



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – AGENDA

February 20, 2024 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
 - A. Scot Turner - Instant Runoff Voting/Ranked-Choice Voting Bill (HB 200) Presentation
- VI. CONSENT AGENDA
 - A. City Council Meeting Minutes of February 5, 2024
 - B. City Council Executive Session Minutes of February 5, 2024
 - C. Special Event Permit Application (No Alcohol) for the Love & Soul Family Festival on June 1, 2024
 - D. Special Event Permit Application (No Alcohol) for the 5K Friendship Fun Run on July 27, 2024
 - E. Department Reports
 - 1. Public Works
 - 2. Finance
 - 3. Fire-Rescue Services
 - 4. Police
 - 5. Parks & Recreation
 - 6. Planning & Development
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. Ordinance O2024-02.A – Council Meeting Start Time (*Second Reading*)
 - B. Ordinance O2024-02.B – Zoning Text Amendment to Appendix A, Articles II and III to Provide Provisions Related to Multi-Use Development (*Public Hearing, Action*)
 - C. Resolution R2024-02.A – Amendment to the 2024 Schedule of Fees

VIII. NEW BUSINESS

- A. Zoning Map Amendment for Property on Clear Lake Way from C-2 to R-3(C)
(Public Hearing, Action)
- B. Zoning Map Amendment for the Warnell Tract at Demott Drive from PUD to I-2
(Public Hearing, Action)
- C. Conditional Use Request for a Place of Worship at 1324 South Rogers St
(Public Hearing, Action)
- D. Conditional Use Request for a Warehouse Expansion at 125 Coleman
Boulevard *(Public Hearing, Action)*
- E. Conditional Use Request for an Auto Body Repair at 800 Clear Lake Way
(Public Hearing, Action)
- F. Site Plan for 212 East Highway 80
- G. Site Plan for Wawa at 1480 Pooler Parkway
- H. Site Plan for 780 Pooler Parkway
- I. Site Plan for TTRES at 2300 Pooler Parkway
- J. Westside Commerce Center/Native Development Group Request for
Consideration
- K. Disciplinary Hearing for Owner of Asian River/Miyah Buffet

IX. PUBLIC COMMENT

X. EXECUTIVE SESSION

XI. ADJOURNMENT



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – MINUTES

February 5, 2024, at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor
Aaron Higgins, Mayor Pro Tem
Wesley Bashlor, Councilmember
Michael Carpenter, Councilmember
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Caroline Hankins, Assistant City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Hadassa Villafana, Assistant Finance Officer

Absent: Matthew Saxon, Interim City Manager

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 4:01 p.m.

III. INVOCATION

Pastor Jeff Hubbard gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Pastor Jeff Hubbard led the pledge.

V. ANNOUNCEMENTS

Mayor Karen Williams announced that a Public Comment section has been added to the agenda and anyone who wishes to speak may sign up using the Request to Speak form. Mayor Karen Williams also explained the rules for speaking before Council.

VI. CONSENT AGENDA

A. City Council Meeting Minutes of January 16, 2024

B. City Council Executive Session Minutes of January 16, 2024

C. City Council Orientation & Retreat Minutes of January 11, 2024

D. City Council Orientation & Retreat Executive Session Minutes of January 11, 2024

E. Special Event Permit Application (No Alcohol) for a Boat Show on February 22-25, 2024

F. Special Event Permit Application (No Alcohol) for a Car Show on April 20, 2024

G. Temporary/Special Event Permit Application (Dispensing Alcohol) for a St. Patrick's Day Festival on March 16, 2024

Councilmember Tom Hutcherson moved to approve the Consent Agenda as presented.

Motion to Approve; PASSED (7-0-0)

MOVER: Hutcherson

SECONDER: Valim

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. Proclamation for Georgia State Arbor Day

Mayor Karen Williams read aloud the proclamation for Georgia State Arbor Day.

B. Proclamation Honoring Spc. Kennedy Ladon Sanders, Spc. Breonna Alexsondria Moffett, and Sgt. William Jerome Rivers of Georgia

Mayor Karen Williams read aloud the proclamation honoring Spc. Kennedy Ladon Sanders, Spc. Breonna Alexsondria Moffett, and Sgt. William Jerome Rivers and requested a moment of silence.

C. Ordinance O2024-02.A – Council Meeting Start Time (*First Reading*)

Assistant City Manager Caroline Hankins presented the proposed ordinance for consideration that would change the regular Council Meeting start time to 6:00 p.m. effective April 1, 2024.

Motion to Approve; PASSED (4-2-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson

NAYS: Valim, Wilcher

VIII. OUTSTANDING BUSINESS

A. City Council Meeting Minutes of December 18, 2023

Assistant City Manager Caroline Hankins presented the minutes for consideration. City Attorney Craig Call stated that the pending legal review was completed; approval of minutes is for the record only and does not imply action. A member of the public inquired whether the minutes were being

approved with any changes. Mayor Pro Tem Aaron Higgins moved to approve the City Council Meeting Minutes of December 18, 2023 without any changes.

Motion to Approve; PASSED (5-0-1)
MOVER: Higgins
SECONDER: Wilcher
AYES: Bashlor, Carpenter, Higgins, Valim, Wilcher
NAYS:
ABSTAINED: Hutcherson

B. City Council Executive Session Minutes of December 18, 2023

Assistant City Manager Caroline Hankins presented the minutes with a staff recommendation for approval. City Attorney Craig Call stated that the pending legal review was completed; approval of minutes is for the record only and does not imply action. Mayor Pro Tem Aaron Higgins moved to approve the Executive Session Minutes of December 18, 2023.

Motion to Approve; PASSED (5-0-1)
MOVER: Higgins
SECONDER: Wilcher
AYES: Bashlor, Carpenter, Higgins, Valim, Wilcher
NAYS:
ABSTAINED: Hutcherson

IX. NEW BUSINESS

A. Site Plan for Tanger Outparcel #4 at 220 Tanger Outlets Blvd

Assistant City Manager Caroline Hankins presented the site plan for consideration. Travis Burke from Coleman Company, representing Mr. Yogesh Patel, was present to answer questions. Mayor Pro Tem Aaron Higgins moved to approve the Site Plan for Tanger Outparcel #4 at 220 Tanger Outlets Blvd contingent upon receipt of the Georgia Power Lighting Agreement.

Motion to Approve with Stipulations; PASSED (4-2-0)
MOVER: Higgins
SECONDER: Valim
AYES: Bashlor, Higgins, Valim, Wilcher
NAYS: Carpenter, Hutcherson

B. Acceptance of a Lift Station Performance Bond and Final Plat for 360 Communities, Phase 1B

Assistant City Manager Caroline Hankins presented the performance bond and final plat for consideration. Michael Lerque from Thomas & Hutton was present on behalf of 360 Communities to answer questions. Councilmember Tom Hutcherson moved to approve Acceptance of the Lift Station Performance Bond in the Amount of \$71,250.00 and the Final Plat for 360 Communities, Phase 1B, subject to City Attorney review.

Motion to Approve with Stipulations; PASSED (7-0-0)
MOVER: Hutcherson
SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
NAYS:

C. Preliminary Subdivision Plan for Canal Bank Subdivision

Assistant City Manager Caroline Hankins presented the plan for consideration. Mehul Sheth, Owner, was present to answer any questions. Mayor Pro Tem Aaron Higgins moved to approve the Preliminary Subdivision Plan for Canal Bank Subdivision.

Motion to Approve; PASSED (7-0-0)
MOVER: Higgins
SECONDER: Hutcherson
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
NAYS:

D. Pooler Tennis Complex Change Order #1 for Contract C (#4 for the Total)

Assistant City Manager Caroline Hankins presented the change order for consideration. Lamar Mercer from Thomas & Hutton and Hugh Elton, Parks & Recreation Director, were present to answer questions. Mayor Pro Tem Aaron Higgins moved to approve the Pooler Tennis Complex Change Order #1 for Contract C (#4 for the Total) in the Amount of \$25,793.00.

Motion to Approve; PASSED (4-3-0)
MOVER: Higgins
SECONDER: Bashlor
AYES: Bashlor, Higgins, Hutcherson, Williams
NAYS: Carpenter, Valim, Wilcher

E. Georgia Emergency Management and Homeland Security Agency (GEMA/HS) Statewide Mutual Aid and Assistance Agreement Renewal

Assistant City Manager Caroline Hankins presented the agreement renewal for consideration. Councilmember John Wilcher moved to approve the Georgia Emergency Management and Homeland Security Agency (GEMA/HS) Statewide Mutual Aid and Assistance Agreement Renewal subject to City Attorney review.

Motion to Approve with Stipulations; PASSED (7-0-0)
MOVER: Wilcher
SECONDER: Higgins
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
NAYS:

X. PUBLIC COMMENT

Mayor Karen Williams opened the floor to comment. There were none.

XI. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Shannon Valim moved to enter Executive Session.

Motion to Enter; PASSED (7-0-0)

MOVER: Valim

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

Mayor Karen Williams called the meeting back to order at 5:37 p.m.

XII. ADJOURNMENT

Mayor Pro Tem Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (7-0-0)

MOVER: Higgins

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

The meeting adjourned at 5:37 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Hadassa Villafana, Assistant Finance Officer



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

AFFIDAVIT

O.C.G.A. § 50-14-4(b) – Procedure When Meeting Closed/Executive Session

Before an officer duly authorized to administer oaths appeared KAREN WILLIAMS, who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 5TH day of FEBRUARY, 2024. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was

_____.
 - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
 - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

- D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).
- E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).
- F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2). *Compensation increase for Interim City Manager*
- G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).
- H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was
Mutual Separation Agreement of Robbie Byrd.
- I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).
- J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting this

7 day of February, 2024.

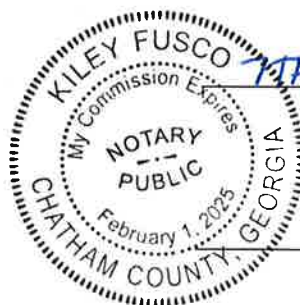
CITY OF POOLER, GEORGIA

Karen L. Williams
Karen L. Williams, Mayor

Sworn to and subscribed before me this

7TH day of FEB, 2024.

NOTARY PUBLIC





Special Event Permit Application (No Alcohol)

Page 1 of 3

Updated SEPT 2023

6793

NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to finance@pooler-ga.gov and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. **If food vendors are not indicated on the application, they will not be allowed at the event.** (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- If approved, the permit will be emailed and mailed to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact finance@pooler-ga.gov.

OFFICE USE ONLY

Date Received: 2/8/24 Received by: C.B. Fee Paid: \$ 0 *Seeking waiver*

Approved Denied Special Stipulations: _____

Meeting Date: _____ Mayor's Signature: _____

Applicant Information

Applicant Name _____

mrmattgunn@gmail.com
Applicant Email



Special Event Permit Application (No Alcohol)

Page 2 of 3

Updated SEPT 2023

216 Bailey Avenue Rincon GA 31326 912-224-6084
 Applicant Home Address Applicant Phone
 Matthew Gunn 912-224-6084
 Contact/Agent Name Contact/Agent Phone
 Hosanna Church INC 501C/Non-profit Fee Waiver Requested? Yes No
 Non-Profit Name (if applicable) IRS Status (if applicable)

Event Information

Love & Soul Family Festival Tanger Outlets Savannah
 Name of Event Event Location Entry Fee (if applicable)
 06/01/2024 10am 6pm
 Event Date Event Start Time Event End Time
 Family Festival to include live music, vendors, & more 400
 Description of Event Estimated Participants

Will food be sold or given away? No Yes

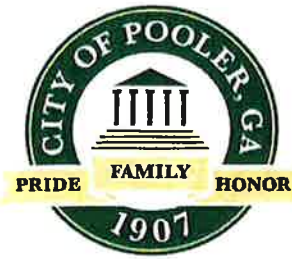
Will alcohol be served? No Yes (If yes, STOP, you have the wrong form.)

