGNED BY	AJP
REVIEWED BY	BDC
DATE	10/21/2023
PROJECT NO.	017879000
TITLE	OVERALL SITE PLAN
SHEET NUMBER	C2-00

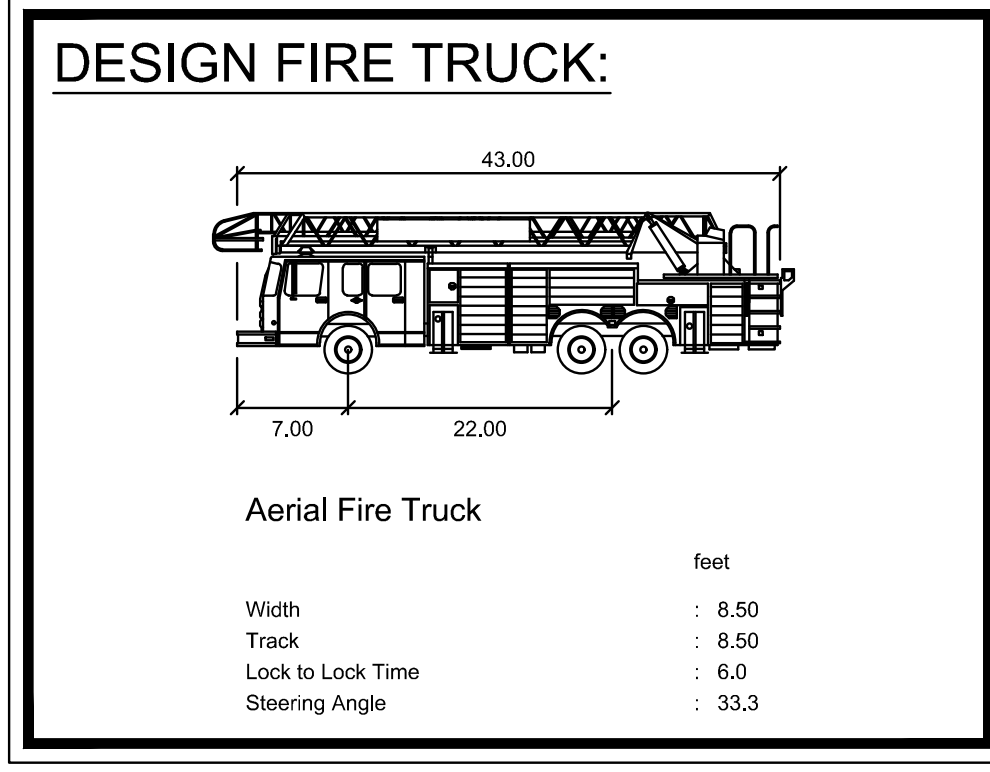
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Drawing name: K:\S\A\ C\m1017879000_DP_Pooler Multi\Family\CAD_24x36\Plansheets\C2-30 - FIRE TRUCK TURN.dwg C2-30 FIRE PROTECTION PLAN Dec 11, 2023 6:03pm by: alex.putz



FIRE PROTECTION NOTES:

1. SITE IS TO BE CONSTRUCTED TO MEET ALL FIRE CODE REQUIREMENTS.
2. ENSURE ALL DRIVE AISLES ARE 26' IN WIDTH TO ACCOMMODATE AERIAL FIRE TRUCK MOVEMENTS.
3. ALL BUILDINGS TO BE WITHIN 600 FEET HOSE LAY.



FIRE PROTECTION PLAN LEGEND:

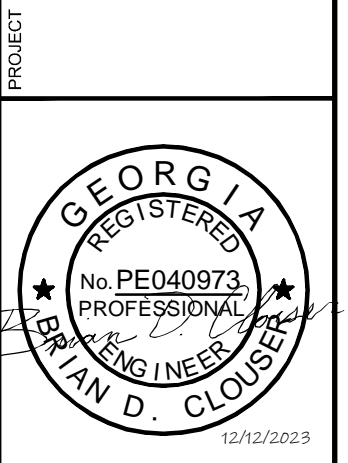
--- HOSE LAY LENGTH

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IMPACT
 DEVELOPMENT ENGINEER
 900 CIRCLE 75 PARKWAY, SUITE 650
 ATLANTA, GA 30339
 PHONE: 678-465-5279

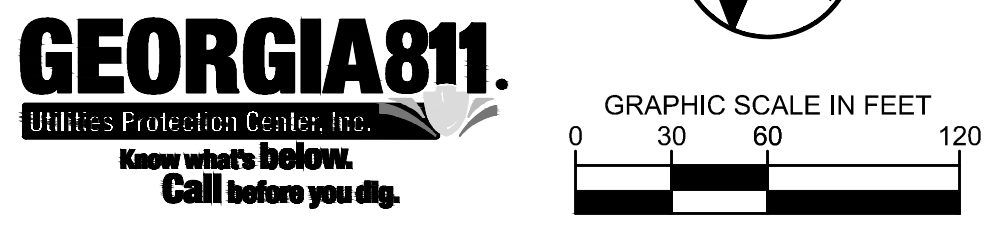
NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

HOM AT POOLER
 COMMONS WAY, POOLER, GA 31322
 LAND LOT 13-A, 7TH DISTRICT
 PARCEL ID: 51009-01089



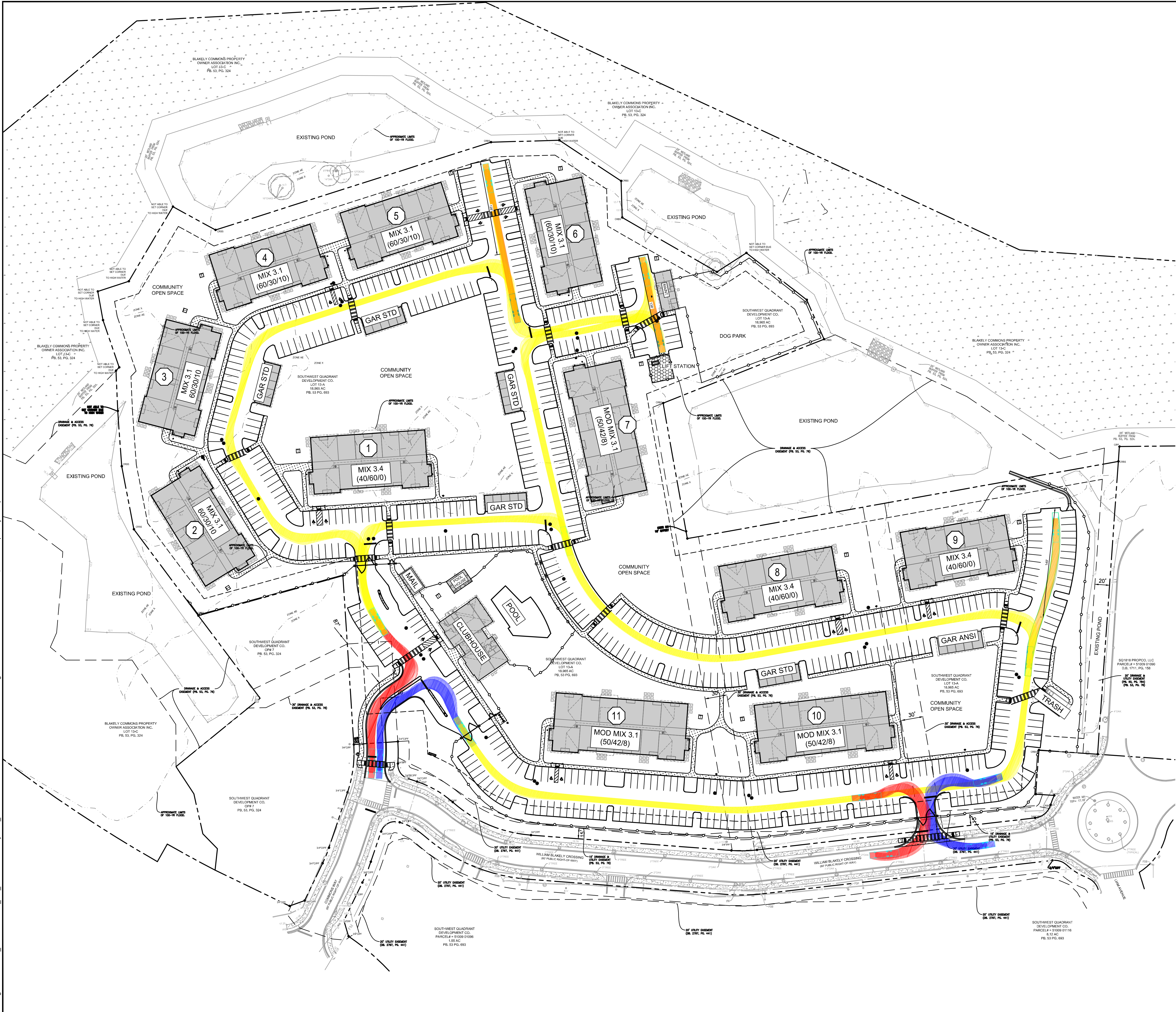
GSWCC NO. (LEVEL II) 0000073524
 DRAWN BY AJP
 DESIGNED BY AJP
 REVIEWED BY BDC
 DATE 10/21/2023
 PROJECT NO. 017879000

TITLE
FIRE PROTECTION PLAN
 SHEET NUMBER
C2-30



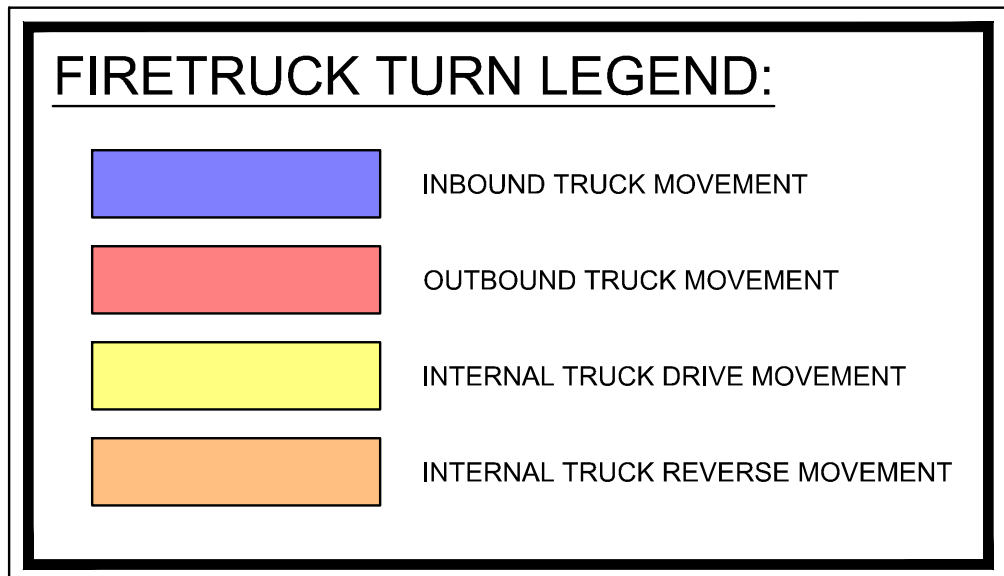
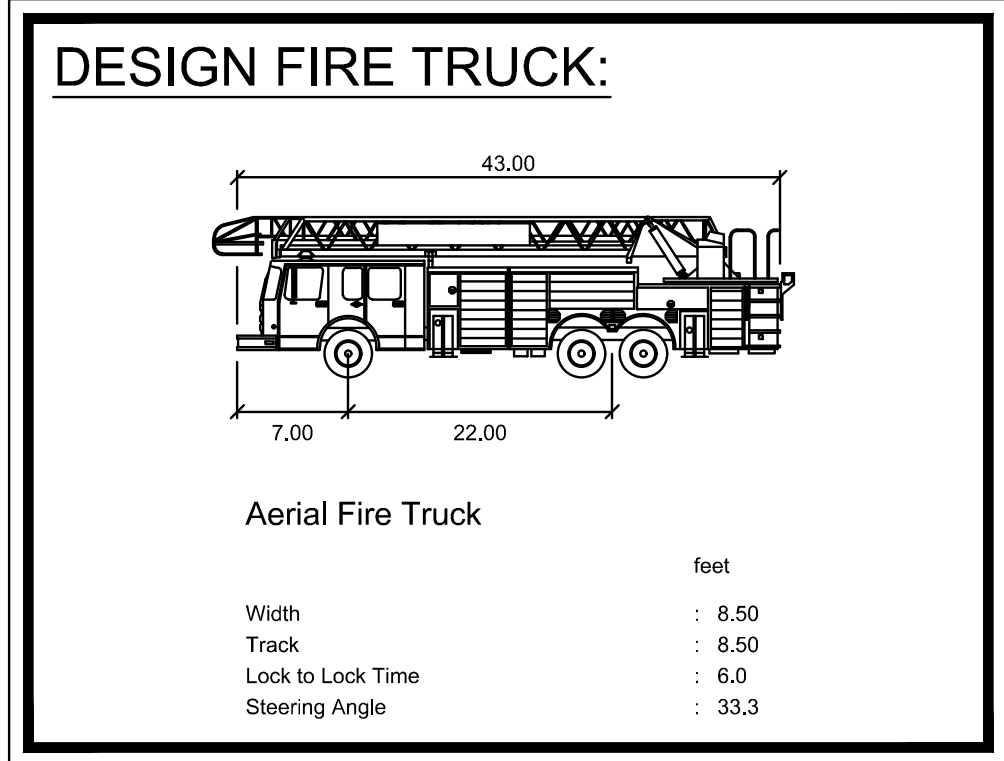
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Drawing name: K:\SAV_Civil\17879000_DP_Pooler MultiFamily\CAD_24x36\Plansheets\C2-30 - FIRE TRUCK TURN.dwg Dec 11, 2023 6:03pm by alex.putz



FIRE PROTECTION NOTES:

1. SITE IS TO BE CONSTRUCTED TO MEET ALL FIRE CODE REQUIREMENTS.
2. ENSURE ALL DRIVE AISLES ARE 26' IN WIDTH TO ACCOMMODATE AERIAL FIRE TRUCK MOVEMENTS.
3. ALL BUILDINGS TO BE WITHIN 600 FEET HOSE LAY.

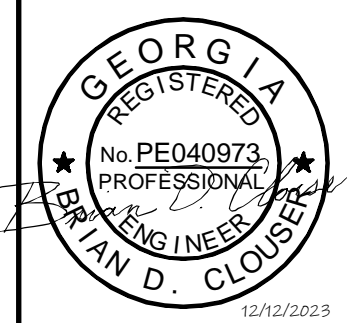


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PREPARED FOR
IMPACT DEVELOPMENT PARTNERS
900 CIRCLE 75 PARKWAY, SUITE 650
ATLANTA, GA 30339
PHONE: 678-465-5279

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

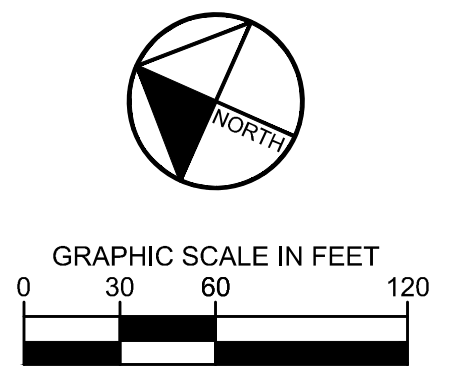
HOM AT POOLER
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089



PROJECT
GSWCC NO. (LEVEL II) 0000073524
DRAWN BY AJP
DESIGNED BY AJP
REVIEWED BY BDC
DATE 10/21/2023
PROJECT NO. 017879000

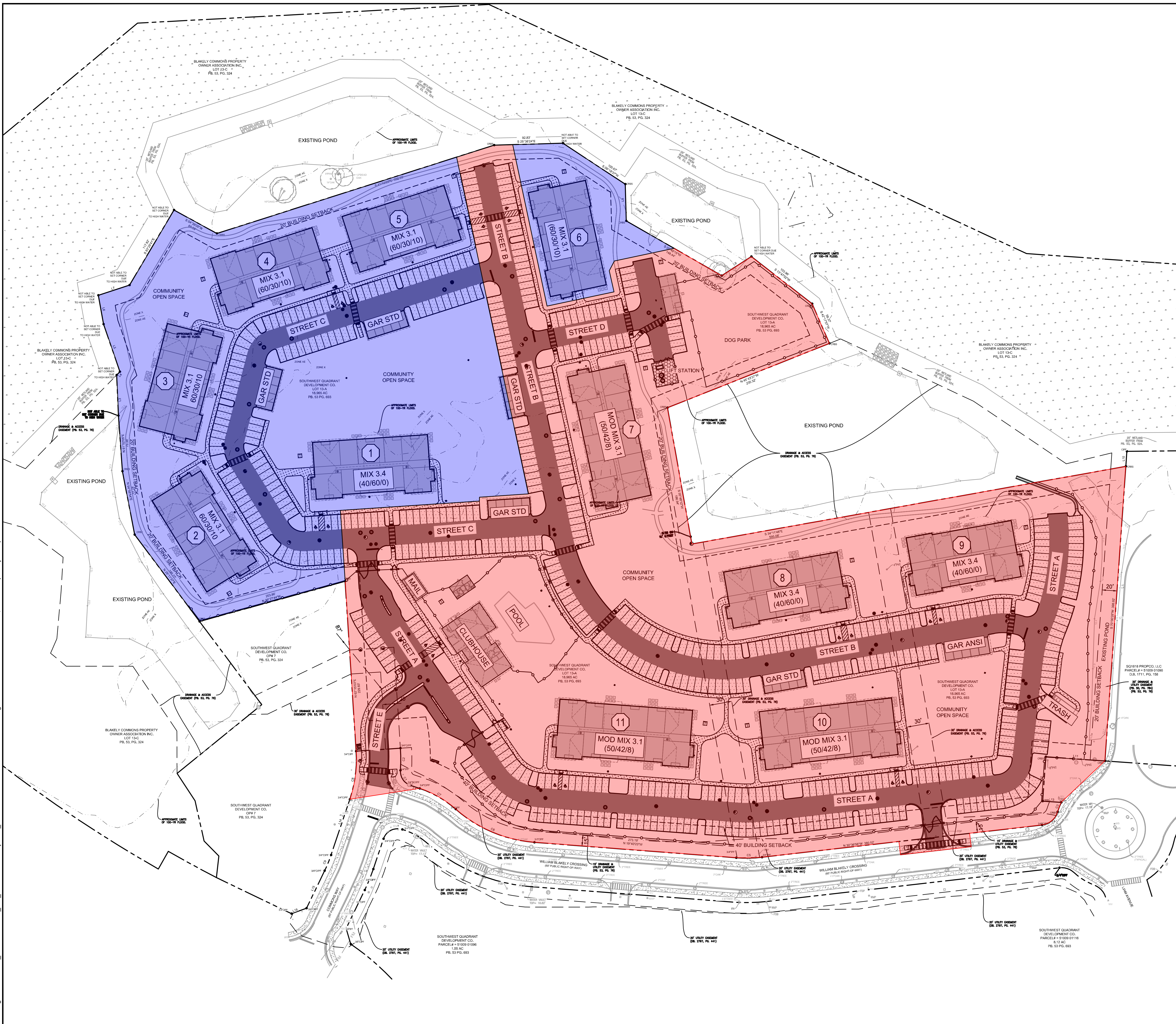
TITLE
FIRE TRUCK TURN
SHEET NUMBER
C2-31

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Drawing name: K:\SAV_Civil\17879000_DP_Pooler MultiFamily\CAD_24x36\Plansheets\C2-00 - SITE PLAN.dwg C2-00 PHASING PLAN Dec 11, 2023 6:04pm by: albx.puz



SITE PLAN LEGEND:

PHASE 1

PHASE 2

PHASING NOTES:

- PHASING WILL BE COMPLETED IN NUMERICAL ORDER
- PHASE 1 WILL COMPLETE AMENITY FIRST, PHASE 2 WILL BEGIN HALFWAY THROUGH THE COMPLETION OF PHASE 1.
- ALL ASSOCIATED UTILITIES FOR BUILDINGS IN EACH PHASE SHALL BE INSTALLED DURING THAT RESPECTIVE PHASE.

KEY MAP
NOT TO SCALE

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GRAPHIC SCALE IN FEET
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900 CIRCLE 75 PARKWAY, SUITE 650
ATLANTA, GA 30339
PHONE: 678-465-5279

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

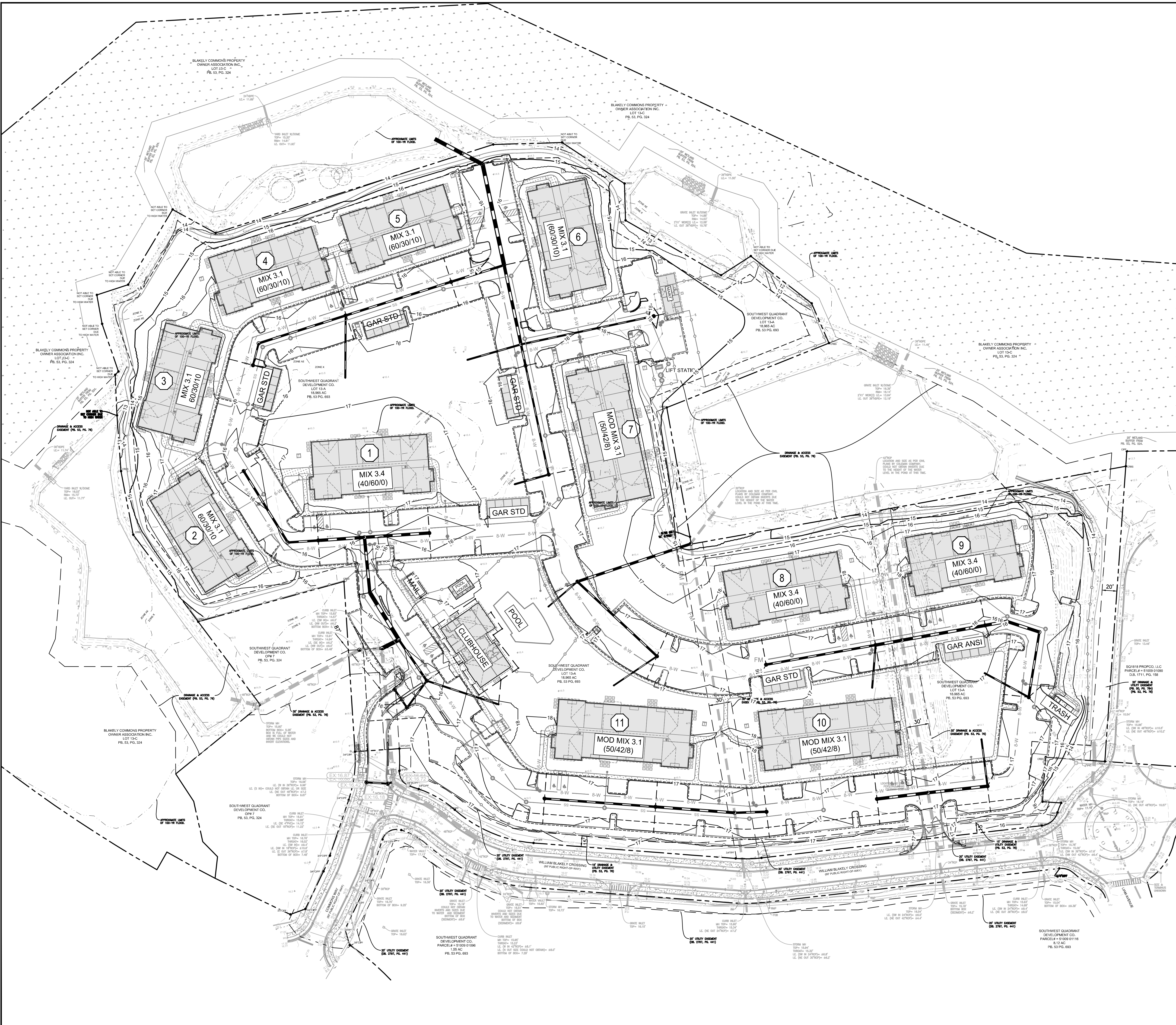
HOM AT POOLER
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089

PROJECT: **GEORGIA REGISTERED PROFESSIONAL ENGINEER**
No. PE040973
BRAND, D. CLOVIS
10/23/2023

GSWCC NO. (LEVEL II) 0000073524
DRAWN BY: AJP
DESIGNED BY: AJP
REVIEWED BY: BDC
DATE: 10/21/2023
PROJECT NO.: 017879000
TITLE: **PHASING PLAN**
SHEET NUMBER: **C2-50**

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Drawing name: K:\SAV_Civil\17879000_DP_Pooler Multi\Family\CAD_24x36\Plansheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C3-00 OVERALL GRADING & DRAINAGE PLAN Dec 11, 2023 6:05pm by: alex.patz



GRADING & DRAINAGE NOTES:

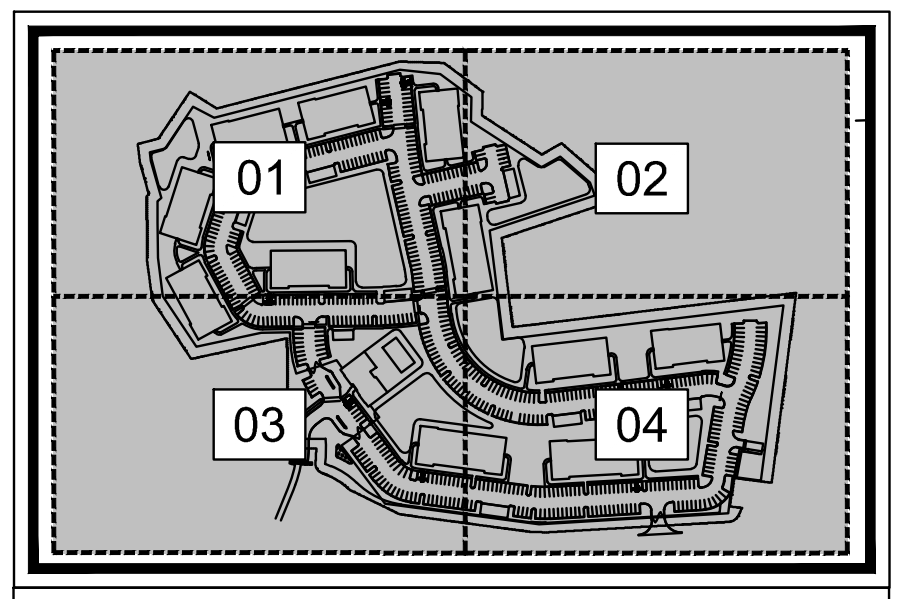
- SITE AREA: 18.965 ACRES
DISTURBED AREA: 18.5 ACRES
- CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
- ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
- ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
- ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13051C0109G, DATED 08/16/2018.
- UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO AVOID CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
- CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
- NO GRADED SLOPE SHALL EXCEED 3H:1V
- IMPORT FILL MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT WITHIN ROADWAY. FAILURE TO PERFORM REQUIRED TESTING MAY RESULT IN REJECTION OF WORK.

GRADING LEGEND:

- 950 --- EXISTING MAJOR CONTOUR
- 948 --- EXISTING MINOR CONTOUR
- 945 --- PROPOSED MAJOR CONTOUR
- 944 --- PROPOSED MINOR CONTOUR
- ⊗ 945.00 --- PROPOSED SPOT GRADE
- ⊗ HP-945.00 --- PROPOSED HIGH POINT GRADE
- ⊗ LP-945.00 --- PROPOSED LOW POINT GRADE
- ⊗ TC-945.00 --- PROPOSED TOP OF CURB GRADE
- ⊗ BC-945.00 --- PROPOSED BOTTOM OF CURB GRADE
- DRAINAGE FLOW ARROW

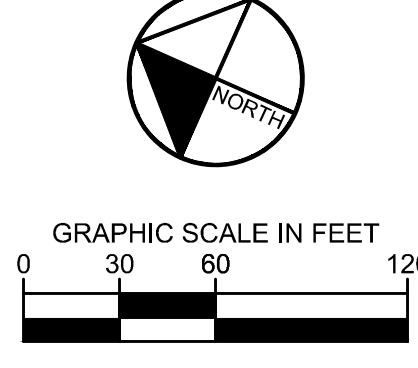
STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (POOLER DETAIL P-23)
- CI CURB INLET (POOLER DETAIL P-19, TYPE A)
- GI GRATE INLET (POOLER DETAIL P-21)
- YD YARD DRAIN (POOLER DETAIL P-21)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE
- 8" SDR26 PVC PIPE
- 4" PERFORATED SUBGRADE DRAIN



KEY MAP
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ATLANTA, GA 30339
PHONE: 678-485-5279

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

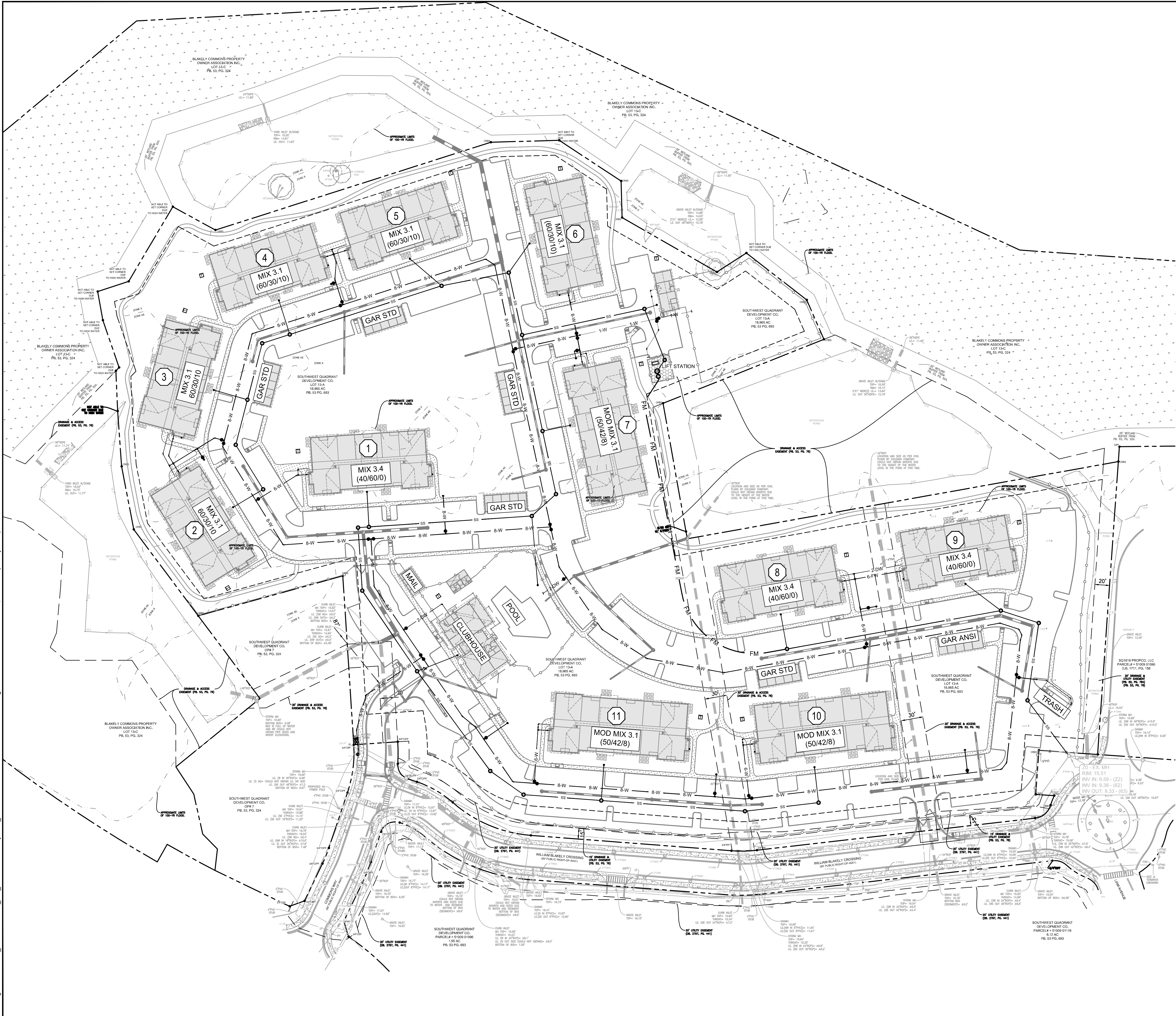
HOM AT POOLER
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE040973
BRAND, D. CLOVIS

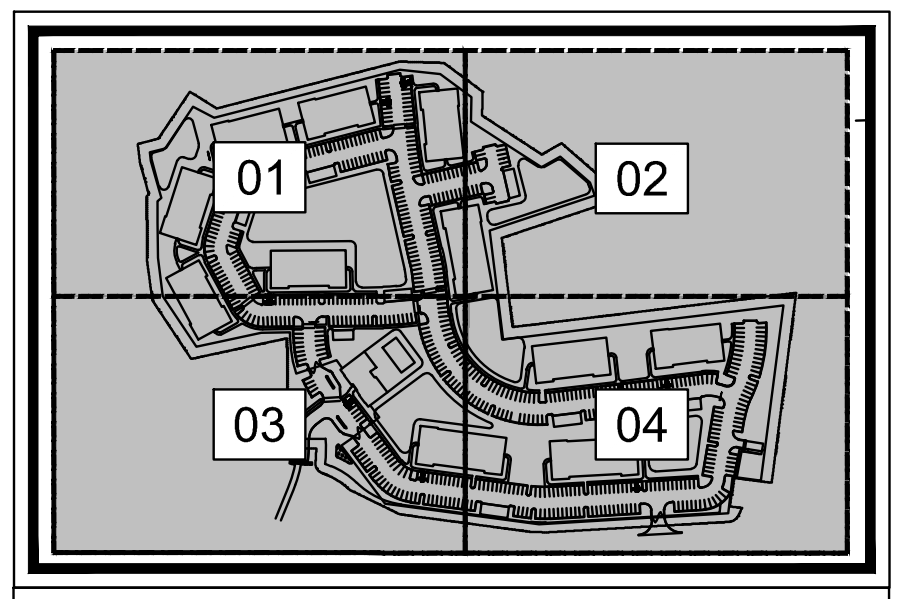
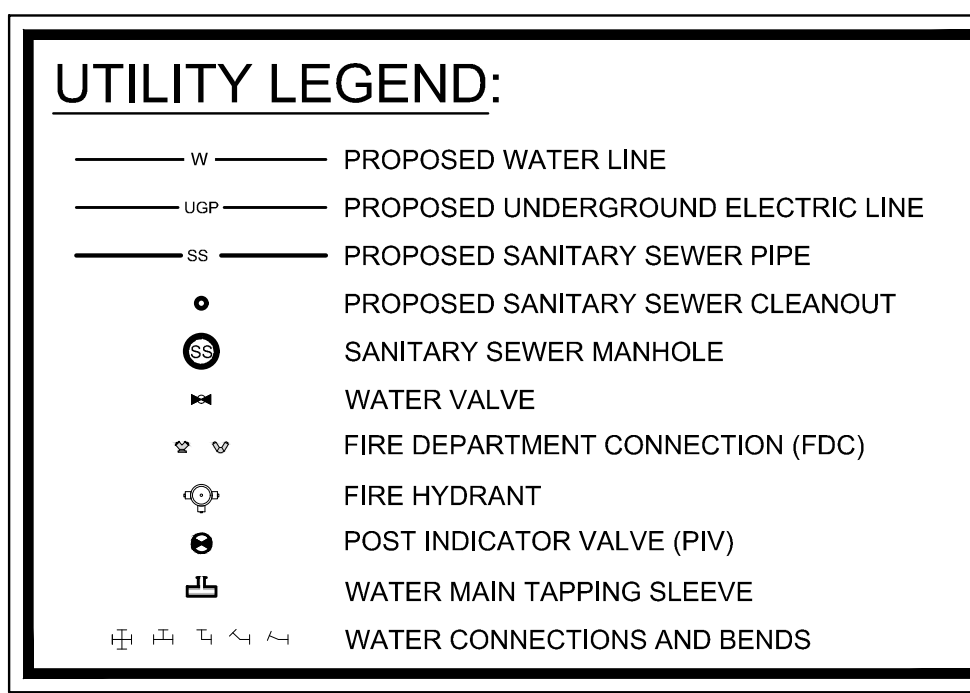
GSWCC NO. (LEVEL II) 0000073524
DRAWN BY: AJP
DESIGNED BY: AJP
REVIEWED BY: BDC
DATE: 10/21/2023
PROJECT NO.: 017879000
TITLE: **OVERALL GRADING & DRAINAGE PLAN**
SHEET NUMBER: **C3-00**

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- ### UTILITY NOTES:
- ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 - CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF POOLER SANITARY SEWER AND CITY OF POOLER WATER STANDARDS AND SPECIFICATIONS.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 - ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
 - ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
 - CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 - ALL PROPOSED ONSITE UTILITIES SHALL BE CLASSIFIED AS PRIVATE AND NOT MAINTAINED BY THE CITY OF POOLER.
 - PROVIDE HDPE OR STAINLESS STEEL I&I INHIBITORS UNDER ALL STORM SEWER MANHOLES IN CONCRETE OR PAVEMENT.
 - USE WATERTIGHT MANHOLE RINGS AND COVERS WITHIN OR BELOW +1' OF BASE FLOOD ELEVATION.
 - ALL PROPOSED SANITARY SEWER LINES WILL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WET WELLS, RECEIVING MANHOLES, AND DROP MANHOLES SHALL BE LINED WITH RAVEN LINER PRODUCT FOR CORROSION PROTECTION PER CITY OF POOLER SPECIFICATION 02545.