Affidavit

I solemnly affirm and declare that the information provided in this application is true, complete, and accurate to the best of my knowledge and belief. I understand that any false statements or omissions may result in the denial of this application or the revocation of any permit issued based on this application.

I further acknowledge my responsibility to comply with all applicable local, state, and federal laws, regulations, and ordinances related to the event for which this permit is sought. I agree to assume all liability for any damages, injuries, or losses arising from or related to the event, and I will obtain any necessary insurance coverage as required by the local government. I also agree to promptly notify the local government of any material changes to the information provided in this application.

Matthew Gunn 2-8-2024
 Applicant Name Applicant Signature Date



Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated **SEPT 2023**

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: 2/12/2024 Reviewed by: Coleley Brown

Comments/Concerns: Security plan required.

Contact Capt. Bogden 03

FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

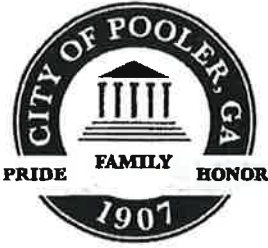
Comments/Concerns: _____

PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____



Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____

FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: 2/9/24 Reviewed by: G. WADE SIMMONS

Comments/Concerns: WILL REQUIRE 2 PERSONNEL OFF-DUTY, TO COVER EVENT. PLEASE SCHEDULE WITH DEPUTY CHIEF CRIBBS AS SOON AS APPROVED. — GWS

PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____



Special Event Permit Application (No Alcohol)

Page 1 of 3

Updated SEPT 2023

6794

NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to finance@pooler-ga.gov and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. **If food vendors are not indicated on the application, they will not be allowed at the event.** (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- If approved, the permit will be emailed and mailed to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact finance@pooler-ga.gov.

OFFICE USE ONLY

Date Received: 2/9/24 Received by: CB Fee Paid: \$ Seeking waiver

Approved Denied Special Stipulations: _____

Meeting Date: _____ Mayor's Signature: _____

Applicant Information

S2S FACTS INC. / Donna Williams

s2sbtg@gmail.com

Applicant Name

Applicant Email



Special Event Permit Application (No Alcohol)

Page 2 of 3

Updated SEPT 2023

59 Varnedoe Ave. Ste. B. Garden City, Ga 31408	912-201-1946
Applicant Home Address	Applicant Phone
Donna Williams	912-429-6599
Contact/Agent Name	Contact/Agent Phone
S2S FACTS INC.	84-2178595 5013c nonprofit
Non-Profit Name (if applicable)	IRS Status (if applicable)
	Fee Waiver Requested? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Event Information

5K Friendship Fun Run	Tanger Outlet	Range \$10 -\$45 Run registrati
Name of Event	Event Location	Entry Fee (if applicable)
July 27, 2024	7am	11am
Event Date	Event Start Time	Event End Time
honor of Friendship Day; running,movement, happiness, unity peace, friendship, &diversity,festive		100
Description of Event		Estimated Participants
Will food be sold or given away? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		
Will alcohol be served? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (If yes, STOP, you have the wrong form.)		

Affidavit

I solemnly affirm and declare that the information provided in this application is true, complete, and accurate to the best of my knowledge and belief. I understand that any false statements or omissions may result in the denial of this application or the revocation of any permit issued based on this application.

I further acknowledge my responsibility to comply with all applicable local, state, and federal laws, regulations, and ordinances related to the event for which this permit is sought. I agree to assume all liability for any damages, injuries, or losses arising from or related to the event, and I will obtain any necessary insurance coverage as required by the local government. I also agree to promptly notify the local government of any material changes to the information provided in this application.

Donna Williams		02/07/2024
Applicant Name	Applicant Signature	Date



Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: 2/12/2024 Reviewed by: Colley Brewer

Comments/Concerns: Security plan required.

Contact Capt. Bogden 03

FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____

PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____



Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____

FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: 2/12/24 Reviewed by: G. WADE SIMMONS

Comments/Concerns: WE WILL NEED 2 OFF-DUTY PERSONNEL HIRED. PLEASE CONTACT DEPUTY CHIEF SCOTT CRIBBS TO SCHEDULE. (912) 748-7012. — GW

PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval Denial Date: _____ Reviewed by: _____

Comments/Concerns: _____

STATE CERTIFIED ROUTE



Annual 5k FRIENDSHIP FUN RUN

CELEBRATE "INTERNATIONAL FRIENDSHIP DAY"

S2S Facts Inc. Annual 5K Friendship Fun Run in honor of International Friendship Day is a day to encourage peace, happiness and unity.

PRIZES FOR SPECIAL CATEGORIES LISTED BELOW:

- > 1. First Pair of Friends to Finish Together
- > 2. Friends Twins - (friends who are dressed alike, unique or creative)
- > 3. Longtime Friends - (the longest friendship)
- > 4. Look Alike Friends - (friends who look alike)
- > 5. Diverse Friends - (friends of different age, ethnicity, race or background)
- > 6. International Friends - (friends from different cultures and countries)
- > 7. Tiny Tot Friendship - (friends 12yr and younger)



Follow S2S Facts | Donations using the link or direct on website - s2sfactsinc.com/donate

PRE-REGISTRATION ENCOURAGED: RECEIVE UPDATES & PRE-PACKET PICK UP DETAILS
FOR SPONSORSHIP, DONATIONS AND DETAILS CONTACT: INFO@S2SFACTSINC.COM OR CALL: 912-201-1946



JULY 27

200 TANGER OUTLET BLVD.
POOLER GA. 31322

Meet at the lighthouse
in the back.

TINY TOTS FUN RUN: 7AM
5K IMMEDIATELY AFTER

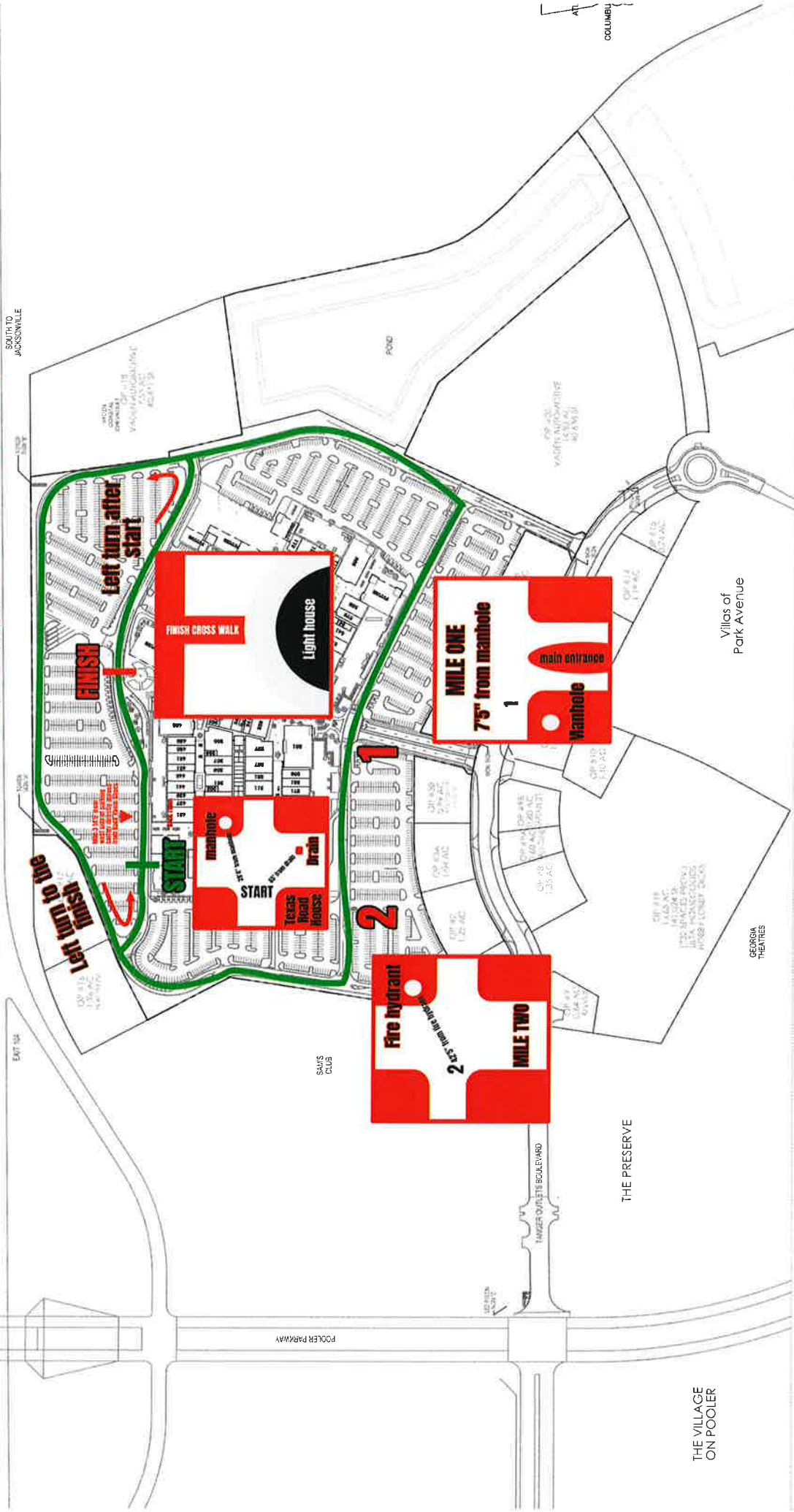
SCAN TO REGISTER
Or visit online
tinyurl.com/S2Sfacts



NORTH TO
CINCINNATI

TO SAVANNAH
INTERNATIONAL AIRPORT

TWO LOOPS AROUND THE MALL



Tanger Outlet Centers

SAVANNAH, GEORGIA

TANGER CONFIDENTIAL MATERIAL FOR INTERNAL USE ONLY

Parking Spaces

GROSS LEASABLE AREA
GLA Phase 1&2
64,041 S.F.
Total Potential GLA

2853

429,069 S.F.
64,041 S.F.
493,110 S.F.

Tenant names shown hereon do not constitute a guarantee that those stores will be open in this center. We are negotiating with the listed stores, and certain stores may have leases for space that expire prior to the opening of this and actual conditions (including but not limited to dimensions, store locations and stores opened) are subject to change. All information shown hereon should be verified by tenant through physical inspection.

Site Plan
POOLER, GA
February 9, 2018
Tanger Outlet Centers
3200 Northline Ave
Pooler, GA 31322
Tel: (336) 282-2626
Fax: (336) 282-2626

MISSION

Create Mindsets of Empowerment



Bridge Gaps of Diversity



Engage in Community Service



Inspire Friendships



Build Brighter Futures

VISION

"Building tomorrow's future, TODAY"



Date: February 8, 2024

Dear Mayor and City Council :

S2S FACTS INC is a 5013c community enrichment nonprofit organization serving youth, senior citizens, and ladies throughout Coastal Georgia. S2S capacity-building programs work to develop and strengthen the skills, instincts, abilities, processes, and resources of unforeseen, disadvantaged, low-income, and working poor. As you are aware, in 2022 S2S FACTS INC succeeded in getting the route at Tanger Outlet USATF certified. The purpose of the USATF course certification program is to produce road racecourses of accurately measured distances. For any road running performance to be accepted as a record or be nationally ranked, it must be run on a USATF-certified course. In addition, certification is very important to the average road racer, as well as those of exceptional speed. Most runners like to compare performances on different courses, and such comparisons are difficult if course distances are not reliable. No one can truly establish a personal best if the course distance is not accurate. That said, S2S FACTS INC is proud to have accomplished getting the route certified and is an asset to the pooler community, particularly because the certification doesn't expire for 10 years.

We would like to ask for a waiver on the special permits fee. The Annual 5K Friendship Fun Run is a fundraiser for our nonprofit organization and proceeds goes towards programming, such as, Senior Citizens Necessity Party, Youth Empowerment Work-Force Development Program, Gab Group Mentoring Sessions, and other Community Outreach programs that serves community needs for example:

The Pinewood and Shepherds Station Senior Citizens neighborhood in Pooler Ga. Receive monthly brown bag, personal care items through the SCNP program and engage in personal development activities: Below are the impact we have made throughout the community.

- **Launched the annual 5K Friendship Fun Run, established a USAFT certified route, registered over 100 runners from throughout the county, and introduced running to over 60 underserved children.**
- **Youths Development: 2023 Youth Impact**
 - **100% successfully complete community projects/ career pathway portfolio, resumes, & mock interview**
 - **90% participation in recurring training and mentorship workshops.**
 - **89% employed (Full-time/Part-time or in school)**
 - **85% complete Y.E.T. program successfully within their 1-attempt of 6-8-week cohort**
 - **69% are engaged in mentor program, volunteer, and/or lead community programs after completion of youth program.**
- **Senior Citizens & community engagement giveaways: 2023 Community Impact:**
 - **86% stress less about having enough money to pay for essentials.**
 - **70% rely on the monthly/quarterly food provided.**
 - **65% of seniors can pay for medications & co-pays.**
 - **Distributed appropriately 13,000 lbs. of food & hygiene items throughout the community.**

Thank you for your time and consideration.

Donna Williams, MHRM

Donna Williams, MHRM

S2S Facts, Incorporated, Executive Director

All checks made payable to S2S Facts, inc. Please note EIN number available upon request. Contact us via email: info@s2sfactsinc.com, phone (912) 201-1946 or mail: S2S Facts Inc., P.O. Box 18364, Sav. Ga. 31408.



@s2sfact



CITY of POOLER
— GEORGIA —

Council Report for the month of January

Date: 02/09/2023
To: Council and Mayor
From: John Winn
Subject: Council Report
Cc: Kiley Fusco

Council and Mayor,

It gives me great pleasure to present to you, the work that our Wastewater Treatment Plant, Sewer, and Water Departments have accomplished since the last council meeting:

Water:

Repaired water main on **100** block of Durden Dr.
93 C.O inspections conducted.
Replaced **15** residential and/or commercial laterals.
Completed multiple misc. service orders throughout the city.
Repaired and/or replaced **42** water meters/mxu's.
Tapped **8"** water main on S. Rogers Street.
Reviewed **7** Excavation/Encroachment Permits.
Conducted **3** flow inspections on hydrants.
Witnessed the testing and certification of **226** backflow preventers.

Sewer & WWTP:

EOM report attached.

Respectfully submitted,

John Winn



CITY of POOLER
— GEORGIA —

Council Report for the month of January

Date: 02/12/2024
To: Council and Mayor
From: John Winn
Subject: Council Report
Cc: Kiley Fusco

Street:

- Continued routine maintenance throughout the city repairing potholes, sidewalks, and shoulder work.
- LEMIG, South Rogers Street.

Signs:

- Replaced **19** signs throughout the city.
- Repaired **43** signs throughout the city.

Storm Water:

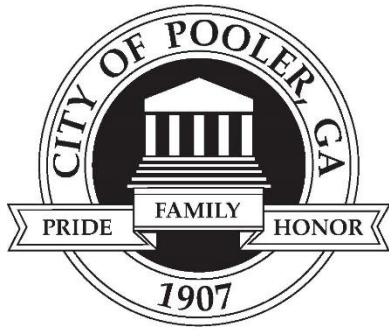
- Completed routine residential workorders.
- Began work on replacing pipe culvert at 612, 614 and 616 Holly Ave.
- Replaced broken catch basin at Benton Dr. & Newton St.
- Completed **13,148** feet of routine roadside ditch and outfall maintenance.
- Cleaned out and dug roadside ditches in various locations.
- Replaced 30' of an 18" culvert at Polks Produce.
- Started building headwalls on Cemetery Road to help with bank erosion.
- Removed bamboo and brush behind homes on the canal easement on Benton Canal.
- Re-bottomed 697.4 feet of ditches on Manden Road.

Canal Maintenance:

- Removed fallen trees and mowed access roads/canals throughout the city.
- Routine maintenance of canals throughout the city.
- Remove beaver dams from Sharon Ct. Canal and SH Mogan box culverts on Pooler Parkway.

Public Works Admin:

- Reviewed **4** sets of site plans.
- Approved **1** pre-construction meeting.
- Released **5** warranty bonds.



JANUARY
2024

Monthly Report



PO BOX 1648
Richmond Hill, GA 31324
912.445.0050
www.eomworx.com



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Wastewater Treatment	2.0
Collections & Distribution.....	3.0
Engineering	4.0
Administration.....	5.0
Appendix	6.0



SECTION 1.0

EXECUTIVE SUMMARY

EOM is pleased to provide this revised monthly report to the City of Pooler for review. Departmental reports and requested supplemental data can be found enclosed.

MONTH HIGHLIGHT

- **SEWER** – Replaced (3) faulty grinder pumps
- **SEWER** – Cleared (1) sewer blockage
- **SEWER** – Repaired (1) grinder discharge pipe

WASTEWATER LIFT STATIONS

- **PO-LS-13.01 FOREST LAKES:** Installed rebuilt pump
- **PO-LS-37.02 NORTH SKINNER STREET:** Removed pump blockage
- **PO-LS-18.02 BLUE MOON CROSSING:** Removed pump blockage
- **PO-LS-26.02 RAINDANCE:** Removed pump blockage

WASTEWATER TREATMENT PLANT

- Responded to (1) After hours calls
- **PO-WW-PM-19 PERMEATE PUMP OUTLET VALVE_2 :** Replaced Actuator and Electrical Connections
- **PO-WW-MB-42 SUBMERGED MEMBRANE UNIT_MBR 2:** Replaced Membranes
- **PO-WW-CH-07 ALUMINUM SULFATE TANK:** Repaired Discharge Line
- **PO-WW-PM-24: SERVICE AIR COMPRESSOR 2:** Replaced Air Compressor
- **PO-WW-PS-01: PLANT DRAIN PUMP STATION:** Installed Backup Floats
- **PO-WW-PM-11: PERMEATE PUMP_2:** Replaced Pump
- **PO-WW-EQ-12: EQ Basin Pump_1:** Replaced Drive and Motor