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0 30 60 120

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE040973
BRANDY D. CLOUTIER

PROJECT: **HOM AT POOLER**
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089

DATE: 10/21/2023
PROJECT NO.: 017879000
TITLE: **OVERALL UTILITY PLAN**
SHEET NUMBER: **C4-00**

ISSUANCE AND REVISION DESCRIPTIONS

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IMPACT
DEVELOPMENT PARTNER
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ATLANTA, GA 30339
PHONE: 678-483-5279

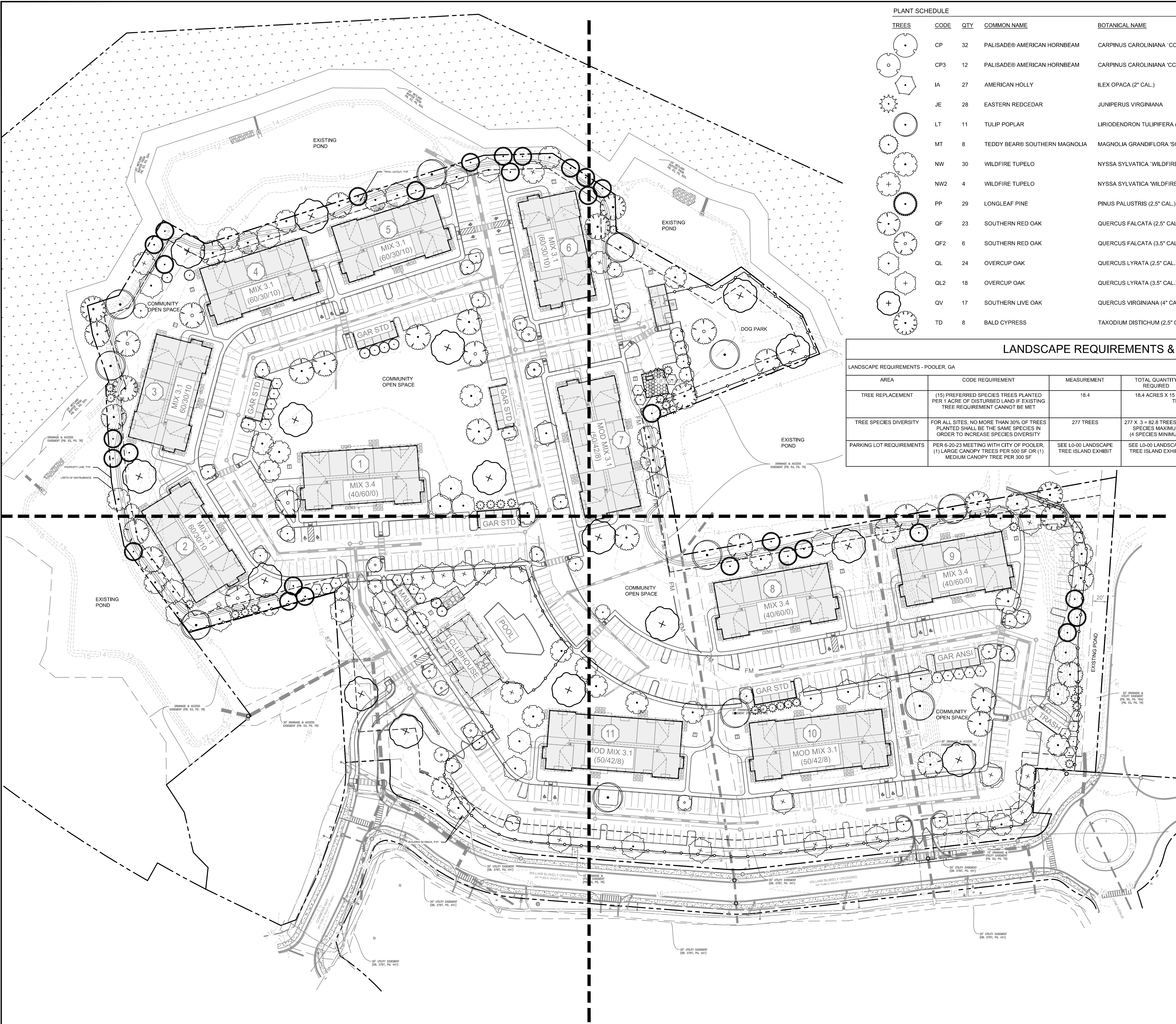
GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. PE040973
BRANDY D. CLOUTIER

PROJECT: **HOM AT POOLER**
COMMONS WAY, POOLER, GA 31322
LAND LOT 13-A, 7TH DISTRICT
PARCEL ID: 51009-01089

DATE: 10/21/2023
PROJECT NO.: 017879000
TITLE: **OVERALL UTILITY PLAN**
SHEET NUMBER: **C4-00**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: K:\SAV_Civil\17879000_DP_Pooler MultiFamily\CAD_24x36\Plansheets\L2-00 - TREE REPLACEMENT PLAN.dwg L2-00 OVERALL TREE REPLACEMENT PLAN Dec 12, 2023 9:52am by: abk.pjuz



PLANT SCHEDULE

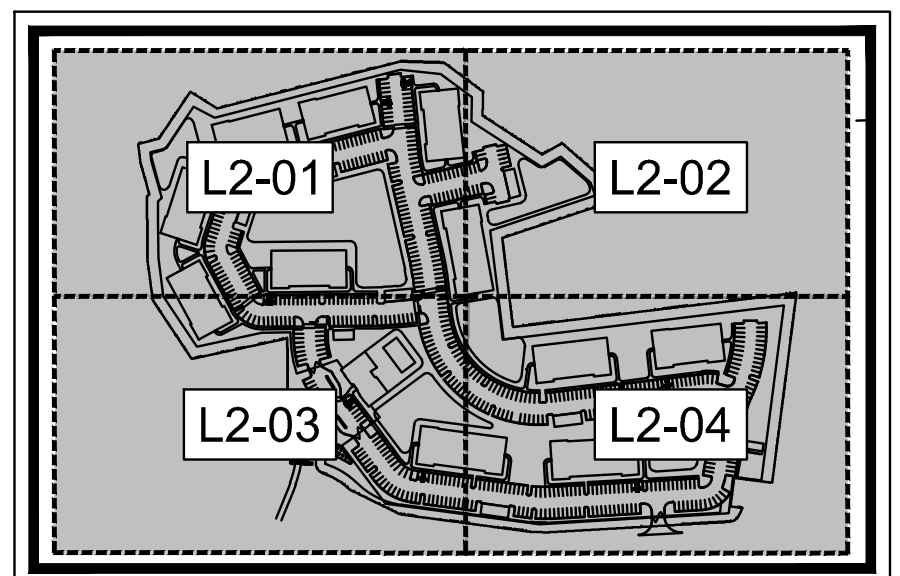
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL.	HT.	CONT.
CP	32		PALISADE® AMERICAN HORNBEAM	CARPINUS CAROLINIANA 'CCSQU' (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B
CP3	12		PALISADE® AMERICAN HORNBEAM	CARPINUS CAROLINIANA 'CCSQU' (3" CAL.)	3" CAL.	16' - 18' HT.	B&B
IA	27		AMERICAN HOLLY	ILEX OPACA (2" CAL.)	2" CAL.	6' HT. MIN.	B&B
JE	28		EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	2" CAL.	6' HT. MIN.	B&B
LT	11		TULIP POPLAR	LIRIODENDRON TULIPIFERA (3.5" CAL.)	3.5" CAL.	18' - 20' HT.	B&B
MT	8		TEDDY BEAR® SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' (2" CAL.)	2" CAL.	6' HT. MIN.	B&B
NW	30		WILDFIRE TUPELO	NYSSA SYLVATICA 'WILDFIRE' (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B
NW2	4		WILDFIRE TUPELO	NYSSA SYLVATICA 'WILDFIRE' (3" CAL.)	3" CAL.	16' - 18' HT.	B&B
PP	29		LONGLEAF PINE	PINUS PALUSTRIS (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B
QF	23		SOUTHERN RED OAK	QUERCUS FALCATA (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B
QF2	6		SOUTHERN RED OAK	QUERCUS FALCATA (3.5" CAL.)	3.5" CAL.	18' - 20' HT.	B&B
QL	24		OVERCUP OAK	QUERCUS LYRATA (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B
QL2	18		OVERCUP OAK	QUERCUS LYRATA (3.5" CAL.)	3.5" CAL.	18' - 20' HT.	B&B
QV	17		SOUTHERN LIVE OAK	QUERCUS VIRGINIANA (4" CAL.)	4" CAL.	20' - 22' HT.	B&B
TD	8		BALD CYPRESS	TAXODIUM DISTICHUM (2.5" CAL.)	2.5" CAL.	14' - 16' HT.	B&B

LANDSCAPE REQUIREMENTS & CALCULATIONS

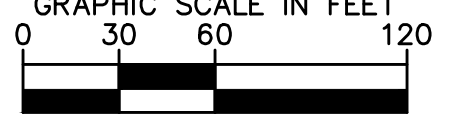
AREA	CODE REQUIREMENT	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	NOTES	SECTION
TREE REPLACEMENT	(15) PREFERRED SPECIES TREES PLANTED PER 1 ACRE OF DISTURBED LAND IF EXISTING TREE REQUIREMENT CANNOT BE MET	18.4	18.4 ACRES X 15 = 276 TREES	277 TREES OF PREFERRED SPECIES	TREES TO BE PLANTED AT MINIMUM OF 2" CALIPER & 8' IN HEIGHT PER SECTION REQUIREMENTS	SECTION 42-199
TREE SPECIES DIVERSITY	FOR ALL SITES, NO MORE THAN 30% OF TREES PLANTED SHALL BE THE SAME SPECIES IN ORDER TO INCREASE SPECIES DIVERSITY	277 TREES	277 X .3 = 82.8 TREES PER SPECIES MAXIMUM (4 SPECIES MINIMUM)	11 SPECIES PROVIDED	NO SPECIES EXCEEDS 30% OF TOTAL WHICH MEETS DIVERSITY REQUIREMENTS	SECTION 42-199
PARKING LOT REQUIREMENTS	PER 6-20-23 MEETING WITH CITY OF POOLER, (1) LARGE CANOPY TREES PER 500 SF OR (1) MEDIUM CANOPY TREE PER 300 SF	SEE L0-00 LANDSCAPE TREE ISLAND EXHIBIT	SEE L0-00 LANDSCAPE TREE ISLAND EXHIBIT	SEE L1 SERIES SHEETS FOR LANDSCAPE TREE ISLAND EXHIBITS	WHERE POSSIBLE SEE LANDSCAPE TREE ISLAND EXHIBIT	SECTION 42-200 AND BY AGREEMENT

TREE SPECIES DIVERSITY

SPECIES	QUANTITY	PERCENTAGE OF TOTAL QUANTITY
CARPINUS CAROLINIANA	44	15.88%
ILEX OPACA	27	9.75%
EASTERN RED CEDAR	28	10.11%
LIRIODENDRON TULIPIFERA	11	3.97%
MAGNOLIA GRANDIFLORA	8	2.89%
NYSSA SYLVATICA	34	12.27%
PINUS PALUSTRIS	29	10.47%
QUERCUS FALCATA	29	10.47%
QUERCUS LYRATA	42	15.16%
QUERCUS VIRGINIANA	17	6.14%
TAXODIUM DISTICHUM	8	2.89%



KEY MAP NOT TO SCALE



PREPARED BY: **Kimley-Horn**
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 25 BULL STREET, SUITE 400
 ATLANTA, GA 30339
 PHONE: (404) 525-4384
 WWW.KIMLEY-HORN.COM

DEVELOPMENT PARTNER: **IMPACT**
 900 CIRCLE 75 PARKWAY, SUITE 650
 ATLANTA, GA 30339
 PHONE: 678-465-5279

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

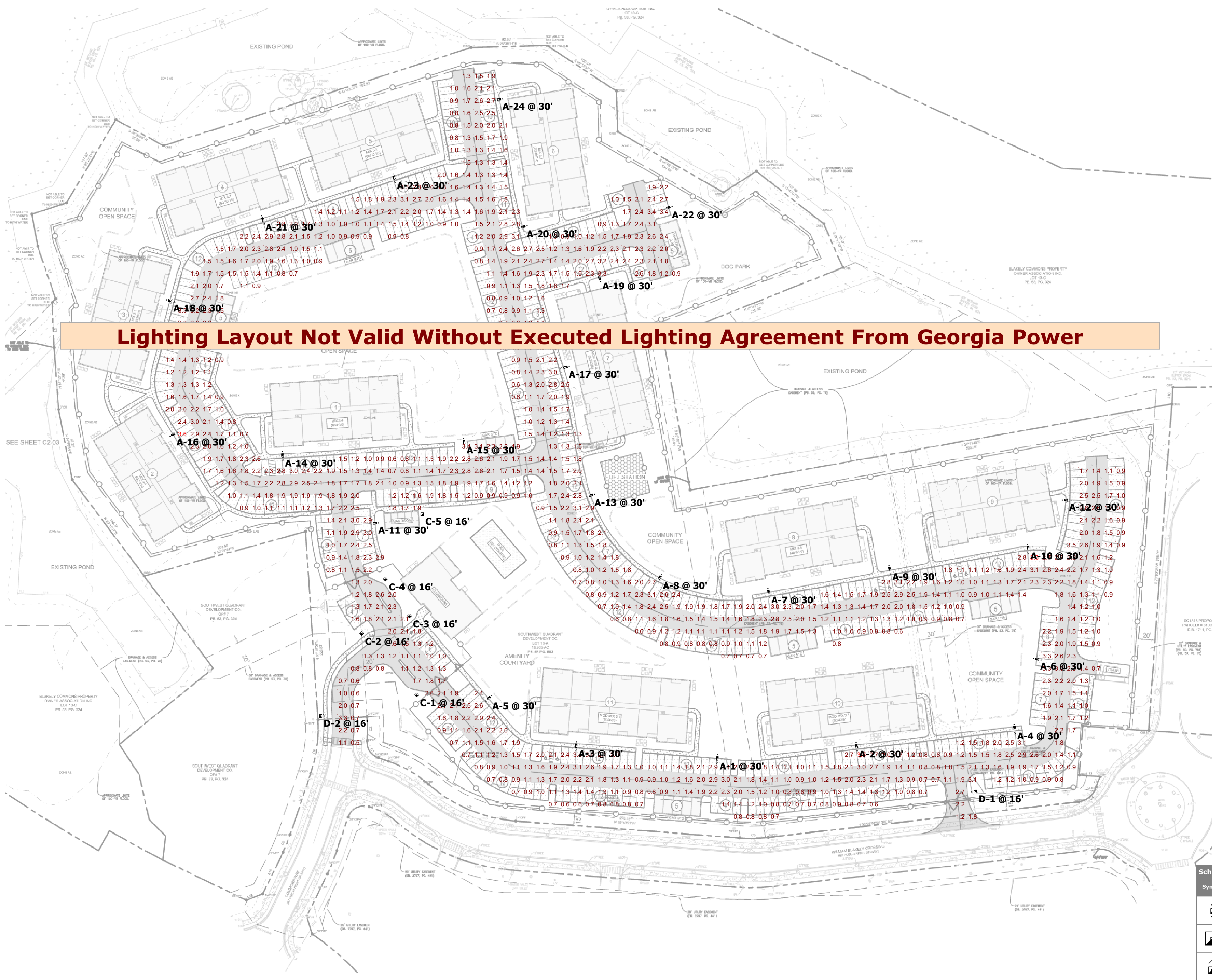
PROJECT: **HOM AT POOLER**
 COMMONS WAY, POOLER, GA 31322
 LAND LOT 13-A, 7TH DISTRICT
 PARCEL ID: 51009-01089

PROJECT: **GEORGIA REGISTERED ARCHITECT**
 No. 001542
 K. SHARRON SKIDMORE
 12/12/2023

GSWCC NO. (LEVEL II) 0000073524
 DRAWN BY FC
 DESIGNED BY FC
 REVIEWED BY KSS
 DATE 12/08/2023
 PROJECT NO. 017879000

TITLE: **OVERALL TREE REPLACEMENT PLAN**
 SHEET NUMBER: **L2-00**

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Lighting Layout Not Valid Without Executed Lighting Agreement From Georgia Power

Plan View
Scale - 1" = 60'

Schedule					
Symbol	Label	QTY	Catalog Number	Description	LLF Wattage
A	A	24	ARCH-L-PA3-210-740-U-T4W	ARCHEON-L ROADWAY AND AREA LUMINAIRE (3) 70 CRI, 4000K, 900mA LIGHT ENGINES WITH 24 LEDs AND TYPE IV WIDE OPTICS	0.912 211
C	C	5	UTLD-PA1-70-740-U-5WQ	TRADITIONAIRE LED DOWNLIGHT LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDs AND TYPE V WIDE OPTICS	0.912 74
D	D	2	UTLD-PA1-70-740-U-T3	TRADITIONAIRE LED DOWNLIGHT LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDs AND TYPE III OPTICS	0.912 74

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Calc Zone #1	+	1.6 fc	3.6 fc	0.5 fc	7.2:1 3.2:1

- Notes**
1. Readings are shown in units of maintained footcandles.
 2. Total Light Loss Factor (LLF) = .912 LLF for LED
 3. Test Plane = 0' Above grade
 4. Fixture Mounting Height = See Plan view.
 5. Fixture Spacing = See Plan view.
 6. This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
 7. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Disclaimer
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Frazier Photometrics is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Frazier Photometrics be held responsible for any loss resulting from any use of this lighting design.

IDP Pooler Multifamily

Designer
KF
Date
8/12/2023
Scale
As Shown
Drawing No.
S44323A1
Summary



December 13th, 2023

Brian D. Clouser, P.E.
Kimley Horn
554 E Gordon St
Savannah, GA 31401

Dear Mr. Clouser,

I am pleased to provide you with a recommendation for Approval of the site development plans for HOM at Pooler, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Dec. 2023</i>
	Stormwater Management Report (On-Site).....	<i>Oct. 2023</i>
	Stormwater Management Report (Master).....	<i>Nov. 2023</i>
	Stormwater Maintenance Agreement.....	<i>Nov. 2023</i>
	CLOMR-F Application.....	<i>Nov. 2023</i>
	No-Rise Certification.....	<i>Nov. 2023</i>
	Engineering Report: Water System.....	<i>Nov. 2023</i>
	Engineering Report: Sewer System/Lift Station.....	<i>Dec. 2023</i>
	Plat.....	<i>Oct. 2023</i>
	Tree Assessment Report.....	<i>Oct. 2023</i>
	Blakely Commons Declaration.....	<i>Oct. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All required permits and 3rd party approvals pursuant to land disturbing activity and land development shall be provided and found acceptable to the City of Pooler. All the required testing data, permits, and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Plan for Joe Hudson Collision Center at 1224 E US Hwy 80

Project:	#230692
P&Z Meeting Date:	December 11, 2023
City Council Meeting Date:	December 18, 2023
Applicant and Authorized Agent:	Caprine Engineering (Engineer)
Location (Address):	1224 E US Hwy 80
Parcel (PIN):	50987 07017
Acreage:	1.77 total – 1.4 disturbed
Zoning:	C-2 (Heavy Commercial)
Proposed Use:	Automotive Body Repair Center
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #230692 - 1224 E US HWY 80

12/07/2023

Parcels





BEST MANAGEMENT PRACTICES NOTES:

- ALL BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND MAINTAINED BY THE CONTRACTOR ACCORDING TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, (MOST CURRENT EDITION) BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FAMILIARIZING HIMSELF WITH THE MANUAL AND THE STANDARDS AND MATERIALS CONTAINED THEREIN.
- THE MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES SO AS TO BE AN EFFECTIVE BARRIER TO EROSION AND SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN COMPLIANCE WITH ALL GSWCC AND EPA BEST MANAGEMENT PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES THAT ARE NOT FUNCTIONING PROPERLY. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE PLANS SHALL BE CONSIDERED A MINIMUM.
- OTHER THAN LAND-CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP IN ACCORDANCE WITH THE BMP PLANS, ANY DOWN SLOPE EROSION AND SEDIMENT CONTROL MEASURES, ON-SITE STREAM CHANNEL PROTECTION AND UPSLOPE DIVERSION OF DRAINAGE REQUIRED BY THE BMP PLAN SHALL BE IN PLACE AND FUNCTIONAL BEFORE ANY CLEARING OR EARTH MOVING OPERATIONS BEGIN AND SHALL BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT SHALL BE REPLACED AT THE END OF THE WORKDAY.
- ALL HAZARDOUS SUBSTANCES USED FOR THIS PROJECT (PAINT, OIL, GREASE, AND OTHER PETROLEUM PRODUCTS) SHALL BE STORED IN ACCORDANCE WITH SPCC REGULATIONS. THESE SUBSTANCES SHALL BE STORED AWAY FROM STORM DRAINS, DITCHES, AND GUTTERS IN WATER-TIGHT CONTAINERS. DISPOSAL OF THESE SUBSTANCES SHALL BE IN ACCORDANCE WITH ADEM REGULATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE TRASH CONTAINERS ON-SITE FOR THE DISPOSAL OF CONSTRUCTION MATERIALS WASTE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING TRASH FROM ENTERING THE CREEK.
- ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS, AND WITHIN 24 HOURS AFTER ANY RAINFALL AT THE SITE OF 0.50 INCH WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALLS, DAILY CHECKING AND, IF NECESSARY, REPAIRING SHALL BE DONE.
- ALL MATERIALS SHALL BE PROPERLY STORED, NOT EXPOSED TO RAIN, AND STOCKPILED. ALL CONTAINERS SHALL BE STORED CLOSED OR IN COVER. ALL EXCESS OR WASTE MATERIAL SHALL BE DISPOSED OF PROPERLY. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION WASTE DUMPSTER OR TRAILER ON SITE FOR CONSTRUCTION WASTE. THE CONTRACTOR SHALL DISPOSE OF TRASH AND WASTE TO AN ACCEPTABLE OFFSITE FACILITY EVERY 10 DAYS MINIMUM.
- THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SCUM, OIL, OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE TO A RECEIVING WATER. MUST NOT CAUSE AN UNNATURAL COLOR (EXCEPT DYES OR OTHER SUBSTANCES DISCHARGED FOR THE PURPOSE OF ENVIRONMENTAL STUDIES AND WHICH DO NOT HAVE A HARMFUL EFFECT ON THE RECEIVING WATER), OR ODOR IN THE RECEIVING WATERS. THE STORM WATER DISCHARGE TO RECEIVING WATER MUST RESULT IN NO MATERIAL IN CONCENTRATION SUFFICIENT TO BE HAZARDOUS OR OTHERWISE DETRIMENTAL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE OR FISH AND AQUATIC LIFE IN THE RECEIVING WATER.
- THE CONTRACTOR SHALL MINIMIZE THE TRACKING OF MUD AND DEBRIS ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AT HIS EXPENSE ANY MUD AND DEBRIS TRACKED OFFSITE AND ONTO ADJACENT ROADWAYS AS REQUIRED.
- ALL EXISTING AND NEW STORM DRAINAGE INLETS, STRUCTURES, AND PIPES SHALL BE CLEANED OF TRASH AND SEDIMENTS ON A REGULAR BASIS, WEEKLY AT A MINIMUM, SO AS NOT TO ALLOW DOWNSTREAM POLLUTION OF RECEIVING WATERS OR THE ESCAPING OF SEDIMENTS OFF SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING EROSION AND SILTATION OFF OF ADJACENT AND DOWNSTREAM PROPERTIES AND/OR ADJOINING SITES. AT HIS EXPENSE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SEDIMENTS AND DEBRIS ESCAPING THIS PROJECT SITE, THE REMEDIATION AND/OR REPAIR OF ANY DAMAGE THAT MAY OCCUR AS A RESULT OF ADJOINING AND/OR DOWNSTREAM AFFECTED PROPERTIES OR OFFSITE STRUCTURES, AND ANY FINES OR PENALTIES LEVIED AGAINST THE PROJECT BY REGULATORY AGENCIES DUE TO DEFICIENCIES OF CONTROL MEASURES.
- THE CONTRACTOR SHALL EMPLOY WATER TRUCKS OR OTHER DUST CONTROL MEASURES AS REQUIRED THROUGHOUT CONSTRUCTION EFFORTS.

- NOTE:**
- THE EROSION AND SEDIMENT CONTROL PLAN SHOWS MINIMUM REQUIREMENTS TO REDUCE EROSION & SEDIMENTATION RUNOFF FROM THE SITE. ADDITIONAL MEASURES MAY BE REQUIRED AND SHOULD BE INSTALLED PER THE MUNICIPALITY'S OR OWNER'S REQUEST AND IN COMPLIANCE WITH ALL GSWCC AND EPA BEST MANAGEMENT PRACTICES. THESE ADDITIONAL MEASURES MAY BE REQUIRED AS CONDITIONS CHANGE THROUGHOUT CONSTRUCTION AND THE DEVICES SHOULD BE APPROPRIATE FOR THE PHASE OF WORK AND CONSTRUCTION CONDITIONS ON SITE.
 - THE CONTRACTOR SHALL STABILIZE AND PERMANENTLY GRASS AND VEGETATE ALL CUT AND FILL SLOPES AND PROTECT AGAINST EROSION AS REQUIRED USING AN EROSION CONTROL BLANKET, NORTH AMERICAN GREEN SC150 OR SIMILAR, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 - ALL EARTH AND SILT STOCKPILES RESULTING FROM MAINTENANCE EFFORTS SHALL BE GRASSED AND MULCHED TO PREVENT EROSION.
 - TOTAL DISTURBED AREA = 61,154 SF± (1.40AC±)

GEORGIA UNIFORM CODING SYSTEM

FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES
REFERENCE: GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

- [Cd] CHECKDAM
- [Ch] CHANNEL STABILIZATION
- [Co] CONSTRUCTION EXIT
- [Cr] CONSTRUCTION ROAD STABILIZATION
- [Dc] STREAM DIVERSION CHANNEL
- [Di] DIVERSION
- [Dn1] TEMPORARY DOWNDRAIN STRUCTURE
- [Dn2] PERMANENT DOWNDRAIN STRUCTURE
- [Fr] FILTER RING
- [Ga] GABION
- [Gr] GRADE STABILIZATION STRUCTURE
- [Lv] LEVEL SPREADER
- [Rd] ROCK FILTER DAM
- [Re] RETAINING WALL
- [Rt] RETRO FITTING
- [Sd1-NS] SEDIMENT BARRIER
- [Sd2-F] FILTER FABRIC INLET PROTECTION
- [Sd2-DS] DANDY SACK INLET PROTECTION
- [Sd3] TEMPORARY SEDIMENT BASIN
- [Sd4] TEMPORARY SEDIMENT TRAP
- [Sk] FLOATING SURFACE SKIMMER
- [SpB] SEEP BERM

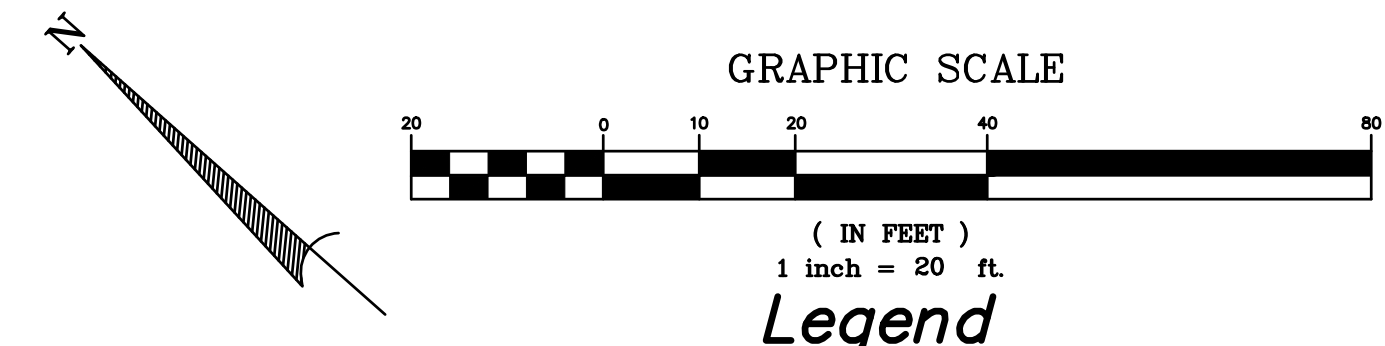
STRUCTURAL PRACTICES

- [Sr] TEMPORARY STREAM CROSSING
- [St] STORMDRAIN OUTLET PROTECTION
- [Su] SURFACE ROUGHENING
- [Tc] TURBIDITY CURTAIN
- [Tp] TOPSOILING
- [Tr] TREE PROTECTION
- [Wt] STORMWATER CONVEYANCE CHANNEL

VEGETATIVE PRACTICES

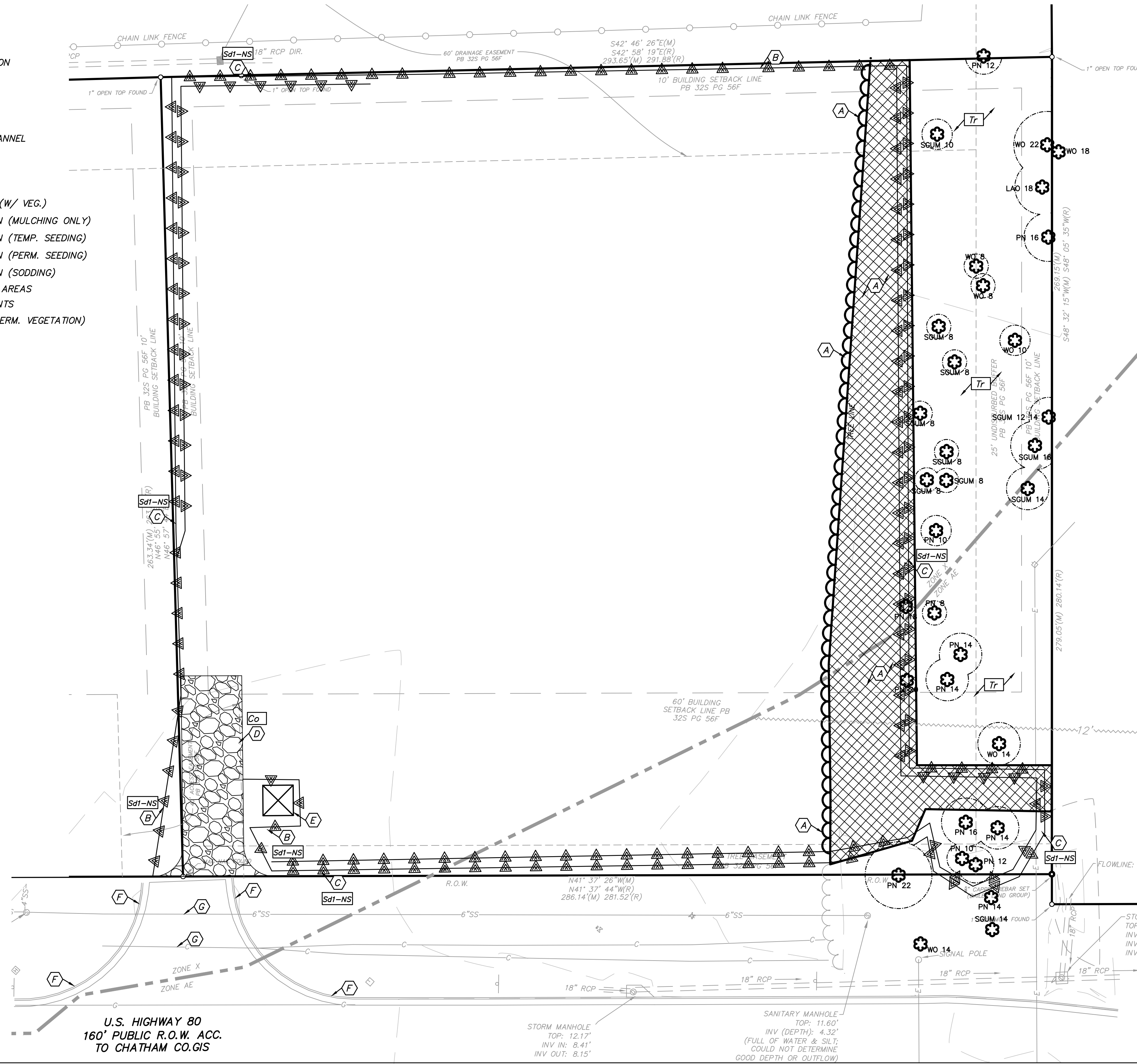
- [Bt] BUFFER ZONE
- [Cs] COASTAL DUNE STABILIZATION (W/ VEG.)
- [Ds1] DISTURBED AREA STABILIZATION (MULCHING ONLY)
- [Ds2] DISTURBED AREA STABILIZATION (TEMP. SEEDING)
- [Ds3] DISTURBED AREA STABILIZATION (PERM. SEEDING)
- [Ds4] DISTURBED AREA STABILIZATION (SODDING)
- [Du] DUST CONTROL ON DISTURBED AREAS
- [F-Co] FLOCCULANTS AND COAGULANTS
- [Sb] STREAMBANK STABILIZATION (PERM. VEGETATION)
- [Ss] SLOPE STABILIZATION
- [Tgc] TACKIFIERS AND BINDERS

EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLANS NOTE:
REFERENCE THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLANS, MOST CURRENT DATE, FOR THIS PROJECT FOR ADDITIONAL INFORMATION REGARDING THE BEST MANAGEMENT PRACTICES REQUIRED HEREIN. ANY DISCREPANCIES BETWEEN THESE PLANS AND THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN SET SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY. IN CASES OF CONFLICT, THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLANS SHALL GOVERN.



KEY NOTES:

- (A) EXISTING TREES, BRUSH, AND UNDERGROWTH TO BE REMOVED AND DISPOSED OFF-SITE.
- (B) FURNISH AND INSTALL 36" SINGLE ROW TYPE A WIRE-REINFORCED SILT FENCE. SEE DETAIL SHEET C4.1.
- (C) FURNISH AND INSTALL 36" DOUBLE ROW WIRE-REINFORCED SILT FENCE. SEE DETAIL SHEET C4.1.
- (D) FURNISH AND INSTALL TEMPORARY GRAVEL CONSTRUCTION EXIT PAD WITH WHEEL WASH. SEE DETAIL SHEET C4.1.
- (E) FURNISH AND INSTALL 10'X10' CONCRETE WASHOUT PIT. SEE DETAIL SHEET C4.1.
- (F) EXISTING CURB AND GUTTER TO BE SAWCUT, REMOVED, AND PROPERLY DISPOSED OF OFF-SITE.
- (G) PRESERVE AND PROTECT EXISTING UTILITIES.
- (H) PRESERVE AND PROTECT EXISTING TREES. SEE SHEET L1.0 FOR TREE PROTECTION DETAILS.



PLANNING • CIVIL ENGINEERING • CONSULTING
3 OFFICE PARK CIRCLE, SUITE 226 BIRMINGHAM, ALABAMA 35223
O: (205) 425-5082

DATE	REVISION
10.26.2023	

PLAN ISSUE FOR PERMIT

INITIAL EROSION CONTROL AND SEDIMENT CONTROL AND DEMOLITION PLAN

JHCC POOLER
1224 E US HIGHWAY 80
POOLER, GEORGIA 31322

PROJECT NO. 22.023	
SCALE: 1" = 20'	
DRAWN: JT	REVIEW: CE

C0.2

SHEET 3 OF 22

GENERAL NOTES:

- THE BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN WAS OBTAINED FROM SURVEY PRODUCED BY BAILEY LAND GROUP, DATED 09/29/2022. CAPRINE ENGINEERING, LLC MAKES NO REPRESENTATION AS TO THE ACCURACY OF THE SURVEY INFORMATION SHOWN HEREIN, WHETHER EXPRESSED OR IMPLIED. ANY CONFLICTS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND PROJECT ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD AND SHALL LOCATE ON THE GROUND WITH PAINT OR OTHER EASILY VISIBLE MEANS ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION EFFORTS. CONFLICTS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND CONDITIONS OF ALL UTILITIES TO BE UTILIZED FOR CONSTRUCTION SERVICE HOOP UPS, STORM SEWERS, AND SANITARY SEWERS PRIOR TO PROCEEDING WITH THE LAYING OF PIPE. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES. ALL SERVICE CONNECTIONS TO UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND SHALL CONFORM TO THE UTILITY'S LATEST SPECIFICATIONS FOR INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES CONCERNING CONFLICTS, RELOCATION, REMOVAL, AND INTERRUPTIONS OF SERVICE.
- THE WORK REQUIRED TO RELOCATE, REMOVE, INSTALL, REPLACE, ETC. UTILITIES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WITHIN THE LIMITS OF WORK, UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ACCORDING TO THE INSTRUCTIONS OF THE UTILITY INVOLVED, ANY 'LIVE' UTILITIES LOCATED BY THE UTILITY COMPANY OR THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL TRAFFIC CONTROL MEASURES FOR WORK IN AND ALONG EXISTING STREETS. ALL MEASURES SHALL BE ACCORDING TO CURRENT M.U.T.C.D. AND GDOT SPECIFICATIONS. IF REQUIRED BY AGENCIES HAVING JURISDICTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN ACCORDING TO M.U.T.C.D. AND GDOT FOR ANY WORK WITHIN A CITY, COUNTY, AND/OR GDOT R.O.W.
- THE CONTRACTOR SHALL BE IN POSSESSION OF ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION EFFORTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXTENT, LOCATION AND ELEVATION OF THE EXISTING IMPROVEMENTS. IF ANY SIGNIFICANT DIFFERENCE IN SITE CONDITION OR ELEVATION IS FOUND, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ALL CONCRETE, SIDEWALKS, PIPES, WALLS, CANOPIES, TREES AND VEGETATION, ETC. DAMAGED DURING CONSTRUCTION THAT ARE NOT A PART OF THE SCOPE OF WORK OR WITHIN THE PROJECT AREA. ALL DISTURBED AREAS THAT ARE NOT A PART OF THE SCOPE OF WORK OR WITHIN THE PROJECT AREA SHALL BE RESTORED TO THE ORIGINAL CONDITION OR AS ACCEPTED BY THE OWNER.
- UNSTABLE AND PUMPING SUBGRADE CONDITIONS MAY OCCUR DURING SITE PREPARATION AND GRADING OPERATIONS. PROPER PROTECTION OF SUBGRADE, DRAINAGE AND DEWATERING WILL BE CRITICAL TO SITE CONSTRUCTION EFFORTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE EQUIPMENT TRAFFIC ACROSS THE SITE EVERY EFFORT SHALL BE MADE TO LOCALIZE EQUIPMENT STAGING AND TRAFFIC TO SPECIFIC AREAS AND LIMIT THE AMOUNT OF UNDERCUTTING AND SOIL STABILIZATION THAT MAY BE NEEDED.
- ALL GRADING OPERATIONS SHALL BE MONITORED BY A QUALIFIED INDEPENDENT GEOTECHNICAL CONSULTANT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SAID CONSULTANT IN ADVANCE OF ALL REQUIRED TESTING AND SECURING COPIES OF RESULTING REPORTS. COPIES OF THE REPORTS SHALL BE PROVIDED TO THE PROJECT ENGINEER ON A WEEKLY BASIS, MINIMUM.
- ANY EXCESS SOIL MATERIAL AND/OR UNSUITABLE SOIL MATERIAL SHALL BE HAULED OFF SITE AND LEGALLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. ANY QUESTIONS OR CONCERNS REGARDING THE REMOVAL OF THESE ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER, THE OWNER'S GEOTECHNICAL ENGINEER AND THE OWNER IMMEDIATELY.
- ALL SPOT ELEVATIONS SHOWN REFLECT ELEVATIONS AT GUTTERLINE, ASPHALT, OR GROUND LEVEL UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, FACE OF BUILDING, OR CENTER OF STRIPE UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES, INLETS BOXES, MANHOLES, ETC. SHALL BE POURED IN PLACE OR PRECAST CONCRETE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL FLOW LINE ELEVATIONS AND THE PERCENT OF GRADE OF STORM LINES THAT ARE INSTALLED. CONSTRUCTION OF THESE UTILITIES IS TO BEGIN AT THE LOWEST POINT AND PROCEED "UPSTREAM."
- INSTALLATION OF UTILITY AND WATER STRUCTURES WITHIN THE LIMITS OF THE EXISTING SANITARY SEWER EASEMENT IS PROHIBITED.
- UTILITIES, BOTH OVERHEAD AND UNDERGROUND, MAY EXIST WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. ALL UTILITIES SHALL BE KEPT LIVE DURING CONSTRUCTION OPERATIONS UNLESS OTHERWISE APPROVED BY THE UTILITY HAVING JURISDICTION. ALL WATER LINE CROSSINGS WITH IN-PLACE UTILITIES SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY HAVING JURISDICTION AND PERFORMED IN THE PRESENCE ON-SITE OF THE RESPECTIVE UTILITY INSPECTOR.
- ALL WORK WITHIN GDOT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.