Section 2.0

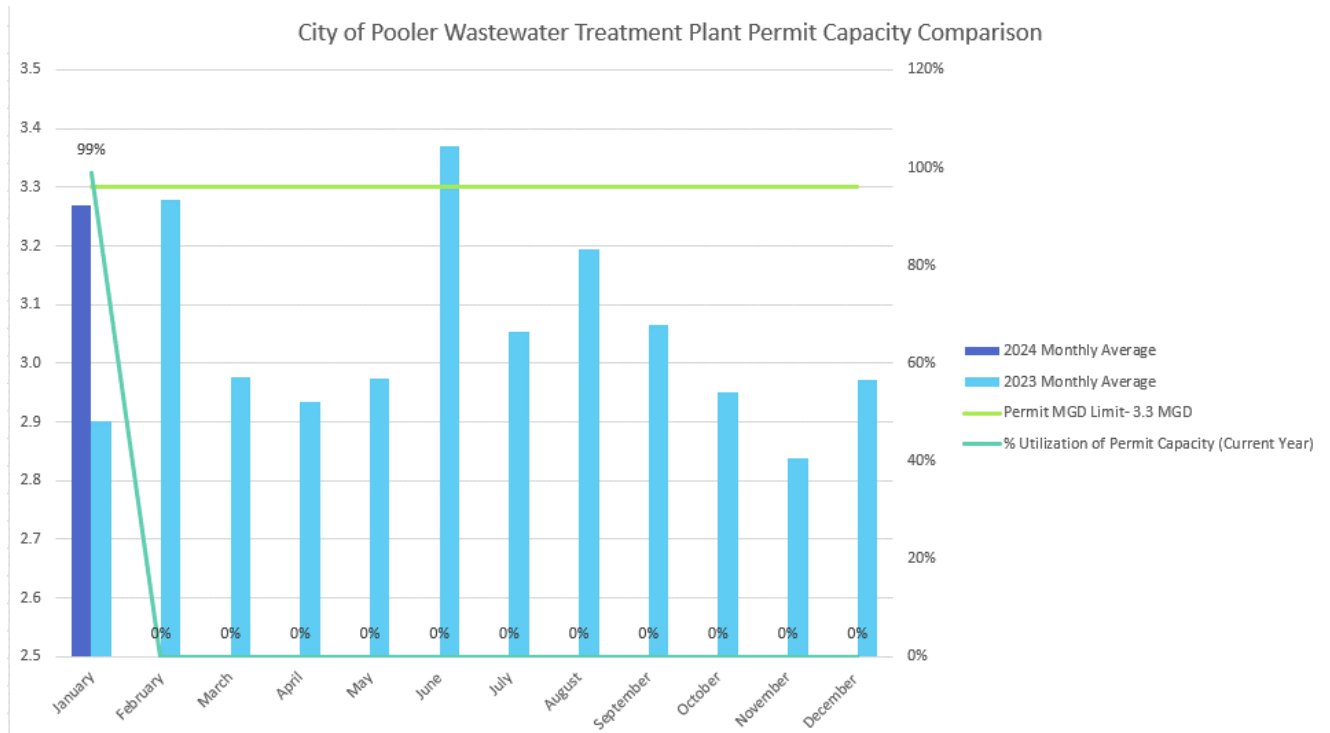
WASTEWATER TREATMENT



SECTION 2.0

WASTEWATER TREATMENT

Table 1 – WASTEWATER TREATMENT PLANT PERMIT COMPARISON





Section 3.0

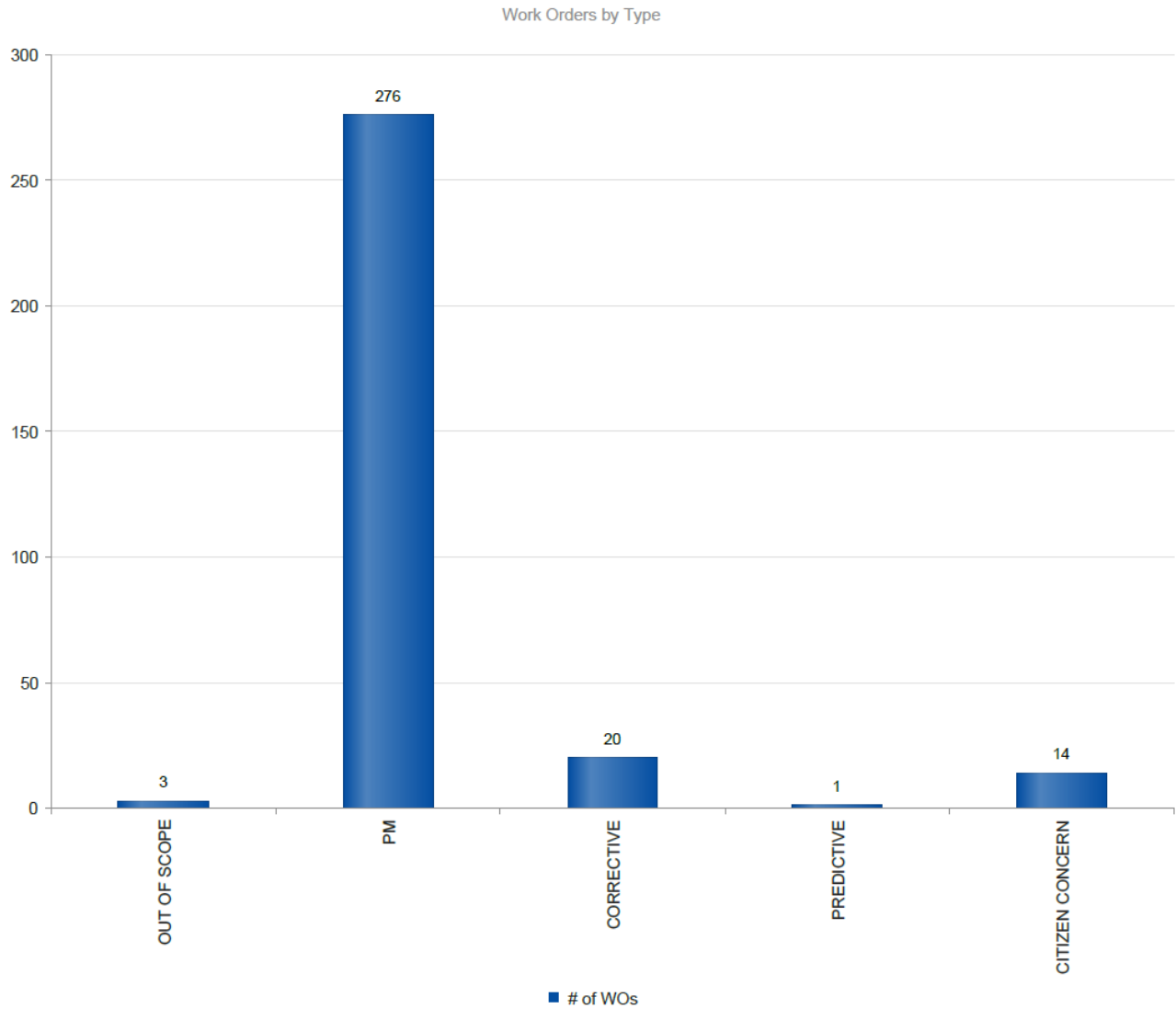
COLLECTIONS &
DISTRIBUTION



SECTION 3.0

COLLECTIONS & DISTRIBUTION

Table 1 – SEWER MAINTENANCE WORK ORDER REPORT





Section 4.0

ENGINEERING



SECTION 4.0

ENGINEERING

Site Plan Review:

- I. Approved Projects
 - 125 Coleman Blvd Building Expansion
 - 780 Pooler Pkwy
 - Wawa
 - Canal Bank Rd Subdivision
 - Tanger Outlets Outparcel #4

- II. Projects Under Review
 - Hwy 80 Gym (*Submittal #1*)

- III. Projects Waiting On Responses
 - Mana Nutrition – 1st review completed 1/26/2024
 - Thompson Thrift Residential – 3rd review completed 1/26/2024
 - Providence at Pooler – 1st review completed 1/25/2024
 - DST Trailer Yard – 2nd review completed 1/23/2024
 - Harmony Subdivision Phase 8A (Revised) – 5th review completed 1/17/2024
 - Harmony Subdivision Phase 8B (Revised) – 4th review completed 1/11/2024
 - Lot A Blakely Commons – 1st review completed 12/28/2023
 - Circle K Expansion – 1st review completed 12/26/2023
 - Barret Pond Reshaping – 1st review completed 12/14/2023
 - Oglethorpe Speedway Industrial Park – 1st review completed 11/13/2023
 - National Museum of the Mighty 8th Airforce – 1st review completed 10/25/2023
 - Lift Station 193 Force Main Upgrade – 1st review completed 9/25/2023
 - Memorial Blvd Commercial Development – 1st review completed 9/12/2023
 - Pipemakers Independent Senior Living Center – 2nd review completed 9/11/2023
 - Little Neck Trailer Yard – 3rd review completed 9/7/2023
 - Old Louisville Storage Yard – 1st review completed 7/13/2023

Bond Review:

- I. Approved Bond Requests
 - Clear Lake Phase 1B (Performance Bond)

- II. Bond Requests Under Review
 - N/A



Additional Engineering Services:

- City Standard Specifications: A number of updated sections/details for Standard Specifications document were submitted to City for review in December 2023. The updated City Standard Specifications document is expected to be complete in Winter.
- Lift Station #21 & 22: EOM submitted proposal for construction of Lift Stations to City in August 2023. It is understood that the City Attorney currently working on a contract for proposed work.



Section 5.0

ADMINISTRATION



SECTION 5.0

ADMINISTRATION

BUDGET

Description	Budget	Expense	Balance
Sewer Expenses	\$ 2,436,500.00	\$ 37,288.39	\$ 2,399,211.61
WWTP Expenses	\$ 1,400,000.00	\$ 187,729.13	\$ 1,212,270.87
TOTAL	\$ 3,836,500.00	\$ 225,017.52	\$ 3,611,482.48



Section 6.0

APPENDIX

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 1

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
23	12	01	23	12	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
OXYGEN, DISSOLVED (DO)	SAMPLE MEASUREMENT	****	****	****	7.9	****	****	mg/L	0	01/01	GR GRAB
00300 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	****	mg/L		01/01	GR GRAB
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	49.6	54.2	lb/d	****	2.0	2.0	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	82.6 MO AVG	102.6 WKLY AVG	lb/d	****	3.0 MO AVG	4.5 WKLY AVG	mg/L		03/DW	CP COMPOS
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	7365	7946	lb/d	****	284	290	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
PH	SAMPLE MEASUREMENT	****	****	****	6.7	****	7.3	SU	0	01/01	GR GRAB
00400 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	6.0 MINIMUM	****	8.5 MAXIMUM	SU		01/01	GR GRAB
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	24.8	27.1	lb/d	****	1.0	1.0	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	138.0 MO AVG	172.0 WKLY AVG	lb/d	****	5.0 MO AVG	7.5 WKLY AVG	mg/L		03/DW	CP COMPOS
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	5746	6191	lb/d	****	222	230	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, ORGANIC TOTAL (AS N)	SAMPLE MEASUREMENT	****	****	****	****	1.800	****	mg/L	0	01/30	CP COMPOS
00605 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	24	01	10
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
DISCHARGE MONITORING REPORT (DMR)

Form Approved
 OMB No. 2040-0004

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

Page 2

NAME: Pooler City of
ADDRESS: 100 Southwest Hwy 80
 Pooler, GA 31322
FACILITY: Pooler, City of (Bloomingdale Regional WPCP)
LOCATION: Winskie Road
 Pooler GA 31322

GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
23	12	01	23	12	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
NITROGEN, AMMONIA TOTAL (AS N)	SAMPLE MEASUREMENT	7.1	8.5	lb/d	****	0.3	0.3	mg/L	0	03/DW	CP COMPOS
00610 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	11.0 MO AVG	13.8 WKLY AVG	lb/d	****	0.4 MO AVG	0.6 WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, KJELDAHL TOTAL (AS N)	SAMPLE MEASUREMENT	****	****	****	****	2.100	****	mg/L	0	01/30	CP COMPOS
00625 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
NITRITE PLUS NITRATE TOTAL 1 DET. (AS N)	SAMPLE MEASUREMENT	****	****	****	****	13.0	****	mg/L	0	01/30	CP COMPOS
00630 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
PHOSPHORUS, TOTAL (AS P)	SAMPLE MEASUREMENT	1.2	2.5	****	****	0.1	0.2	mg/L	0	03/DW	CP COMPOS
00665 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	27.5 MO AVG	34.4 WKLY AVG	****	****	1.0 MO AVG	1.5 WKLY AVG	mg/L		03/DW	CP COMPOS
PHOSPHATE, ORTHO (AS P)	SAMPLE MEASUREMENT	****	****	****	****	0.108	****	mg/L	0	01/30	CP COMPOS
04175 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	Req Mon MO AVG	****	mg/L		01/30	CP COMPOS
FLOW, IN CONDUIT OR THRU TREATMENT PLANT	SAMPLE MEASUREMENT	3.0	3.18	MGD	****	****	****	****	0	99/99	CN CONTIN
50050 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	3.3 MO AVG	4.2 WKLY AVG	MGD	****	****	****	****		99/99	CN CONTIN
COLIFORM, FECAL GENERAL	SAMPLE MEASUREMENT	****	****	****	****	1.6	6.1	#/100mL	0	02/DA	GR GRAB
74055 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	23 MO GEO	23 WKLY GEO	#/100mL		02/DA	GR GRAB

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT	912 445-1894	24	01	10
		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)
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GA0047066	002-B3
PERMIT NUMBER	DISCHARGE NUMBER

DMR MAILING ZIP CODE:
 MAJOR

MONITORING PERIOD					
YEAR	MO	DAY	YEAR	MO	DAY
23	12	01	23	12	31

WPCP Discharge
 External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
CYANIDE, TOTAL (AS CN)	SAMPLE MEASUREMENT	****	****	****	****	2.1000	****	ug/L	0	01/30	GR GRAB
00720 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ug/L		01/30	GR GRAB
MERCURY, TOTAL (AS HG)	SAMPLE MEASUREMENT	****	****	****	****	****	****	ng/L	0	01/30	GR GRAB
71900 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	****	MO AVG	****	ng/L		01/30	GR GRAB
SOLIDS, SUSPENDED PERCENT REMOVAL	SAMPLE MEASUREMENT	****	****	dry ton	99.5	****	****	%	0	01/30	CA CALCTD
81011 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	>85 MINIMUM	****	****	%		01/30	CA CALCTD
BOD, 5-DAY PERCENT REMOVAL	SAMPLE MEASUREMENT	****	****	****	99.3	****	****	%	0	01/30	CA CALCTD
81010 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	****	****	****	>85 MINIMUM	****	****	%		01/30	CA CALCTD
SOLIDS, SLUDGE, TOT, DRY WEIGHT	SAMPLE MEASUREMENT	58	****	dry ton	****	****	****	****	0	01/30	CA CALCTD
78477 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	****	****	****	****		01/30	CA CALCTD
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	TELEPHONE		DATE		
		912	445-1894	24	01	10
SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AUTHORIZED AGENT		AREA Code	NUMBER	YEAR	MO	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