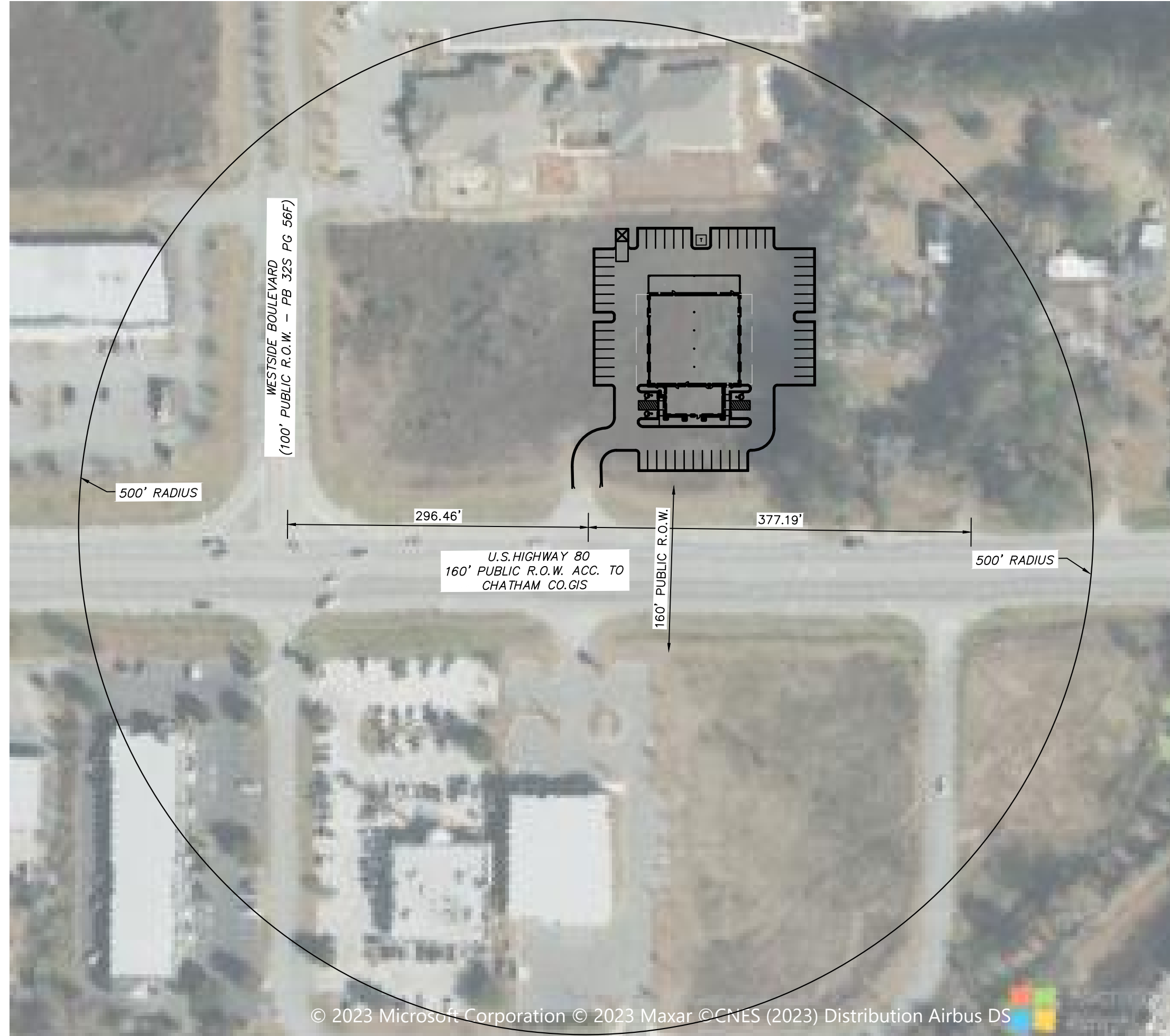
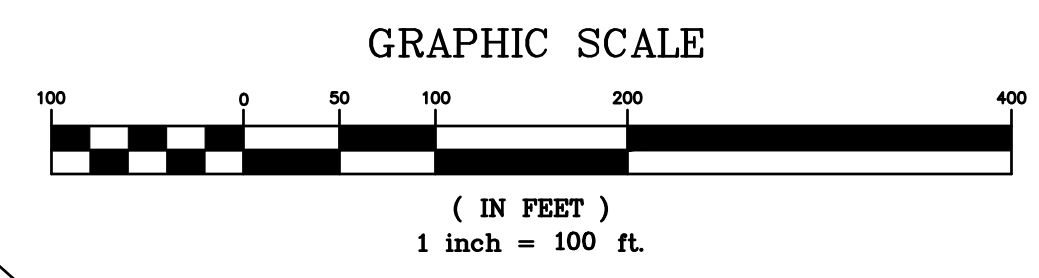
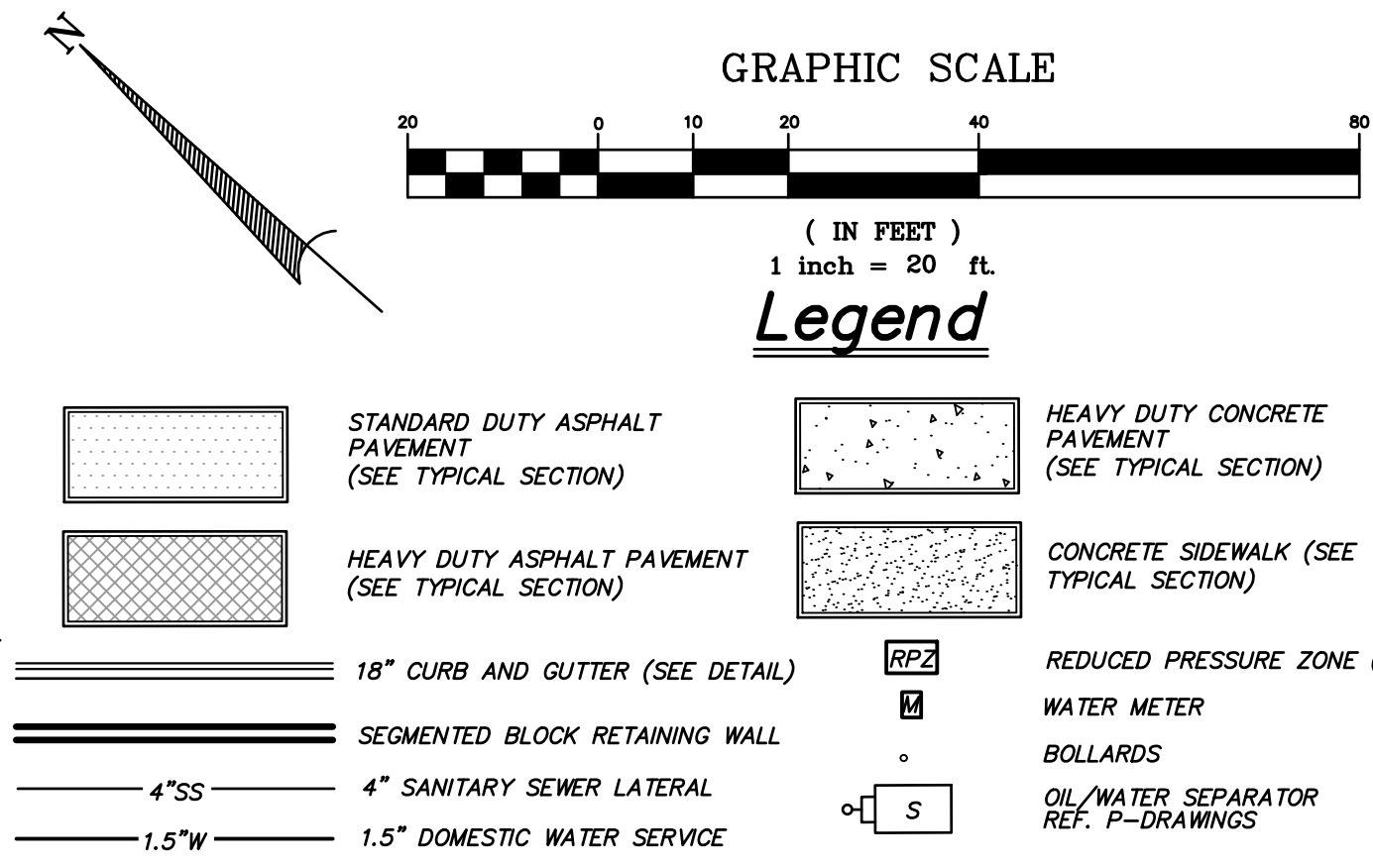
KEY NOTES:

- (A) PRESERVE AND PROTECT EXISTING UTILITIES.
- (B) PRESERVE AND PROTECT EXISTING TREE LINE.
- (C) APPROXIMATE LOCATION OF EXISTING WATER MAIN. CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE SIZE OF EXISTING WATER MAIN. CONTRACTOR SHALL COORDINATE WITH GDOT REGARDING THEIR STANDARDS AND INSPECTIONS.
- (D) FURNISH AND INSTALL STANDARD 18" CONCRETE CURB AND GUTTER. COMPLY WITH APPLICABLE SECTIONS OF THE GDOT STANDARDS AND SPECIFICATIONS MANUAL, CURRENT EDITION. SEE DETAIL, SHEET C4.0.
- (E) FURNISH AND INSTALL STANDARD DUTY ASPHALT PAVEMENT. COMPLY WITH APPLICABLE SECTIONS OF THE GDOT STANDARDS AND SPECIFICATIONS MANUAL, CURRENT EDITION. SEE DETAIL, SHEET C4.0.
- (F) FURNISH AND INSTALL HEAVY DUTY ASPHALT PAVEMENT. COMPLY WITH APPLICABLE SECTIONS OF THE GDOT STANDARDS AND SPECIFICATIONS MANUAL, CURRENT EDITION. SEE DETAIL, SHEET C4.0.
- (G) FURNISH AND INSTALL HEAVY DUTY CONCRETE PAVEMENT, DUMPSITER, AND DOLLY PAD. COMPLY WITH APPLICABLE SECTIONS OF THE GDOT STANDARDS AND SPECIFICATIONS MANUAL, CURRENT EDITION. SEE DETAIL, SHEET C4.0.
- (H) FURNISH AND INSTALL 4" THICK CONCRETE SIDEWALK. SEE DETAIL, SHEET C4.0.
- (I) FURNISH AND INSTALL 4" PARKING STALL STRIPES, TRAFFIC LEGENDS AND CHEVRONS AS APPLICABLE. COMPLY WITH APPLICABLE SECTIONS OF THE GDOT STANDARDS AND SPECIFICATIONS MANUAL, CURRENT EDITION. [COLOR WHITE (OR HC BLUE AS APPLICABLE), NON-REFLECTIVE, 2 COATS].
- (J) FURNISH AND INSTALL ADA COMPLIANT HANDICAP PARKING, LEGENDS, STRIPING, AND SIGNAGE. SEE DETAIL SHEET C4.0.
- (K) FURNISH AND INSTALL ADA PARALLEL CURB ACCESS RAMP. SEE DETAIL, SHEET C4.0.
- (L) FURNISH AND INSTALL 5" CURB TRANSITION FROM 0.0' TO 0.5'. SEE DETAIL, SHEET C4.0.
- (M) FURNISH AND INSTALL SITE BOLLARDS AT EACH SIDE OF BAY DOORS AND REAR CORNER OF BUILDING. CONTRACTOR TO COORDINATE WITH ARCHITECT FOR BOLLARD STYLE.
- (N) FURNISH AND INSTALL OIL/WATER SEPARATOR WITH SAMPLING MANHOLE DOWNSIDE. REFERENCE P-DRAWINGS.
- (O) FURNISH AND INSTALL CONCRETE TRANSFORMER PAD, COMPLY WITH THE STANDARDS AND SPECS OF THE UTILITY HAVING JURISDICTION.
- (P) FURNISH AND INSTALL 6" CHAIN LINK FENCE WITH PRIVACY SLATS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR EXACT FENCE SPECIFICATIONS.
- (Q) FURNISH AND INSTALL FENCE GATE. CONTRACTOR SHALL COORDINATE WITH OWNER FOR EXACT FENCE GATE SPECIFICATIONS.
- (R) FURNISH AND INSTALL STRING WALL. SEE ARCH PLANS FOR SPECIFIC TYPE AND MATERIAL.
- (S) FURNISH AND INSTALL SITE SIGN. CONTRACTOR SHALL COORDINATE OWNER REGARDING SIGN SPECIFICS.

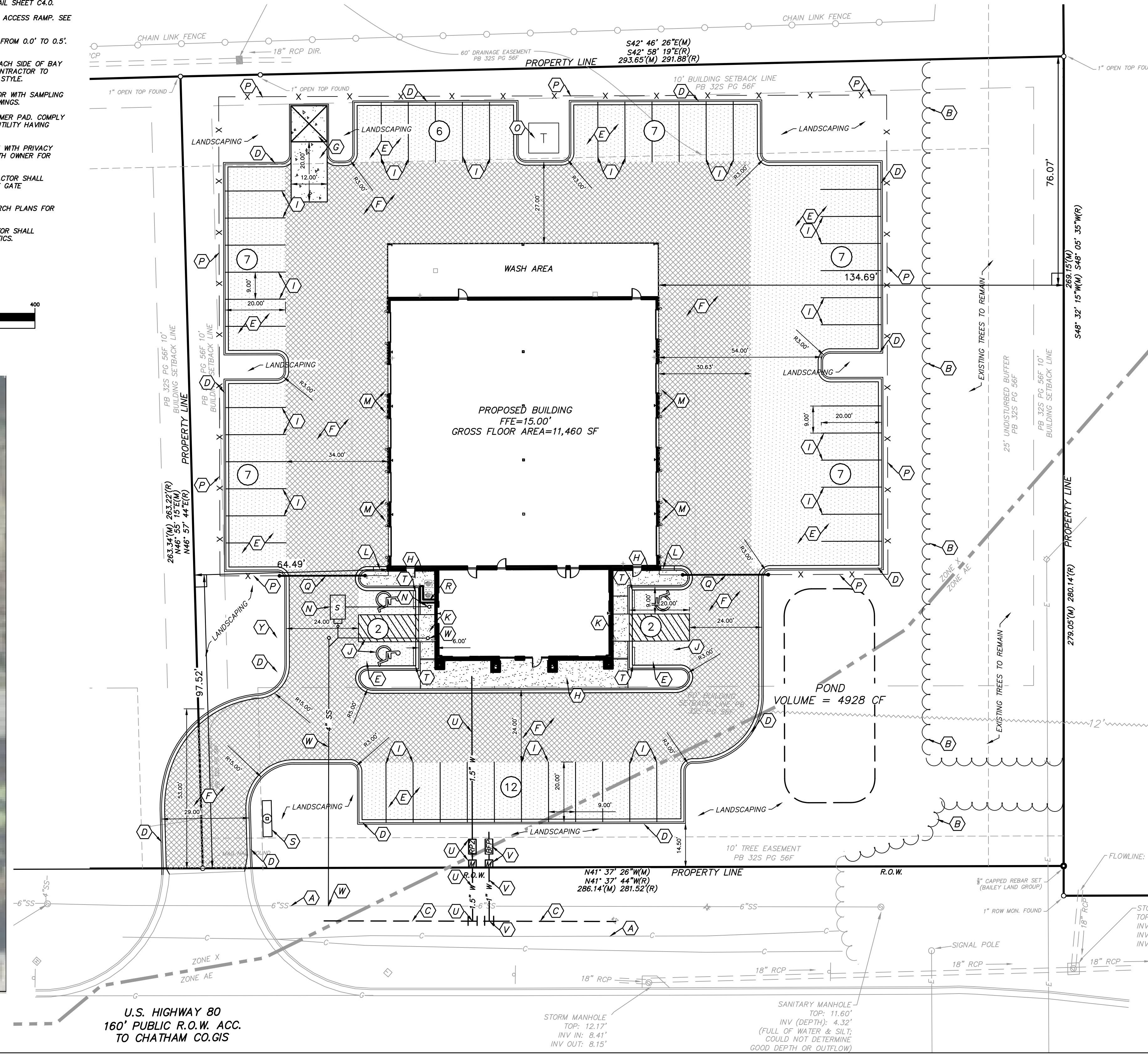
- (T) FURNISH AND INSTALL WHEEL STOPS. SEE DETAIL, SHEET C4.0.
- (U) FURNISH AND INSTALL 1.5" POLYETHYLENE DOMESTIC WATER LATERAL. ALL WORK AND MATERIALS FOR THE TAP ON THE MAIN, 1" METER SET, REDUCED PRESSURE ZONE DEVICE (RPZ), AND THE 1.5" PIPE FROM THE RPZ TO THE BUILDING SHALL BE BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH CITY OF POOLER PUBLIC WORKS DEPARTMENT REGARDING THEIR INSTALLATION STANDARDS AND ANY INSPECTIONS THAT MAY BE REQUIRED.
- (V) FURNISH AND INSTALL 1" IRRIGATION WATER LATERAL. ALL WORK AND MATERIALS FOR THE TAP ON THE MAIN, 1" METER SET, AND REDUCED PRESSURE ZONE DEVICE SHALL BE BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH CITY OF POOLER PUBLIC WORKS DEPARTMENT REGARDING THEIR INSTALLATION STANDARDS AND ANY INSPECTIONS THAT MAY BE REQUIRED.
- (W) FURNISH AND INSTALL 4" DIP SEWER LATERAL AT 1.0% MIN SLOPE WITH 36" MIN. COVER. FURNISH AND INSTALL CLEANOUTS AT 100' O.C. MAX. AT THE BENDS AND AT END OF LATERAL CLOSEST TO THE BUILDING OR STRUCTURE. THE CLEANOUT CLOSEST TO THE BUILDING SHALL BE A TWO-WAY CLEANOUT. CONTRACTOR SHALL USE INSERT-A-TEE FOR SANITARY SEWER CONNECTION. THE CONTRACTOR SHALL COORDINATE WITH GDOT REGARDING THEIR INSTALLATION STANDARDS AND ANY INSPECTIONS THAT MAY BE REQUIRED.

CITY OF POOLER NOTES:

- IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.
- ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS.
- THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY.
- TRAFFIC SIGNS INSTALLED INSIDE THE PUBLIC R/W MUST HAVE HIGH INTENSITY OR DIAMOND GRADE SHEETING.
- THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.
- THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COSTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.
- A 12# GAUGE SOLID COPPER TRACING WIRE SHALL BE INSTALLED ON ALL WATER MAINS, WATER LATERALS, FIRE HYDRANTS, POST HYDRANTS, AND/OR BLOW OFFS AND ALONG ALL SANITARY SEWER LINES, LATERALS, AND FORCE MAINS.
- THE 1" METER AND METER BOX SHALL BE PURCHASED DIRECTLY FROM THE CITY OF POOLER. THE REDUCED PRESSURE ZONE DEVICE (RPZ) AND ITS INSTALLATION MUST BE APPROVED BY THE PUBLIC WORKS SUPERINTENDENT.
- CLEANOUTS LOCATED WITHIN PAVEMENT SHALL BE TRAFFIC RATED. CLEANOUTS SHALL BE FLOOD-PROOFED AND DESIGNED TO PREVENT INFILTRATION OF FLOOD WATERS INTO THE SYSTEM.



ADJACENT THOROUGHFARES AND ALL CURB CUTS



U.S. HIGHWAY 80
160' PUBLIC R.O.W. ACC.
TO CHATHAM CO.GIS

PLANNING • CIVIL ENGINEERING • CONSULTING
3 OFFICE PARK CIRCLE, SUITE 226 BIRMINGHAM, ALABAMA 35223
C:(205)423-5082

DATE	PLAN ISSUE	FOR PERMIT	DATE	PLAN ISSUE	FOR PERMIT
10.26.2023					

SITE AND UTILITY PLAN

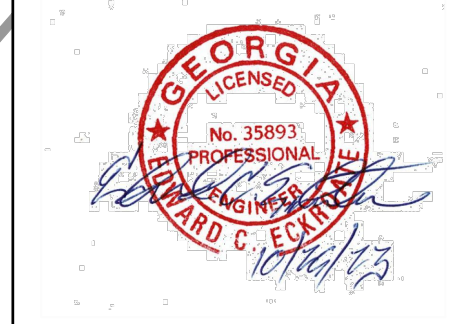
JHCC POOLER
1224 E US HIGHWAY 80
POOLER, GEORGIA 31322

PROJECT NO. 22.023	SCALE: 1" = 20'
DRAWN: JT	REVIEW: CE

C1.0

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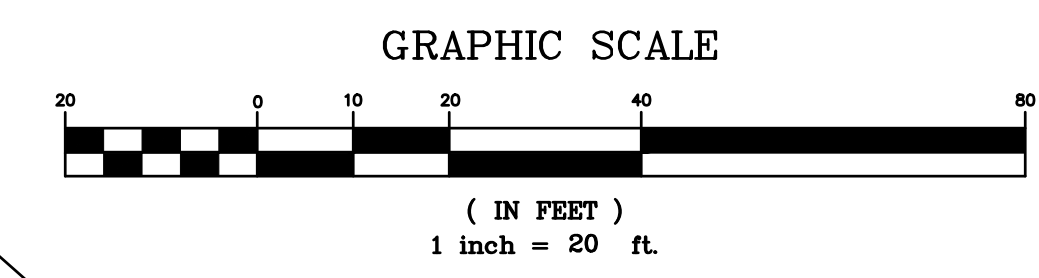
DATE	10.26.2023
PLAN ISSUE FOR PERMIT	



GRADING AND DRAINAGE PLAN
 JHCC POOLER
 1224 E US HIGHWAY 80
 POOLER, GEORGIA 31322

PROJECT NO. 22.023
 SCALE: 1" = 20'
 DRAWN: JT REVIEW: CE

C2.0
 SHEET 5 OF 22



Legend

- 640 — EXISTING GRADE CONTOUR
- 640 — PROPOSED GRADE CONTOUR
- 640.00 PROPOSED SPOT ELEVATION
- — PROPOSED STORMPIPE. SEE SUMMARY.
- ⊙ STORM STRUCTURES. SEE SUMMARY.

KEY NOTES:

- (A) FURNISH AND INSTALL CLASS 1 RIP-RAP UNDERLAIN WITH 40Z. NON-WOVEN FILTER FABRIC. SEE PLAN. SEE SIZING CHART FOR CALCS.
- (B) PURCHASE AND INSTALL 48" DIA. ADVANCED HYDRODYNAMIC SEPARATOR FROM HYDRO INTERNATIONAL. SEE DETAIL, SHEET C4.4.
- (C) FURNISH AND INSTALL COMPACTED FILL OVER PIPE TO FULLY COVER IT OVER ITS LENGTH.

STORM DRAINAGE/RETENTION POND NOTES:

- ALL PONDS AND STONE UNDERDRAIN SHALL BE CLEANED AND FREE OF SEDIMENTS PRIOR TO ACCEPTANCE.
- CONTRACTOR SHALL TAKE PHOTOS REGULARLY AND AT THE INSTALLATION OF KEY STRUCTURAL COMPONENTS OF THE POND THROUGHOUT THE CONSTRUCTION PROCESS TO DOCUMENT THE POND WAS CONSTRUCTED AS DESIGNED.
- THE OWNER MUST CERTIFY ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.
- THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COSTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

FLOODPLAIN CUT/FILL CALCULATIONS

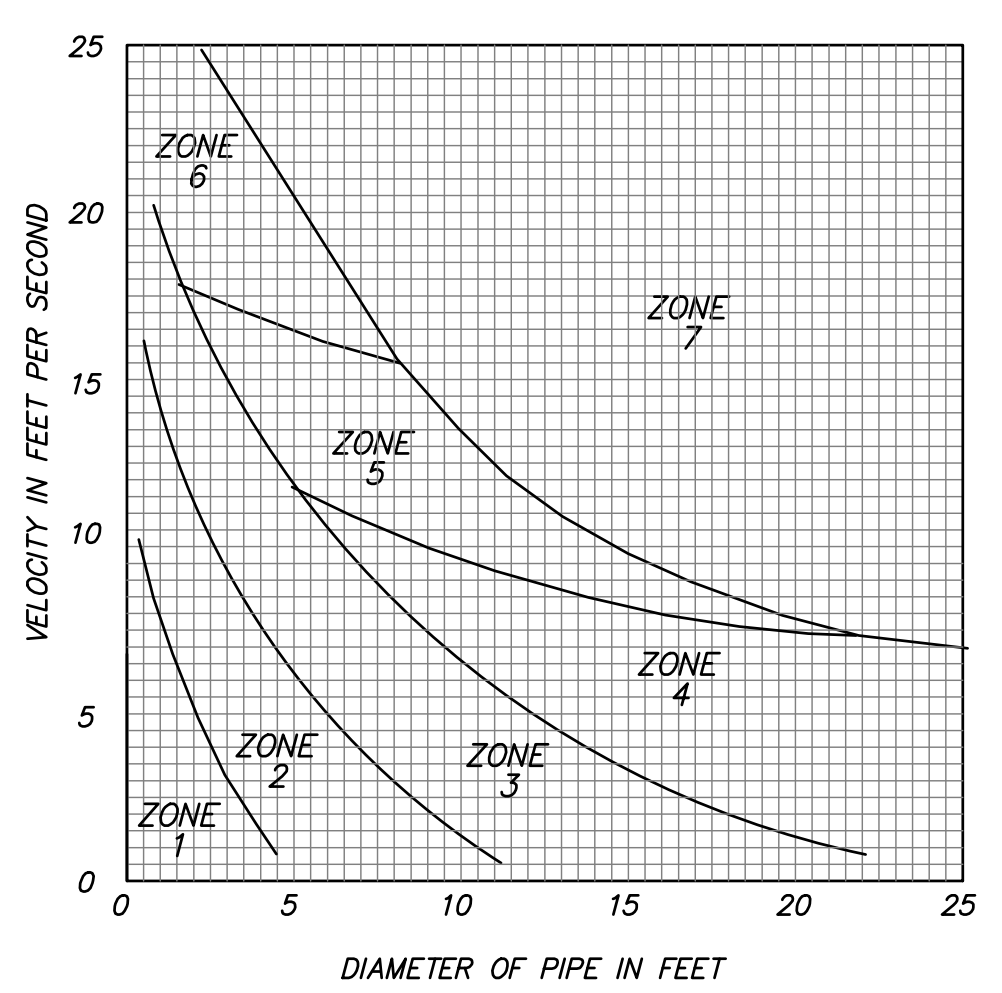
PROPERTY AREA = 77,173 SF
 PROPERTY AREA (FLOODPLAIN) = 11,432 SF
 DISTURBED AREA (FLOODPLAIN) = 6,186 SF
 CUT (FLOODPLAIN) = 0 CY
 FILL (FLOODPLAIN) = 359 CY

STRUCTURE SUMMARY

STRUC.#	TYPE	TOP/THROAT	INV. IN (IN-LINE)	INV. OUT	NOTES
A1.0	FLARED END SECTION	11.47	10.34	10.34	
A1.1	GRATE INLET	13.16	10.73	10.73	SEE DETAIL, SHEET C4.0
A1.2	GRATE INLET	13.27	11.05	11.05	SEE DETAIL, SHEET C4.0
A1.3	GRATE INLET	13.85	11.63	11.63	SEE DETAIL, SHEET C4.0
B1.0	FLARED END SECTION	11.71	10.46	10.46	
B1.1	GRATE INLET	12.83	10.58	10.58	SEE DETAIL, SHEET C4.0
B1.2	GRATE INLET	13.45	11.20	11.20	SEE DETAIL, SHEET C4.0
C1.0	FLARED END SECTION	11.54	10.04	10.04	
C1.1	WATER QUALITY DEVICE	12.40	10.27	10.27	SEE DETAIL, SHEET C4.4
C1.2	POND OUTLET STRUCTURE	15.00	10.34	10.34	SEE DETAIL, SHEET C4.3

PIPE SUMMARY

FROM	TO	DIA. (IN.)	LENGTH (FT.)	MATERIAL	SLOPE (%)	NOTES
A1.0	A1.1	13.5	78	RCP	0.50	22"x13.5" RCP CLASS III
A1.1	A1.2	11	63	RCP	0.50	18"x11" RCP CLASS III
A1.2	A1.3	11	117	RCP	0.50	18"x11" RCP CLASS III
B1.0	B1.1	11	22	RCP	0.50	18"x11" RCP CLASS III
B1.1	B1.2	11	123	RCP	0.50	18"x11" RCP CLASS III
C1.0	C1.1	18	45	PIPE	0.50	TYPE 2 ALUMINIZED ULTRAFLO PIPE WITH HUGGER TYPE BANDS
C1.1	C1.2	18	14	PIPE	0.50	TYPE 2 ALUMINIZED ULTRAFLO PIPE WITH HUGGER TYPE BANDS



ZONE	APRON MATERIAL	CLASS OF STONE	SIZE OF STONE	LENGTH OF APRON*	MINIMUM THICKNESS OF STONE
1	STONE	FINE	3"	4 X D	9"
2	STONE	LIGHT	6"	6 X D	12"
3	STONE	MEDIUM	13"	8 X D	18"
4	STONE	HEAVY	23"	8 X D	30"
5	STONE	HEAVY	23"	10 X D	30"
6	STONE	HEAVY	23"	12 X D	30"
7	REQUIRES LARGER STONE OR ANOTHER TYPE OF DEVICE. DESIGN IS BEYOND THE SCOPE OF THIS PROCEDURE.				

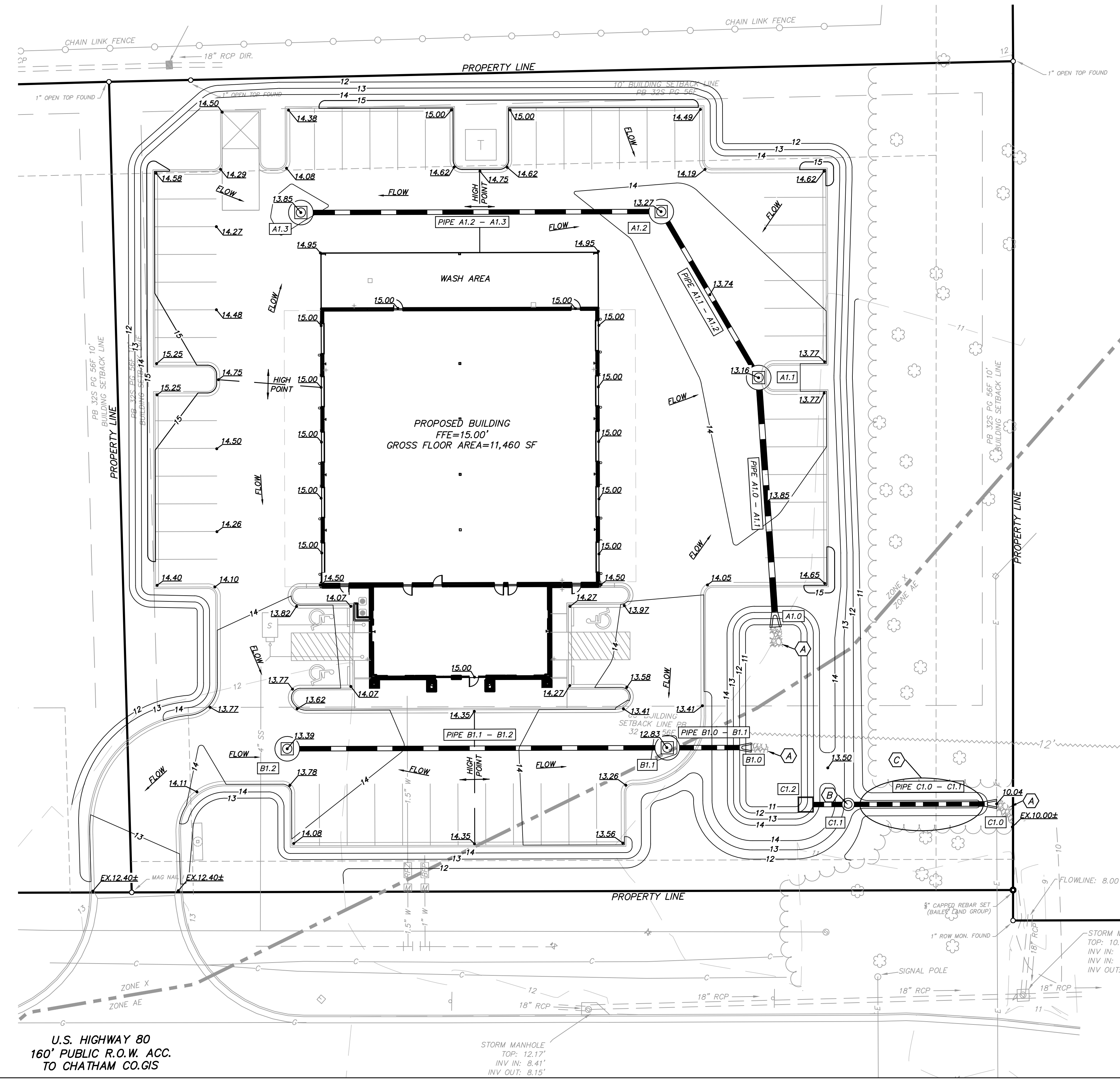
WIDTH = DIAMETER + 0.4 (LENGTH) : 6" MINIMUM
 * LENGTH TO PREVENT SCOUR HOLE

NAME	WEIGHT (LBS.)	SIZE	SPECIFICATIONS
RIP-RAP			
CLASS 1	5 - 200		30% SHALL WEIGH AT LEAST 100 LBS EACH. NO MORE THAN 10% SHALL WEIGH LESS THAN 15 LBS. EACH.
CLASS 2	25 - 250		60% SHALL WEIGH AT LEAST 100 LBS EACH. NO MORE THAN 5% SHALL WEIGH LESS THAN 50 LBS. EACH.
EROSION CONTROL STONE			
CLASS A	2" - 6"		10% TOP & BOTTOM SIZES. NO GRADATION SPECIFIED.
CLASS B	15 - 300		NO GRADATION SPECIFIED.

SOURCE: "BANK & CHANNEL LINING PROCEDURES", NEW YORK DEPARTMENT OF TRANSPORTATION, DIVISION OF DESIGN AND CONSTRUCTION, 1971

STRUCTURE	Q-FLOW (CFS)	DIAMETER OF PIPE (IN.)	OUTLET VELOCITY (FPS.)	ZONE	APRON LENGTH (FT.)	APRON WIDTH (FT.)	APRON THICKNESS (IN.)	STONE CLASS
A1.0	8.33	18	5.05	1	6	6	9	1
B1.0	3.00	15	2.73	1	5	6	9	1
C1.0	12.70	18	6.79	1	6	6	9	1

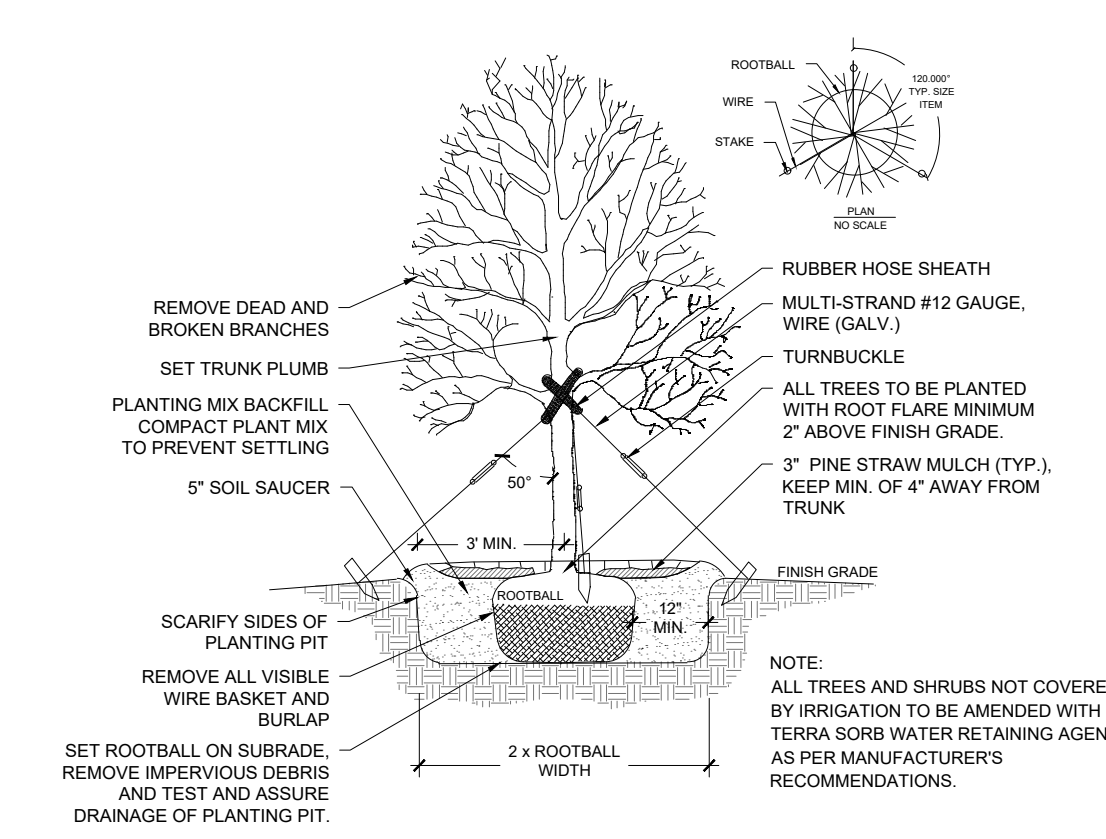
RIP RAP SIZING DETAIL
 N.T.S.



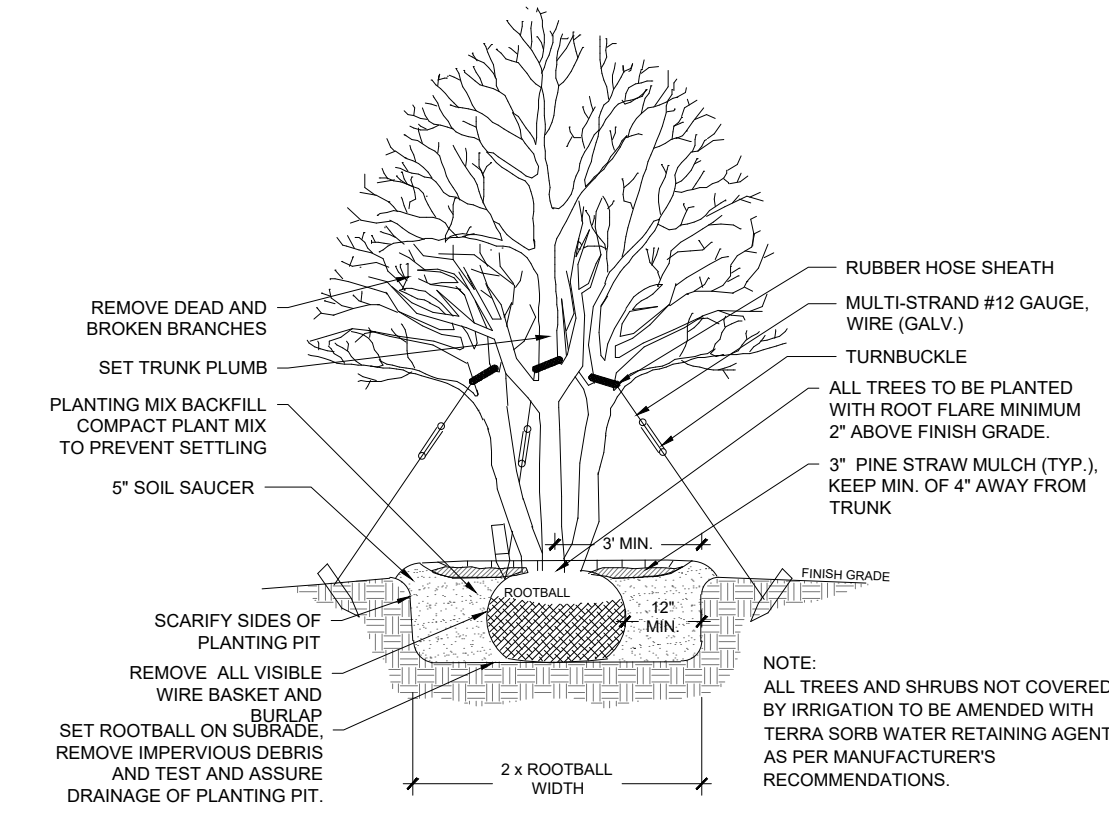
U.S. HIGHWAY 80
 160' PUBLIC R.O.W. ACC.
 TO CHATHAM CO. GIS

STORM MANHOLE
 TOP: 12.17'
 INV IN: 8.41'
 INV OUT: 8.15'

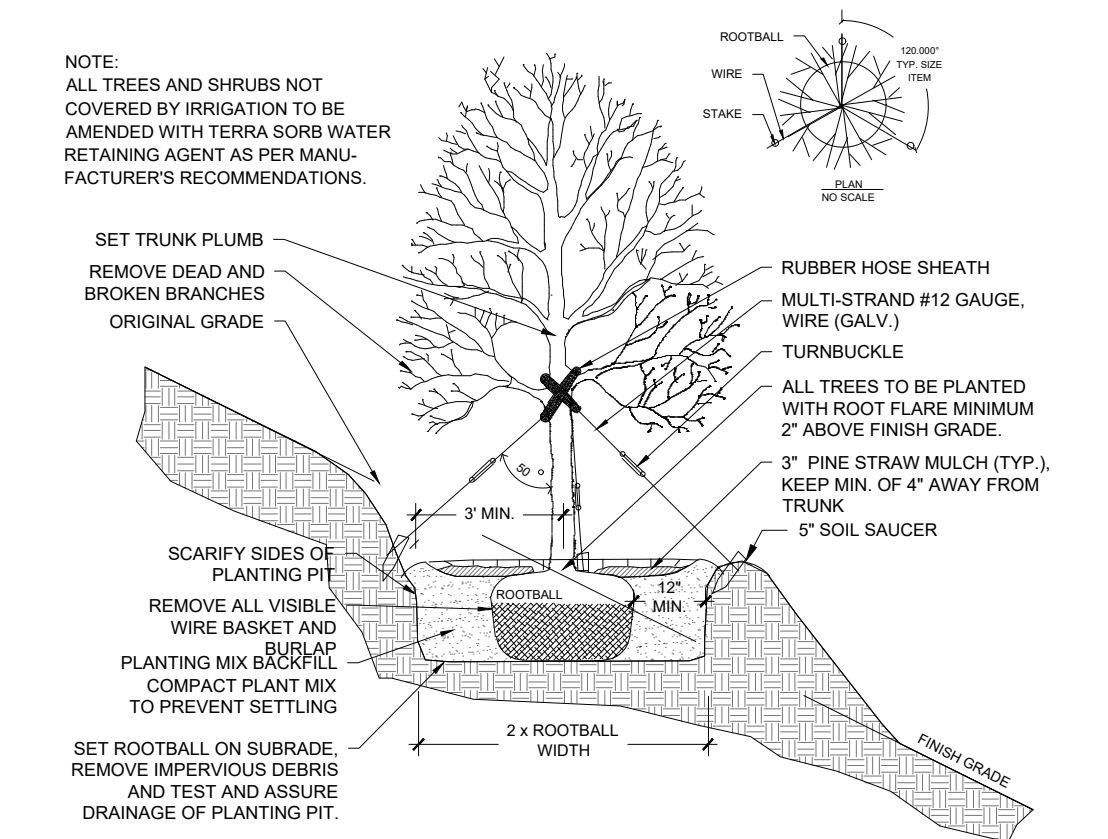
RULD PROJECT # CAPR-2301



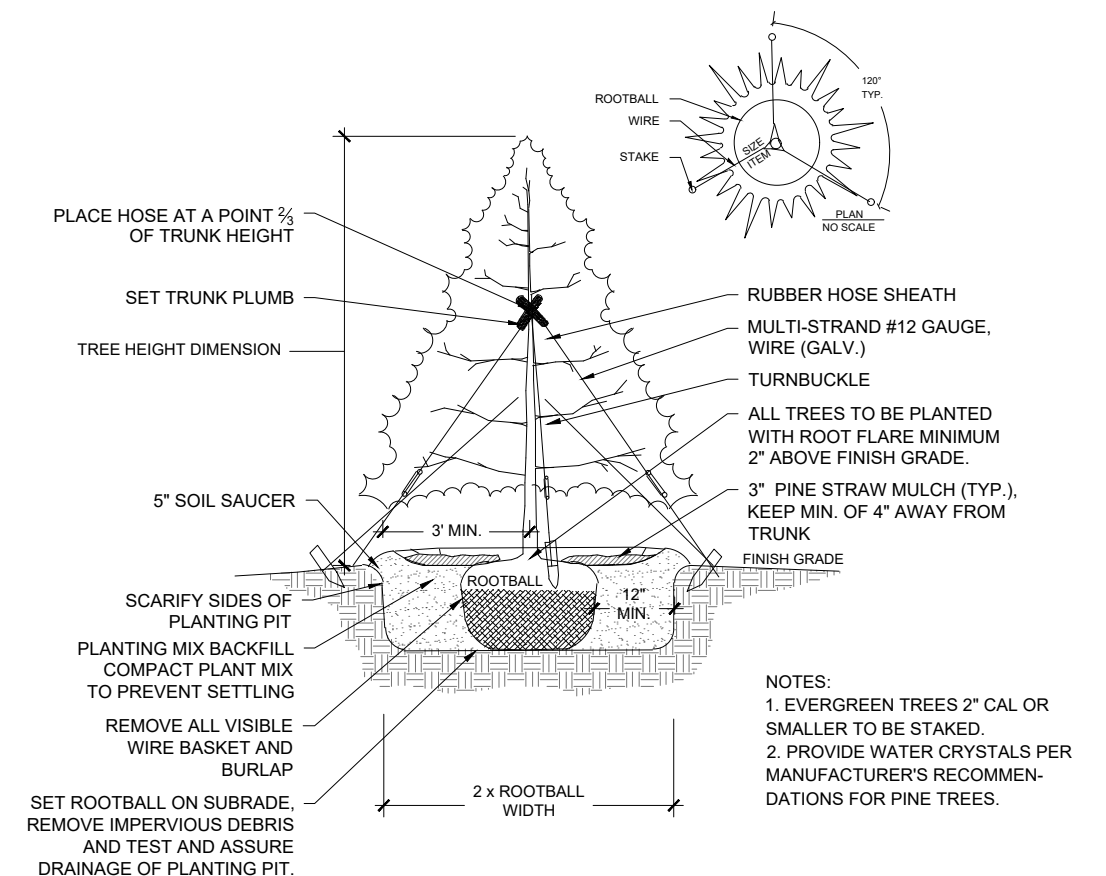
1. DETAIL TYPICAL TREE PLANTING AND GUYING NOT TO SCALE