INTERIM
COMPARATIVE
OPERATING
STATEMENTS

City of Pooler, Georgia

For the One Month Ended January 31, 2024

*Prepared by:
Finance Department*



CITY of POOLER
— GEORGIA —

CITY OF POOLER, GEORGIA

Interim Comparative Operating Statements (*Unaudited*)

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For the One Month Ended January 31, 2024

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CITY *of* POOLER
— GEORGIA —

COMPARATIVE FINANCIAL STATEMENTS

(UNAUDITED)



CITY of POOLER
— GEORGIA —

CITY OF POOLER, GEORGIA

Fund 100 - General Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances For the One Month Ended January 31, 2024 and 2023

	2024	2023		
REVENUES				
Taxes.....	\$ 634,771.95	\$ 265,162.45		
Licenses and permits.....	76,293.23	90,694.50		
Intergovernmental.....	18,221.79	293,138.33		
Charges for services.....	58,640.60	60,334.92		
Fines and forfeitures.....	50,478.67	78,022.03		
Investment earnings.....	63,559.11	43,606.62		
Contributions and donations.....	5,500.00	42,390.62		
Miscellaneous.....	5,345.26	1,573.41		
Total revenues.....	912,810.61	874,922.88	37,887.73	4.33%
EXPENDITURES				
Current				
General government.....	247,159.49	183,027.33		
Judicial.....	33,087.02	23,536.36		
Public safety.....	1,091,828.15	864,328.18		
Public works.....	209,186.41	120,999.63		
Health and welfare.....	8,671.90	8,005.18		
Culture and recreation.....	83,425.89	75,799.50		
Housing and development.....	58,858.23	44,779.41		
Debt service				
Principal.....	297,865.39	291,909.30		
Interest.....	34,424.33	42,601.84		
Total expenditures.....	2,064,506.81	1,654,986.73	409,520.08	24.74%
Excess (deficiency) of revenues over (under) expenditures.....	<u>(1,151,696.20)</u>	<u>(780,063.85)</u>		
OTHER FINANCING SOURCES (USES)				
Transfers in.....	-	-		
Transfers out.....	(58,575.00)	-		
Sale of general capital assets.....	224,250.00	2,150.00		
Insurance recoveries.....	-	45,691.40		
Total other financing sources (uses)	165,675.00	47,841.40	117,833.60	246.30%
Net changes in fund balances.....	(986,021.20)	(732,222.45)		
Fund balances at beginning of year.....	36,985,151.51	32,947,279.67		
Fund balances at end of year.....	\$35,999,130.31	\$32,215,057.22		

CITY OF POOLER, GEORGIA

Fund 201 - Tree Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>		
REVENUES				
Contributions.....	\$ -	\$ 297,588.50		
Investment earnings.....	-	253.77		
Total revenues.....	<u>-</u>	<u>297,842.27</u>	(297,842.27)	-100.00%
EXPENDITURES				
Current				
Parks.....	-	5,161.50		
Total expenditures.....	<u>-</u>	<u>5,161.50</u>	(5,161.50)	-100.00%
Net change in fund balance.....	-	292,680.77		
Fund balance, beginning of year.....	2,817,933.65	2,581,923.20		
Fund balance, end of year.....	<u>\$ 2,817,933.65</u>	<u>\$ 2,874,603.97</u>		

CITY OF POOLER, GEORGIA

Fund 210 - Forfeiture Fund
 Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances
 For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>		
REVENUES				
Fines and forfeitures.....	\$ -	\$ -		
Investment earnings.....	-	18.87		
Total revenues.....	<u>-</u>	<u>18.87</u>	(18.87)	-100.00%
EXPENDITURES				
Current				
Public safety.....	-	-		
Total expenditures.....	<u>-</u>	<u>-</u>	-	
Excess (deficiency) of revenues over (under) expenditures.....	<u>-</u>	<u>18.87</u>		
Fund balance, beginning of year.....	182,668.11	120,812.07		
Fund balance, end of year.....	<u>\$ 182,668.11</u>	<u>\$ 120,830.94</u>		

CITY OF POOLER, GEORGIA

Fund 230 - American Rescue Plan Local Fiscal Recovery Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>		
REVENUES				
Intergovernmental grants.....	\$ -	\$ -		
Investment earnings.....	-	891.09		
Total revenues.....	<u>-</u>	<u>891.09</u>	(891.09)	-100.00%
EXPENDITURES				
Current				
Health and welfare.....	-	-		
Total expenditures.....	<u>-</u>	<u>-</u>	-	
Excess (deficiency) of revenues over (under) expenditures.....	<u>-</u>	<u>891.09</u>		
OTHER FINANCING SOURCES (USES)				
Transfers out.....	-	-	-	
Total other financing sources (uses)	<u>-</u>	<u>-</u>		
Net change in fund balance.....	-	891.09		
Fund balance, beginning of year.....	-	7,675.69		
Fund balance, end of year.....	<u>\$ -</u>	<u>\$ 8,566.78</u>		

CITY OF POOLER, GEORGIA

Fund 275 - Accommodation Excise Tax Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>	
REVENUES			
Taxes.....	\$ -	\$ -	
Total revenues.....	<u>-</u>	<u>-</u>	-
EXPENDITURES			
Intergovernmental:			
Assistance.....	-	-	
Total expenditures.....	<u>-</u>	<u>-</u>	-
Excess (deficiency) of revenues over (under) expenditures.....	<u>-</u>	<u>-</u>	
OTHER FINANCING SOURCES (USES)			
Transfers out.....	-	-	-
Total other financing sources (uses)	<u>-</u>	<u>-</u>	
Net change in fund balance.....	-	-	
Fund balance, beginning of year.....	-	-	
Fund balance, end of year.....	<u><u>\$ -</u></u>	<u><u>\$ -</u></u>	

CITY OF POOLER, GEORGIA

**Fund 320 - Special Purpose Local Option Sales Tax (SPLOST) Fund
Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances**

For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>		
REVENUES				
Intergovernmental.....	\$ -	\$ -		
Investment earnings.....	<u>42,123.34</u>	<u>11,893.15</u>		
Total revenues.....	<u>42,123.34</u>	<u>11,893.15</u>	30,230.19	254.18%
EXPENDITURES				
Capital outlay				
Public safety.....	-	52,377.07		
Public works.....	-	27,778.15		
Recreation.....	-	-		
Debt service				
Principal.....	-	-		
Interest.....	-	-		
Total expenditures.....	<u>-</u>	<u>80,155.22</u>	(80,155.22)	-100.00%
Excess (deficiency) of revenues over (under) expenditures.....	<u>42,123.34</u>	<u>(68,262.07)</u>		
Fund balance, beginning of year.....	<u>9,652,831.48</u>	<u>7,698,715.93</u>		
Fund balance, end of year.....	<u><u>\$ 9,694,954.82</u></u>	<u><u>\$ 7,630,453.86</u></u>		

CITY OF POOLER, GEORGIA

Fund 350 - Local Resources Fund

Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

For the One Month Ended January 31, 2024 and 2023

	<u>2024</u>	<u>2023</u>	
REVENUES			
Intergovernmental.....	\$ -	\$ -	
Investment earnings.....	-	-	
Total revenues.....	<u>-</u>	<u>-</u>	-
EXPENDITURES			
Capital outlay			
General government.....	-	-	
Public safety.....	58,575.00	-	
Public works.....	-	-	
Recreation.....	-	-	
Total expenditures.....	<u>58,575.00</u>	<u>-</u>	58,575.00
Excess (deficiency) of revenues over (under) expenditures.....	<u>(58,575.00)</u>	<u>-</u>	
OTHER FINANCING SOURCES (USES)			
Transfers in.....	58,575.00	-	58,575.00
Total other financing sources (uses)	<u>58,575.00</u>	<u>-</u>	
Net change in fund balance.....	-	-	
Fund balance, beginning of year.....	-	-	
Fund balance, end of year.....	<u><u>\$ -</u></u>	<u><u>\$ -</u></u>	

CITY OF POOLER, GEORGIA

Fund 505 - Water and Sewer Fund Comparative Statement of Revenues, Expenses, and Changes in Net Position For the One Month Ended January 31, 2024 and 2023

	2024	2023		
OPERATING REVENUES				
Water fees.....	\$ (11,575.03)	\$ (12,485.44)		
Sewer fees.....	(82,939.04)	(124,404.25)		
Miscellaneous fees.....	14,900.22	15,221.64		
Total operating revenues.....	<u>(79,613.85)</u>	<u>(121,668.05)</u>	42,054.20	-34.56%
OPERATING EXPENSES				
<u>Sewer and Wastewater Treatment Plant</u>				
Purchased and contracted services.....	81,107.65	82,260.32		
Materials and supplies.....	-	31,326.33		
Total sewer and wastewater treatment plant.....	<u>8,108.62</u>	<u>(34,381.35)</u>	42,489.97	-123.58%
<u>Water</u>				
Personnel services and employee benefits.....	57,256.14	46,721.22		
Purchased and contracted services.....	36,314.19	1,879.95		
Materials and supplies.....	140.70	857.34		
Total water.....	<u>(441,475.16)</u>	<u>(308,266.95)</u>	(133,208.21)	43.21%
Total operating expenses.....	<u>(433,366.54)</u>	<u>(342,648.30)</u>	(90,718.24)	26.48%
Operating income (loss).....	<u>353,752.69</u>	<u>220,980.25</u>	132,772.44	60.08%
NONOPERATING REVENUES (EXPENSES)				
Interest income.....	47,233.89	35,069.21		
Interest expense.....	(29,554.34)	(19,650.07)		
Total nonoperating revenues (expenses).....	<u>17,679.55</u>	<u>15,419.14</u>	2,260.41	14.66%
Income (loss) before capital contributions.....	<u>371,432.24</u>	<u>236,399.39</u>	135,032.85	57.12%
CAPITAL CONTRIBUTIONS AND TRANSFERS				
Tap fees.....	48,131.40	98,347.54		
Capital cost recovery charges.....	292,203.94	546,777.64		
Transfers in.....	-	-		
Total capital contributions.....	<u>340,335.34</u>	<u>645,125.18</u>	(304,789.84)	-47.25%
Change in net position.....	711,767.58	881,524.57	(169,756.99)	-19.26%
Net position, beginning of year.....	80,122,554.18	63,204,310.41		
Net position, end of year.....	<u><u>\$80,834,321.76</u></u>	<u><u>\$64,085,834.98</u></u>		



City of Pooler Fire-Rescue Services

Fire-Rescue Report Jan. 1st – 31st, 2024

MAJOR INCIDENT TYPE	# INCIDENTS Jan. 2024	% Of TOTAL Jan. 2024	YEAR to Date 2024	YEAR to Date 2023
Fires	13	2.69%	13	15
❖ Structure Fires	6	-	6	3
Emergency Medical Service	279	57.64%	279	244
Motor Vehicle Collisions	46	9.50%	46	39
Technical Rescues	7	1.45%	7	2
Hazardous Condition (No Fire)	6	1.24%	6	2
Service Call	45	9.30%	45	34
Good Intent Call	49	10.12%	49	39
False Alarm & False Call	39	8.06%	39	36
Severe Weather & Natural Disaster	0	0	0	0
Special Incident/Citizen Complaint	0	0	0	0
TOTAL	484	100%	484	411

*Jan. Call Volume **Increased** from 411 in 2023 to 484 in 2024, (17.76 % increase)*

*For the year, call volume has increased by **73** calls or **17.76%**.*

Total Fire Loss Year to Date 2024 - \$133,921

Total Fire Loss Year to Date 2023 - \$29,543

	January	Year to Date
1. Child Locked in Auto	2	2
2. Animal Locked in Auto	0	0
3. Blood Draws	6	6



Pooler Police Department

Tuesday February 20, 2024

January 2024



- A total of **59 Part 1 crimes** were reported in the month of January.
- From the prior year 2023, there is a **decrease of 2%**
- A total of **27 shopliftings** were reported in the month of January.
- From the prior year 2023, this is an **increase of 8%**.
- **Total Calls for service** in January were **2,441**.
- From the prior year 2023, this is an **increase of 10%**.
- A total of **1,510 citations** were issued in the month of January.
- From prior year 2023, this is a **decrease of 6%**
- A total of **137 arrests** were made in the month of January.
- From the prior year 2023, this is an **increase of 21%**.
- A total of **21 DUI arrests** were made in the month of January.
- From the prior year 2023, this is a **decrease of 19%**.