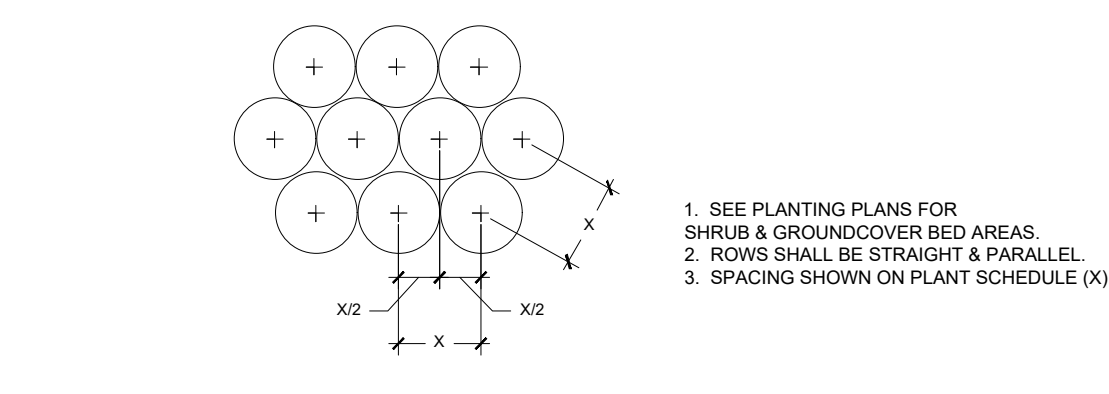
2. DETAIL MULTI TRUNKED TREE PLANTING NOT TO SCALE



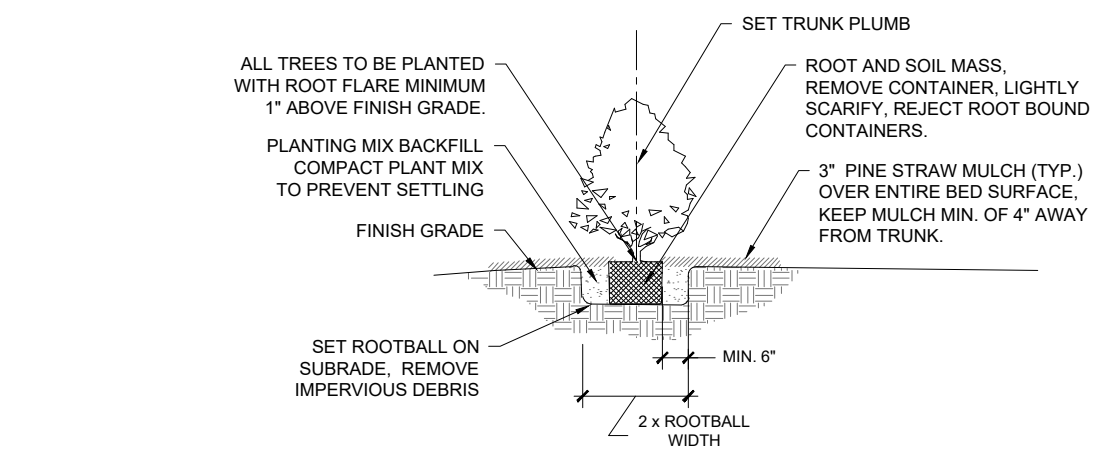
3. DETAIL TYPICAL SLOPE PLANTING NOT TO SCALE



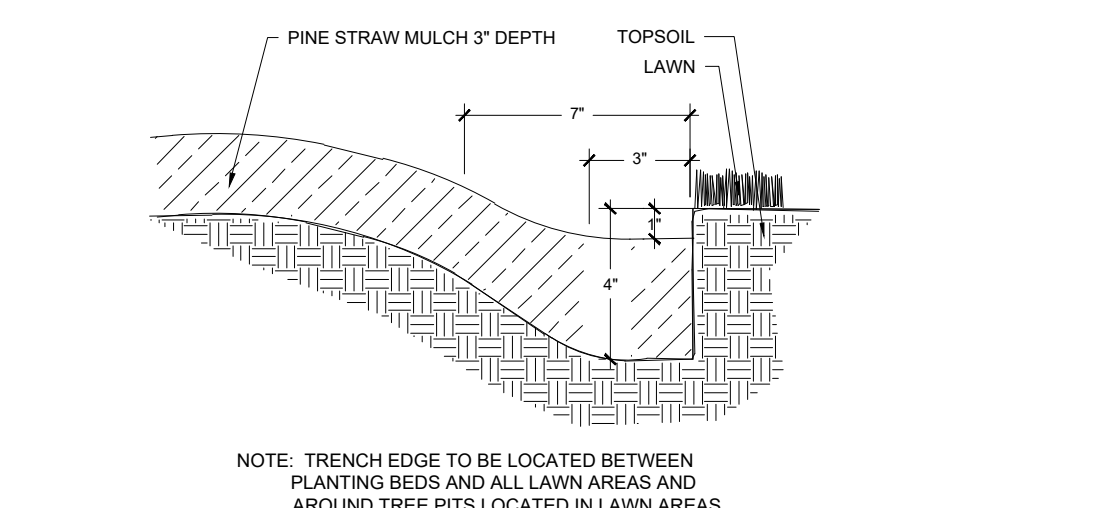
4. DETAIL EVERGREEN TREE PLANTING NOT TO SCALE



5. DETAIL TYPICAL STAGGERED ROW SPACING NOT TO SCALE



6. DETAIL TYPICAL CONTAINERIZED SHRUB PLANTING NOT TO SCALE



7. TRENCH EDGE DETAIL FOR ALL PLANT BEDS NOT TO SCALE

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS.
- THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER/OR DAMAGED PARTY.
- CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES PRIOR TO CONSTRUCTION.
- ALL PLANTING AREAS SHALL BE FREE OF OBSTRUCTIONS LARGER THAN 1 1/2" IN SIZE.
- ALL TREES AND SPECIMEN PLANT MATERIAL SHALL BE LOCATED BY THE CONTRACTOR AT APPROVED NURSERIES OR THEIR EQUAL APPROVED PRIOR TO BIDDING.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE LANDSCAPE ARCHITECT AT THE JOB SITE.
- THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- THE LOCATION OF ALL PLANTING BEDS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE THE PREPARATION OF BEDS PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT A MINIMUM 72 HOUR NOTICE SHOULD BE GIVEN AND ANTICIPATED BY THE CONTRACTOR FOR THIS REVIEW.
- MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
- CONTRACTOR SHALL SUPPLY AND SPREAD 6" TOP-SOIL IN SHRUB BEDS AND ALL AREAS TO BE SEEDED UNLESS OTHERWISE NOTED IN SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED TOPSOIL TO PERFORM INCIDENTAL GRADING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE IN ALL PLANT AREAS.
- PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF NURSERY "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- ALL SHRUBS, TREES AND GROUND COVERS SHALL BE PLANTED WITH A SOIL MIXTURE CONSISTING OF 50% TOPSOIL AND ORGANIC MATERIAL AND PER SPECIFICATIONS.
- FRONT ROW OF SHRUBS SHALL BE PLANTED MINIMUM 24" BEHIND BED LINE @ LAWNS OR WALKS AND MINIMUM 36" BACK OF CURB @ PARKING SPACES.
- BACK ROW OF SHRUB PLANTING SHALL BE PLANTED @ 36" OFF FACE OF BUILDING WALL, GROUND COVERS SHALL BE 12" OUT FROM BUILDING AS REQUIRED BY PLANT SPECIFICATIONS.
- EXCAVATE EDGE OF ALL PLANTING BEDS TO 4" DEPTH TO FORM A NEAT CRISP DEFINITION.
- ALL PLANTING BEDS AND TREE PITS SHALL BE MULCHED WITH A 3" SETTLED LAYER OF PINE STRAW.
- MULCH ALL AREAS OF ANNUALS AND SPREADING GROUND COVER MASS PLANTING WITH 3 INCHES OF DOUBLE HANDED BROWN MULCH.
- GRASS: ALL AREAS TO BE GRASSED SHALL BE TILLED AND GRADED TO A DEPTH OF 6" SLUG OF LIME SHALL BE APPLIED AT A RATE OF 100 POUNDS PER 1000 SQ. FT. ADD TURF GREEN OR EQUAL (12-8 SLOW RATE) AT A RATE OF 50 POUNDS PER 1000 SQ. FT. SEEDING AREAS SHALL BE COVERED WITH A THIN LAYER OF WHEAT STRAW.
- ALL DISTURBED AREAS NOT PLANTED WITH SHRUBS, TREES, OR SOD SHALL BE SEEDED.
- GRADE ALL AREAS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE SODDING.
- SEASONAL COLOR SHALL BE PLANTED IN FLOWERING STATE.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS FOR ONE FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- REMOVE ALL GUY WIRES AND STAKES AT END OF GUARANTEE PERIOD.
- WHEN TREES ARE PLANTED THE MONTHS OF MARCH THRU OCTOBER, THE LANDSCAPE CONTRACTOR SHALL AMEND THE SOIL MIX WITH A MOISTURE RETENTION AGENT AS 'TERRA-SORB' OR EQUAL FOR EACH TREE INSTALLATION.

LAYOUT NOTES:

- THE LOCATION OF ALL SURFACE AND UNDERGROUND STRUCTURES AND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER/OR DAMAGED PARTY.
- THE FINISHED GRADES SHALL BE FREELY DRAINING.
- ALL SITE ELEMENT LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION/INSTALLATION.
- IF APPLICABLE, THE LOCATION OF ALL FOOTINGS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. FOOTINGS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- THE LOCATION OF ALL PAVED AREAS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. PAVED AREAS SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- MINIMIZE ALL ROOT DISTURBANCE WITHIN THE DRIP LINE OF ALL EXISTING TREES.
- COORDINATE SLEEVE LOCATION/INSTALLATION WITH LANDSCAPE CONTRACTOR. INSTALLATION IS THE RESPONSIBILITY OF GENERAL CONTRACTOR.
- IRRIGATION SLEEVES ARE TO BE SCHEDULE 40 PVC PIPE, PER SPECIFICATIONS, EXTENDED 18" MINIMUM BEYOND CURB OR PAVEMENT EDGE.
- IRRIGATION SLEEVES ARE TO BE MARKED (EACH END) WITH A 2" X 4" STAKE FOR EASE OF LOCATION BY THE LANDSCAPE CONTRACTOR. SECURE OR CAP EACH END OF SLEEVE DURING INSTALLATION TO PREVENT LOGGING.

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CAL	HT	SPREAD	SPACING	REMARKS
2	ACER BUERGERIANUM 'RUSTYALLEN' TM	BLOOD MOON TRIDENT MAPLE	2" - 2.5" CAL. MIN/B&B			AS SHOWN	STRONG CENTRAL LEADER
5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" - 2.5" CAL. MIN/B&B	10'-12'	6'-8'	AS SHOWN	FULL HEAD, SPECIMEN QUALITY
4	MAGNOLIA GRANDIFLORA 'CLAUDIA WANNAMAKER'	CLAUDIA W. MAGNOLIA	2" - 2.5" CAL. MIN/B&B	9' - 10' MIN.	4' - 5' MIN.	AS SHOWN	FULL TO SPREAD
8	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	2" - 2.5" CAL. MIN/B&B	13' - 15' MIN.	3' - 5' MIN.	AS SHOWN	STRONG CENTRAL LEADER
2	TAXODIUM DISTICHUM	BALD CYPRESS	2" - 2.5" CAL. MIN/B&B	8'-10'	4'-6'	AS SHOWN	B&B
DETENTION POND MIX	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPREAD	SPACING	REMARKS
86	ANDROPOGON GLOMERATUS	BUSHY BLUESTEM	2" LINER			18" O.C.	FULL, HEALTHY PLANT
42	IRIS LOUISIANA	LOUISIANA IRIS	2" PLUG			18" O.C.	FULL, HEALTHY PLANT
14	LIATRIS SPICATA	DENSE BLAZING STAR	1 GAL	12"-24"	12"-24"	24" O.C.	FULL, HEALTHY PLANT
106	NUPHAR LUTEA	EUROPE COWLILY	1 GAL			36" O.C.	FULL, HEALTHY PLANT
494 SF	SAGITTARIA LATIFOLIA	BROADLEAF ARROWHEAD	SEED				LIVE, WEED-FREE SEED
113	SORGHASTRUM NUTANS	INDIAN GRASS	2" PLUG			18" O.C.	FULL, HEALTHY PLANT
SOD/SEED	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPREAD	SPACING	REMARKS
17,299 SF	CYNODON DACTYLON	BERMUDA GRASS	SOD				HEALTHY, NO YELLOWING OR PESTS. CUT NO MORE THAN 24 HRS. BEFORE LAYING.

LANDSCAPE NOTES & DETAILS

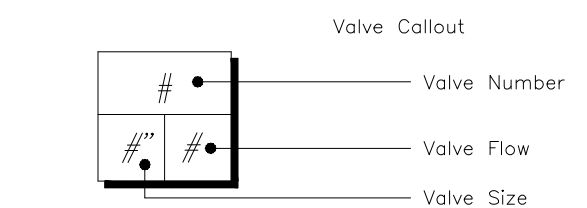
JHCC POOLER
 1224 E US HIGHWAY 80
 POOLER, GEORGIA 31322

PROJECT NO. 22.023
 SCALE: 1" = 20'
 DRAWN: JRH REVIEW: ALR

L1.1
 SHEET _ 16 _ OF _ 22 _

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1804 10 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET.	2	30
	RAIN BIRD 1804 12 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET.	2	30
	RAIN BIRD 1804 15 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET.	1	30
	RAIN BIRD 1804 ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET.	25	30
	RAIN BIRD 1804 ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET.	85	30
	RAIN BIRD R-1318 RD-04-SAM-P45 TURF ROTATOR, 13'-18" ROTARY STREAM, W/RD-00 TURF SPRAY BODY ON 4.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.	2	45
	RAIN BIRD R-VAN-1724 RD-04-SAM-P45 TURF ROTATOR, 17'-24" HAND ADJUSTABLE ROTARY STREAM, W/RD-00 TURF SPRAY BODY, 4.0" POP-UP, WITH SEAL-A-MATIC CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATION.	51	45
	RAIN BIRD RWS-B-C ROOT WATERING SYSTEM WITH 4.0" DIAMETER X 36.0" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE, AND CHECK VALVE. RAIN BIRD BUBBLER OPTION AS INDICATED: 1401 0.25 GPM, 1402 0.5 GPM, 1404 1.0 GPM, 1408 2.0 GPM.	6	30
	RAIN BIRD PESB-PRS-D (3) 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	12	
	RAIN BIRD PESB-PRS-D 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION, WITH PRESSURE REGULATING MODULE, AND SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	1	
	WATTS U009 1" REDUCED PRESSURE BACKFLOW PREVENTER	1	
	RAIN BIRD ESPLXME2-LXMMSS 12 STATION TRADITIONALLY WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMMSS STAINLESS STEEL CABINET.	1	
	WATER METER 1" BASIS OF DESIGN: 1" METER @ 85 PSI & 37.5 GPM. CONTRACTOR TO VERIFY & SIZE ACCORDINGLY.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	1,930 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	597.1 L.F.	
	PIPE SLEEVE: PVC CLASS 200 SDR 21	77.9 L.F.	



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	RAIN BIRD PESB-PRS-D (3)	1"	TURF SPRAY	15.97	681.1	35.0	50.8	0.75 in/h
2	RAIN BIRD PESB-PRS-D (3)	1"	TURF SPRAY	6.8	678.9	32.0	46.8	0.86 in/h
3	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	4.06	673.0	46.7	61.1	0.44 in/h
4	RAIN BIRD PESB-PRS-D (3)	1"	TURF SPRAY	7.42	514.8	32.0	46.8	0.85 in/h
5	RAIN BIRD PESB-PRS-D (3)	1"	SHRUB SPRAY	22.61	510.3	35.0	52.9	2.04 in/h
6	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	5.92	505.6	46.9	61.5	0.35 in/h
7	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	6.61	438.3	46.8	61.5	0.37 in/h
8	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	7.66	374.8	46.9	61.7	0.37 in/h
9	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	9.46	327.0	46.9	61.9	0.49 in/h
10	RAIN BIRD PESB-PRS-D (3)	1"	TURF ROTARY	8.2	264.4	46.8	61.7	0.51 in/h
11	RAIN BIRD PESB-PRS-D (3)	1"	TURF SPRAY	28.11	157.1	36.3	58.0	1.41 in/h
12	RAIN BIRD PESB-PRS-D (3)	1"	TURF SPRAY	23.54	157.1	35.7	54.3	1.0 in/h
Common Wire					597.1			

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN/WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	RAIN BIRD PESB-PRS-D (3)	TURF SPRAY	0.75 in/h	1	80	1,278	182.5
2	RAIN BIRD PESB-PRS-D (3)	TURF SPRAY	0.86 in/h	1	70	476.1	68.0
3	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.44 in/h	1	138	560.3	80.0
4	RAIN BIRD PESB-PRS-D (3)	TURF SPRAY	0.85 in/h	1	71	527.1	75.3
5	RAIN BIRD PESB-PRS-D (3)	SHRUB SPRAY	2.04 in/h	1	30	678.2	96.9
6	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.35 in/h	1	172	1,019	145.5
7	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.37 in/h	1	163	1,078	154.0
8	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.37 in/h	1	165	1,264	180.6
9	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.49 in/h	1	123	1,164	166.3
10	RAIN BIRD PESB-PRS-D (3)	TURF ROTARY	0.51 in/h	1	118	967.4	138.2
11	RAIN BIRD PESB-PRS-D (3)	TURF SPRAY	1.41 in/h	1	43	1,209	172.6
12	RAIN BIRD PESB-PRS-D (3)	TURF SPRAY	1.0 in/h	1	61	1,436	205.2
TOTALS:					1,234	11,656	1,665

CRITICAL ANALYSIS

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P.O.C. NUMBER: 01
Water Source Information: Basis of Design: 1" Meter @ 85 psi & 37.5 gpm. Contractor to verify & size accordingly.

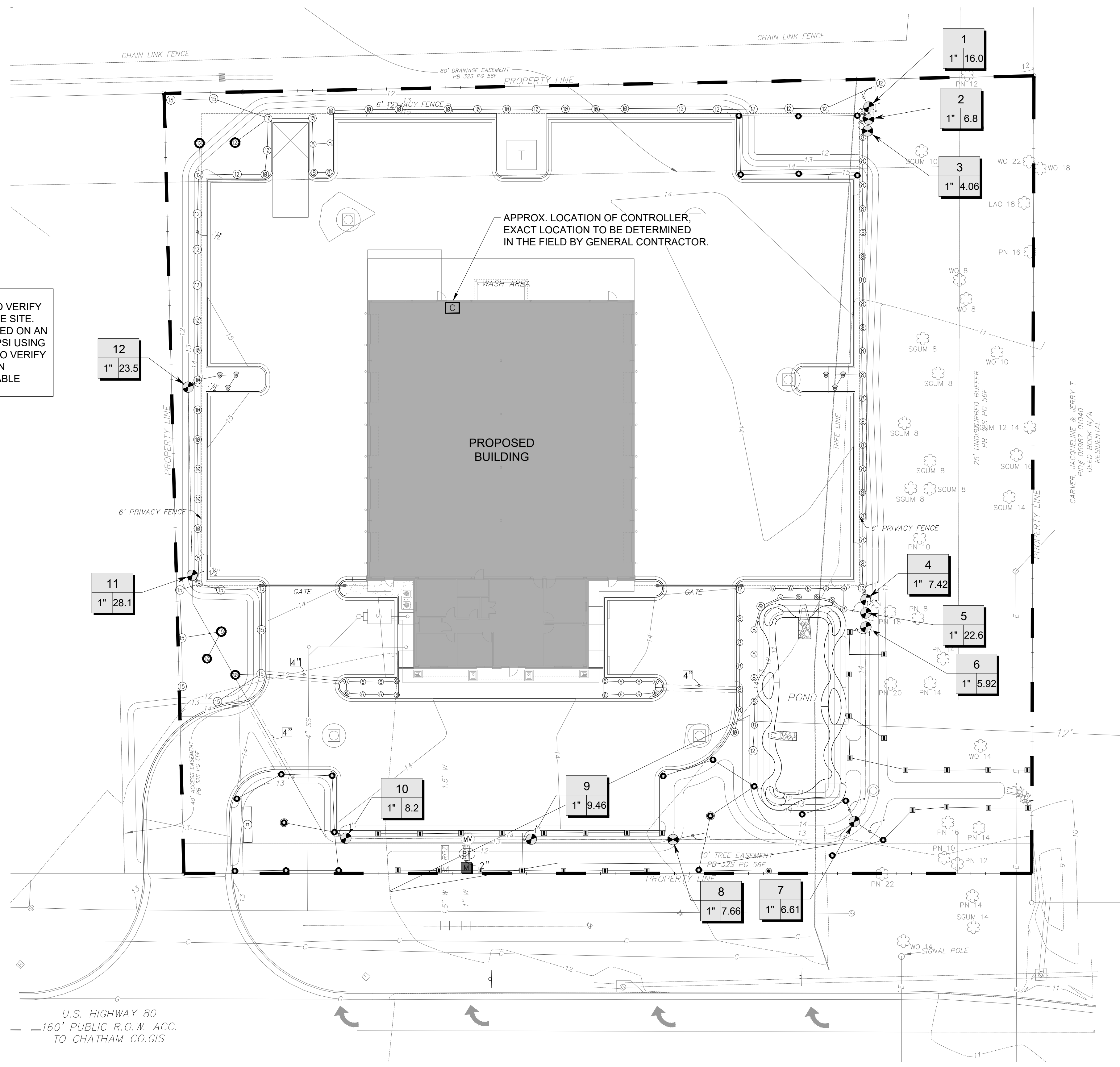
FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.5 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 85 PSI
Elevation Change: 0.00 ft
Service Line Size: 4"
Length of Service Line: 10 ft
Pressure Available: 85 PSI

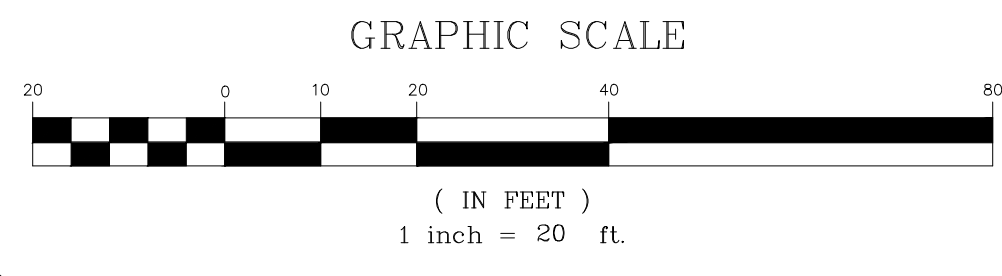
DESIGN ANALYSIS
Maximum Station Flow: 28.11 GPM
Flow Available at POC: 37.5 GPM
Residual Flow Available: 9.4 GPM

Critical Station: 9
Design Pressure: 45 PSI
Friction Loss: 0.09 PSI
Fittings Loss: 0.01 PSI
Elevation Loss: 0 PSI
Loss through Valve: 1.79 PSI
Pressure Req. at Critical Station: 46.9 PSI
Loss for Fittings: 0.0 PSI
Loss for Main Line: 0.03 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12.5 PSI
Loss for Master Valve: 1.79 PSI
Loss for Water Meter: 0.65 PSI
Critical Station Pressure at POC: 61.8 PSI
Pressure Available: 85 PSI
Residual Pressure Available: 23.2 PSI

NOTE:
IRRIGATION CONTRACTOR TO VERIFY AVAILABLE PRESSURE TO THE SITE. SYSTEM WAS DESIGNED BASED ON AN AVERAGE PRESSURE OF 85 PSI USING A 1" METER. CONTRACTOR TO VERIFY ALL SYSTEM ZONES WILL RUN PROPERLY BASED ON AVAILABLE PRESSURE AND METER SIZE.



1 IRRIGATION PLAN



Renta
URBAN · LAND · DESIGN
205.545.7639
PO Box 305 / Birmingham, AL 35201
renta-uld.com
RULD PROJECT # CAPR-2301

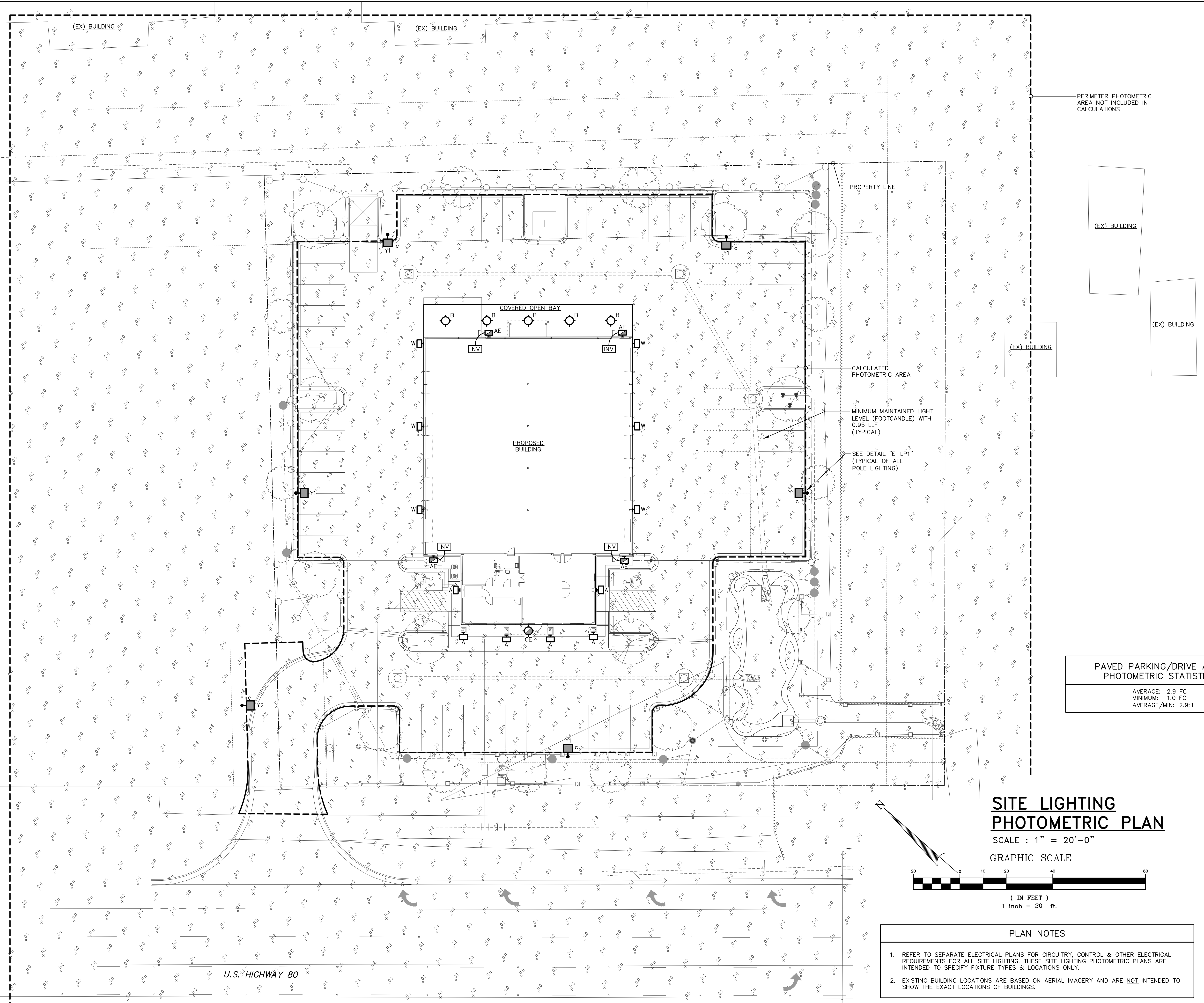
CAPRINE
PLANNING · CIVIL ENGINEERING · CONSULTING
3 OFFICE PARK CIRCLE, SUITE 2226 BIRMINGHAM, ALABAMA 35223
C: (205) 423-5082

DATE	PLAN ISSUE
07.17.2023	FOR PERMIT
09.22.2023	FOR PERMIT
10.23.2023	FOR PERMIT

IRRIGATION PLAN

JHCC POOLER
1224 E US HIGHWAY 80
POOLER, GEORGIA 31322

PROJECT NO. 22.023
SCALE: 1" = 20'
DRAWN: JRH REVIEW: ALR
L2.0
SHEET 17 OF 22



PERIMETER PHOTOMETRIC AREA NOT INCLUDED IN CALCULATIONS

(EX) BUILDING

(EX) BUILDING

(EX) BUILDING

PROPERTY LINE

CALCULATED PHOTOMETRIC AREA

MINIMUM MAINTAINED LIGHT LEVEL (FOOTCANDLE) WITH 0.95 LLF (TYPICAL)

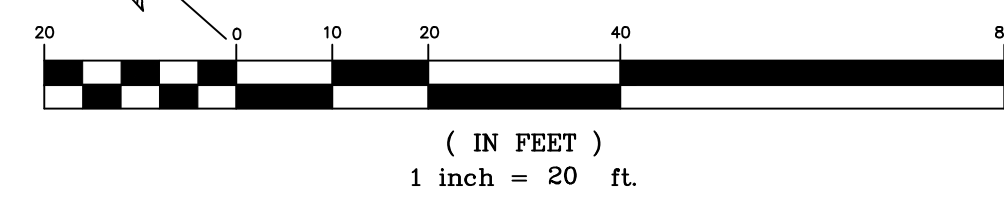
SEE DETAIL "E-LP1" (TYPICAL OF ALL POLE LIGHTING)

PAVED PARKING/DRIVE AREA PHOTOMETRIC STATISTICS	
AVERAGE:	2.9 FC
MINIMUM:	1.0 FC
AVERAGE/MIN:	2.9:1

SITE LIGHTING PHOTOMETRIC PLAN

SCALE : 1" = 20'-0"

GRAPHIC SCALE



PLAN NOTES

1. REFER TO SEPARATE ELECTRICAL PLANS FOR CIRCUITRY, CONTROL, & OTHER ELECTRICAL REQUIREMENTS FOR ALL SITE LIGHTING. THESE SITE LIGHTING PHOTOMETRIC PLANS ARE INTENDED TO SPECIFY FIXTURE TYPES & LOCATIONS ONLY.
2. EXISTING BUILDING LOCATIONS ARE BASED ON AERIAL IMAGERY AND ARE NOT INTENDED TO SHOW THE EXACT LOCATIONS OF BUILDINGS.

U.S. HIGHWAY 80

DATE	10/23/2023
PLAN ISSUE FOR PERMIT	



SITE LIGHTING PHOTOMETRIC PLAN

JHCC POOLER
 1224 E US HIGHWAY 80
 POOLER, GEORGIA 31322

PROJECT NO. 22.023
SCALE: AS NOTED
DRAWN: RGN REVIEW: PDB

SL1.1

SHEET 20 OF 22



November 30th, 2023

Edward C. Eckroate, P.E.
Caprine Engineering LLC
3 Office Park Circle, Suite 226
Birmingham, AL 35223

Dear Mr. Eckroate,

I am pleased to provide you with a recommendation for Site Plan Approval for Joe Hudson Collision Center, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	Oct. 2023
	Stormwater Management Report.....	Sep. 2023
	Supplemental Stormwater Management Report.....	Sep. 2023
	Stormwater Maintenance Agreement & Plan.....	Sep. 2023
	Technical Traffic Memorandum.....	Sep. 2023
	GDOT GUPS Permit (Approved).....	Sep. 2023
	GA EPD NOI.....	Sep. 2023
	GSWCC Approval of ES&PC Plans.....	Nov. 2023

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance. A complete set of reviewed plans and specification shall be maintained on the construction site.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM



EOM Operations

Your solution to a better tomorrow

OPERATIONS

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



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F: 912.756.5882



CITY COUNCIL REGULAR MEETING – STAFF REPORT

December 18, 2023 at 4:00 pm | 100 US Highway 80 SW, Pooler, GA 31322

Agenda Item:

Main Street Master Plan

Meeting Date:

December 18, 2023

Department:

Planning & Zoning

Background & Discussion:

The City contracted with firm TSW for the creation of a master plan for the City's Main Street. The intent of the project was to establish achievable goals and potential projects in furthering growth and redevelopment along Main Street. TSW and Planning staff held various engagement opportunities throughout the plan's development process to ensure input and feedback on the various plan components. The plan builds off the 2015 Main Street Vision Plan and the Pooler 2040 Comprehensive Plan. The Main Street Master Plan provides a refined vision and goals for Main Street's future. The vision and goals coincide with recommendations related to a proposed land use framework, an illustrative concept plan of key opportunities for appropriate development, and various strategic actions and projects for advancing the plan and its vision.

Recommendation:

Staff recommends approval of the Main Street Master Plan.

Attachments:

Main Street Master Plan

POOLER MAIN STREET MASTER PLAN

December 4, 2023



ACKNOWLEDGMENTS

CONSULTANTS

- TSW
- Arnett Muldrow & Associates

CITY OF POOLER

- Mayor Rebecca Benton
- Councilwoman Shannon Black
- Councilman Aaron Higgins
- Councilman Tom Hutcherson
- Councilman Stevie Wall
- Councilman John Wilcher
- Councilwoman Karen Williams

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EXISTING CONDITIONS



Site Context	02
Demographics & Economic Conditions	04
Community Resources	06
Transportation / Connectivity	08
Existing Zoning	10
Future Land Use	12
Comprehensive Plan Character Areas	14
Susceptibility to Change	16
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SITE CONTEXT

AN OVERVIEW OF POOLER

Pooler is located in unincorporated Chatham County and is bordered by Port Wentworth, Garden City, Bloomingdale, and Savannah. US Highway 80 runs directly through the City of Pooler and is considered the 'main street'. Highway 80 splits into two roadways in the historic core and has created an island of parcels in between them.

Pooler was originally founded in 1838 and was officially incorporated in 1907. Pooler was known as the last railroad station stop before Savannah on the Central of Georgia Railway during the Civil War.

In the early years of Pooler's development, dairies played a vital role in the economy and eventually a post office, gas stations, a theater and a drug store were built in town. Today, Pooler is known as the commercial center of Chatham County (Source: City Town Info).

The market conditions in the study area are stable – stores in the study area had \$59.1 million in sales over the past year, approximately a third of which came from motor vehicle and parts dealers. Retail growth in the study area is expected to grow in these categories: restaurants, health and personal care, food and beverage, building materials, and furniture and home furnishings.

STUDY BOUNDARY REVIEW

The Pooler Main Street Master Plan study boundary, shown with the black outline on the adjacent map, focuses on the US Highway 80 corridor (highlighted in yellow) that runs through Pooler's historic center (between Chestnut and Reed). Approximately 1.75 miles in length, the route is also known as Louisville Road (historic name) and referred to as Pooler's Main Street. The primary focus of this study is between Pooler Parkway and Interstate 95. The primary frontage along Main Street is commercial with limited residential where vehicular circulation is prioritized over pedestrian scale development and safety.

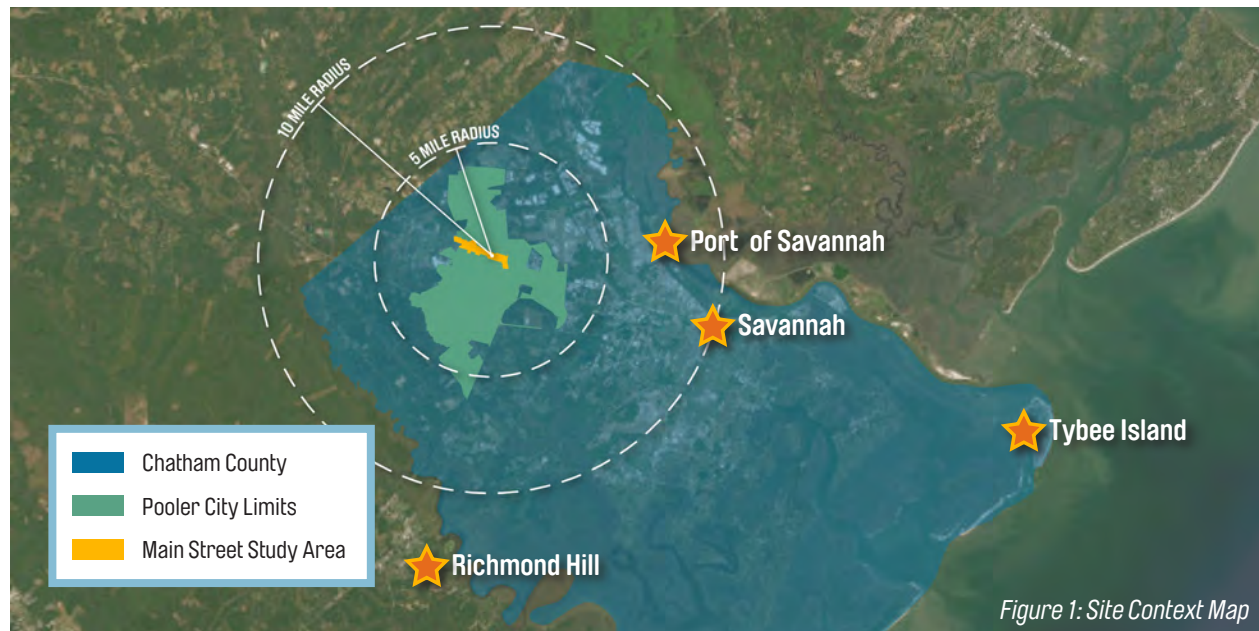


Figure 1: Site Context Map

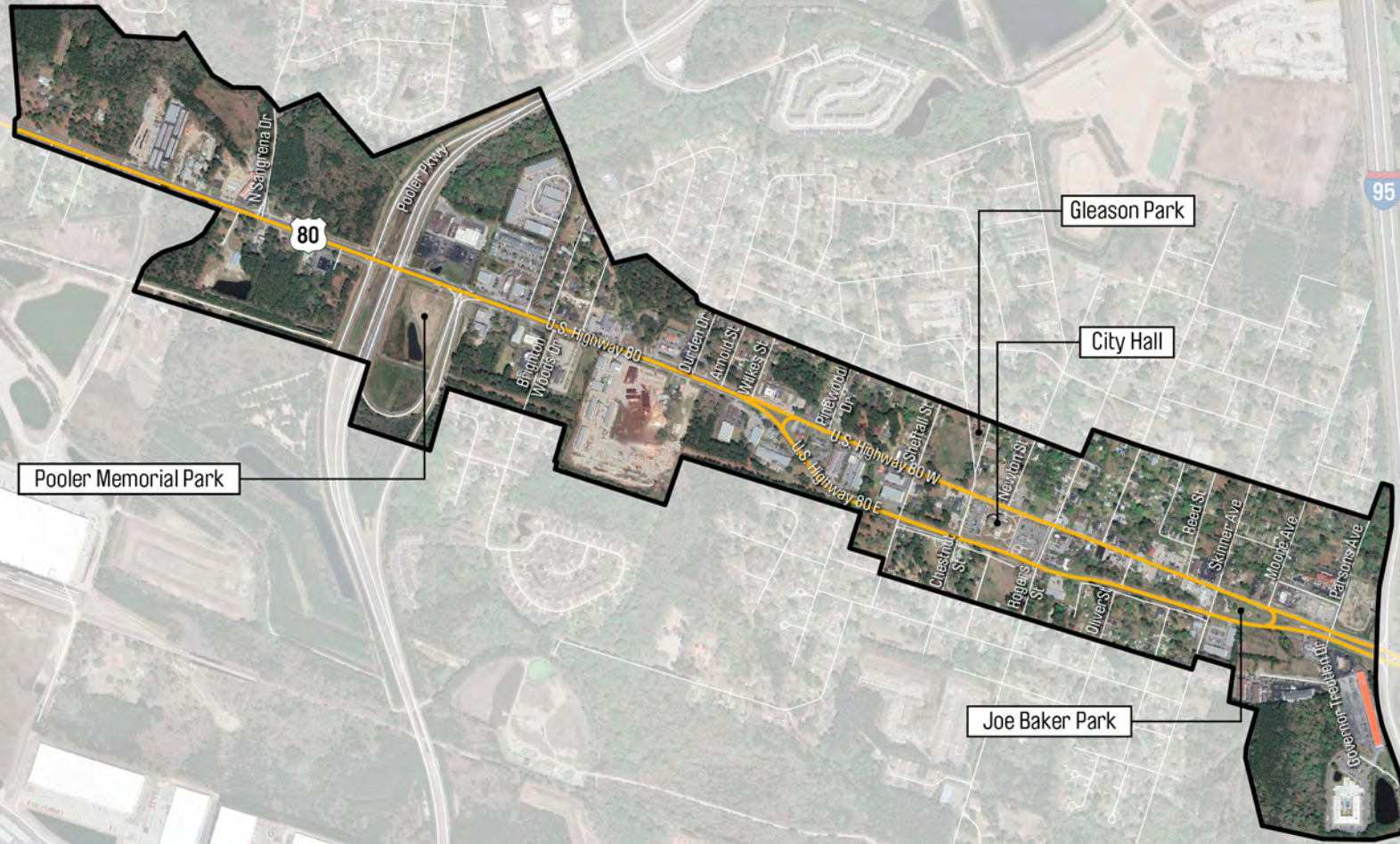
THIS PLAN'S PURPOSE

This plan is an opportunity to establish achievable goals that will serve as a guide in further growing the historic main street. The master plan will serve as a blueprint to:

- Leverage area history, resources, and recent development success;
- Attract businesses, jobs and people along main street;
- Recommend improvements and encourage quality design and development along main street

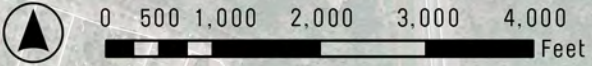
STUDY BOUNDARY

Figure 1



LEGEND

- Study Boundary
- Main Street / US 80



DEMOGRAPHICS & ECONOMIC CONDITIONS

POPULATION

Pooler has seen tremendous growth over the past two decades with nearly 243% population increase between 2000 and 2020. This is over three times that of the very healthy growth that the Savannah metro saw during the same time (72%). Since the previous Census, Pooler is estimated to have grown to 27,578 people with a projected change of an additional 10% in the next five years.