ACTIVITY	TIME PERIOD 1/1 TO 1/31/2024	YEAR TO DATE 2023	YEAR TO DATE 2022	PERCENTAGE CHANGE FROM 23 - 24
PART 1 CRIMES	59	59	60	-2%
SHOPLIFTINGS	27	27	25	8%
CALLS FOR SERVICE	2,441	2,441	2,225	10%
CITATION	1,510	1,510	1,607	-6%
ARRESTS	137	137	113	21%
DUI ARRESTS	21	21	26	-19%

Pooler Parks & Recreation



Monthly Report: January 2024

Recreation Department

- 1 Dance classes resumed in January. Registration was opened for February
- 2 Gymnastics, classes resumed in January. Registrations for new sessions opened.
- 3 Youth basketball games began at the gyms.
- 4 Registrations for youth spring sports opened, which includes baseball, softball, tball, soccer and volleyball.

5

6

7

Senior Center

- 1 All regularly scheduled classes continued in January.
- 2 Seniors had the opportunity to participate in ceramics with Sunshine Pottery.
- 3 AARP offered a driving course designed for seniors at the center.
- 4 Seniors were able to attend day trips to Rincon and Richmond Hill.

5

6

Parks

- 1 Parks performed routine maintenance at the parks, the community and senior centers, and the cemetery.

2

3

City of Pooler
 Planning & Zoning Minutes
January 22, 2024

CALL TO ORDER:

Chair Nicole Dixon called the meeting to order at 3:01 p.m.
 Commissioner Simmons led the Pledge of Allegiance.

Attendee Name	Title	Status
Nicole Dixon	Planning & Development Director	Present
Brad Rife	Commissioner	Present
Shirlinia Daniel	Commissioner	Present
Jeremy Kelly	Alternate	Present
Scott Cribbs (Fire)	Commissioner	Present
Mark Williams (Public Works)	Commissioner	Present
Jim Ward (Police)	Commissioner	Present
Pete Chaison	Commissioner	Present
Brian Crooks	City Planner	Present
Kimberly Dyer	Zoning Administrator/Secretary	Absent

APPROVAL OF MINUTES

The minutes of the December 11, 2023, Pooler Planning and Zoning Commission were reviewed, and no corrections or amendments were noted.

Result: *Approved*

1-Motion: Commissioner Chaison

2-Second: Commissioner Rife

Passed without opposition (Daniel abstained).

NEW BUSINESS:

A. Text Amendment to Amend Appendix A, Art. II and Art. III to Provide Provisions Related to Multi-use Development

Brian Crooks presented the request to the Commission for their review and recommendation. The request has previously been before the board but was modified from discussion with Council. There was a question related to open space and its definition and requirements. There was also a question about how parcels and PINs would function with this type of development.

Result: *After review of the criteria, a motion was made to recommend approval of the text amendment for Appendix A, Art. II and Art. III to provide for provisions related to multi-use development.*

1- Motion: Commissioner Daniel

2- Second: Commissioner Simmons

Passed without opposition.

Commissioner Rife stepped down from the dais and exited the room. Commissioner Kelly replaced Mr. Rife.

B. Zoning Map Amendment for property on Clear Lake Way from C-2 to R-3(C)

Brian Crooks presented the request to the Commission for their review and recommendation. Harold Yellin was present on behalf of the applicant to provide an overview of the map amendment. There were questions about entrances related to the proposed development. There were questions related to the amount of units presently allowed within the overall development and zoning of adjacent properties.

***Result:** After review of the criteria, a motion was made to recommend approval of the map amendment for lot 5 on Clear Lake Way from C-2 to R-3(C).*

1- Motion: Commissioner Simmons

2- Second: Commissioner Daniel

Passed 5-1 (Brown opposed).

Commissioner Kelly stepped down from the dais and Commissioner Rife returned to the dais.

C. Preliminary Development Plans for Canal Bank Subdivision

Brian Crooks presented the request to the Commission for their review and recommendation. Ben McKay with Maupin Engineering was present to provide an overview of the item and answer any questions. There was a question related to where access for the site is located.

***Result:** After review of the criteria, a motion was made to recommend approval of the preliminary development plans for Canal Bank Subdivision.*

1- Motion: Commissioner Williams

2- Second: Commissioner Simmons

Passed without opposition.

D. Site Plan for Tanger Outlet Parcel #4 at 220 Tanger Outlets Blvd

Brian Crooks presented the request to the Commission for their review and recommendation. Travis Burke with Coleman Company was present to provide an overview of the item and answer any questions.

***Result:** After review of the criteria, a motion was made to recommend approval of the site plan for Tanger Outparcel #4 at 220 Tanger Outlets Blvd.*

1- Motion: Commissioner Williams

2- Second: Commissioner Daniel

Passed without opposition.

E. Site Plan for 212 E US Highway 80

Brian Crooks presented the request to the Commission for their review and recommendation. The applicant was not present. The Commission had questions related to the application and proposed development.

Result: A motion was moved to table the item so the applicant can be present to address the Commission's questions.

- 1- Motion:** Commissioner Daniel
 - 2- Second:** Commissioner Brown
- Passed without opposition.

Commissioner Rife stepped down from the dais and exited the room. Commissioner Kelly replaced Mr. Rife.

F. Final Plat for 360 Communities Phase 1B and Performance Bond for Lift Station electrical work.

Brian Crooks presented the request to the Commission for their review and recommendation. Nathan Long with Thomas & Hutton was present to provide an overview of the item and answer any questions.

Result: After review of the criteria, a motion was made to recommend approval of the Final Plat for 360 Communities Phase 1B and acceptance of the Performance Bond for Lift Station electrical work.

- 1- Motion:** Commissioner Simmons
 - 2- Second:** Commissioner Williams
- Passed without opposition.

The meeting was adjourned by motion at approximately 3:30.

The foregoing minutes are true and correct and approved by me on this 5th day of February 2024.

Brian Crooks, City Planner

**City of Pooler
Townhome Permits
January 2024**

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN #
1/10/2024	231800	Savannah Quarters-Easthavent	285 Oldwood Dr., Lot 558	Dream Finders Homes, LLC	Same	51009N06088
1/10/2024	231801	Savannah Quarters-Easthavent	287 Oldwood Dr., Lot 559	Dream Finders Homes, LLC	Same	51009N06090
1/10/2024	231802	Savannah Quarters-Easthavent	289 Oldwood Dr., Lot 560	Dream Finders Homes, LLC	Same	51009N06091
1/10/2024	231803	Savannah Quarters-Easthavent	291 Oldwood Dr., Lot 561	Dream Finders Homes, LLC	Same	51009N06092
1/10/2024	231804	Savannah Quarters-Easthavent	293 Oldwood Dr., Lot 562	Dream Finders Homes, LLC	Same	51009N06093
1/10/2024	231805	Savannah Quarters-Easthavent	295 Oldwood Dr., Lot 563	Dream Finders Homes, LLC	Same	51009N06094
1/18/2024	24-0006	Savannah Quarters-Easthavent	160 Overbrook Ct., Lot 554	Dream Finders Homes, LLC	Same	51009N06084
1/18/2024	24-0007	Savannah Quarters-Easthavent	162 Overbrook Ct., Lot 555	Dream Finders Homes, LLC	Same	51009N06085
1/18/2024	24-0008	Savannah Quarters-Easthavent	164 Overbrook Ct., Lot 556	Dream Finders Homes, LLC	Same	51009N06086
1/18/2024	24-0011	Savannah Quarters-Easthavent	166 Overbrook Ct., Lot 557	Dream Finders Homes, LLC	Same	51009N06087
1/29/2024	24-0031	Savannah Quarters-Easthavent	351 Oldwood Dr., Lot 564	Dream Finders Homes, LLC	Same	51009N06096
1/29/2024	24-0032	Savannah Quarters-Easthavent	353 Oldwood Dr., Lot 565	Dream Finders Homes, LLC	Same	51009N06097
1/29/2024	24-0033	Savannah Quarters-Easthavent	355 Oldwood Dr., Lot 566	Dream Finders Homes, LLC	Same	51009N06098
1/29/2024	24-0034	Savannah Quarters-Easthavent	357 Oldwood Dr., Lot 567	Dream Finders Homes, LLC	Same	51009N06099
1/29/2024	24-0035	Savannah Quarters-Easthavent	359 Oldwood Dr., Lot 568	Dream Finders Homes, LLC	Same	51009N06100
1/29/2024	24-0036	Savannah Quarters-Easthavent	361 Oldwood Dr., Lot 569	Dream Finders Homes, LLC	Same	51009N06101
1/29/2024	24-0037	Savannah Quarters-Easthavent	363 Oldwood Dr., Lot 570	Dream Finders Homes, LLC	Same	51009N06102
1/29/2024	24-0038	Savannah Quarters-Easthavent	365 Oldwood Dr., Lot 571	Dream Finders Homes, LLC	Same	51009N06103
Total	18					