CLARITAS ESTIMATES THAT APPROXIMATELY 483 PEOPLE LIVE IN THE MAIN STREET STUDY AREA.

Claritas is a demographic data collection company that provides statistics for age, race, household size, income, ethnicity, occupation, etc.

DEMOGRAPHICS SNAPSHOT

2023 POPULATION EST.
26,840

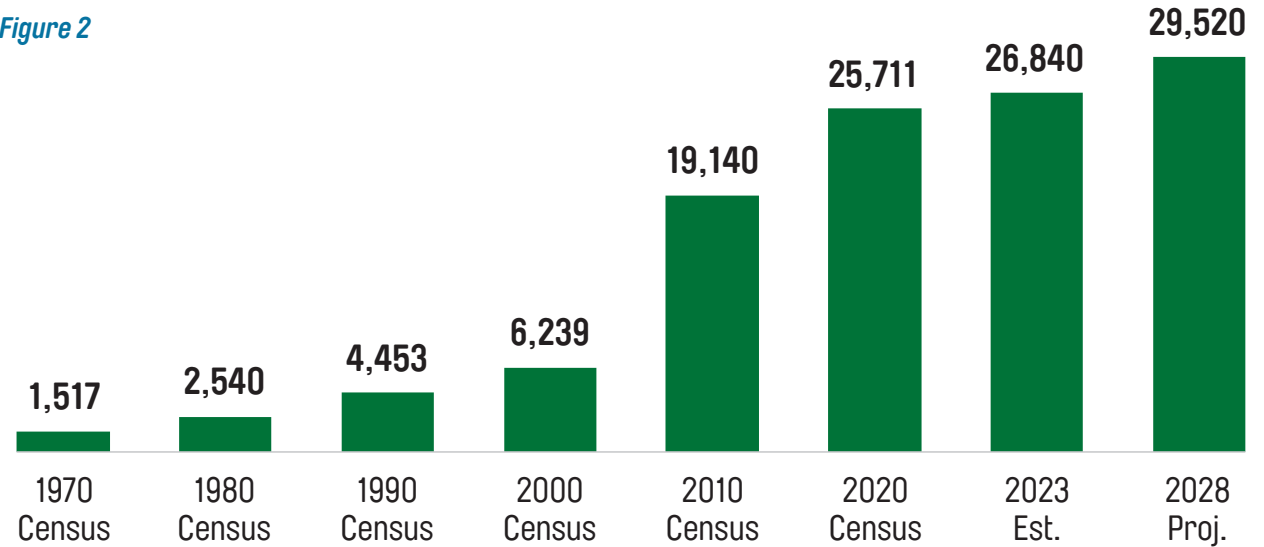
POPULATION GROWTH RATE (2000 - 2020)
243%

MEDIAN HOUSEHOLD INCOME
\$84,500

AVERAGE RESIDENT AGE
35.9

POOLER POPULATION: 2000 - 2028

Figure 2



AGE & ETHNICITY

Median age in Pooler is 35.9, younger than Chatham County at 37.6 and Savannah's 37.2. Pooler has a balance of age groups, with the largest segment being ages 35-54 (27%). The Main Street study area is a bit older at 43.5 years of age.

Pooler is 52% white and 27% black. 9% of the population is Hispanic or Latino, while 6% are Asian.

POOLER RACE/ETHNICITY

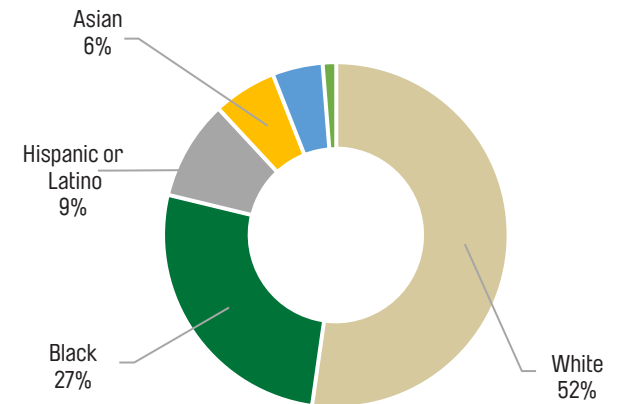


Figure 3

HOUSEHOLD INCOME

Pooler's median household income is \$84,500, significantly higher than Chatham County (\$63,921) and the metro area (\$67,921). For the households in the main street study area, the median income of \$63,553 are on par with the county.

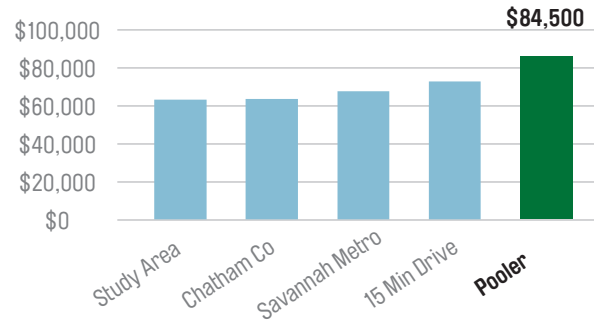
CURRENT BUSINESS CLIMATE

The City of Pooler is a growing community and is a major economic center for the greater Savannah Metro. With Tanger Outlets and Godley Station, the city is a retail magnet providing commerce and jobs for the entire region and beyond. This is due both to its proximity to Savannah, but also to its position on both I-95 and I-16. I-95 forms the eastern boundary of the Main Street corridor study area. It brings thousands of people to and through Pooler. Highway 80 is also a major connector from Savannah and the Georgia coast to Statesboro and Central Georgia.

Pooler has seen rapid growth over the years with projections of steady population change over the next five years. As the City has grown, the Godley Station area has served the regional market, while the main street study area has proven to serve Pooler's local residents with commerce, services and jobs. It also serves as the oldest residential area in Pooler. Today, it retains a quaint, connected residential atmosphere with homes that are more modest and affordable in a regional and nationwide home market that has seen significant price increases over the past five years or more. Single-family homes in the study are average

MEDIAN HOUSEHOLD INCOME:

Figure 4



around \$206,000 while the local market is seeing homes sell for an average of \$318,000 or more.

While it is a mature city center with older residences, businesses and structures, the Main Street district has still seen new quality investment in recent years. The City displayed its dedication to the district five years ago when it invested in a new city hall complex. Recent private developments include Peacock Plaza, OMS Dental facility, and others. These new investments have begun to define a new, more up-to-date aesthetic to the main street environment.

Pooler is a retail center that serves a broad area, but still shows opportunity for commercial growth based on local demand. These opportunities in several key categories suggest at least 26,000 square feet of new space that could be directed into main street. This does not account for the potential to grow destination-based businesses such as independent restaurants, entertainment, or destination retail.

With the exception of a couple of underutilized and dated sites, there is very limited vacant space in the main street area. Like other older commercial centers, rental rates vary from site to site depending on age, location and condition, and range from \$12 to \$20+ per sf.

With limited vacancy and pricing more favorable than the region, the main street area has the potential to attract additional office and commercial. There is limited amount of space formally on the market in the main street area however, so new space could be created through infill and mixed-use redevelopments of key sites.

The Hyundai plant currently under construction in nearby Ellabell will prove to be a game changer for the entire region, but in particular Pooler as it is the closest full-service city to the plant within the metro area. The 16 million square foot plant will ultimately have over 8,000 direct hires, with untold employees working for suppliers. The workers will make an average of \$58,000 per year and will need places to live, eat and shop. This will impact all of the city of Pooler, but will most certainly increase demand for business, residential and mixed-use in the main street study area.

COMMUNITY RESOURCES

Community resources include places where people can gather, such as schools and parks, or public amenities that serve the community (government departments, schools, libraries). These resources play a crucial role in shaping the quality of life for residents. Figure 5 illustrates the community resources in the study area and shows their proximity to each other by the 1/4-mile walking radius, representing a typical 5-minute walk, from City Hall.

There are many civic buildings located in the center of the study area, like City Hall, Pooler Library, Police Station, and the Municipal Court. Many of these facilities are within a 5-minute walk of each other, however, sidewalk conditions and lack of pedestrian safety measures along Main Street today discourage people from walking.

Along with the civic buildings, this study has identified 6 faith-based organizations and one private school within the study area. The faith-based organizations and the private school are spaced throughout the corridor adjacent to or within a 5-minute walk from one of the established single family residential areas.

At either end of the study area, there are two parks. Pooler Memorial Park is more than a 15–20 minute walk (1-mile) from the center of the study area. Bounded by Pooler Parkway, the Pooler Parkway exit ramp, and Main Street/US 80 the

functionality of this park is severely limited due to lack of pedestrian and vehicular access. Joe Baker Park, within the historic core, is confined between the west and east bound travel lanes of US Highway 80 and a gas station. Regardless of these current constraints it is more easily accessible to pedestrians than the larger Pooler Memorial Park. A smaller neighborhood pocket park is also located within the study area; located near First Baptist Church and adjacent residential uses. Its location is also on a common route for children walking to Pooler Elementary located just outside the study boundary.

Based on the City of Pooler 2040 Comprehensive Plan (reference page 246 of the Comprehensive Plan document), Pooler has 2 properties eligible for the National Register of Historic Places. A National Register Historic District has not been established in Pooler. More importantly, Pooler lacks a local historic district that, unlike a National Register Designation, provides communities with the means to make sure growth, development, and change takes place in ways that respect the area's historic resources. The properties listed on the National Register today are important cultural resources for the community, as they represent important aspects of Pooler's history, but the current designation does not provide these properties with any protection.



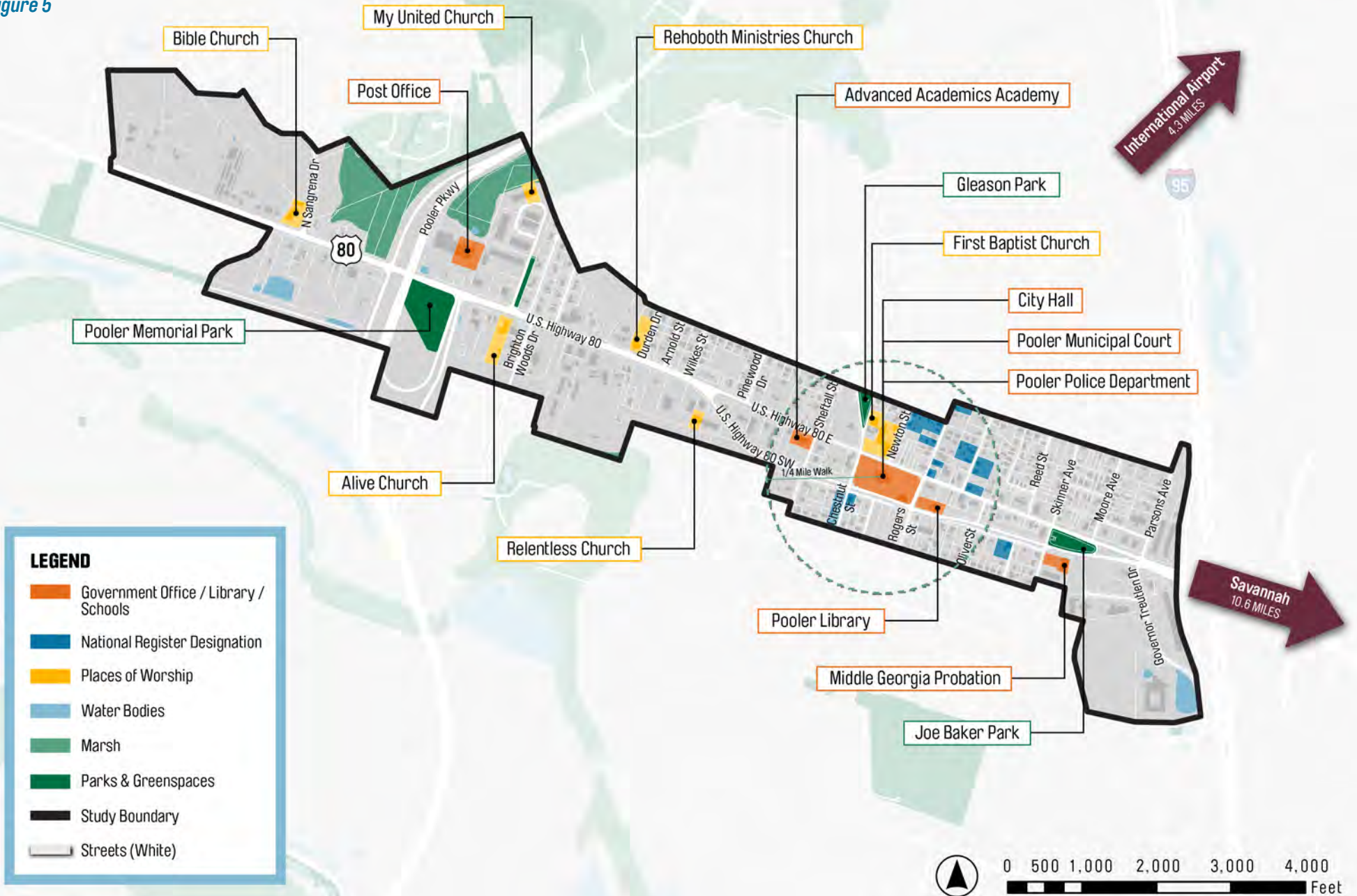
Top: Joe Baker Park

Middle: Pooler City Hall

Bottom: Three Tree Coffee Shop building is on the National Register of Historic Places

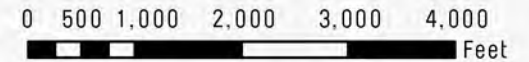
COMMUNITY RESOURCES

Figure 5



LEGEND

- Government Office / Library / Schools
- National Register Designation
- Places of Worship
- Water Bodies
- Marsh
- Parks & Greenspaces
- Study Boundary
- Streets (White)



TRANSPORTATION / CONNECTIVITY

The street framework within the study area reflects development trends over the course of Pooler's history. The oldest area of Pooler, around City Hall, has a typical 1920's downtown grid with ~430'-460' east/west block faces fronting Louisville Road / US 80. The north/south block faces (~800-900 feet) are oriented to be perpendicular to Louisville Road for mostly residential lots. It should be noted that sometime in the late 1980's, GDOT implemented a one-way split that shortened the north/south block faces on the southern side to ~430 feet. This decision by GDOT also created challenging parcels for development in the center of the split.

Left: Some existing sidewalks on US Highway 80 E are pulled off the road which gives pedestrians a sense of safety.

Middle: Incomplete sidewalk

Right: Inappropriate landscape strip width



Another major influence on the street framework occurred in the 1950's and 70's with the implementation of more curvilinear streets reflective of the preferred development style of the time. This pattern is identified just west of the tighter formalized street grid around City Hall. As you continue to move west along US 80 the street framework becomes more fractured as evidenced by the continued focus on accommodating the automobile over walkability.

This study identified 3 challenges with pedestrian and vehicular circulation. These included:

- **Lack of Sidewalks.** The diagram on the opposite page identifies all block faces without sidewalks. In some cases, sidewalks are not warranted on both sides of the street, such as local residential streets, however, it is worth noting the lack of infrastructure within the core of Pooler, specifically along Main Street. Many



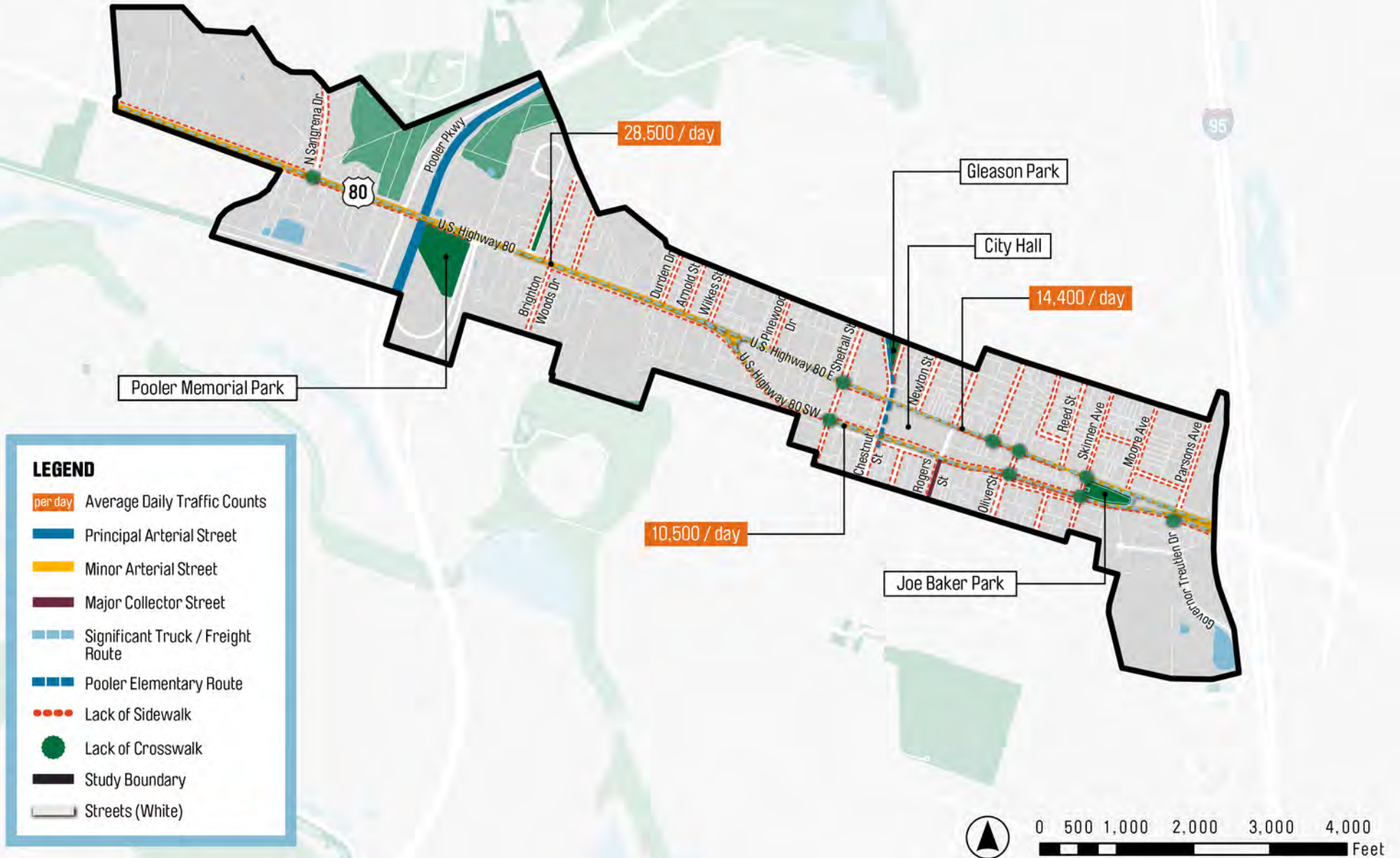
of the existing sidewalks are in need of repair or should be relocated as noted in the existing conditions photos.

- **Truck Traffic.** According to an SR 26/US 80 Corridor Study presentation dated December 19, 2022, 11% of 26,200 (approximately 2,880) vehicles per day on US 80 in the Main Street Master Plan study area is due to trucks. This is the lowest percentage found within the study that looked at US 80 between Bloomingdale and Garden City.
- **Pedestrian Safety.** The diagram on the opposite page identifies key intersections that lack crosswalks at the time of this study. A particular concern is the lack of pedestrian safety measures along a heavily used route used by children walking to Pooler Elementary. Currently crossing guards are stationed at Chestnut Street and US 80 east and Chestnut and US 80 West to help children safely cross the street.



TRANSPORTATION / CONNECTIVITY

Figure 6



EXISTING ZONING

There are 6 zoning designations and one overlay district identified within the study area. Much of the area is zoned Commercial, as shown in orange on the opposite page. When combined, the three residential zoning districts including Single Family Residential, Two Family Residential, and Multi-Family Residential designations are the second most prominent in the area. The residential districts are primarily found along the northern and southern study area boundary lines. There is one area designated Industrial just west of where US 80 splits.

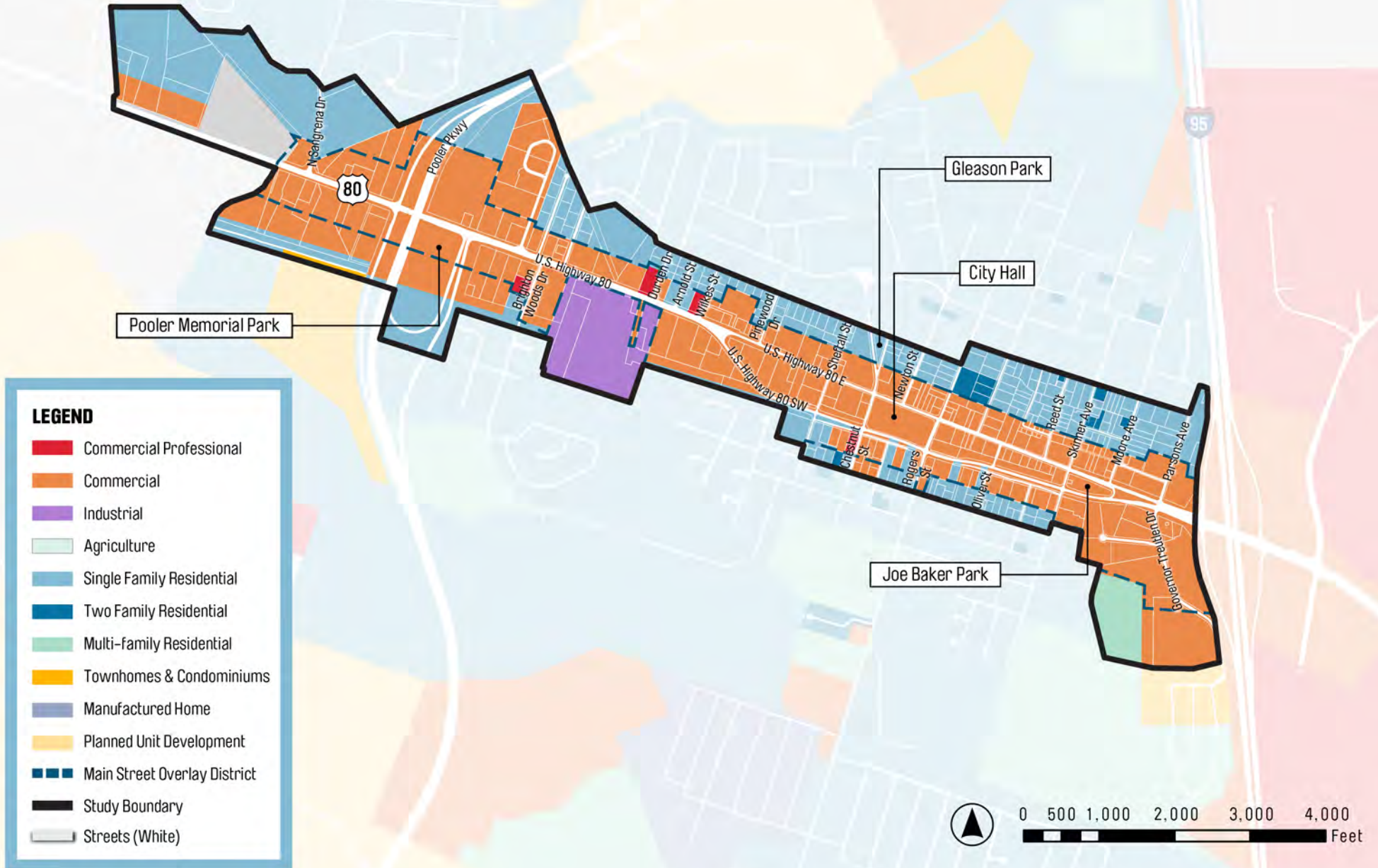
The Main Street Overlay mostly applies to properties with frontage along US 80. Some variation in the overlay boundary is evident such as split zoned parcels and extending south adjacent to interstate 95. At the time of this study, the overlay district has certain standards that are optional, such as those related to parking, while other provisions are mandatory, such as architectural standards. The recommendations chapter of this study will take a closer look at parcels that front onto Main Street to suggest appropriate land uses that reflect the preferred Main Street vision identified during the public process. This analysis can be used to assist with better defining the Main Street Overlay.



Above: The Chamber of Commerce , located on Highway 80 E, is on the National Register of Historic Places

EXISTING ZONING

Figure 7



FUTURE LAND USE

A Future Land Use map provides directions for zoning decisions through the specific land use categories. The 2040 Comprehensive Plan Future Land Use (FLU) map identifies 7 land use types, and the 1.75 mile study area contains 5 of them. The land use types in the study area are:

- Residential
- Commercial
- Public
- Industrial
- Parks/Recreation/Conservation

The current Future Land Use (FLU) map conflicts with the existing built environment and existing base zoning. Because FLU maps are used to identify

WHAT IS “FUTURE LAND USE”?

While zoning regulations vary, the Future Land Use map is a standardized approach to planning for preferred scenarios. Inconsistencies between future land use designations, existing land use or zoning maps may occur because future land use presents a blueprint for what is to come.

Proposed projects should be generally consistent with the Future Land Use designation for an area to help advance the goals for the type of development within the community.

how areas should be developed in the future, this is not uncommon to see, however, this situation is quite dramatic and should warrant re-evaluation. Below identifies the initial concerns related to this study.

- **Commercial Designation.** Has been broadly applied to properties north of US 80. This area consists of established residential uses which would likely not be appropriate for future commercial uses.
- **Public Designation.** Municipal properties such as City Hall, Municipal Court, and existing Pooler Library are identified as Commercial and not Public as they should. The proposed site for the new Library does have a Public designation.
- **Parks/Recreation/Conservation.** Three of the four city parks within the study area are inappropriately identified as Commercial. The fourth park is identified as residential, but due to the extreme wetland and flood area associated with the parcel the Parks/Recreation/Conservation designation is most appropriate.

The Future Land Use map identifies most of the study area as Commercial – including the current residential neighborhoods bordering Highway 80. Identifying the current residential areas as Commercial could lead to several harmful impacts on the community. The development patterns for

the area has catered toward redevelopment of appropriate commercial frontage and rehabilitation of existing residential properties. The preservation of the existing residential character and uses should be preserved and incentivized. Any potential commercial development should ensure the character of the area is protected and any impacts mitigated.

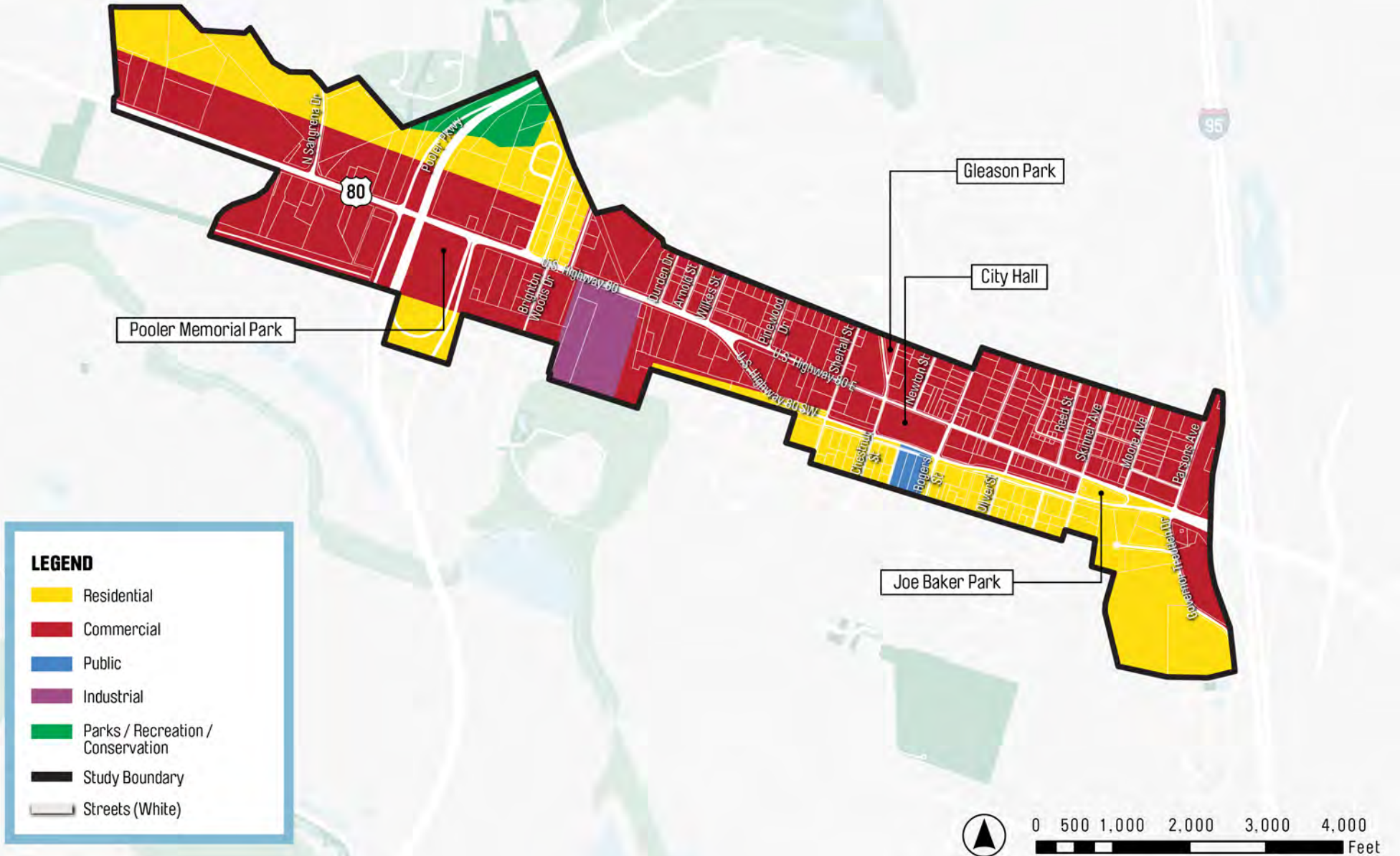
Given the inconsistencies between the FLU and existing zoning, it is recommended to reevaluate the Comprehensive Plan’s Future Land Use map.



Above: The Pooler Library has plans to construct a new building across the street to cater to the large number of visitors they receive.

FUTURE LAND USE

Figure 8



COMPREHENSIVE PLAN CHARACTER AREAS

A Character Area map provides developmental identities to specific areas of a community. The 2040 Comprehensive Plan Character Area map identifies 8 land use types, and the 1.75 mile study area contains 6 of them. The land use types in the study area are:

- Historic District
- Shopping & Dining
- Commercial
- PUD Mixed Use
- Traditional Neighborhood
- Residential

There are discrepancies with how these character areas were placed, including:

- The Traditional Neighborhood character area excludes the traditional residential area found between Durden Drive and Newton Street, currently identified as Commercial to the north of US 80.
- The Historic District Character Area suggests commercial activity should not take place and the Current Zoning classification is R-1-A. This should be reevaluated to better reflect the existing built environment.
- In addition, the Commercial character area includes current residential and should be reevaluated.

WHAT IS A “CHARACTER AREA MAP”?

Character Area Maps are intended to provide development guidance for both public and private decision-making. Character Areas are identified by focusing on the way an area looks and how it functions. Character Area Maps and Future Land Use maps are intended to be used jointly.

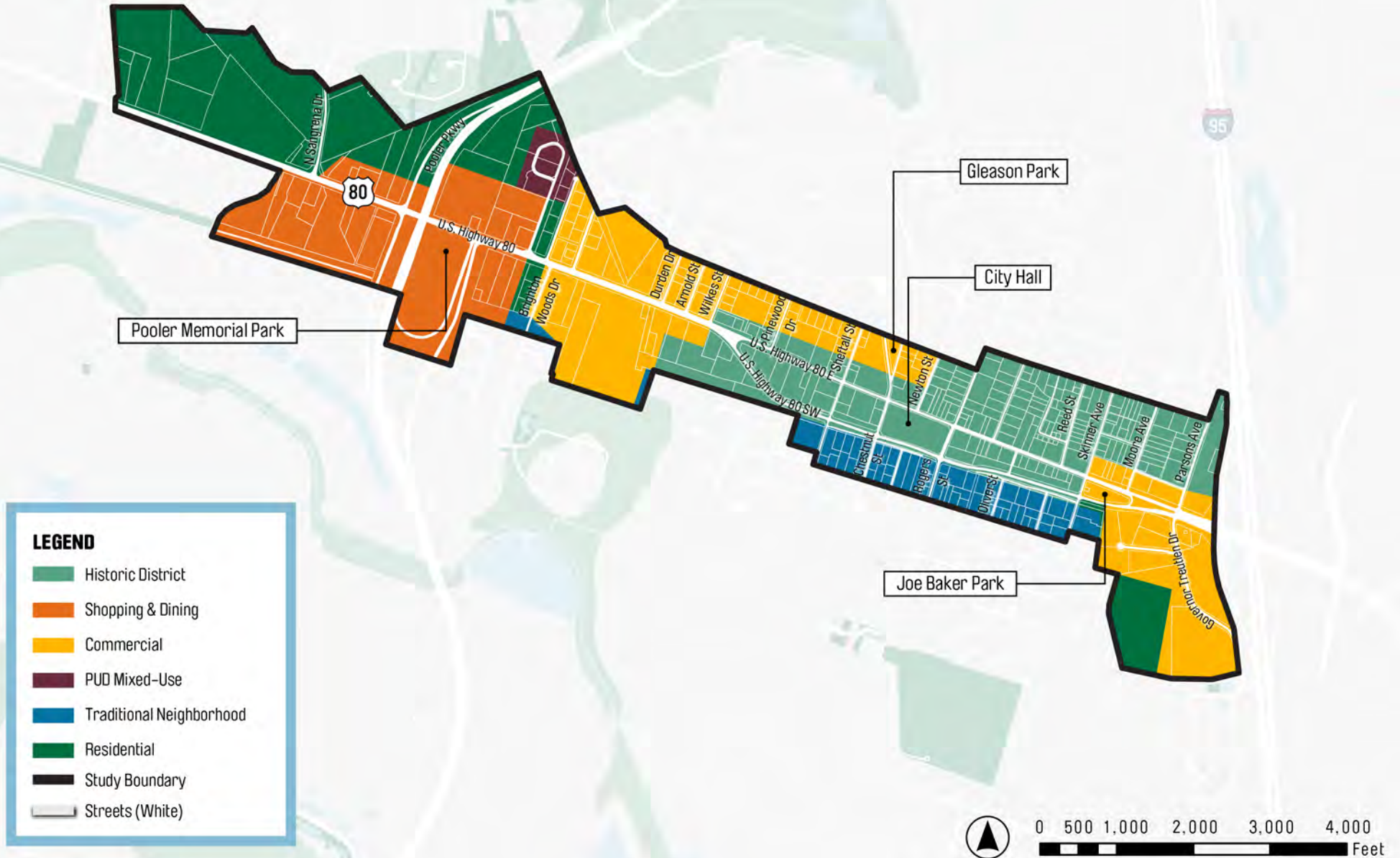


Left: Tattoos by L.A. Pete storefront on Highway 80 is part of the Historic District on the Character Area Map.

Right: Pinewood Dr is full of single-family residential homes yet it is part of the Commercial district on the Character Area Map.

COMPREHENSIVE PLAN CHARACTER AREAS

Figure 9



SUSCEPTIBILITY TO CHANGE

Many opportunities exist to change the use of specific parcels within the study area as development occurs. In order to spark this development, it is helpful to identify the parcels that are susceptible to change. Mapping the susceptibility to change is helpful to understand where development is most likely to occur, as shown on the map to the right. This study area map does not guarantee parcels will be redeveloped as that is up to the private sector. The susceptibility is based on the physical building and land condition of a parcel. The susceptibility to change is divided into three categories:

- Not Susceptible to Change
- Somewhat Susceptible to Change
- Highly Susceptible to Change

NOT SUSCEPTIBLE TO CHANGE

Parcels not susceptible to change either have newly constructed buildings on them, historic buildings, single-family housing, or civic uses such as parks and city services. Although historic buildings are marked as “not susceptible to change”, underutilized structures could offer potential for adaptive reuse.

SOMEWHAT SUSCEPTIBLE TO CHANGE

Parcels that are somewhat susceptible to change include structures that are not



historically significant, have renovations that are inappropriate, land uses that can easily relocate, or buildings that show signs of deterioration.

HIGHLY SUSCEPTIBLE TO CHANGE

Parcels marked as highly susceptible to change include vacant/undeveloped land, structures that are in poor condition, surface parking lots, or developments that don't reflect the best use for the community.

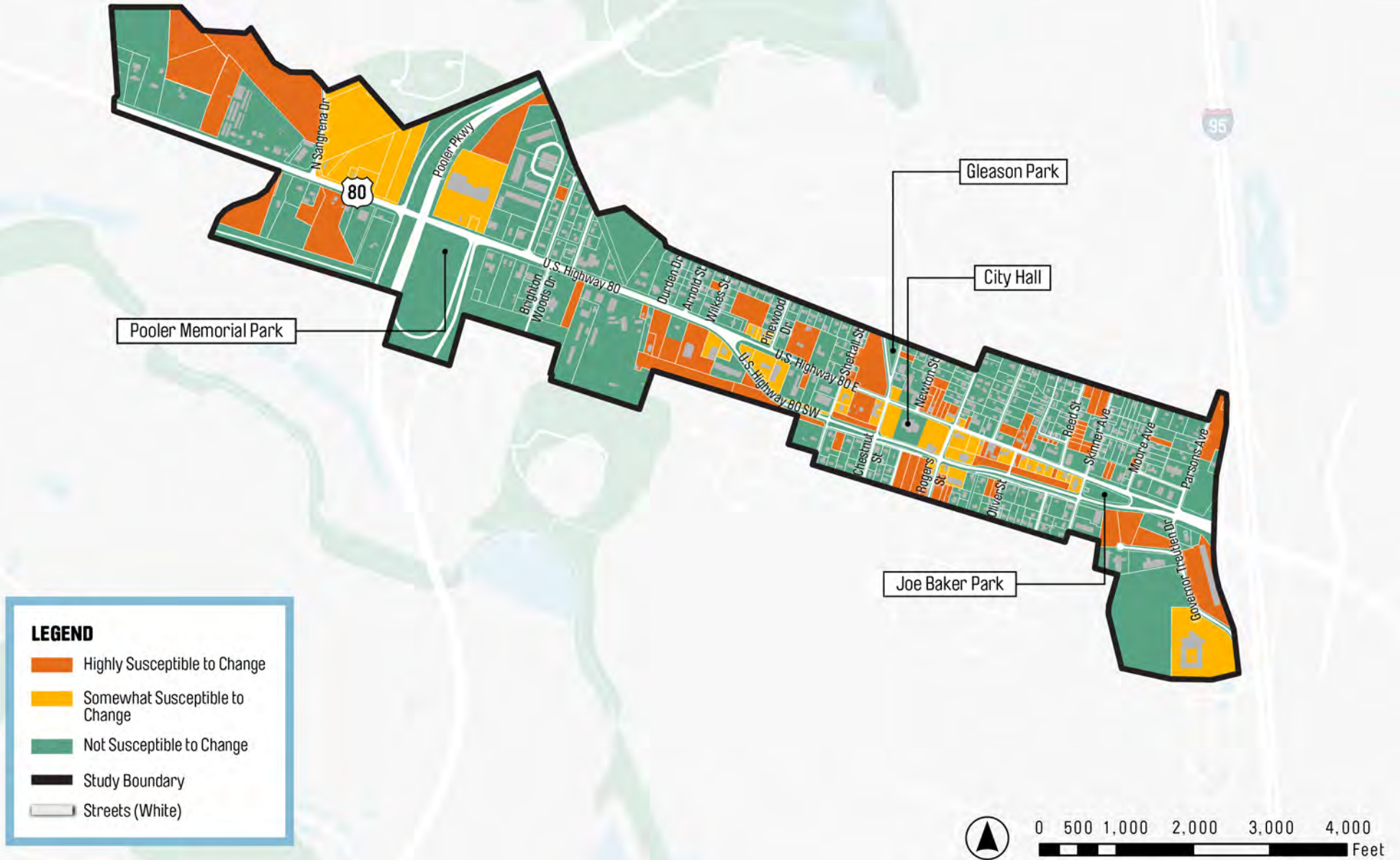


Left: Parcels that are not frequently used are likely to change.