**City of Pooler
Certificate of Occupancy
January 2024**

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
1/5/2024	221373	Westbrook	629 Blue Moon Xing., Lot 859	Single Family Detached	Logan Homes SC LLC	Same
1/5/2024	230899	Telfari Park	131 Jepson Way, Lot 431	Single Family Detached	Mungo Homes	Same
1/8/2024	230949		1024 W Hwy 80 Ste 201	Live Karaoke/Restaurant Buildout	R/GEO Construction	Randy Chu
1/8/2024	230895	Telfari Park	128 Jepson Way, Lot 382	Single Family Detached	Mungo Homes	Same
1/9/2024	221372	Westbrook	627 Blue Moon Xing., Lot 858	Townhome	Logan Homes SC LLC	Same
1/11/2024	230281	Benton Grove Townhomes	51 Amalfi Ave, Lot 23A	Townhome	Dream Finders Homes	Same
1/11/2024	230282	Benton Grove Townhomes	53 Amalfi Ave., Lot 23B	Townhome	Dream Finders Homes	Same
1/11/2024	230285	Benton Grove Townhomes	55 Amalfi Ave., Lot 23C	Townhome	Dream Finders Homes	Same
1/11/2024	230286	Benton Grove Townhomes	57 Amalfi Ave., Lot 23D	Townhome	Dream Finders Homes	Same
1/11/2024	230289	Benton Grove Townhomes	65 Amalfi Ave., Lot 24C	Townhome	Dream Finders Homes	Same
1/11/2024	230293	Benton Grove Townhomes	71 Amalfi Ave., Lot 25A	Townhome	Dream Finders Homes	Same
1/16/2024	231706	Westbrook	200 Blue Moon Xing, Unt 203	Interior Renovations	Ace Remodeling Services	HTIMS LLC
1/16/2024	231433	Ellis Park	139 Kraft Kove, Lot 298	Single Family Detached	DR Horton	Same
1/17/2024	230571	Towne Park	331 governor Gwinnett Way, Lot 175	Townhome	Horizon Home Builders	Same
1/17/2024	230287	Benton Grove Townhomes	61 Amalfi Ave., Lot 24A	Townhome	Dream Finders Homes	Same
1/17/2024	230288	Benton Grove Townhomes	63 Amalfi Ave., Lot 24B	Townhome	Dream Finders Homes	Same
1/17/2024	230294	Benton Grove Townhomes	73 Amalfi Ave., Lot 25B	Townhome	Dream Finders Homes	Same
1/17/2024	230295	Benton Grove Townhomes	75 Amalfi Ave, Lot 25C	Townhome	Dream Finders Homes	Same
1/18/2024	231143		417 E. Mell St., Lot 31	Single Family Detached	ECHO HomeBuilders	Beta Fish, LLC
1/18/2024	230752	Westbrook	173 Holloway Hill, Lot 1072	Townhome	DR Horton	Same
1/18/2024	230753	Westbrook	171 Holloway Hill, Lot 1073	Townhome	DR Horton	Same
1/19/2024	220985	Westbrook	123 Waterside Ln., Lot 194	Single Family Detached	Village Park Homes, LLC	Same
1/19/2024	220951	Westbrook	121 Waterside Ln., Lot 193	Single Family Detached	Village Park Homes, LLC	Same
1/19/2024	231270	Ellis Park	132 Kraft Kove, Lot 274	Single Family Detached	DR Horton	Same
1/19/2024	231275	Ellis Park	130 Kraft Kove, Lot 275	Single Family Detached	DR Horton	Same
1/19/2024	231331	Ellis Park	142 Kraft Kove, Lot 269	Single Family Detached	DR Horton	Same
1/19/2024	231444	Ellis Park	137 Kraft Kove, Lot 299	Single Family Detached	DR Horton	Same
1/19/2024	231445	Ellis Park	135 Kraft Kove, Lot 300	Single Family Detached	DR Horton	Same
1/19/2024	230479	Westbrook	142 Binscombe Ln., Lot 990	Single Family Detached	Lennar Carolinas	Same
1/22/2024	230573	Towne Park	335 Governor Gwinnett Way, Lot 177	Townhome	Horizon Home Builders	Same
1/22/2024	230570	Towne Park	329 Governor Gwinnett Way, Lot 174	Townhome	Horizon Home Builders	Same
1/22/2024	230572	Towne Park	333 Governor Gwinnett Way, Lot 176	Townhome	Horizon Home Builders	Same
1/22/2024	231332	Ellis Park	140 Kraft Kove, Lot 270	Single Family Detached	DR Horton	Same
1/22/2024	231330	Ellis Park	144 Kraft Kove, Lot 268	Single Family Detached	DR Horton	Same
1/22/2024	231267	Ellis Park	138 Kraft Kove, Lot 271	Single Family Detached	DR Horton	Same
1/22/2024	231164	Ellis Park	124 Kraft Kove, Lot 278	Single Family Detached	DR Horton	Same
1/23/2024	231276	Ellis Park	128 Kraft Kove, Lot 276	Single Family Detached	DR Horton	Same
1/23/2024	231190	Harmony	5 Cantata Cir., Lot 701	Single Family Detached	Landmark 24 Homes of Savannah	Same
1/23/2024	231191	Harmony	7 Cantata Cir., Lot 702	Single Family Detached	Landmark 24 Homes of Savannah	Same

**City of Pooler
Certificate of Occupancy
January 2024**

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
1/23/2024	231193	Harmony	11 Cantata Cir., Lot 704	Single Family Detached	Landmark 24 Homes of Savannah	Same
1/23/2024	231194	Harmony	13 Cantata Cir., Lot 705	Single Family Detached	Landmark 24 Homes of Savannah	Same
1/23/2024	230349	Westbrook	184 Holloway Hill, Lot 1113	Single Family Detached	DR Horton	Same
1/23/2024	230231	Benton Grove Townhomes	56 Amalfi Ave., Lot 27A	Townhome	Dream Finders Homes	Same
1/23/2024	230232	Benton Grove Townhomes	54 Amalfi Ave., Lot 27B	Townhome	Dream Finders Homes	Same
1/23/2024	230233	Benton Grove Townhomes	52 Amalfi Ave., Lot 27C	Townhome	Dream Finders Homes	Same
1/23/2024	230235	Benton Grove Townhomes	50 Amalfi Ave., Lot 27D	Townhome	Dream Finders Homes	Same
1/23/2024	230218	Benton Grove Townhomes	48 Amalfi Ave., Lot 28A	Townhome	Dream Finders Homes	Same
1/23/2024	230219	Benton Grove Townhomes	46 Amalfi Ave., Lot 28B	Townhome	Dream Finders Homes	Same
1/23/2024	230220	Benton Grove Townhomes	44 Amalfi Ave., Lot 28C	Townhome	Dream Finders Homes	Same
1/24/2024	231109	Telfari Park	139 Jepson Way, Lot 427	Single Family Detached	Mungo Homes	Same
1/24/2024	230896	Telfari Park	132 Jepson Way, Lot 384	Single Family Detached	Mungo Homes	Same
1/24/2024	230643	Telfari Park	114 Jepson Way, lot 375	Single Family Detached	Mungo Homes	Same
1/24/2024	231112	Telfari Park	133 Jepson Way, Lot 430	Single Family Detached	Mungo Homes	Same
1/24/2024	230296	Benton Grove Townhomes	68 Amalfi Ave., Lot 26A	Townhome	Dream Finders Homes	Same
1/24/2024	230297	Benton Grove Townhomes	66 Amalfi Ave., Lot 26B	Townhome	Dream Finders Homes	Same
1/24/2024	230298	Benton Grove Townhomes	64 Amalfi Ave., Lot 26C	Townhome	Dream Finders Homes	Same
1/24/2024	230299	Benton Grove Townhomes	62 Amalfi Ave., Lot 26D	Townhome	Dream Finders Homes	Same
1/24/2024	230300	Benton Grove Townhomes	60 Amalfi Ave., Lot 26E	Townhome	Dream Finders Homes	Same
1/25/2024	230852	Westbrook	186 Holloway Hill, Lot 1114	Townhome	DR Horton	Same
1/25/2024	231268	Ellis Park	136 Kraft Kove, Lot 272	Single Family Detached	DR Horton	Same
1/25/2024	231269	Ellis Park	134 Kraft Kove, Lot 273	Single Family Detached	DR Horton	Same
1/25/2024	231024	Westbrook	109 Holloway Hill, Lot 1021	Single Family Detached	Lennar Carolinas	Same
1/26/2024	230226	Benton Grove Townhomes	38 Amalfi Ave., Lot 29A	Townhome	Dream Finders Homes	Same
1/26/2024	230227	Benton Grove Townhomes	36 Amalfi Ave., Lot 29B	Townhome	Dream Finders Homes	Same
1/26/2024	230228	Benton Grove Townhomes	34 Amalfi Ave., Lot 29C	Townhome	Dream Finders Homes	Same
1/26/2024	230229	Benton Grove Townhomes	32 Amalfi Ave., Lot 29D	Townhome	Dream Finders Homes	Same
1/26/2024	230230	Benton Grove Townhomes	30 Amalfi Ave., Lot 29E	Townhome	Dream Finders Homes	Same
1/26/2024	230446	Westbrook	737 Blue Moon Xing., Lot 923	Single Family Detached	Lennar Carolinas	Same
1/29/2024	230802	Towne Park	346 Governor Gwinnett Way, Lot 139	Townhome	Horizon Home Builders	Same
1/29/2024	230803	Towne Park	344 Governor Gwinnett Way, Lot 140	Townhome	Horizon Home Builders	Same
1/29/2024	230804	Towne Park	342 Governor Gwinnett Way, Lot 141	Townhome	Horizon Home Builders	Same
1/29/2024	230805	Towne Park	340 Governor Gwinnett Way, Lot 142	Townhome	Horizon Home Builders	Same
1/30/2024	220614		760 Pine Barren Rd., Lot 3B	Single Family Detached	Hugo Alfaro	Same
1/30/2024	230221	Benton Grove Townhomes	42 Amalfi Ave., Lot 28D	Townhome	Dream Finders Homes	Same
1/30/2024	230222	Benton Grove Townhomes	40 Amalfi Ave., Lot 28E	Townhome	Dream Finders Homes	Same
1/31/2024	200376	Pooler III	3002 Benton Grove Bldg 900	Multi-Family	Morrow Construction	

**Monthly Report
January 2024**

INSPECTORS

Scott MacPherson	319	Inspections (Included in Salary)
Frank Garza	717	Inspections (Included in Salary)
Josh Moody		Inspections
Total Inspections:	1,036	Inspections



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

ORDINANCE O2024-02.A

City Council Regular Meeting Start Time Change

AN ORDINANCE TO AMEND CHAPTER 2, OF THE CODE OF ORDINANCES FOR THE CITY OF POOLER, GEORGIA; TO REPEAL CONFLICTING ORDINANCES; TO SET AN EFFECTIVE DATE AND FOR OTHER PURPOSES.

THE MAYOR AND COUNCILMEMBERS OF THE CITY OF POOLER, GEORGIA, do hereby ordain as follows:

I.

Chapter 2, Section 2-31 of the Code of Ordinances for the City of Pooler is hereby amended by deleting the strikethrough text and adding the underlined text as follows:

Sec. 2-31. Meetings.

- (a) The regular meetings of the aldermanic board Mayor and City Council shall be held at the city hall on the first and third Monday of each month, at 6:00 p.m. ~~4:00 p.m.~~, except when such day is a legal holiday observed by the city, in which case the regular meeting shall be held on the following day at the same time and place. Mayor and City Council may change the day and time for a regularly scheduled meeting by majority vote during any regularly scheduled or specially called meeting.

- (b) Special meetings of the Mayor and City Council may be called by either the Mayor or any four Councilmembers upon 48 hours' notice to the Mayor and all City Councilmembers. This notice may be waived by the Mayor or any Councilmember. Notice to the public of special meetings shall comply with state law regarding open meetings.

II.