Right: Chazito's is a popular restaurant for the community so it is not susceptible to change.

SUSCEPTIBILITY TO CHANGE

Figure 10



MARKET CONDITIONS

HOUSING

The Main Street study area has an estimated 483 residents who live in predominantly single-family homes. There is a limited amount of multifamily in the form of duplexes. The homes are generally modest one and two-story structures built from the early 1900s to the late 1990s. Average date of construction is 1987.

The study area is mostly built out, but there are a number of single-family vacant lots, and a few larger vacant or redevelopment sites that could accommodate mixed-use with residential. Still, an overview of the larger Pooler market may help to understand the potential for residential uses in the study area.

Pooler is predominantly single-family detached (67%) and owner-occupied (57%). The median

Below: Housing in the study area is primarily single-family detached with an average year built of 1987.



home value in Pooler is \$254,000. The Zillow Home Value Index for Pooler shows homes for sale averaging \$318,000, an 11.9% increase in value over the previous year. In the study area, housing is more affordable with a median value of \$206,000. The median rent in the City of Pooler is \$1,315 per month. As of June 2023, there are no existing residential properties for sale in the study area, however there are 8 homes for sale on adjacent streets, ranging from \$199,000 to \$499,000. Similarly, there are 6 units for rent in the vicinity, ranging from \$1,495 to \$1,800 per month.

Finally, while housing in the study area is more affordable in terms of value, overall affordability in the City of Pooler is a challenge. 36% percent of renters and 16% of homeowners are cost-burdened. This means they spend greater than 30% of their monthly income on housing costs (rent or mortgage, utilities, etc.)

MEDIAN VALUE OF HOUSING

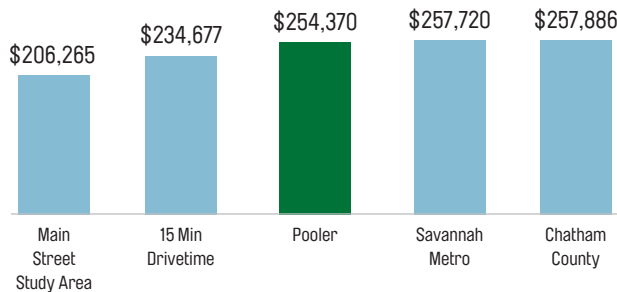


Figure 11

EMPLOYMENT

In 2019, there were approximately 13,963 jobs in Pooler, concentrated along Highway 80 within the study area and the Godley Station area on Pooler Parkway. The largest sectors of employment are Accommodations and Food (20%) as well as Retail Trade (20%).

The unemployment rate in Pooler is 2.6%, similar to that of the County (3.2%) and Savannah Metro (3.1%).

EMPLOYMENT BY SECTOR IN POOLER, 2019

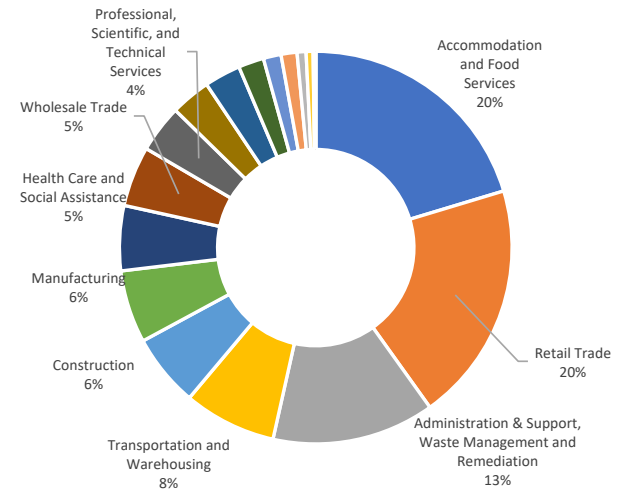


Figure 12

With a significant number of jobs in the Godley Station area, Pooler is a net importer of jobs, meaning that more people living outside of Pooler commute into town than residents who commute outside. 91.2% of the jobs in Pooler are filled by non-residents. By the same token, 88.5% of Pooler’s workforce commutes outside, primarily going to Savannah.



Above: Employment in the study area is primarily retail, service, and government.

RETAIL

Pooler serves as a primary retail magnet in the greater Savannah region, and had a \$1.06 billion retail market last year. Pooler residents spent \$568 million in 2022, meaning that the city gained \$496 million in retail sales from outsiders. This is due in part to its location on both I-95 and I-16, as well as Tanger Outlets and Godley Station. Within a 15-minute drive of the study area, there was nearly \$1 billion in retail gain.

By comparison the Main Street study area had approximately \$50.4 million in gain, representing a very healthy retail environment.

While this level of commerce is certainly good for Pooler, it does illustrate that the current retail mix more than serves the needs of local residents. Still, there are a number of retail categories that show leakage (demand) for growth based on local needs. Opportunities exist to capture some of the retail leakage in the categories below: With a 20% capture rate and projected growth over the next

five years, this translates to at least 26,248 square feet of space that could be directed to main street. This does not account for the potential to grow destination-based businesses such as independent restaurants, entertainment, or destination retail. Demand includes:

- Women’s Clothing Stores: \$4,746,200 in demand.
- Nursery & Garden Centers: \$4,940,417 in annual demand.
- Hardware Stores: \$3,493,326 in leakage (demand) from local trade area.
- Jewelry Stores: \$2,279,262 in demand.
- Drinking Places: \$1,717,132 in demand.
- Fruit & Vegetable Markets: \$977,027 in demand.
- Meat Markets: \$627,365 in demand.
- Pet Stores: \$466,796 in demand.

	Main Street Study Area	Pooler	15-Minute Trade Area	Chatham County	Savannah Metro
Retail Sales	\$59.1 M	\$1.06 B	\$2.37 B	\$7.99 B	\$9.21 B
Consumer Expenditures	\$8.7 M	\$568 M	\$1.45 B	\$5.9 B	\$8.08 B
Retail Gain	\$50.4 M	\$496.4 M	\$926 M	\$2.08 B	\$1.13 B

Figure 13: Consumer Expenditures, Retail Sales, and Retail Leakage/Gain in Pooler and Region (Source: Claritas)

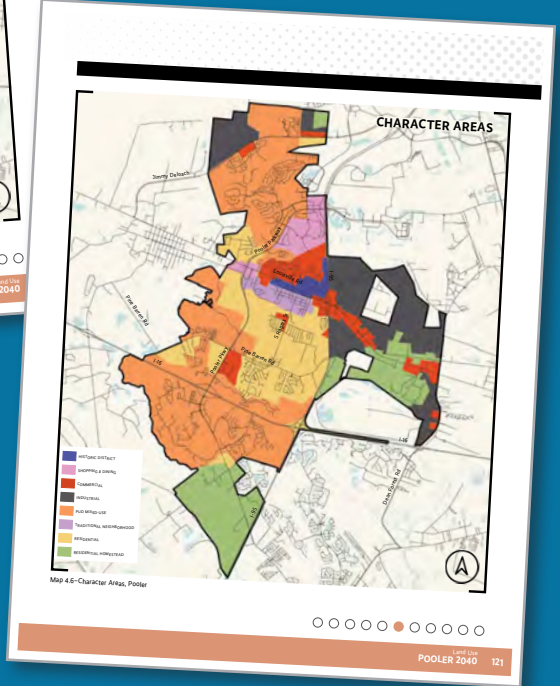
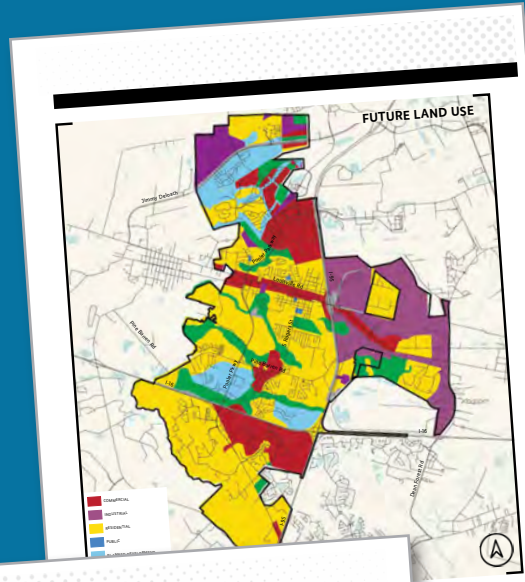
COMPREHENSIVE PLAN 2040

The recently completed 2040 Comprehensive Plan was adopted in 2021. The plan focuses on Chatham County, Garden City, Savannah, and Pooler together to establish a cohesive vision. This plan was reviewed thoroughly as a part of the existing conditions process of this study (pages 12–15). The Character Area map can be found on page 120 and the Future Land Use map can be found on page 130 of the Comprehensive Plan document.

COMPREHENSIVE PLAN 2040
CITY OF POOLER
2020 UPDATE

POOLER 2040

Adopted by Pooler City Council
October 18, 2021



TRANSPORTATION IMPROVEMENT PROJECTS

As required by federal law each MPO must develop a Transportation Improvement Program (TIP). A TIP is essentially a list of upcoming transportation projects covering a period of at least four years. The list below consists of programmed and conceptual infrastructure projects throughout Pooler.

The Pine Barren Road Corridor Traffic Study and the Chasco Road Widening Study, listed in Figure 5.10, have been developed such that the pertinent findings will be taken into account when land development decisions are being made by the City's Planning and Zoning Board as well as the Pooler City Council.

Information presented in these two studies include trip generation, trip distribution, capacity analyses, and recommendations for transportation improvements required to mitigate anticipated traffic demands produced by the potential development along the various roadway corridor.

Additional Projects	
Project	Estimated Cost
1. Oval Left Lane on 2nd Avenue at Pooler Parkway	\$200,000
2. US 95 Shoulder Repavement	\$3,700,000
3. Roundabout at Sargent Center, Residential and Sargent Center Middle School	\$2,000,000
4. Roundabout at 2nd Avenue and East Street	\$1,300,000
5. Extension of Sargent Park Roundabout from Parkway	\$440,000
6. Intersection Improvements at Foster Parkway and Sargent Park Roundabout	\$4,200,000
7. US 95 Road Shoulder with 10k MPH Roundabouts	\$4,200,000
8. Gating Sargent Parkway from Sargent Roundabout	\$3,100,000 (B/T)
9. Three Center Roundabout and Median Drive	\$900,000
10. Median Drive and Turnpike Blvd	\$300,000
11. Median Drive and Turnpike Blvd	\$300,000

Infrastructure Project Studies	
Project	Estimated Cost
Intersect at Sargent Roundabout and Target Outlet East to Bridge at US 95	\$1,000,000
Over Turn Lane from Park Avenue	\$1,000,000
US 95 and US Highway 95	\$1,000,000
Sargent and US Highway 95	\$1,000,000
Median Choke System Modification on Blue Mass Crossing at Westside Lane	\$1,000,000
Pooler Road Corridor Safety Study	\$1,000,000
Chasco Road Widening Study	\$1,000,000

Figure 5.9-Additional Transportation Improvement Projects
City of Pooler, Metropolitan Planning Council (MPC)

Figure 5.10-Conceptual Infrastructure Projects
City of Pooler, Metropolitan Planning Council (MPC)

154 POOLER 2040

Activity #2b

FRAMEWORK PLAN

POOLER MAIN STREET MASTER PLAN - DESIGN WORKSHOP

GATEWAY DISTRICT

An attractive suburban form that provides areas suitable for uses such as:

- Medium to high density residential
- Retail/commercial (including big-box)
- Office, restaurants, and gas stations
- Civic buildings

Place a dot on the type of development you would like to see in this district.



Commercial / Mixed-Use



Commercial

Multi-Family



Public Gathering Space



Single-Family Housing

HISTORIC MAIN STREET

A walkable core that provides a mix suitable for uses such as:

- Low to medium density residential
- Small scale mixed-use, retail, commercial, and office buildings
- Civic buildings

Place a dot on the type of development you would like to see in this district.



Commercial / Mixed-Use



Multi-Family

Commercial



Residential

Public Gathering Space



Residential

COMMERCIAL/RESIDENTIAL DISTRICT

A transitional district that provides a mix suitable for uses such as:

- Medium to high density residential
- Medium to high density commercial, and office uses
- Civic buildings

Place a dot on the type of development you would like to see in this district.



Commercial / Mixed-Use



Multi-Family

Commercial



Residential

Public Gathering Space



Residential

2



PUBLIC OUTREACH



Overall Strategy	24
Public Kick-Off Meeting	25
Stakeholder Interviews	28
Online Survey	30
3-Day Design Workshop	32
Draft Public Open House	36

OVERALL STRATEGY

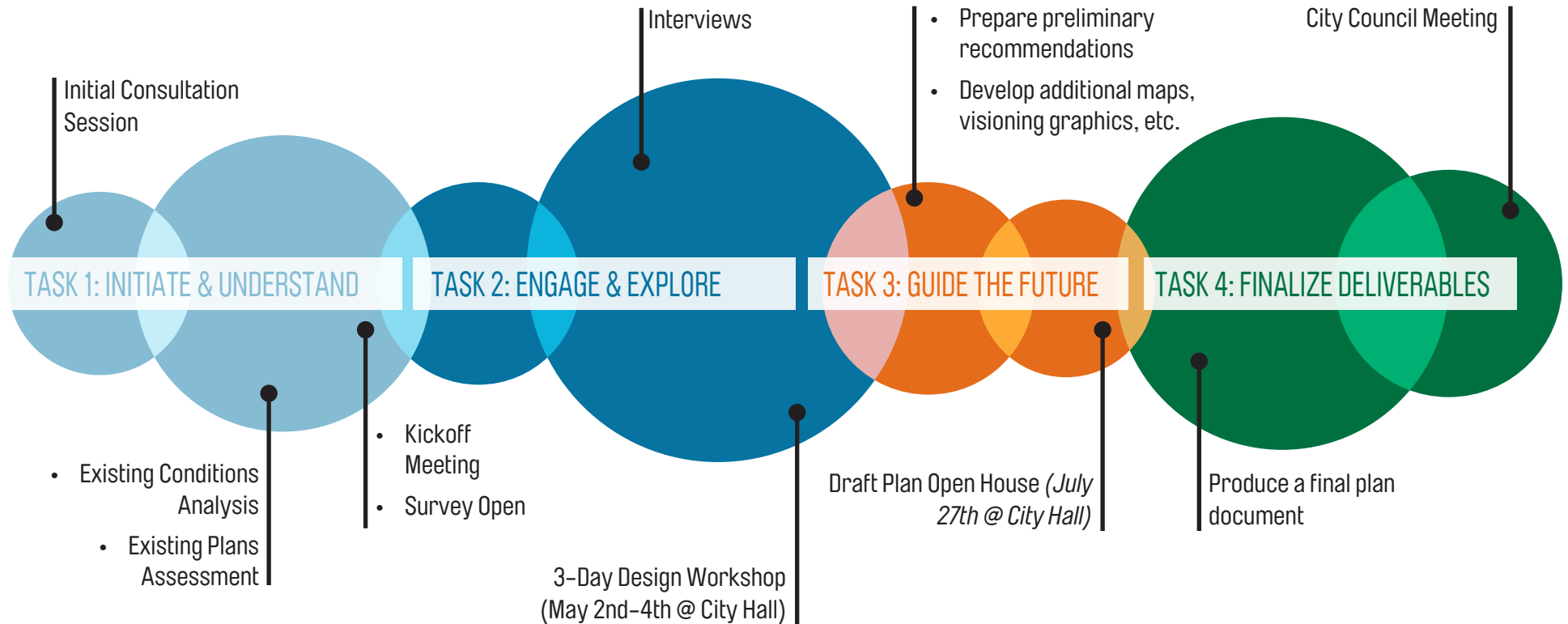
Public engagement is an essential part of any planning process to ensure comprehensive and inclusive decision-making; to guarantee that a diverse set of voices are heard, multiple engagement methods are carried out. For this study, the outreach process involved stakeholder interviews, project marketing, an online survey, public kick-off meeting, a 3-day design workshop, and a final public open house to share the final recommendations.



Walking Tour from the 3-Day Design Workshop



Public Open House Presentation



PUBLIC KICK-OFF MEETING

The planning team and the City of Pooler hosted the Public Kick-Off Meeting on March 30, 2023 at Pooler City Hall. There were around 25 people in attendance to this meeting. After Brian Crooks, the City Planner, gave introductions, the planning team gave a presentation describing the master planning process, sharing existing conditions findings, market analysis, ideas for the future of Pooler, and gave instructions for the input activities.

OUR POOLER MAP ACTIVITY

This activity was designed to get feedback only locals would be able to share. Participants were given a set of stickers that were blue, orange, and teal. They would take the sticker marked with an “A” and place it on the map. They would then place the sticker marked with a “B” and write on the corresponding board their comment about the location.

The results on the map are shown to the right.

What is your untold story about this place?

- The old fire towers used to be here!
- The Pooler Library has so many great activities and events that my kids love to attend. I wish the parking access was improved here.

If I were Mayor, I would focus on . . .

- I would improve vehicular safety at the Pooler Parkway and Louisville Rd intersection. There are unfortunately too many car accidents here.
- I enjoy this greenspace a lot and I would add sidewalks to access it.
- I would stop improving residential construction and fix the existing infrastructure.
- I would improve the pedestrian and vehicular safety at the Highway 80 and Brighton Woods Dr intersection. It is a hazard!
- I would create an accesible park that is further from highway traffic.

Why do you enjoy Pooler?

- My children attend the Advanced Academics Academy and love it.
- Lovezolla’s is my favorite restaurant in Pooler!
- I enjoy getting my produce from Polk’s Plus Market.

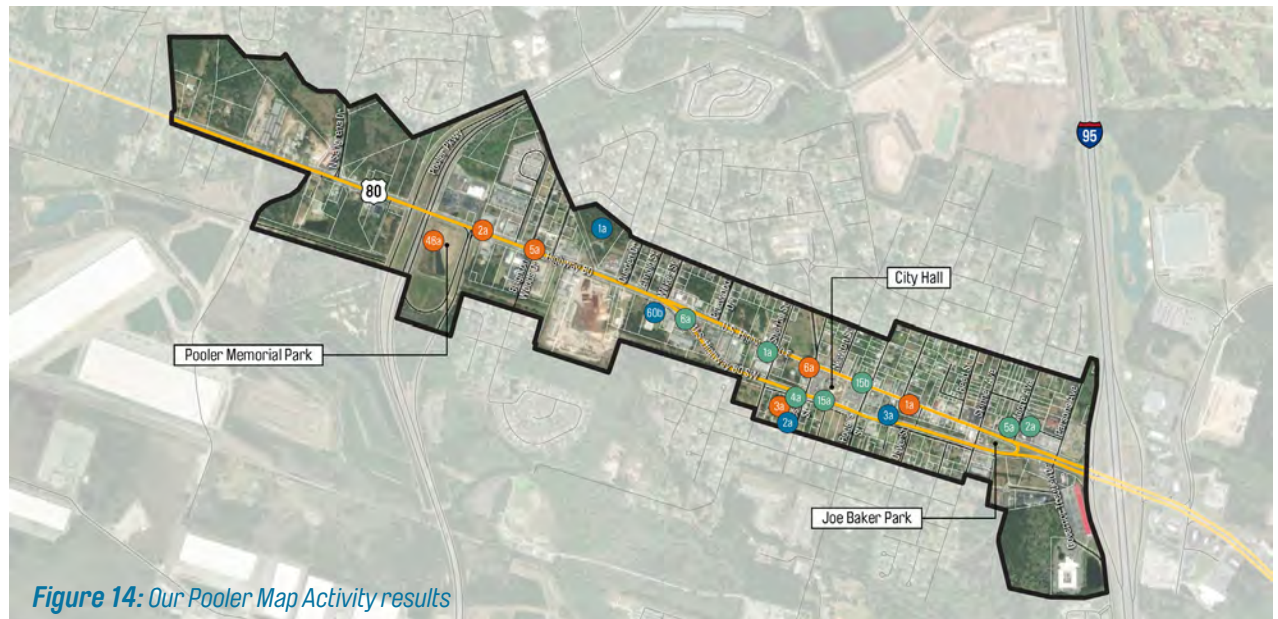


Figure 14: Our Pooler Map Activity results

PUBLIC KICK-OFF MEETING

VISUAL PREFERENCE BALL TOSS SURVEY

The planning team set up 5 boards with improvement elements and baskets in front of them. Participants were asked to toss a ball in the basket of the element they thought would make the most impact in improving Pooler's Main Street.



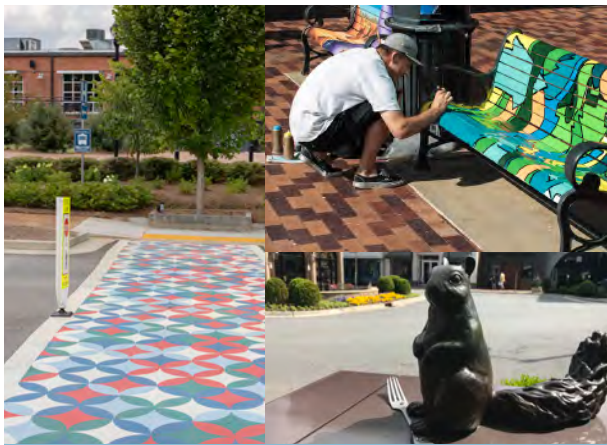
Historic Main Street Style Development



Improve Sidewalks / Pedestrian Safety



Activate Parks with more Community Events



Creative Branding / Placemaking



New Housing Types

BALL TOSS RESULTS

Historic main street style development	17
Improve sidewalks / pedestrian safety	13
Activate parks with more community events	13
Creative branding / Placemaking	7
New housing types	4

SWOT ANALYSIS

Participants were asked what the greatest Strengths, Weaknesses, Opportunities, and Threats are in the study area and placed their answers on the corresponding boards. Below are the public comments received:

STRENGTHS Characteristics that add to the quality of life on Main Street and should be preserved.	WEAKNESSES Characteristics that detract from the quality of life and should be addressed.	OPPORTUNITIES Features that could become strengths on Main Street if they are enhanced.	THREATS Features that could become weaknesses on Main Street if not addressed.
<ul style="list-style-type: none"> • The community feels very safe • Visibility • There is a lot of available land • Visiting all the local businesses that have been around a long time • Small town = sense of community • Geographic location • The new Chamber of Commerce area is beautiful • Traditional grid layout • The Pooler community has the desire to figure out a future plan • Rich history 	<ul style="list-style-type: none"> • Lots of traffic from existing businesses • Lack of walkability • No pedestrian walk or bike path • Parking availability • Sidewalks • Impacts on residents if typical zoning transitions are not used • Truck traffic on US-80 • Narrow roads • Home values dropping • Highway 80 is often used as a bypass when 95 or Pooler Pkwy is backed up • Need sidewalks and lantern style lighting along the corridor • Land underutilized due to off street parking • Speed limit on Highway 80 is 35 MPH • Small businesses have no parking • Memorial Park has no accessible parking 	<ul style="list-style-type: none"> • Lamps on Main Street should have community banners attached to create a sense of place • Public parks • Build upon existing incomplete sidewalks • Capitalize on existing businesses and their influences, large and small • Community events for all ages • Continue the effort and add more crosswalks • The library • More street facing development • More street landscaping like large trees for shade • More café's and small restaurants • Raised crosswalks 	<ul style="list-style-type: none"> • Old aging buildings • 18 wheeler traffic on Highway 80 • Increased criminal activity • New warehouse developments putting more trucks on the street • Increased traffic on streets in residential neighborhoods especially near the Highway 80 split • Resistance to change • Growing too fast • Cost per square ft for new business • Multi-story buildings near residents = residents losing privacy

STAKEHOLDER INTERVIEWS

THE CITY IDENTIFIED 50 STAKEHOLDERS.

Stakeholder interviews allow the planning team to identify the specific needs, priorities, and concerns of different stakeholders. Through these conversations, the team can gain a deeper understanding of the issues that are most important to the community.

The stakeholders were identified by the City of Pooler based on their roles in the community. The members included local business owners, council members, and community group leaders. The planning team individually interviewed selected stakeholders virtually the week before the 3-Day Workshop. During the 3-Day Workshop, the team held two in person group interviews. The first group consisted of local business owners in the study area to gather their input on market conditions and future predictions of Pooler. The second group included local community leaders of churches, schools, and libraries.

Right: Quotes from key stakeholders.



ONLINE SURVEY

An online survey was available from March 30, 2023 through May 11, 2023.

A TOTAL OF 202 SURVEY RESPONSES WERE RECEIVED

The survey included questions about how people use Main Street Pooler today, what people want to see more of, what should be prioritized to revitalize Main Street, and where transportation improvements are needed. One of the first questions in the survey was “How long have you lived in Pooler?”. About 35% responded “0–5 years” and 23% of the respondents said “11–20 years”.

There was an optional set of questions that asked respondents about their demographic background. About 96% of survey takers answered the optional demographics section. Based on the feedback received, a mix of age groups participated in the survey, however, 86% of respondents are White/Caucasian. About 65% of respondents earn \$75,000 or more a year. Most of respondents are part of a two-person household (45%) and approximately 19% are part of a four-person household. The infographics on the following pages illustrate the survey results.

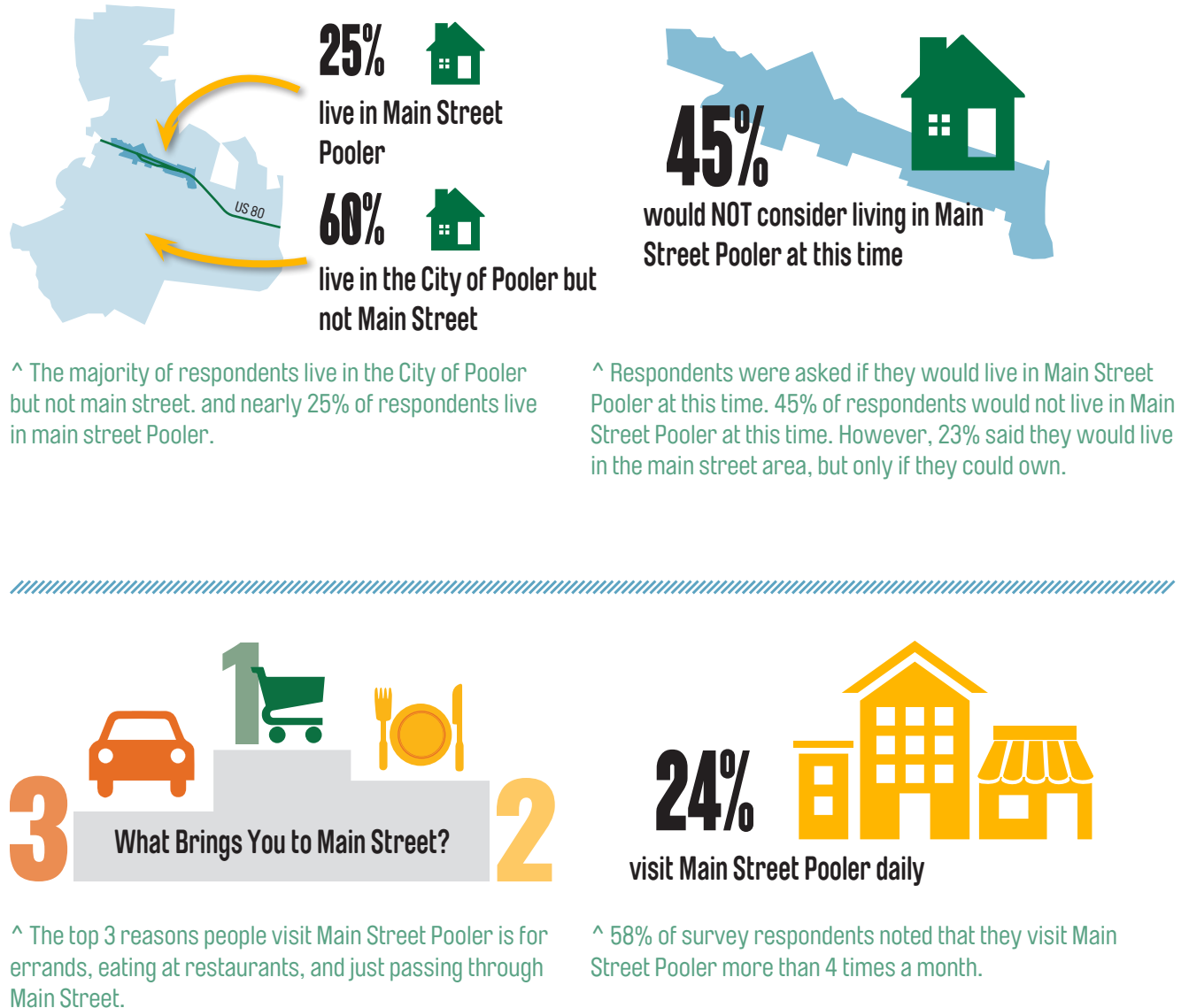
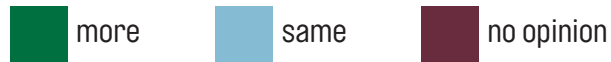


Figure 15: Online survey results

ONLINE SURVEY

MORE, THE SAME, OR NO OPINION?

Multiple questions asked what respondents would like to see more or the same of in Main Street Pooler, or if they had no opinion.

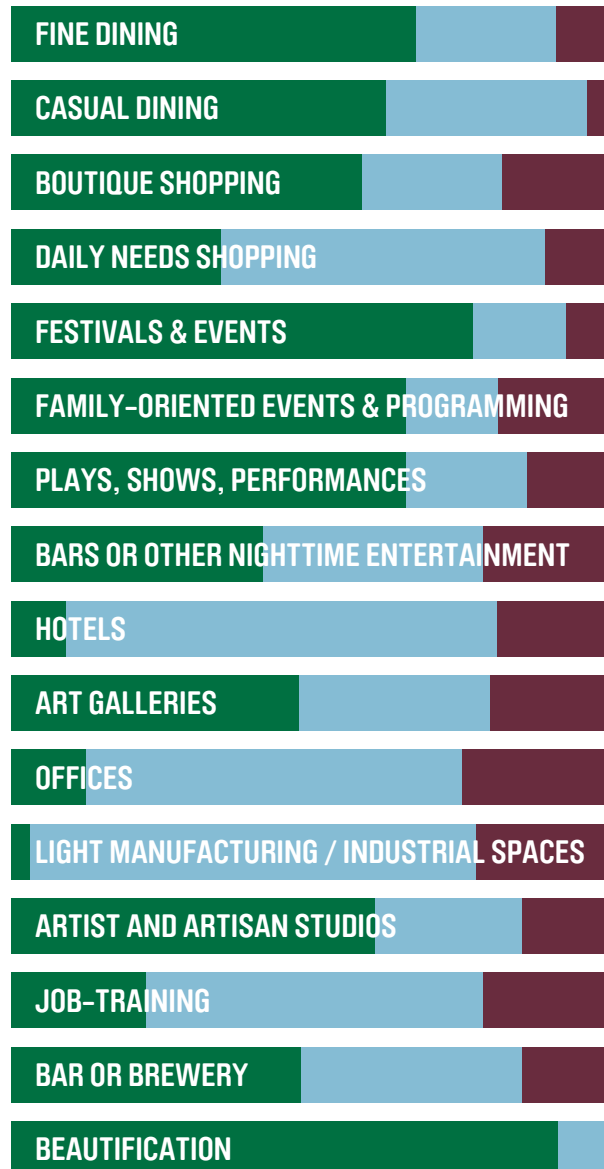


The first set of questions were based on business types on Main Street. Respondents wanted to see more of fine dining, casual dining, boutique shopping, festivals and events, family oriented events, plays/performances, bars and nightlife, art galleries, artisan studios, bar or breweries, and beautification. Respondents wanted to see the same of daily needs shopping, hotels, offices, industrial spaces and job-training.

The second set of questions were based on different housing types. Most respondents wanted the same for single-family homes, apartments condos, housing for seniors, and townhomes. However, they wanted to see more of places for children to play, places to walk or bike, outdoor recreation areas, parks, new street connections, new sidewalks, and streetscape improvements.



MAIN STREET BUSINESS TYPES



HOUSING AND QUALITY OF LIFE

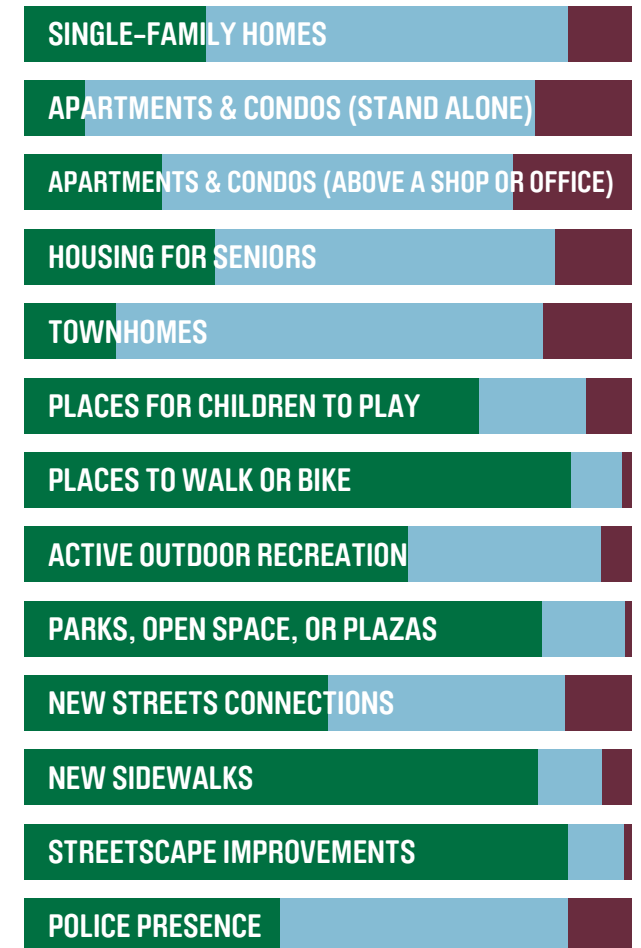


Figure 16

TRANSPORTATION AND MOBILITY

Respondents were asked to grade different components of Main Streets transportation and mobility system. Majority of the components were graded as a “C” indicating they are average and many changes are needed. Only three components were given a “B” which were traffic congestion, road maintenance, and visibility at street sections. The components that received failing grades were presence of bicycle facilities and availability of on-street parking. No components received a perfect grade.

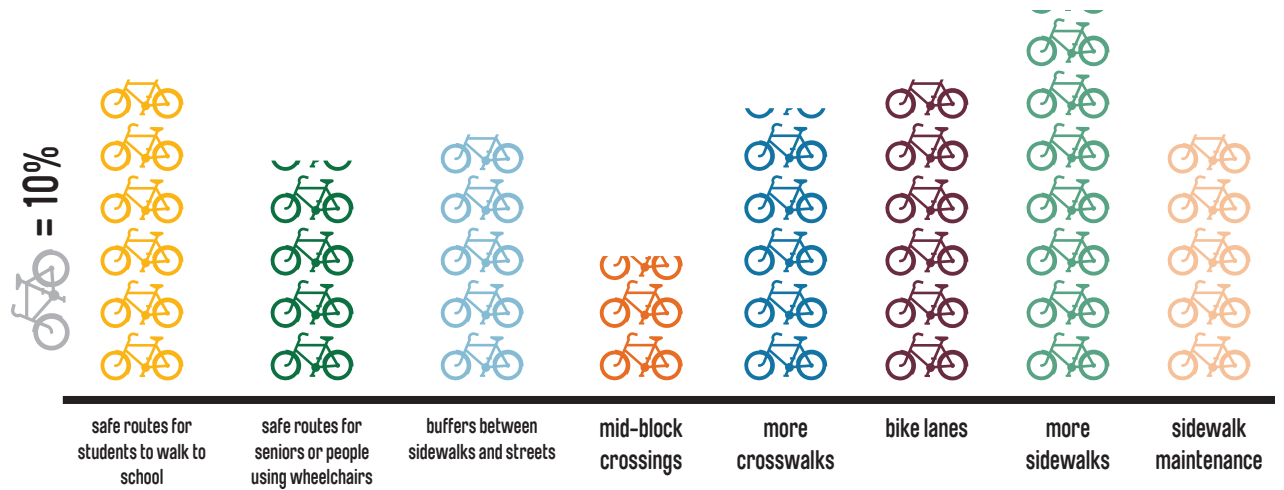


Figure 17: Respondents were asked what mobility improvements could make it easier to get around Main Street. The majority of respondents said more sidewalks, about 73%. Other answers included public transportation and protected bike lanes and sidewalks.

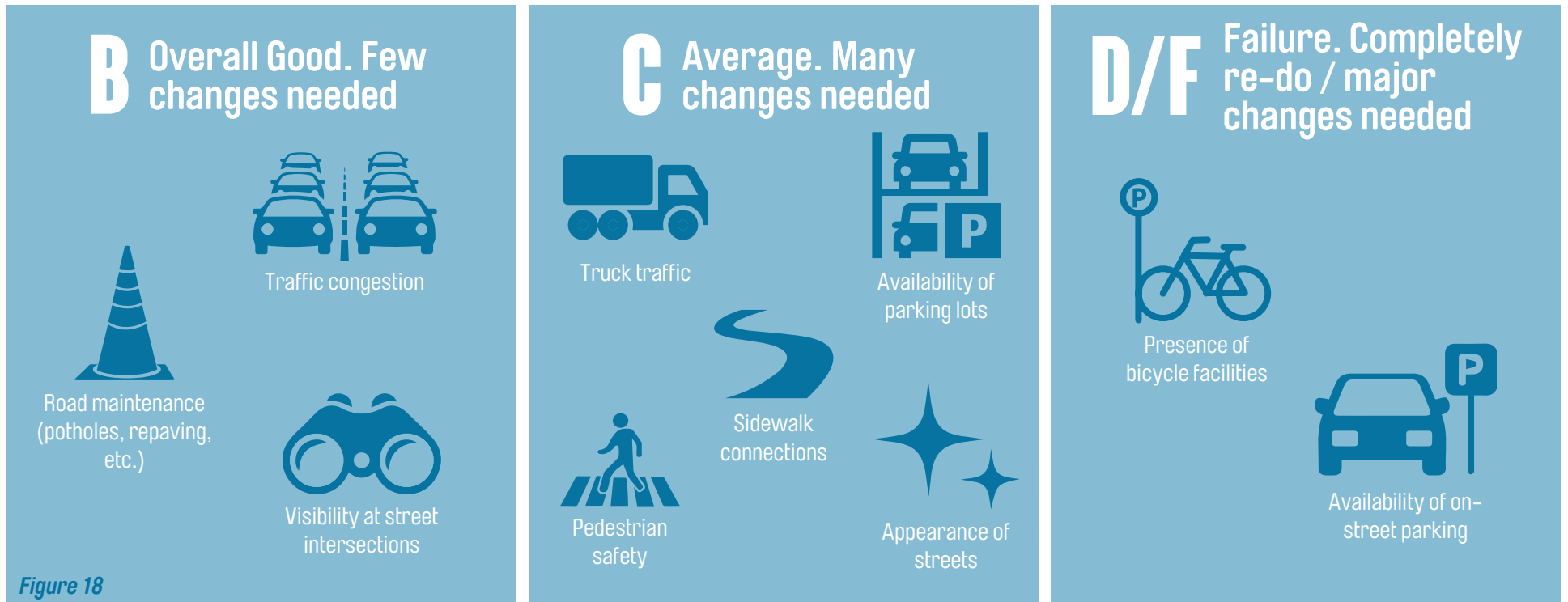


Figure 18

3-DAY DESIGN WORKSHOP

The 3-Day Design Workshop was held from May 2 through May 4, 2023 at Pooler's City Hall. The planning team held a public walking tour on May 2, 2023 at 5:30 PM and met in front of City Hall. There were approximately 12 walkers in attendance and the group walked to 5 different locations along Main Street. The planning team shared with the attendees the areas that lacked pedestrian safety, where park activation was needed, existing building frontage, and streetscape improvement ideas.

The team held open workshop hours in the Community Room at City Hall where members of the community were invited to sit down with the planning team to give input on the concept plans being developed and to learn more about the planning process. The planning team held a Public Open House on the last day of the Workshop that included a presentation with the survey results to date, workshop findings, and the preliminary branding and concept plans developed over the three day workshop. In addition to the presentation, 3 activity boards were put up around the room for attendees to provide feedback on. The boards included:

- The proposed Framework Plan
- A Visual Preference Survey for different types of development on Main Street
- Preliminary wayfinding concepts

THE RESULTS

Attendees of the Walking Tour were given handouts with the walking route and a space to write feedback for each stop. The planning team and the attendees also engaged in a small group discussion. Below are comments from the participants:

- Add crosswalk hawks on Highway 80 to increase pedestrian safety.
- Add more speed limit signs on Highway 80.
- Create landscape barriers and street trees between Highway 80 and the sidewalks.
- Activate Main Street to create a vibrant Pooler.
- The community needs accessible parks that are safe and away from busy roads.



Top: Image from the walking tour at the Gleason Park stop.

Bottom: Walking tour map that included the five stops.
Left: The handouts provided to each walking tour attendee

The Visual Preference Survey allowed participants to place dots on images that reflected their development preferences for the draft framework plan, development types in each district, and wayfinding concepts.

Three signage families were presented to the public for their opinion. Each family consisted of two directional signs and a gateway sign for the main street area. The concepts were developed based on Pooler's brand identity and color palette. Participants preferred options 1 and 2, which both have a traditional style, over the more contemporary signage family, option 3.

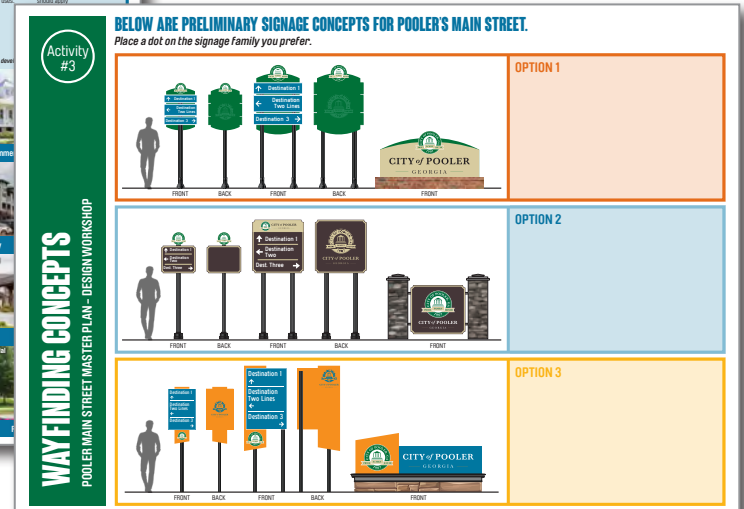
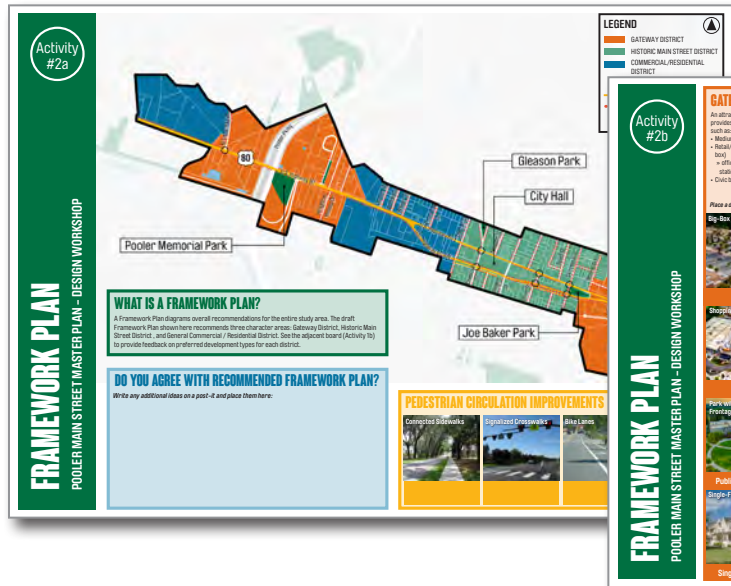
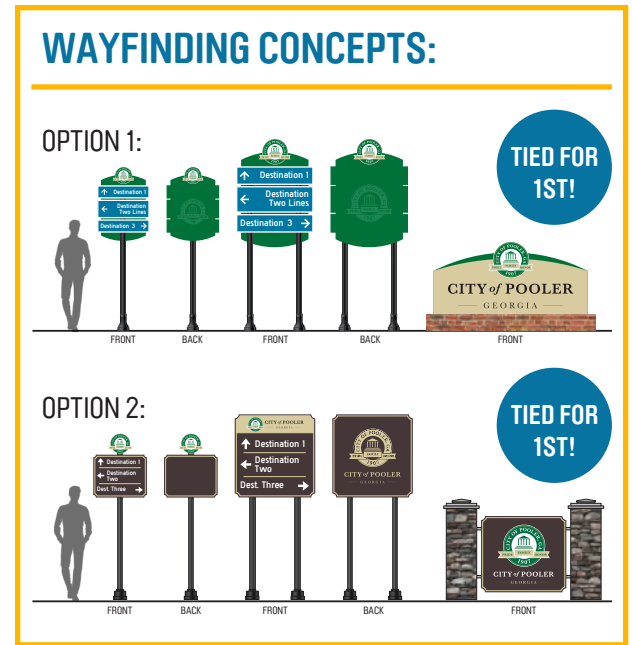
The concepts while simple in design, were selected to help determine the preferred style and color

combination. The results of this activity along with general feedback from the public process will help direct the preferred wayfinding option for Main Street Pooler.

The draft framework plan board displayed the study area and the three proposed districts: the Gateway District, Historic Main Street, and the Commercial/Residential District.

Top Right: The wayfinding concepts preferred by attendees

Bottom: Draft Framework Plan, Visual Preference Survey and Wayfinding activity boards presented to the public



TOP-RATED VISUAL PREFERENCE SURVEY IMAGES FOR DEVELOPMENT

GATEWAY DISTRICT

An attractive suburban form that provides areas suitable for uses such as:

- Medium to high density residential
- Retail/commercial such as office, restaurants, gas stations, and big box retailers.
- Civic buildings



HISTORIC MAIN STREET

A walkable core that provides areas suitable for uses such as:

- Low to medium density residential
- Small scale mixed-use, retail/commercial, and office buildings
- Civic buildings



COMMERCIAL/RESIDENTIAL DISTRICT

A transitional district that provides areas suitable for uses such as:

- Medium to high density residential
- Includes mixed-use, retail/commercial, and office uses
- Civic buildings

Adaptive Reuse - Existing Commercial



Cottage Court-Residential



SECOND FAVORITE!

Garden Apartments



Assisted Senior-Living



Commercial House



Small Scale Mixed-Use



Community Park/Playground



FAVORITE!

PEDESTRIAN CIRCULATION IMPROVEMENTS

Connected Sidewalks



FAVORITE!

Signalized Crosswalks



SECOND FAVORITE!

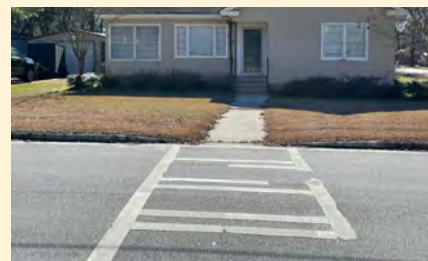
Bike Lanes



Multi-Use Path



EXISTING CIRCULATION CONDITIONS

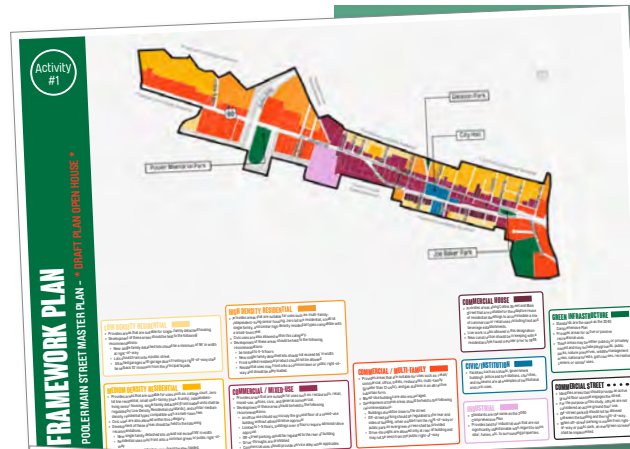


DRAFT PLAN OPEN HOUSE

The Draft Plan Open House was held on July 27, 2023 at Pooler's City Hall. The Open House consisted of an introductory presentation and 6 boards displaying the draft recommendations for public comment. The boards included:

- Framework Plan
- Pooler Central Concept Plan
- Pooler Loop Concept Plan
- Parks & Open Spaces Plan
- Transportation Plan

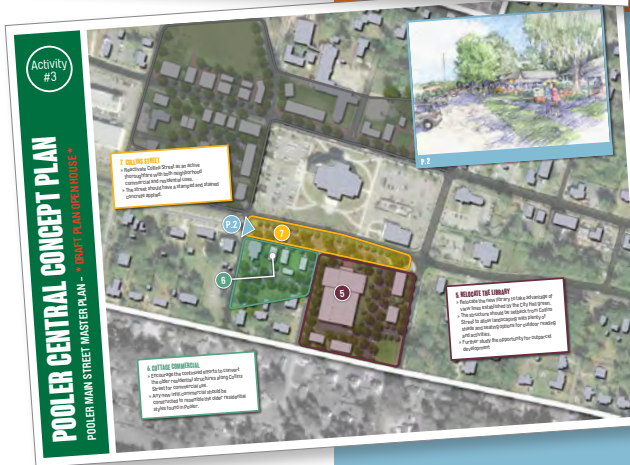
Below: Attendees of the Draft Plan Open House.



“Create usable green spaces.”



“Create safe bicycle paths!”



“Keep the library in close proximity to Main Street.”

Activity #4

POOLER LOOP CONCEPT PLAN
POOLER MAIN STREET MASTER PLAN - DRAFT PLAN OPEN HOUSE *

1. IMPROVING VISIBILITY

- The goal is to improve visibility at the intersection.
- Through the use of traffic signals and other measures, the goal is to improve visibility at the intersection.
- This goal is to improve visibility at the intersection.

2. IMPROVING VISIBILITY

- The goal is to improve visibility at the intersection.
- Through the use of traffic signals and other measures, the goal is to improve visibility at the intersection.
- This goal is to improve visibility at the intersection.

3. IMPROVING VISIBILITY

- The goal is to improve visibility at the intersection.
- Through the use of traffic signals and other measures, the goal is to improve visibility at the intersection.
- This goal is to improve visibility at the intersection.

4. IMPROVING VISIBILITY

- The goal is to improve visibility at the intersection.
- Through the use of traffic signals and other measures, the goal is to improve visibility at the intersection.
- This goal is to improve visibility at the intersection.

“Create synergy between Main Street and the residential area.”

“Include historical directional signage”

“I like the idea of new gateways signs and street banners.”

Activity #5

PARKS & OPEN SPACES PLAN
POOLER MAIN STREET MASTER PLAN - DRAFT PLAN OPEN HOUSE *

1. MEET WITHIN VISIBILITY

- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.

2. MEET WITHIN VISIBILITY

- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.

3. MEET WITHIN VISIBILITY

- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.

4. MEET WITHIN VISIBILITY

- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.
- Meet within visibility at Pooler Memorial Park and Joe Baker Park.

“Weekly farmers market at Memorial Park!”

“We need a playground!”

Activity #6

TRANSPORTATION PLAN
POOLER MAIN STREET MASTER PLAN - DRAFT PLAN OPEN HOUSE *

1. MAIN STREET / HIGHWAY 80

- Provides an additional 10-foot sidewalk on the north side.
- Provides an additional 10-foot sidewalk on the north side.
- Provides an additional 10-foot sidewalk on the north side.

2. MAIN STREET / HIGHWAY 80

- Provides an additional 10-foot sidewalk on the north side.
- Provides an additional 10-foot sidewalk on the north side.
- Provides an additional 10-foot sidewalk on the north side.

“Rename US 80 to something more inviting and less rural sounding. Something more appropriate to a small city downtown.”

“Sidewalks, trees and ADA parking would be welcome!”



3

RECOMMENDATIONS



Vision + Goals	40
Framework Plan	42
Concept Plan	44
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Transportation Improvements	58
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VISION + GOALS

VISION

Situated near the City of Savannah and Savannah/Hilton Head International Airport, Pooler's Main Street area has seen recent growth and is projected to continue that growth. The Vision seeks to honor Pooler's history by preserving its character, and create a vibrant, pedestrian-friendly environment that attracts residents, businesses, and visitors.

GOALS

The Goals (page 41) are created based on input during stakeholder interviews, the Public Kick-Off Meeting, and the Public 3-Day Workshop. The specific goals address the vision and helped guide the creation of the Framework Plan (page 42) and the Concept Plans (pages 44 to 53), each representing a way the goals can be incorporated. In doing so, Pooler may establish a thriving Main Street that reestablishes the heart of the community creating a source of pride for its residents.



Right: The old Pooler Theatre on Highway 80 circa 1950's. The theatre is no longer there.

Top Left: First Baptist Church of Pooler on Highway 80 was founded in 1885.

Bottom Left: Beery's Drug Store was a popular store on Highway 80 in the 1950's. The store is no longer there.

VISION

A thriving revitalized Main Street built on its small-town history and charm, with a connected pedestrian-friendly environment and active business community.

DESIGN AND POLICY GOALS

**DESIGN A COMFORTABLE
TRANSPORTATION SYSTEM FOR
PEOPLE OF ALL ABILITY LEVELS.**

**ENSURE APPROPRIATE
TRANSITION BETWEEN SINGLE-
FAMILY AREAS AND NEW
DEVELOPMENT.**

**CREATE USABLE PUBLIC SPACES
AND ENCOURAGE USAGE AT
PARKS.**

**ENSURE THAT POLICIES
SUPPORT DESIRED BUSINESS
DEVELOPMENT GROWTH OF
MAIN STREET.**

**PROTECT HISTORIC STRUCTURES
AND ENCOURAGE THEIR
REHABILITATION WHERE
FEASIBLE.**

**PROMOTE COMPACT INFILL
DEVELOPMENT TO SERVE THE
COMMUNITY AND INCREASE THE
RESIDENTIAL POPULATION.**

FRAMEWORK PLAN

The following Framework Plan sets forth various land use categories related to the Main Street study area. This Framework Plan refers to certain land use designations as they exist in the City's Comprehensive Plan (see pg 12-15). This framework refines and elaborates on the elements identified within the Future Land Use and Character Maps, helping to better demonstrate the desired land use patterns and character for Pooler's Main Street.

The following framework plan is only a recommendation of this study based on community and stakeholder feedback and does not replace or override the adopted Comprehensive Plan. The City may at its discretion seek to amend the Future Land Use Map or other regulations to reflect potential plan recommendations.

SINGLE-FAMILY RESIDENTIAL

Provides for areas that are suitable for low-intensity residential uses, such as single-family detached housing

- Development in this area should:
 - * Utilize historic architectural types appropriate to the use
 - * Utilize similar design features related to fenestration, foundations, and roofs
 - * Utilize historic lot sizes, including lot width
 - * Maintain consistent setbacks with adjacent properties

GENERAL RESIDENTIAL

Provides for areas that are suitable for single family detached housing and moderate-intensity residential development, such as duplexes, triplexes, quadplexes, townhouses, cottage court developments, garden-style apartments, and other compatible uses. Civic and institutional uses should also be considered

- Development in this area should:

- * Utilize historic architectural types appropriate to the use
- * Utilize similar design features related to fenestration, foundations, and roofs
- * Utilize historic lot sizes, including lot width, where appropriate
- * Maintain consistent setbacks with adjacent properties, where appropriate
- * Front a public street or centered around a common greenspace
- * Provide appropriate buffering/screening between less intense residential uses
- * Be of an appropriate scale and massing related to nearby uses

COMMERCIAL / MIXED-USE

Provides for areas that are suitable for commercial and mixed-use development consistent with traditional main street uses. Example uses include restaurants, retail stores, offices, mixed-use residential, and other related uses.

- Development in this area should:
 - * Utilize historic architectural types appropriate to the use
 - * Orient buildings towards and adjacent to the street frontage
 - * Provide parking to the rear of the building, or the side as necessary
 - * Limit the use of drive-through services
 - * Include active uses, such as retail or restaurant, along the street corridor and passive uses, office or residence, to the rear and/or upper-stories of buildings

COMMERCIAL / MULTI-FAMILY

Provides for areas that are suitable for more intense development, such as shopping plazas, office parks, multi-story hotels, gas stations, and multi-family development, in a more traditional suburban style. Mixed-use development is encouraged.

- Development in this area should:
 - * Utilize historic architectural types appropriate to the use
 - * Orient buildings towards the street frontage and/or around publicly accessible greenspace
 - * Provide parking to the rear or side of the building, or screened from the street if provided to the front
 - * Broadly allow the use of drive-through services so long as they are appropriately screened

COMMERCIAL COTTAGE

Provides for areas along Main Street and Collins Street that are suitable for the adaptive reuse of residential dwellings to accommodate a mix of commercial and retail uses, such as personal services, offices, restaurant, or other low-impact commercial uses. Live/Work units should be considered, as well as residential mixed-use.

New Commercial development should follow one of the various residential building types found in Pooler prior to 1949.

CIVIC/INSTITUTION

Provides for civic and institutional uses such as City Hall, Municipal Court, and Pooler Library.

INDUSTRIAL

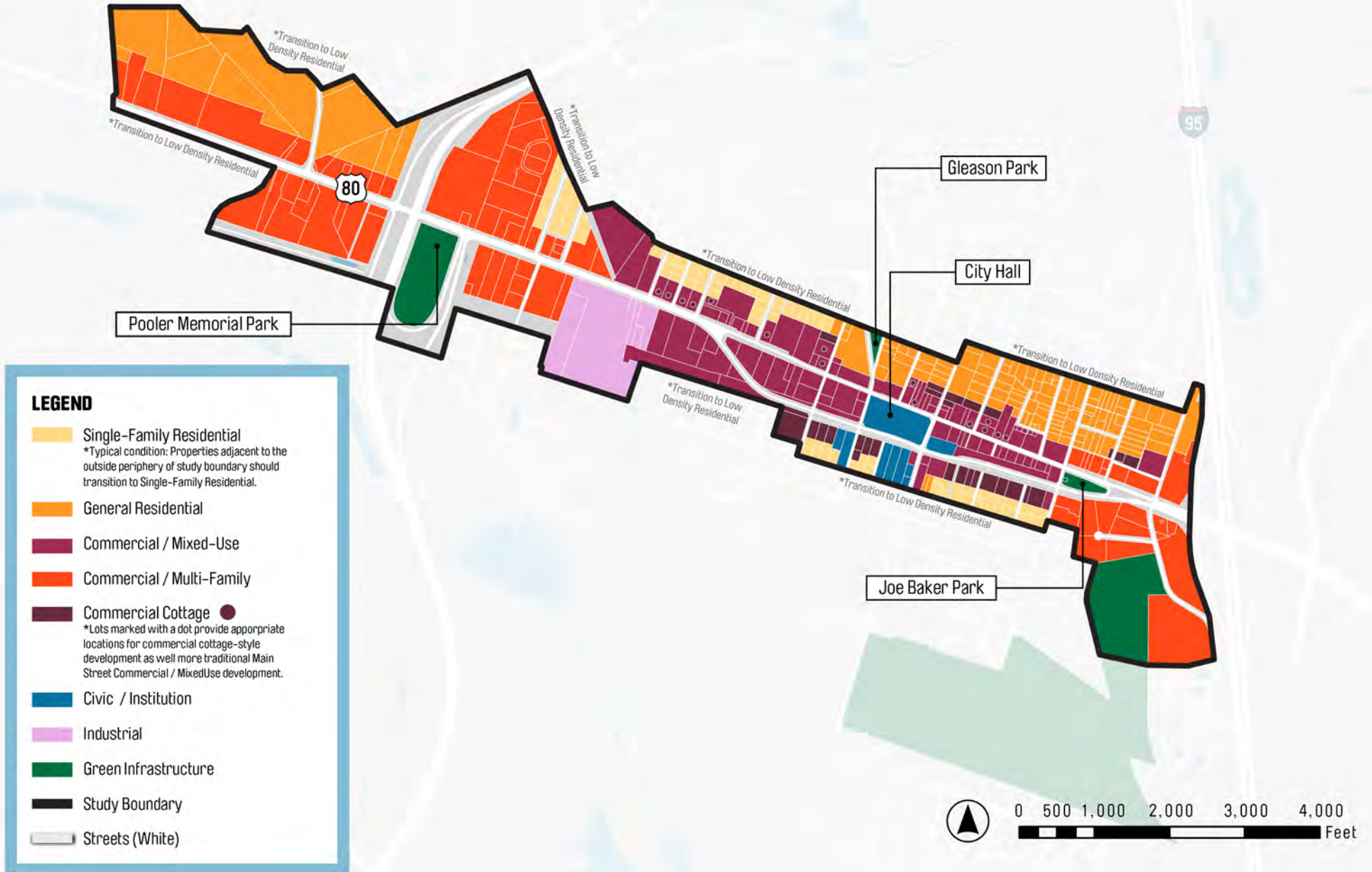
Provides for areas that are suitable for industrial land uses, and in the context of this framework plan, considers the existing lumber yard and the continuance of such use.

GREEN INFRASTRUCTURE

Provides for areas suitable for parks, greenspace, or other natural areas.

FRAMEWORK PLAN

Figure 19



CONCEPT PLAN

The concept plan as proposed provides possibilities for how redevelopment could occur and is for illustrative purposes only. The concept plan assumes development would occur only through participation and cooperation between landowners, developers, and the City. In consideration of the possibilities for redevelopment along Main Street, appropriate phasing would be critical to the plan's success.

Created over the 3-Day Public Workshop and refined based upon input, the Main Street Concept Plan identifies three areas within the Main Street core that offer unique design opportunities to reactivate the location of Pooler's Historic Main Street.

The goal of this concept plan is to illustrate potential possibilities for appropriate development consistent with the vision, goals, and framework plan for Main Street.

In addition to providing housing options not currently offered on Main Street, the plan recommends strategically placed small office/retail spaces, and improved streetscapes for appropriate pedestrian and improved vehicular connectivity throughout the corridor.

This plan suggests the following opportunities to reinforce and revitalize Main Street. The following pages take a closer look at key opportunities.

Figure 20



1. FIRST BAPTIST CHURCH OF POOLER

- » Consider relocation of surface parking on campus.
- » Consider opportunity for leasable income exists at two locations: The corner of N Chestnut Street and Main Street and at N Newton Street and Main Street.

2. LOW IMPACT RETAIL

- » Reestablish Main Street with 2–3 story mixed-use structures that provide ground floor uses and office or residential above.
- » Implement traffic calming measures along Main Street, signifying to the driver they have entered a pedestrian friendly area.

3. COTTAGE COMMERCIAL

- » Encourage rehabilitation and conversion of existing residential structures on Main Street and Collins Street for commercial or retail use.
- » New construction that resembles residential architecture found in the area is also encouraged for commercial use.

4. RESIDENTIAL INFILL

- » Commercial/mixed-use buildings should only be at Main Street frontage.
- » This area should be developed as single family residential – allowing for an appropriate transition from Main Street commercial.

5. RELOCATE THE LIBRARY

- » Relocate the new library to take advantage of view lines established by the City Hall green.
- » The structure should be setback from Collins Street to allow landscaping with plenty of shade and seating options for outdoor reading and activities.
- » Further study the opportunity for outparcel development

6. COTTAGE COMMERCIAL

- » Encourage the continued efforts to convert the older residential structures along Collins Street for commercial use.
- » Any new infill commercial should be constructed to resemble the older residential styles found in Pooler.

7. COLLINS STREET

- » Reactivate Collins Street as an active thoroughfare with both neighborhood commercial and residential uses.
- » The street should have a stamped and stained concrete applied.

A. APPLY NEW GATEWAY SIGNS

- » Currently, there is only the Pooler sign in the triangle on westbound 80 at the beginning of the Pooler loop.
- » Apply new gateway signs on Highway 80 East and West.



8. COMMERCIAL CLUSTER

- » The plan recommends a “hub” type development at two locations.
- » Utilizing property owned by City of Pooler along US80 East for parking lots allows for infill development and revitalization of existing structures along Main Street (US80 West).
- » This development type provides opportunity for small retail and restaurant startups to be grouped around common open spaces.

9. POOLER LOOP (PHASE 2)

- » Efforts should be made to redevelop aging sites.
- » Fronting a 2–3 floor office/commercial building at the corner of Skinner Avenue and Main Street will assist in reactivating the park and also establish a gateway building for Main Street.

B. APPLY BANNERS ALONG MAIN STREET

- » Banners can help to identify key character districts within a community and solidify a community or district brand.



Figure 21

SCALE: NTS

KEY OPPORTUNITIES

1 // FIRST BAPTIST CHURCH OF POOLER

By relocating the First Baptist Church's surface parking on campus, the opportunity to establish leasable income exists at two locations. The corner of N Chestnut Street and Main Street or at N Newton Street and Main Street.

2 // LOW IMPACT RETAIL

The intent of this plan is to capture as much of Pooler's future retail and restaurant demand as possible along Main Street and along the streets that bisect the central loop where City Hall is located.

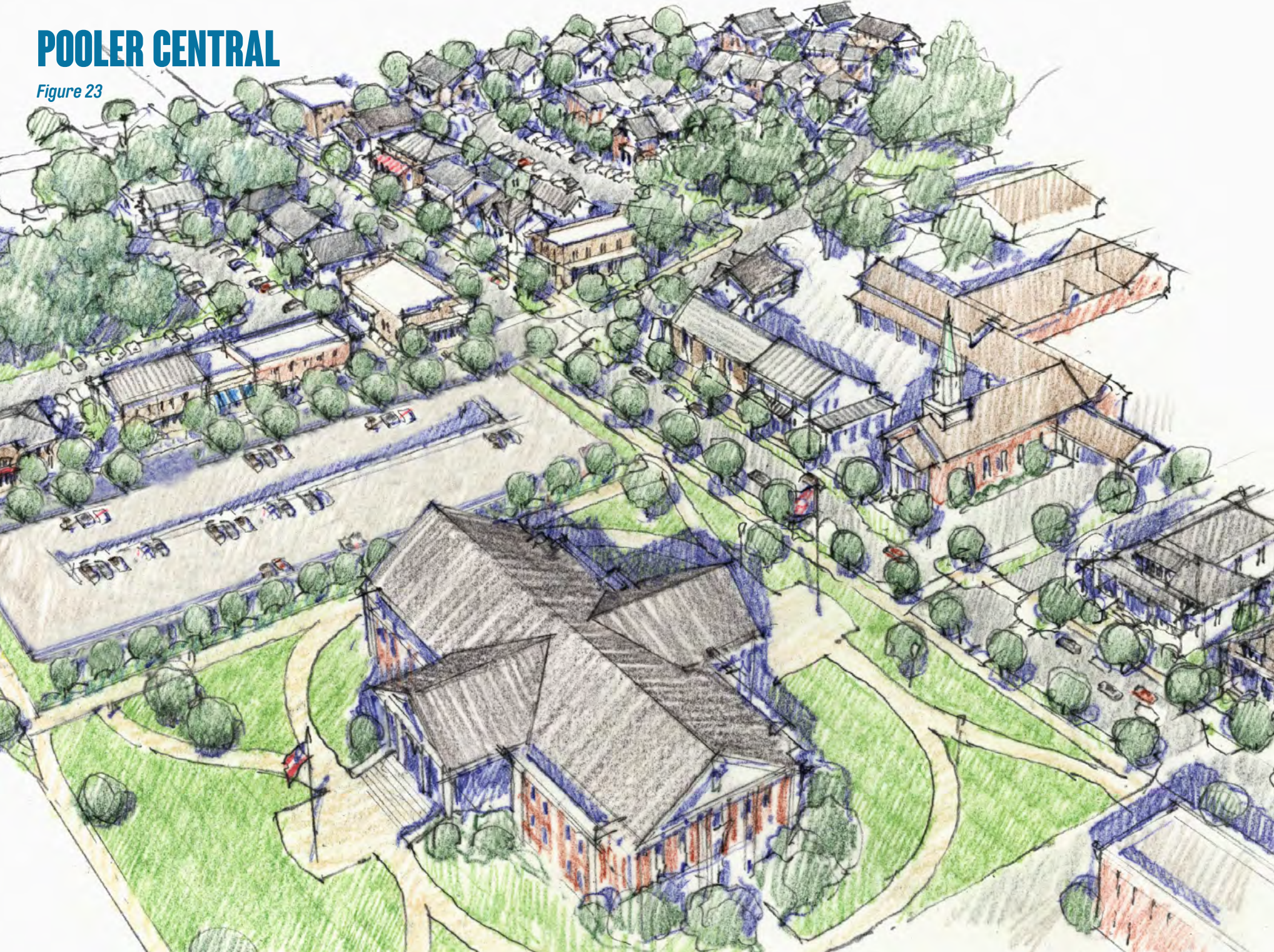
Similar to the previous Vision Plan completed in 2015, the Pooler Main Street Study envisions reestablishing the historic location of the Main Street with 2-3 story mixed-use structures that provide active ground floor uses and office or residential above as applicable. Opportunities for small mixed-use and commercial infill exists on public and privately owned property.

This study recommends traffic calming along Main Street, signifying to the driver they have entered a pedestrian friendly Main Street. Traffic calming techniques should be studied with GDOT to complement the proposed pedestrian scaled frontages along Main Street as illustrated in this plan such as landscaping strips and reduction of travel lane widths.



POOLER CENTRAL

Figure 23



3 // COTTAGE COMMERCIAL

Based on Main Streets historic building pattern, single family residential shared Main Street frontage along with the commercial uses. So to retain authenticity, this study encourages the continued effort to convert these structures for commercial or retail use (including food and beverage establishments).

New construction that resembles residential architecture found in the area is also envisioned for commercial use.



Top Left: Cottage commercial house – Milton, Georgia

Bottom Right: New small scale commercial buildings – Downtown Duluth, Georgia

Top Right: Single-Family residential – Baldwin Park, Florida

Middle Right: Single-Family residential – Habersham, South Carolina

4 // RESIDENTIAL INFILL

Just north of Main Street are established residential neighborhoods, typically starting one to three parcels in, it is critical to maintain an appropriate transition from Main Street mixed-use/commercial to pure residential uses.

Opportunity for single family infill exists through the study area. The concept plan in Figure 24 identifies how the vacant parcel may be redeveloped by placing commercial/mixed-use buildings at the Main Street frontage and residential uses fronting the perpendicular streets off Main Street, allowing the development to blend into the established environment.

The proposed residential fronting onto the park also helps activate the underutilized public amenity as well as establish an additional level of security by knowing more people are casually watching after the space.



Figure 24

Figure 19



5 // RELOCATE LIBRARY

Prior to this study the City of Pooler purchased land to assist in the relocation of the current Pooler Library located at the corner of Rodgers and Main Street east.

The concept below illustrates how a new library may be sited on the property so to take advantage of view lines established by the City Hall green, allowing opportunity for the library to be viewed by pedestrians on the north side of Main Street.

Also, because the area is more residential in nature, the structure should be setback from Collins Street to allow for lush landscaping with plenty of shade and seating options for outdoor reading and activities.

6 // COTTAGE COMMERCIAL

Providing a unique commercial opportunity, this study encourages the continued efforts to convert the older residential structures along Collins Street for commercial use. Any new infill commercial should be constructed to resemble the older residential styles found in Pooler.

7 // COLLINS STREET

Today Collins Street may be overlooked by many however it has a unique story to tell and the experience it can offer is just as interesting.

Currently segmented and acting as a slip lane due to the rerouting of US 80, Collins Street was once an active thoroughfare with both neighborhood

commercial and residential uses.

While this study encourages the reactivation of Collins Street, the streetscape should remain rural in aesthetic with low impact materials and drainage swells. Because of it's adjacency to US80, if this area was paved with vertical curbs it would detract from the unique pedestrian-friendly in-town experience that is currently attainable.

Additional design details, including a street section, are provided on Page 62.

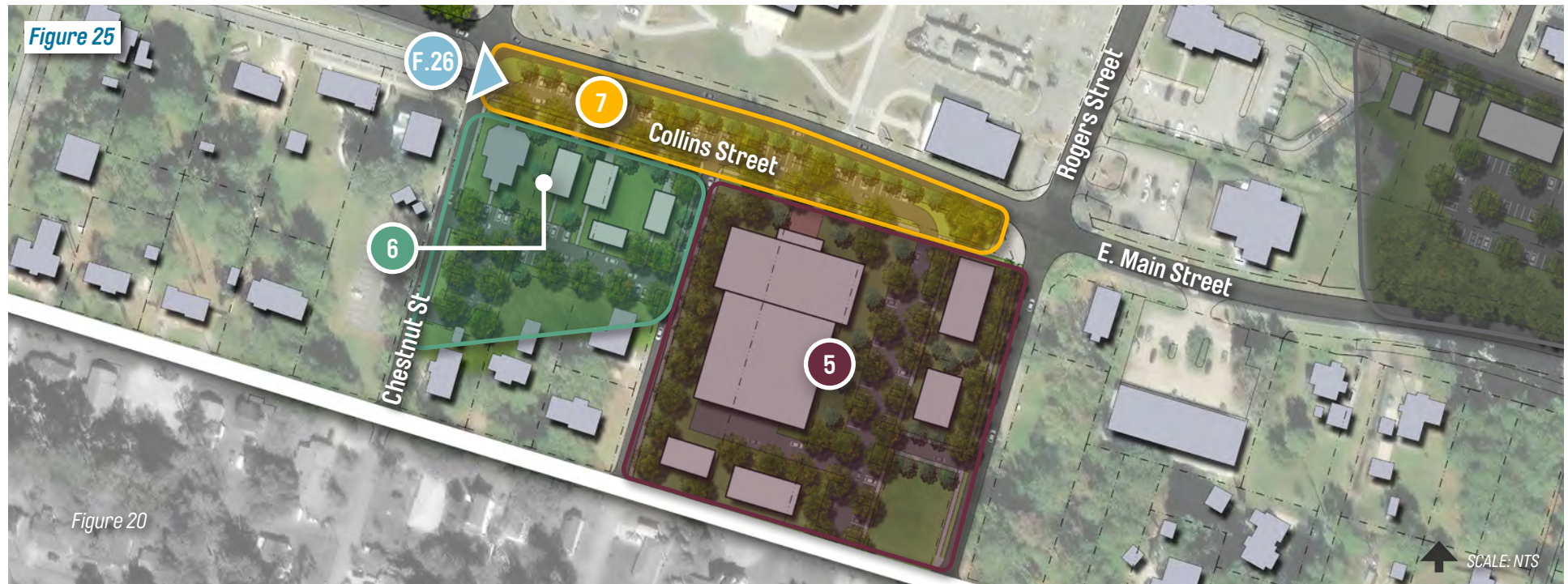


Figure 25

Figure 20

COLLINS STREET

Figure 26



8 // COMMERCIAL CLUSTER

The rerouting of US80 into one way pairs created challenging parcels for redevelopment between the east and west bound traffic. The area between Oliver Street and Skinner Avenue was identified for its unique placemaking potential. Utilizing property owned by City of Pooler along US80 East for shared pervious, low-impact material parking lots allows for infill development and revitalization of existing structures along Main Street (US80 West).

Because it is unlikely for the properties to be re-developed with sidewalk oriented commercial, the concept plan recommends a “hub” type development at two locations. Offering smaller commercial

footprints then proposed at Pooler Central, this development type provides opportunity for small retail and restaurant startups to be grouped around common open spaces creating an attractive energy for users.

9 // POOLER LOOP - PHASE 2

Opportunities exist for redevelopment near Joe Baker Park. Fronting a 2-3 floor office/commercial building at the corner of Skinner Avenue and Main Street will assist in reactivating the park and also establish a gateway building at one of the most predominant corners along Main Street.



POOLER LOOP

Figure 28



PARKS AND OPEN SPACE PLAN

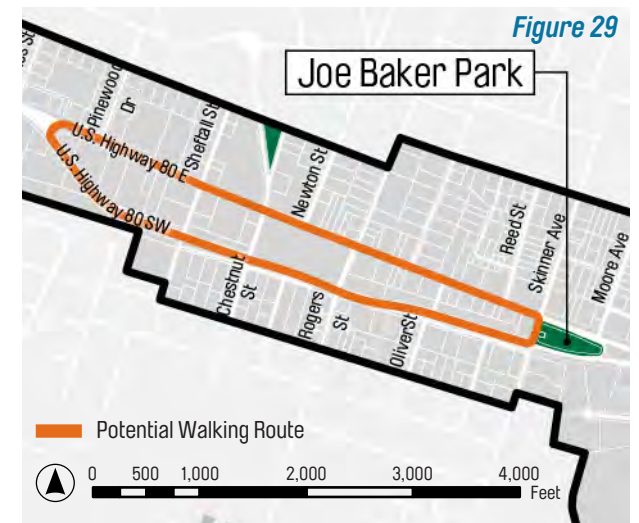
The three parks in the study area are currently not activated because there are no amenities and residents do not feel safe visiting them. The key to increasing park usage is through well planned programming.

1. HOST OUTDOOR FITNESS CLASSES AT GLEASON PARK AND JOE BAKER PARK

Partner with a local yoga studio and /or a local gym (CrossFit, Pilates, Barre, etc.) monthly to promote local business and co-host a free community yoga/workout class. The classes could be held at Gleason Park or Joe Baker Park.

2. HOST A WALKING GROUP THAT MEETS AT JOE BAKER PARK

Find volunteers to lead a walking group that would meet at Joe Baker Park once a week to walk the entire loop between Main Street/Highway 80 East and West. This is roughly a 1.5 mile walk round trip and attendees have the option to turn around at any point. This group will encourage residents to use Joe Baker Park and create opportunities for people to live a healthy lifestyle.



CASE STUDIES

FITNESS IN THE PARK – SAN ANTONIO, TX

The City of San Antonio offers free outdoor fitness classes through their Fitness in the Park program. The program offers boot camp, stroller barre, circuit training, yoga, strength training, walking groups and more. The instructors are either volunteers or instructors from local gyms and studios that they partner with to promote local businesses.



WE WALK PHL – PHILADELPHIA, PA

The free walking group, We Walk PHL, meets several times a week and meets at various parks. The walking group leaders are recruited from the local community and receive training from the We Walk PHL staff. Each walk covers about a mile at a moderate pace which makes the group attractive to seniors. The goal of the program is to increase park use and create opportunities for people to meet their neighbors.



ENVIRONMENTAL EDUCATION – BOISE, ID

In partnership with the Boise Urban Garden School and the Foothills Learning Center, the City of Boise offers summer classes to children that focus on environmental education. Children spend class in the gardens outside where they gain hands on experience in a fun environment through garden exploration.



MUSIC IN THE PARK – ANOKA, MN

The City of Anoka hosts a free Music in the Park event every Wednesday from June through August. Local Anoka musicians take the stage to perform for residents and visitors for 2 hours. Attendees bring their own lawn chairs, blankets, and picnic baskets. They strive to partner with local food trucks and concessions to attendees can grab food while they are enjoying the music.



3. ADD NATIVE LANDSCAPING AT POOLER MEMORIAL PARK

Focus on landscape beautification by adding a mostly native plant palette that provides seasonal interest. Native plants provide habitat and increase biodiversity. Establish a routine maintenance schedule to regularly clear out invasive plants and keep plants well managed.

4. HOST A FREE SUMMER CONCERT SERIES AT POOLER MEMORIAL PARK

Host a family friendly Summer Concert Series at Pooler Memorial Park. Seek local musicians to perform once a month during the summer. Attendees should be encouraged to bring a picnic blanket, lawn chairs and coolers. Partnering with local restaurants and/or food trucks will provide food for attendees and market the local businesses.



CREATE PARKING LOT FOR EASY ACCESS

ADD NATIVE LANDSCAPING

FREE CONCERT SERIES AT MEMORIAL PARK

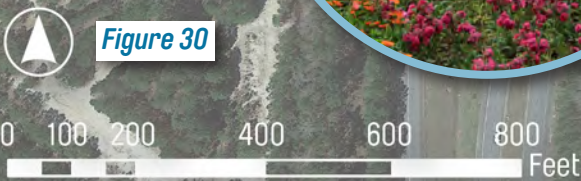


Figure 30

BUSINESS DEVELOPMENT

The recommendations below are based on community input, team observations during the project, as well as the comprehensive market analysis. The first series of strategies are focused on solidifying the business environment in the study area while the second focus on promoting and marketing Main Street and larger community.

1. ENCOURAGE ACTIVE PARTICIPATION FROM POOLER DEVELOPMENT AUTHORITY

The City should encourage the active participation of the Pooler Development Authority (PDA) in pursuing redevelopment activity in the main street district.

2. ENCOURAGE PARTICIPATION IN MAIN STREET ORGANIZATIONS

The PDA and City should seek becoming affiliated with the Georgia Main Street program, a statewide initiative to reinvigorate aging downtowns, and the Georgia Downtown Association.

3. ENCOURAGE REDEVELOPMENT OF UNDERUTILIZED PROPERTIES THROUGH INCENTIVES

There are a number of vacant and underutilized properties throughout the study area. These properties have the potential to be redeveloped for retail/residential mixed-use, cottage commercial, and other infill development. The City and PDA

should create and establish incentives encouraging and prioritizing the re-use and redevelopment of underutilized properties along Main Street.

4. ADVERTISE ECONOMIC DEVELOPMENT INCENTIVES AND OPPORTUNITIES

The Pooler Chamber of Commerce should coordinate with the PDA and City to create an economic development marketing package with any available incentives, market data, and opportunity sites along Main Street for existing and prospective businesses and property owners.

5. RECRUIT LOCALLY OWNED BUSINESSES IDENTIFIED AS NEEDED IN THE MARKET ANALYSIS

The Chamber of Commerce should work with partners and stakeholders to target retail recruitment efforts to bring in businesses that are missing on Pooler's Main Street. This includes women's clothing, nursery and garden centers, hardware, specialty foods, and a number of other specialty categories.

6. SHARE MARKET DATA WITH LOCAL BUSINESSES AND PARTNERS

The City should work with the Chamber of Commerce and PDA to make this report and accompanying information easily available to existing businesses, prospects, potential entrepreneurs, property owners, and any partners that may find the data relevant.

BRANDING & MARKETING

1. CREATE UNIFIED MARKETING BRAND FOR POOLER

The City currently uses its city seal as a community logo which is not an effective way to tell Pooler's unique story. Pooler should create a brand that includes a graphic identity, theme, palette, typography, and overall message beyond the corporate brand.

2. CREATE DISTINCTIVE BRAND FOR POOLER CENTRAL

Part of the unified brand should be creating a unique but connected identity to promote the main street district, Pooler Central.



3. CREATE DISTINCTIVE BRAND TO POOLER LOOP

Similar to 30A in Florida, creating a unique brand identity for the Highway 80 corridor can help market the area for investment, and promote existing businesses along the road.

4. APPLY BANNERS ALONG HIGHWAY 80 FROM I-95 TO POOLER PARKWAY

Banners can help to identify key character districts within a community and solidify a community or district brand. The City should consider installing identifiable banners through the district.

Right: Comprehensive Wayfinding concept.

Middle: Branding concepts for Pooler Central.

Bottom: Banners that would signify people are entering the Main Street area.

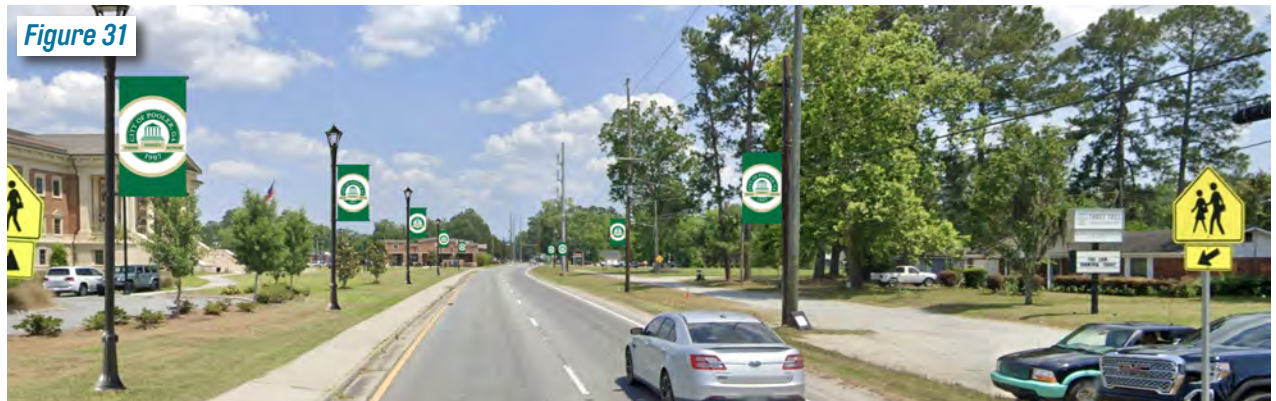


5. APPLY BRAND TO NEW GATEWAY SIGNAGE ON EAST AND WEST HIGHWAY 80

Currently, there is only the Pooler sign in the triangle on westbound 80 at the beginning of the Pooler loop. This signage should match the design of a comprehensive wayfinding program and could be replicated at key entrances.

6. ESTABLISH A COMPREHENSIVE WAYFINDING PROGRAM

Wayfinding signs direct locals and visitors to the different civic, cultural and recreation resources in a community. Pooler currently has no wayfinding short of its gateway signs and should facilitate a wayfinding plan to design signs, content and locations for a citywide system of signage. This should include branded signage identifying parking at City Hall, the chamber/visitor center, and events in the main street core.



TRANSPORTATION IMPROVEMENTS

This study proposes a variety of changes to the transportation and pedestrian network. The City of Pooler should continue their engagement with existing and future transportation studies to further refine recommendations related to

1. Install rapid flashing beacons to crosswalks on Main Street/Highway 80 at strategic locations to improve pedestrian safety.
2. Infill the disconnected links in the current sidewalk network to improve walkability in the study area.
3. Establish a safe walking route to Pooler Elementary.
4. Implement intersection improvements along Main Street/Highway 80.
5. Install screening measures to surface parking lots that occupy Main Street/Highway 80 frontage.
6. Streetscape improvements on Main Street/Highway 80 East Bound, West Bound, and Collins Street.

PEDESTRIAN SAFETY

Figure 32 shows proposed sidewalk additions and a walking route to Pooler Elementary. Improving pedestrian safety along Main Street was a key priority for the community. Installing crosswalks on Main Street will increase visibility to drivers

and allow links to crossings that are currently disconnected. There are several areas on Main Street with no sidewalks making it impossible for pedestrians to walk to the core, which is a key characteristic of any main street area. The walking route to Pooler Elementary begins at Chestnut Street and crosses over Main Street/Highway 80 in both directions. A crossing guard will remain at these intersections Monday–Friday from 8 AM through 3:30 PM. The City should continue working with transportation consultants to ensure pedestrian safety measures along Main Street / Highway 80.

INTERSECTION IMPROVEMENTS

Figure 32 shows where some intersection improvements are needed. The improvements include installing creative crosswalks and landscaping to the surrounding ramp.



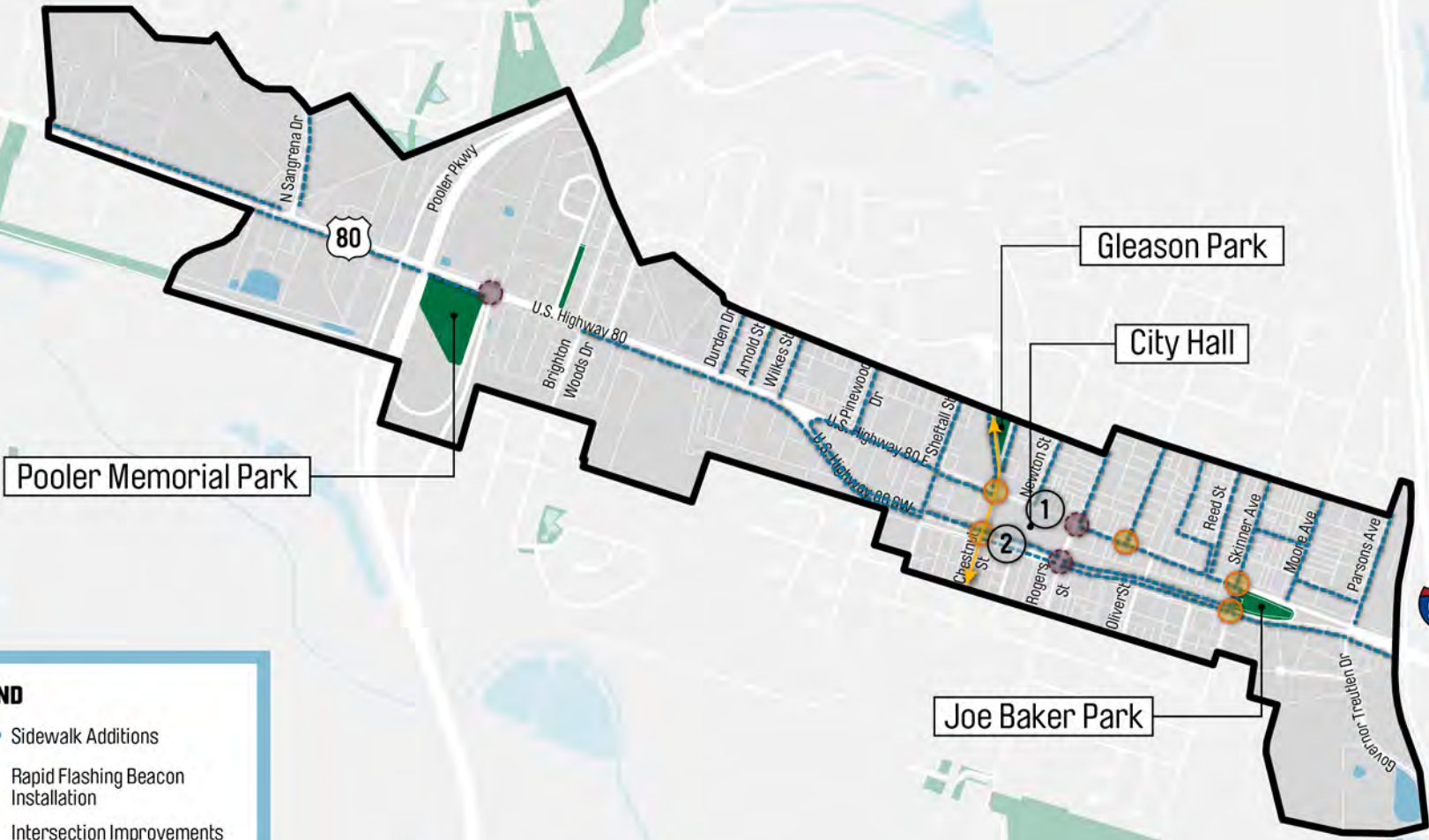
Image courtesy of Karen Huppertz for the AJC



- Top Right: Example of rapid flashing beacon.
- Above: Example of improved brick crosswalk.
- Left: Example of hedgerow screening for surface parking lot.

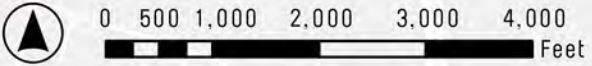
TRANSPORTATION IMPROVEMENTS

Figure 32



LEGEND

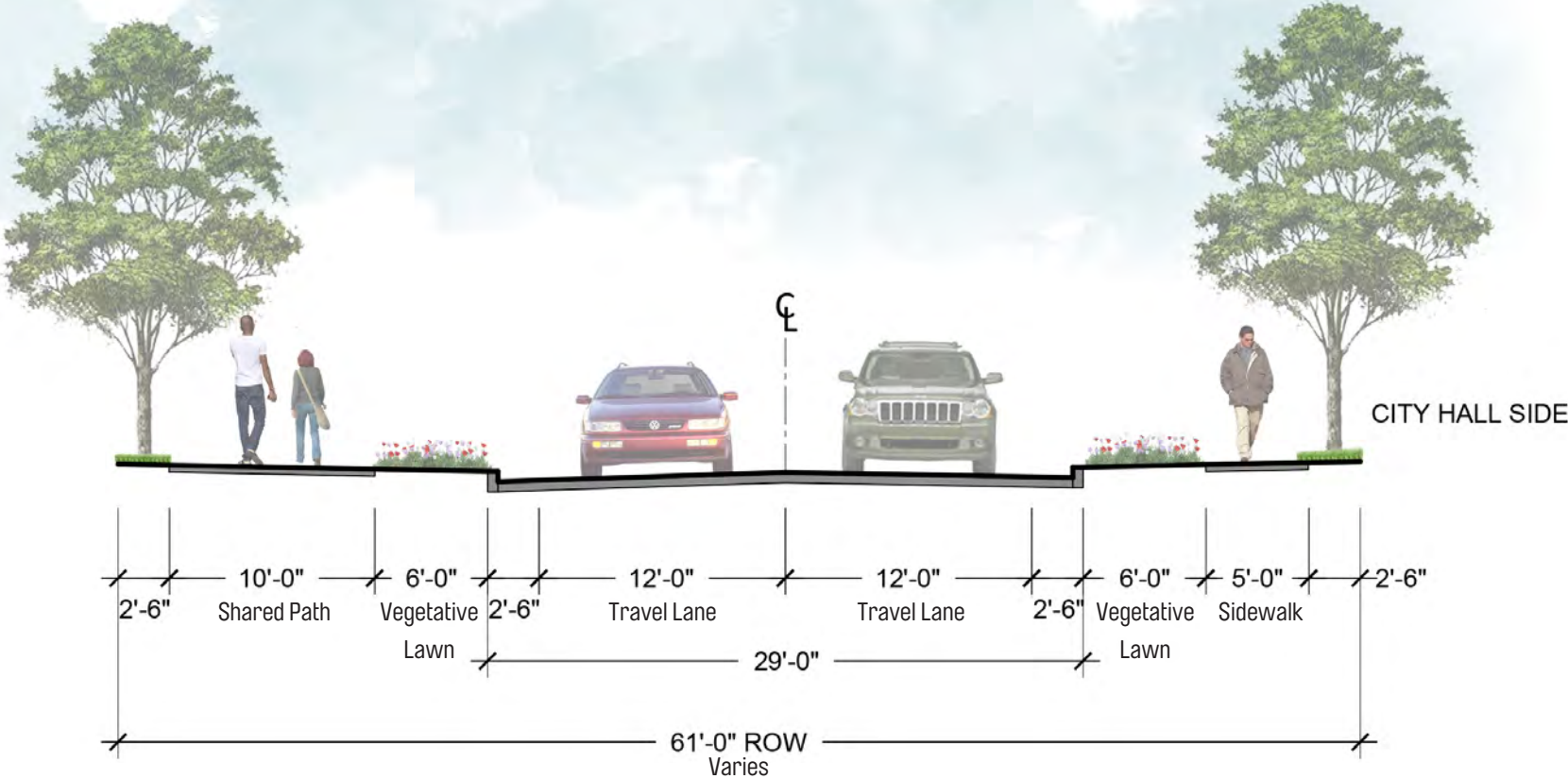
- Sidewalk Additions
- Rapid Flashing Beacon Installation
- Intersection Improvements
- Safe Walk to School Route
- Streetscape Improvements
- Study Boundary
- Streets (White)



STREET SECTIONS

1 MAIN STREET / HIGHWAY 80 WEST BOUND

Figure 33



Main Street / Highway 80 West Bound | Facing East, North of City Hall

MAIN STREET / HIGHWAY 80 WEST BOUND

- Uses existing right-of-way
- Improve sidewalk connectivity on both sides
- Reduce excess curb-to-curb width when feasible
- Encourage tree planting adjacent to sidewalks
- Near-Term: Provide an additional 10-foot vegetation lawn on the north side.
- Long-Term: Multi-use trail /cycling route to replace vegetative lawn



EXISTING CONDITIONS ON MAIN STREET / HIGHWAY 80 WEST BOUND, FACING WEST

~31' Curb-to-Curb

HOW TOWNS WITH STATE ROUTES AS THEIR MAIN STREET FUNCTION

Thousands of towns in the United States have Main Streets that double as state highways and only a handful of states have specific guidance for these circumstances. The goal is to have equal precedence of main street functions and state highway functions. The key characteristics implemented in successful main street and state route combinations include:

- **Few to no curb cuts:** Adding multiple driveways immediately erodes the ability for pedestrians and cyclists to negotiate the area. It makes it a car oriented street.
- **Reducing Speed Limits:** Implementing lower speed limits within main street areas.
- **Adding street banners, planters, and street furniture:** Helps create a walkable street environment by “announcing” to the public that they are in a pedestrian friendly area.



REDMOND, WASHINGTON

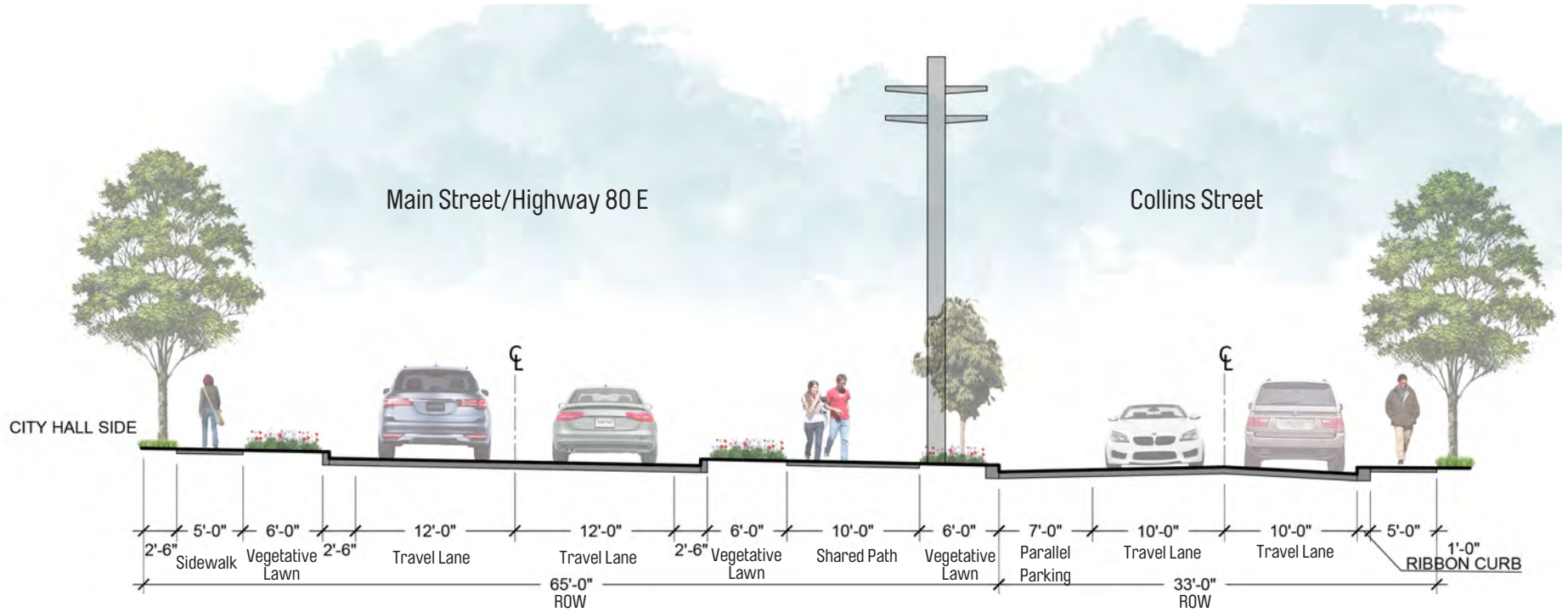
The City of Redmond split their Main Street/State Route 202 in 1986 and made them one-way streets. In 2016, the City decided to change the Main Streets to carry two-way traffic. They also implemented streetscape improvements to create a vibrant, connected, pedestrian friendly district. These changes have spurred development in the city.



STREET SECTIONS

2 MAIN STREET / HIGHWAY 80 EAST BOUND & COLLINS STREET

Figure 34



Main Street / Highway 80 East Bound & Collins Street | Facing West, South of City Hall

Drainage Swale

MAIN STREET / HIGHWAY 80 EAST BOUND

- Uses existing right-of-way
- Improve sidewalk connectivity on both sides
- Encourage tree planting adjacent to sidewalks
- Reduce excess curb-to-curb width when feasible

COLLINS STREET

- Uses existing right-of-way
- Adds a sidewalk on the south side
- Provides parallel parking on the north side
- Resurface with low-impact materials



4



IMPLEMENTATION



Implementation Program	66
Funding Sources	67
Action Matrix	68

IMPLEMENTATION PROGRAM

In order to successfully implement this Master Plan, the City of Pooler will need to bring together many people and organizations.

ACTION MATRIX

The Action Matrix, starting on page 68 guides the implementation of the recommendations. The matrix identifies the timeframe of each project along with the potential funding source and parties responsible for implementation.

REGULATIONS

Zoning regulations are most likely to be influential in implementing the recommendations. In cases where projects do not meet the criteria set forth in the City of Pooler's regulations, policy recommendations suggest where changes may be made.

ELECTED OFFICIALS

Local elected officials vote to adopt local plans and are important to the timeline and implementation of public and private projects.

CITY STAFF & AGENCIES

Most public projects will be managed by the City of Pooler staff in various departments including Planning and Development, Public Works, and Development Authority.

COMMUNITY PARTNERS

Community partners can include agencies outside of Pooler, non-profits, special interest groups, and advocacy groups. Not every project will require their participation, but efforts should be made to involve the applicable group when necessary. These community partners include, but are not limited to, the following organizations:

- Greater Pooler Chamber of Commerce
- Like Oak Public Libraries

- GDOT
- Savannah Economic Development Authority
- National Museum of the Mighty Eighth Air Force
- Churches and neighborhood and civic associations, organizations, and groups

PRIVATE SECTOR

Some of the projects and concepts in this Master Plan will require involvement from the private sector, which mainly include real estate

HOW WILL THESE RECOMMENDATIONS BE IMPLEMENTED?

Implementing these recommendations will involve many actors working both independently and together to fulfill the City's vision and goals.



Figure 35

FUNDING SOURCES

Potential funding sources could include:

- **General Fund:** The major sources for this fund are sales taxes, property taxes, franchise fees, business license and permit fees, fines and forfeitures, interest income, and investment earnings.
- **Water & Sewer Fund:** Accounts for the operation of the water and sewer system, including all revenues from system operations and all its expenses.
- **Special Purpose Local Option Sales Tax (SPLOST):** This fund is made up of Pooler's portion collected from a 1% sales tax in Chatham County. These funds are used for capital projects.
- **Hotel/Motel Tax Fund:** Funds collected from hotels and motels occupancy taxes to promote tourism and facilitate economic vitality.

The following outside sources have been identified to supplement the City's government funds:

- **Georgia Department of Community Affairs (DCA).** The DCA has several resources to help communities fund projects and prepare for economic development.
 - **Redevelopment Fund (RDF).** Recognizing that redevelopment projects can be the most challenging economic and community development projects a local government may undertake, the RDF was created as

a set-aside of Georgia's non-entitlement CDBG Program. The RDF provides local governments access to flexible financial assistance to help them implement projects that cannot be undertaken with the usual public sector grant and loan programs.

- **Coastal Incentive Grant (CIG).** Each year, the Georgia Coastal Management Program (GCMP) allocates a portion of its federal funding to the CIG, it's subgrant program. These subgrants may be awarded to qualified county or municipal governments, regional commissions, or state agencies within the eleven-county service area of the program. The CIG program area includes Brantley, Bryan, Camden, Chatham, Charlton, Effingham, Glynn, Liberty, Long, McIntosh and Wayne counties.
- **Downtown Development Revolving Loan Fund (DDRLF).** DDRLF assists cities, counties, and development authorities in their efforts to revitalize and enhance downtown areas by providing below-market rate financing to fund capital projects in core historic downtown areas and adjacent historic neighborhoods. The maximum loan is \$250,000 per project.
- **Local Maintenance Improvement Grants program (LMIG).** This GDOT-funded program aids local governments for maintenance and repair of streets off of the state system.
- **Tax Allocation District (TAD).** A TAD is a specially defined area where local

governments sell bonds to fund infrastructure and other redevelopment costs within the defined area.

- **United States Economic Development Administration (EDA).** The EDA's investment policy is designed to establish a foundation for sustainable job growth and the building of durable regional economies throughout the United States. In 2019, the EDA announced that it intended to invest \$960,000 in sewer infrastructure improvements needed to support the growth of manufacturing and other businesses in the town along with a \$240,000 local match from the Town.
- **United States Department of Agriculture (USDA).** The USDA offers many programs and services for communities to fund improvements ranging from improvements to community facilities and infrastructure, to attracting new business and industry. Funding comes in the forms of grants and low-interest loans.

ACTION MATRIX

PROJECT #	PROJECT DESCRIPTION	TIMELINE	RESPONSIBLE ENTITIES	FUNDING SOURCES	NOTES & ACTION STEPS
PUBLIC SPACE PROJECTS					
A.1	Relocate Pooler Library to the parcel south of Collins Street.	Mid-Term	Live Oak Public Library; City	General Fund	City currently owns identified land. Continue partnership with Live Oak Public Library to ensure implementation.
PRIVATE DEVELOPMENT PROJECTS					
B.1	Relocate First Baptist Church parking lots to take advantage of Main Street frontage.	Short-term	First Baptist Church of Pooler	First Baptist Church of Pooler	Location of existing lots: N Chestnut Street and Main Street, and N Newton Street and Main Street. Near-term solution: implement evergreen hedgerow to screen parking lots.
B.2	Mixed-use development at Main Street and N Chestnut .	Mid-Term	City; Private Developer; DA	Private Developer	
B.3	Cottage Commercial development along Main Street.	Mid-Term	City; Private Developer; DA	Private Developer	Encourage rehabilitation of existing residential structures for commercial use along Main Street.
B.4	Residential development on N Chestnut Street across from Gleason Park.	Long-Term	City; Private Developer; DA	Private Developer	Addition of residential units at this location will help revitalize Gleason Park.
B.5	Cottage Commercial development on Collins Street.	Mid-Term	City; Private Developer; DA	Private Developer	Encourage rehabilitation of existing residential structures for commercial use along Collins Street.
B.6	Mixed-use development between Oliver Street and Read Street.	Long-Term	City; Private Developer; DA	Private Developer	
B.7	Mixed-use development west of Joe Baker Park.	Long-Term	City; Private Developer; DA	Private Developer	Proposed redevelopment to assist with the revitalization and activation of Joe Baker Park.

PROJECT #	PROJECT DESCRIPTION	TIMELINE	RESPONSIBLE ENTITIES	FUNDING SOURCES	NOTES & ACTION STEPS
PARKS AND OPEN SPACES PROJECTS					
C.1	Host outdoor fitness classes at Gleason Park and Joe Baker Park.	Short-Term	City; Parks & Recreation	General Fund	
C.2	Host a walking group that meets at Joe Baker Park.	Short-Term	City; Parks & Recreation	General Fund	
C.3	Implement a fence around Joe Baker Park to protect users from adjacent heavy traffic.	Short-Term	City; Parks & Recreation	General Fund; SPLOST	Fence should be between 36–48 inches tall and be of similar style to the one existing at City Hall.
C.4	Add native landscaping at Pooler Memorial Park.	Short-Term	City; DA	General Fund; SPLOST	As part of this a heavy evergreen tree screen should be planted to establish a buffer between Pooler Parkway and the park.
C.5	Add a parking lot at Pooler Memorial Park.	Mid-Term	City; DA	General Fund; SPLOST	In collaboration with GDOT, study and identify location for curbcuts.
C.6	Implement a fence around Pooler Memorial Park to protect users from adjacent heavy traffic.	Short-Term	City; DA	General Fund; SPLOST	Fence should be between 36–48 inches tall and be of similar style to the one existing at City Hall.
C.7	Host a free summer concert series at Pooler Memorial Park.	Short-Term	City; Parks & Recreation	General Fund	
BUSINESS DEVELOPMENT PROJECTS					
D.1	Encourage active participation from pooler development authority.	Short-Term	City; DA	General Fund	Encourage the active participation of the Pooler Development Authority (PDA) to focus on growth of Main Street.
D.2	Encourage participation in main street organizations.	Short-Term	City; DA	General Fund	See Appendix

PROJECT #	PROJECT DESCRIPTION	TIMELINE	RESPONSIBLE ENTITIES	FUNDING SOURCES	NOTES & ACTION STEPS
D.3	Encourage redevelopment of underutilized properties through incentives.	Short-Term	City; DA	General Fund	See Appendix
D.4	Advertise economic development incentives and opportunities.	Short-Term	City; DA; Chamber	General Fund	See Appendix
D.5	Recruit locally owned businesses identified as needed in the market analysis.	Short-Term	City; DA; Chamber	General Fund	See Appendix
D.6	Share market data with local businesses and partners.	Short-Term	City; DA; Chamber	General Fund	See Appendix
BRANDING & MARKETING PROJECTS					
E.1	Create unified marketing brand for Pooler Main Street.	Short-Term	City	General Fund	See Appendix
E.2	Create distinctive brand for Central Pooler.	Short-Term	City	General Fund	See Appendix
E.3	Create distinctive brand for Pooler Loop.	Short-Term	City	General Fund	See Appendix
E.4	Apply banners along Highway 80 from I-95 to Pooler Parkway.	Short-Term	City	General Fund; Public Works	See Appendix
E.5	Apply brand to new gateway signage on East and West bound Highway 80.	Mid-Term	City	General Fund; Public Works	See Appendix
E.6	Establish comprehensive wayfinding program.	Mid-Term	City	General Fund; Public Works	See Appendix

PROJECT #	PROJECT DESCRIPTION	TIMELINE	RESPONSIBLE ENTITIES	FUNDING SOURCES	NOTES & ACTION STEPS
TRANSPORTATION PROJECTS					
F.1	Install rapid flashing beacons on Main Street/Highway 80 as part of establishing a safe walking route to Pooler Elementary.	Short-Term	City; GDOT	Public Works; SPLOST; GDOT	Location: At Chestnut and Main Street East; Chestnut and Main Street West
F.2	Infill disconnected links in the current sidewalk network.	Mid-Term	City	Public Works; SPLOST	
F.3	Establish a safe walking route to Pooler Elementary.	Short-Term	City; Pooler Elementary	General Fund; GDOT; Pooler Elementary	
F.4	Install creative crosswalks on Main Street/Highway 80.	Mid-Term	City; GDOT	Public Works; SPLOST; GDOT	Reinforce Main Street branding with crosswalk art as approved by GDOT.
F.5	Implement evergreen hedgerow or decorative fence where surface lots occupy Main Street/Highway 80 frontage.	Short-term	City	Public Works; SPLOST	
F.6	Main Street/Highway 80 West Bound Streetscape project.	Short-Term	City	Public Works; SPLOST	
F.7	Main Street/Highway 80 East Bound Streetscape project.	Short-Term	City	Public Works; SPLOST	
F.8	Collins Street Streetscape Project.	Mid-Term	City	Public Works; SPLOST	

PROJECT #	PROJECT DESCRIPTION	TIMELINE	RESPONSIBLE ENTITIES	FUNDING SOURCES	NOTES & ACTION STEPS
LAND USE					
G.1	Code Audit	Short-Term	City	General Fund	Study existing code to ensure the preferred vision established by this study may be implemented with a specific focus on the Main Street Overlay; for additional notes see pg. 10-11 and 42-43
G.2	Update Future Land Use Map	Short-Term	City	General Fund	Update plan to reflect the preferred Main Street vision established by this study; for additional notes see pg. 12-13 and 42-43
G.2	Update Comprehensive Plan Character Areas	Short-Term	City	General Fund	Update plan to reflect the preferred Main Street vision established by this study; for additional notes see pg. 14-15 and 42-43
G.3	Establish incentives to encourage adaptive reuse of properties within the study area	Mid-Term	City	General Fund	See pg. 42-43 and 48-50

5



APPENDIX



Pooler Branding & Marketing Conditions

76

POOLER BRANDING & MARKETING CONDITIONS

CITY SEAL

The City of Pooler currently uses the City Seal as its community logo. This seal is supported by a style guide with technical details on colors and type faces. The seal was created in advance of the new City Hall completed in 2017 yet uses a similar design of an institutional building in the center of the logo. The City’s motto of “Pride. Family. Honor.” adorns the seal in a banner that supports the icon, and the incorporation date of the town is also included in the design.

The seal uses the primary colors of green and tan, along with four secondary colors which are rarely used in application of the seal. The formal fonts for the brand include Baskerville (primary) and Verdana (secondary), however, the secondary font is rarely used in application. The seal is primarily used in application on the city’s website, social media, and government forms.



WAYFINDING

The seal is also used on gateway signage in key entry points in the city including westbound Highway 80 within the study area, as well as westbound on Pooler Parkway at Godley Station. Monument gateway signs are installed at City Hall as well as the City of Pooler Recreation Complex. There is a single, pedestrian-scaled directional sign in the City Hall complex, but no other wayfinding signs exist throughout the City.

Overall, the City’s seal is a workable graphic to use to designate City buildings, gateways and the government’s digital tools. Currently, the City does not have a community brand identity to promote the city, events and destinations. Often communities create a destination-based logo to market the community, that is unique but connected to its official governmental identity. For example, the City of Savannah has both a city seal and a marketing logo that illustrates the city’s iconic squares for which it is known.



BUSINESS DEVELOPMENT RECOMMENDATIONS

1. ENCOURAGE ACTIVE PARTICIPATION FROM POOLER DEVELOPMENT AUTHORITY

The City should encourage the active participation of the Pooler Development Authority (PDA) in pursuing redevelopment activity in the main street district. Similar to nearby Springfield DDA and others, the PDA can facilitate façade grants, purchase and dispose of property, and encourage new investment. The PDA can target key opportunity sites identified in this plan and facilitate redevelopment.

2. ENCOURAGE PARTICIPATION IN MAIN STREET ORGANIZATIONS

The PDA and City should seek becoming affiliated with the Georgia Main Street program, a statewide initiative to reinvigorate aging downtowns, and the Georgia Downtown Association. These groups focus on business coordination, partnerships with local governments, design, event planning, and promotion of main street. There are over 100 Main Street communities statewide in various tiers of designation. This includes nearby Pembroke, Hinesville, Statesboro, and others. Main Street programs are often 501c3 private non-profits that work hand in hand with local governments facilitating main street revitalization.

The City should host Georgia Main Street in Pooler to facilitate information workshops and gauge interest within the private sector for an independent main street focused partner.

3. ENCOURAGE REDEVELOPMENT OF UNDERUTILIZED PROPERTIES THROUGH INCENTIVES

There are a few redevelopment sites that could prove to be anchors in the main street area and catalysts for future development of the entire corridor. The PDA should work with partner's and stakeholders to approach each site's property owner to discuss overall vision, but also to identify constraints, establish criteria for development, and determine what, if any, public assistance may be needed to prepare the site for development. Properties such as "Rainbow Row" are mostly vacant and have great potential for redevelopment.

4. ADVERTISE ECONOMIC DEVELOPMENT INCENTIVES AND OPPORTUNITIES

A branded, economic marketing package could be created to promote investment opportunities in the main street study area. This could include one-sheets for key opportunity sites, community profile, market analysis data, testimonial ads from existing businesses, incentive package, etc. The tool could be distributed directly to prospects as well as indirectly on the City's website.

5. RECRUIT LOCALLY OWNED BUSINESSES IDENTIFIED AS NEEDED IN THE MARKET ANALYSIS

Pooler currently is a retail center serving the metro area as well as travelers on I-95 and I-16. While most of this commerce occurs at Godley Station, main street Pooler could serve as the center of the local community, providing commerce and services to the residents that call Pooler home. The market research shows opportunity for growth in key sectors including women's clothing, nursery and garden centers, hardware, specialty foods, and a number of other specialty categories. The PDA and the Chamber of Commerce should target their recruitment efforts on these businesses that show local demand, solidifying the main street area as the civic and community center for the citizens of Pooler.

6. SHARE MARKET DATA WITH LOCAL BUSINESSES AND PARTNERS

The market study in this plan provides current and up to date information about the Pooler market that should be of use to local businesses. The City should make this report and its market study easily available to existing businesses, prospects, potential entrepreneurs, property owners, and any partner that may find the data relevant. Distributing the report as a .pdf via links on the city website,

or through email lists can get the data out to the largest amount of businesses.

BRANDING & MARKETING

1. CREATE UNIFIED MARKETING BRAND FOR POOLER

The City currently uses its city seal as a community logo with application limited to online portals and gateway signage. The seal represents the official functions of the local government but is not an effective way to tell Pooler's unique story, promote the community as a place to live, visit, or invest. It is a graphic rather than a brand. A "brand" is a promise that is made to a consumer that speaks to the unique value and characteristics of the product. Just like a soft drink or shoe company, this would apply to a community as well. Therefore, Pooler's brand would present the unique characteristics and values that separate it from other communities within the region. This would include a graphic identity with a unique style, theme, palette, typography, and overall message that is applied to a broader system positioning Pooler as a special place. This would be applied to a number of marketing tools to market the community.

2. CREATE DISTINCTIVE BRAND FOR POOLER CENTRAL

Part of the unified brand should be creating a unique but connected identity to promote the

POOLER BRANDING & MARKETING CONDITIONS CONTINUED

main street district, Pooler Central. The main street district is central to the Pooler community and serves residents with local oriented and independent businesses. It also has the potential be the active center of the community, much like traditional main streets.

3. CREATE DISTINCTIVE BRAND TO POOLER LOOP

Similarly, the larger study area from I-95 to Pooler Parkway follows the Highway 80 corridor, a major connector from Savannah and the Georgia Coast to Statesboro and Central Georgia. Similar to 30A in Florida, creating a unique brand identity can help market the corridor for investment, and promote the existing businesses along the road. Giving it an identity that reflects the two one-way roads through Pooler, will give it increased awareness and status.

4. APPLY BANNERS ALONG HIGHWAY 80 FROM I-95 TO POOLER PARKWAY

Banners can help to identify key character districts within a community and solidify a community or district brand. They also are strategic for placemaking by creating bright, visual enhancements in an area like Highway 90 that currently have a great deal of noise with high traffic, overhead utilities, and business signage. Branded banners can even help slow traffic

through a commercial district. The City should consider installing bright, single color banners through the district identifying Pooler Central and the Pooler Loop.

5. APPLY BRAND TO NEW GATEWAY SIGNAGE ON EAST AND WEST HIGHWAY 80

Similarly, the City should consider enhancing gateway signage on East and West Highway 80 entering into the district. Currently, there is only the Pooler sign in the triangle on westbound 80 at the beginning of the Pooler loop. This signage should match the design of a comprehensive wayfinding program and could be replicated at key entrances throughout the community.

6. ESTABLISH A COMPREHENSIVE WAYFINDING PROGRAM

Wayfinding signs direct locals and visitors to the different civic, cultural and recreation resources in a community. Through gateway signage and banners mentioned above, to branded directional signage, wayfinding can also help to identify distinct districts in a community. Pooler currently has no wayfinding short of its gateway signs and should consider facilitating a wayfinding plan to design signs, content and locations for a citywide system of signage. Wayfinding and gateway signage are a capital cost, so it is recommended

that Pooler first establish a community brand before spending money on design, fabrication and installation of signage. A comprehensive system would include:

- Gateway signage – monument signage at key entries into town and pole-mounted signage at district boundaries.
- Low-speed vehicular trailblazers – signs that include two to three destinations on roadways with speed limits of less than 25 mph.
- High-speed vehicular trailblazers for roadways higher than 25 mph.
- Specialty signage for trails, internal park signage, etc.
- Signage identifying parking at City Hall, the chamber/visitor center, and events in the main street core .

Awaiting document from City Attorney

MEMORANDUM OF UNDERSTANDING BETWEEN CHATHAM COUNTY, GEORGIA AND THE CITY OF POOLER, GA FOR THE FORMALIZATION OF EFFORTS IN FURTHERANCE OF THE COLLABORATIVE CAPABILITIES AND READINESS FOR SPECIAL WEAPONS AND TACTICS (SWAT) TEAMS

This contract is dated for identification this day ___ of _____ 2023 and is made by and between CHATHAM COUNTY, Georgia, and the CITY OF POOLER, Georgia, (hereinafter referred to as “CHATHAM” and “POOLER”)

RECITALS

- a) CHATHAM and POOLER are in close proximity and share overlapping demands for law enforcement responses, often to high-risk/critical incidents requiring specially trained tactical teams.
- b) CHATHAM and POOLER have long recognized that mutual aid and cooperation in response to critical incidents can be enhanced and made more effective and expeditious through the standardization of training, tactics, and equipment of their respective units.
- c) CHATHAM and POOLER have recognized that in order to successfully resolve a tactical situation, a chief law enforcement administrator must have the proper tactical options at his or her disposal. In situations which exceed the capabilities of normal law enforcement, the ability to effectively support or integrate the tactical resources of the two jurisdictions is ideal.
- d) CHATHAM and POOLER recognize that having highly trained and skilled tactical team, capable of providing support during a critical incident, and/or, fully capable of functioning as an integrated team when the situation dictates, reduces the risk of injury or loss of life to our residents, law enforcement officers, and suspects; and increases the likelihood of successful resolutions of critical incidents through the increased capabilities provided.
- e) Standardized and continuous training of our tactical personnel provide for a more expedient response in situations that are fluid, quickly evolving, and require the immediate response of personnel on duty or in close proximity to the situation at hand.
- f) The purpose of this document is to formalize an agreement between CHATHAM and POOLER as it pertains to adding officers to the CHATHAM COUNTY SWAT TEAM, so that they can more effectively provide support for one another; and/or operate as a fully integrated team when the incident warrants said response.

- g) CHATHAM and POOLER now desire to formally establish and confirm the framework for this cooperative effort as well as to clarify the legal relationships resultant from that ongoing cooperative agreement. NOW, THEREFORE, in consideration of the recitals and mutual promises contained herein, it is agreed as follows.

1. ENTITIES' STATUS

It is formally agreed that the Chatham County Special Weapons and Tactics (SWAT) team will retain their status as separate and independent entities which possess the skills and capabilities to act as a fully integrated team when the situation dictates such response.

2. PURPOSE/MISSION STATEMENT

It is the intent of the signatories to achieve the following:

- a) Ensure that the training, tactics, equipment, and skill sets of the members of the SWAT team is mutually compatible to the greatest degree possible to further enhance the effectiveness and operational readiness as an integrated team.
- b) Provide for an enhanced rapid response tactical team which can be organized in the minimal amount of time possible for critical incidents where an immediate response is needed.

3. TERM

This agreement will take effect upon the signing of said document by all listed signatories, and will remain in full force and effect until the governing body of enters an intent of their withdrawal in writing.

4. PERSONNEL

CHATHAM will retain responsibility for the recruitment and selection of personnel for their respective SWAT teams. CHATHAM SWAT Commander may reject any candidate proposed for assignment to his or her respective SWAT team. The SWAT Team Commander's may remove any officer from his or her SWAT team for any or no reason. Personnel assigned to the SWAT team shall be full-time sworn members of their respective agency.

In addition:

- a) All participating personnel will attend scheduled training sessions.
- b) New personnel appointed to the SWAT team will be required to successfully complete a POST certified basic special weapons and tactics course as soon as practical.

5. PERSONNEL COSTS AND EXPENSES

Each agency will be responsible for all personnel costs and obligations associated with the staff it assigns to the SWAT team, including, but not limited to base salary, overtime salary and fringe benefits, Workers' Compensation and retirement benefits. Chatham County will provide all participating personnel with the requisite safety equipment which is set forth in the policy and procedures of the SWAT team.

6. POLICIES AND PROCEDURES

Each officer assigned to the CHATHAM COUNTY SWAT team will follow the policies and general orders of the CHATHAM COUNTY Special Weapons and Tactics Team when the team is activated.

7. AMENDMENTS/ENTIRE AGREEMENT

Amendments and/or modifications to this Agreement can be proposed at any time by either agency. No amendment shall be effective unless the amendment is in writing and signed by each of the parties. This Agreement supersedes any and all other agreements, either oral or in writing, between the parties with respect to the subject matter herein. Each party acknowledges that this Agreement contains the entire agreement between the parties.

X

Chatham County
Representative

X

Date

X

City of Pooler
Representative

X

Date