This ordinance or part of ordinances in conflict herewith are expressly repealed.

III.

This ordinance shall be deemed adopted immediately upon its approval by the Mayor and City Council of the City of Pooler, Georgia. The effective date of this ordinance following approval shall be April 1, 2024.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council

CITYS SEAL:



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

ORDINANCE O2024-02.B

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES APPENDIX A – ZONING, ARTICLE II – DEFINITIONS AND ARTICLE III – GENERAL PROVISIONS BY ADDING SECTION 32 – MULTI-USE DEVELOPMENT AND AMENDING TABLE 4.1 – ALLOWED USES BY ZONING DISTRICT TO PROVIDE PROVISIONS RELATED TO MULTI-USE DEVELOPMENT; TO REPEAL ALL ORDINANCES IN CONFLICT HERewith; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That APPENDIX A – ZONING, Article II. DEFINITIONS be amended by adding the following language:

Multi-use development. A development site consisting of multiple detached buildings with differing land uses including both residential and non-residential components.

Mixed-use development. A development site consisting of one or more multi-story buildings that include both residential and non-residential principal uses. Mixed-use development typically has non-residential uses on the first floor with upper story residential uses.

II

That APPENDIX A – ZONING, Article III. GENERAL PROVISIONS be amended by adding the following:

Section 32. – Multi-use development.

(A) *Applicability.*

- (1) The provisions of this section shall apply to any new multi-use development as defined in this ordinance.
- (2) Any new multi-use development shall only be allowed as part of an approved site plan.
- (3) Any multi-use development existing prior to the adoption of this ordinance shall be allowed to continue to exist without express compliance with these requirements. Any redevelopment, alteration, expansion, or extension of at least 50 percent of an existing multi-use development shall be required to comply with these requirements.

(B) *Definitions.*

- (1) *Non-residential component.* The minimum required non-residential use portion related to a multi-use development.
- (2) *Open space set-aside.* Portion of the site that is not occupied by buildings, structures, impermeable areas, or driveways, which are intended for the use and enjoyment of the development's residents, employees, and users and is at least 500 sq feet in size and consisting of primarily pervious or semi-pervious surfaces. Open space set-aside is meant to serve as an amenity and includes features such as:
 - a. Natural features, such as groupings of trees and areas of preserved vegetation;
 - b. Recreation areas, such as gazebo and picnic areas, playgrounds or courts, parks, or other like features;
 - c. Any vegetation, tree plantings, or landscape areas not part of parking lots or other hardscapes (unless part of another identified open space set-aside); or,
 - d. Squares, forecourts, or plazas, which are framed and oriented by buildings or streets to provide gathering spaces that are not ancillary or allocated to a residential or non-residential use component, i.e., outdoor dining area or hang-out pad, unless accessible to all users of the site.
- (3) *Phasing plan.* A general development plan that identifies the sequence or phases in which the development is proposed to be accomplished, including the timing of construction of residential and non-residential components, along with all infrastructure, open space, amenities, or other proposed features associated with such.
- (4) *Residential component.* The minimum required residential use portion related to a multi-use development. The residential component shall include apartments, condominiums, or townhouses.

(C) *General Requirements.* Where permitted, any multi-use development shall comply with the following requirements:

- (1) A minimum size requirement of at least 5 acres and a maximum size requirement of no more than 50 acres.
- (2) At least 15 percent of the development shall be designated as open space set-aside as defined in this section. Open space set-aside shall be parceled out and labeled as open space on the plat.
- (3) A phasing plan shall be submitted as part of any application for the development. A Certificate of Occupancy for at least one non-residential building shall be required prior to or simultaneously with the issuance of any Certificate of Occupancy for a residential building.
- (4) A minimum of three distinct use categories shall be required for the development, with at least one comprising the residential component and two comprising the non-residential component. Staff shall review and determine if

the proposed uses within each component are satisfied during a pre-application meeting, prior to site plan submittal.

- (5) No use component shall exceed 75 percent of the uses by acreage within the development.
 - (6) No use category, except for residential, shall exceed 65 percent of the total acreage of the site.
 - (7) Each use category shall comprise at least 10 percent of the gross floor area of all uses.
 - (8) Any use proposed for inclusion within the development shall comply with all use permissions and use requirements related to such use for the zoning district.
 - (9) The development may receive a reduction in the minimum number of required parking spaces by submitting a parking demand study demonstrating that there is reasonable probability the number of parking spaces needed to serve the development is less than what would otherwise be required because of the location, nature, and mixture of uses. An alternative parking or shared parking plan shall be provided with the parking demand study.
 - (10) The land comprising the site shall not be subdivided into separate, individual parcels, except through a horizontal property regime, condominium, land or ground lease, HOA or POA, or other similar property framework.
- (D) *Violations.* Any violation of the requirements of this section shall be subject to the provisions set forth within Article V, Section 12 of Appendix A, along with any and all applicable enforcement procedures, including Section 1-12 of the City of Pooler Code of Ordinances.

III

That APPENDIX A, ARTICLE IV. ZONING DISTRICTS, Table 4.1 *Allowed Uses by Zoning District* be amended to include "Multi-Use Development" as a conditional use in the C-1, Light Commercial, C-2, Heavy Commercial, C-P, Commercial Professional, I-1, Light Industrial, and I-2, Heavy Industrial, districts:

P	Permitted by Right
C	Permitted with Conditional Use Approval
	Prohibited

Table 4.1 Allowed Uses by Zoning District

Uses with NAICS Codes are found within the NAICS Manual : <https://www.census.gov/eos/www/naics/>

Uses in R-1A, R-1B, R-1C are listed in this table under R-1
 Uses in R-2A, R-2B, R-2C are listed in this table under R-2
 Uses in R-3A, R-3B, R-3C are listed in this table under R-3

*Uses in a PUD are determined case-by-case by the Board

NAICS Code	Use	R-1	R-2	R-3	R-4	MH-1	MH-2	MH-3	C-1	C-2	C-P	I-1	I-2	R-A	RA-1	RA-2	PUD*
Principal Uses																	
Principal Residential Uses																	
	Single Family Detached: Site-Built	P	P	P		P	P							P	P	P	
	Single Family Detached: Modular	P	P	P		P	P										
	Single Family Detached: Manufactured Home					P	P	P						P			
	Two Family Dwelling: Duplex		P	P										P	P	P	
	Two Family Dwelling: Modular		P	P													
	Multi Family Dwelling: Townhomes			P	P												
	Multi Family Dwelling: Apartment/Condominium			P	P				C								
	Manufactured Home Park							P									
	Residential Mixed-Use Building								P	P							
	Multi-use Development								C	C	C	C	C				
	Retreat	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C

IV

All ordinances or parts of ordinances in conflict with the ordinance are hereby repealed.

V

If any section, clause, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

VI

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Mayor

ATTEST:

Clerk of Council



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

RESOLUTION R2023-02.A
To Amend the 2024 Pooler Schedule of Fees

WHEREAS, the City of Pooler provides a number of services on a regular basis within the city; and

WHEREAS, each of these services cost the city to administer and carry out; and

WHEREAS, there is a desire to accurately and correctly reflect the costs of these various services in schedules that reimburse the city for the time and expenses incurred by performing these services; and

WHEREAS, the fees and fines for all departments are reviewed and adjusted periodically as deemed appropriate and fiscally responsible; and

WHEREAS, the most recent review has determined that costs associated with providing services has increased to a degree that it is necessary to make adjustments in order to meet current needs and demands; and

WHEREAS, the amended Schedule of Fees is attached as Exhibit A;

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Pooler that the amended Schedule of Fees as attached is hereby adopted.

ADOPTED this 20th day of February 2024.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

32 LICENSES AND PERMITS			
32.1000 BUSINESS LICENSES			
32.1100	Alcoholic Beverage License Fees:		
	A1 Retail package: liquor, beer and wine	1,850.00	
	A2 Retail package: beer and wine	800.00	
	A3 Retail package: beer only	600.00	
	B1 Consumption on-permises: liquor, beer and wine	2,150.00	
	B2 Consumption on-permises: beer and wine	1,000.00	
	B3 Consumption on-permises: beer only	750.00	
	C Wholesale liquor	3,200.00	
	D Wholesale beer and wine	1,900.00	
	E Brewer, manufacturer of malt beverages, (does not include brewpubs or homebrewers)	1,075.00	
	F1 Hotels	2,500.00	
	F2 Special event venue	2,000.00	
	G Manufacturer of wine	2,250.00	
	H Distiller, manufacturer of distilled spirits	2,250.00	
	I Temporary/private event (not including home-brew events), per day, max 2-days	100.00	
	J Home-brew special event permit, per day, max 2-days and 6-days per annum	100.00	
	K Complimentary beer and wine	250.00	
	L Consumption off-premises (caterer): liquor, beer and wine	1,500.00	
32.1100	Alcoholic Beverage Add-on fees:		
	A Brewpub operator permit, requires qualifying license (B1, B2, B3, or E)	850.00	
	C1 Sunday sales (retail) permit, requires qualifying license (A1, A2, A3, C, D, E, F1, F2, G, or H)	750.00	
	C2 Sunday sales (11:00 am) permit, requires qualifying license (B1, B2, B3, F1 or F2)	1,000.00	
32.1900	Alcohol Application Fees:		
	New application fee (license classes A1 - H, and L)	290.00	
	New application fee (license classes I, J, and K)	20.00	
	Application renewal fee	50.00	
32.1900	Investigative fee for alcoholic beverage licenses	20.00	
32.1900	Nonprorated, nonrefundable business license administration fee	25.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

32.2000 NON-BUSINESS LICENSES AND PERMITS			
32.2210	Cell Tower Submittal Fee:		
	New structure (does not include cost for site plan or conditional use)	5,000.00	3,500.00
	Modification of existing cell tower	500.00	
	Replacement or co-location	500.00	
32.2210	Conditional Use Request (CUP):		
	Includes one (1) sign	350.00	
	Amendment to conditions placed on CUP	350.00	
32.2210	Culvert permit	35.00	
32.2210	Land Disturbing Activity (LDA) permit	150.00	
	Per acre	40.00	
32.2210	Map amendment for PUD Master Plan fees:		
	Change in development standards, density, etc	350.00	
32.2210	Map amendment petition: Fees shall accompany application		
	Area less than or equaling 1 acre + \$50 per lot	300.00	
	Area greater than 1 acre + \$50 per lot	600.00	
32.2210	Sign permit - \$10 per each \$1,000 or fraction thereof by total valuation (minimum fee \$50.00)		
	Sign permit - special events	50.00	
32.2210	Subdivisions:		
	Minor subdivision:		
	Preliminary plan - plus \$20.00 per lot	350.00	
	Final plat	350.00	
	Major subdivision:		
	Sketch plan	350.00	
	Preliminary plan - plus \$20.00 per lot	2,000.00	
	Final plat w/maintenance bond review	600.00	
	Final plat w/performance bond review	600.00	
	Five-acre tract subdivision:		
	Final plat	350.00	
	Revisions to recorded plat fees:		

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

	<i>2024 Fee</i>	<i>2023 Fee</i>
Recombinations, combinations	350.00	
Resubmittal of pending subdivision plan for review (Major & Minor only)		
≥ 20 outstanding comments	500.00	
Between 19 and 11 outstanding comments	375.00	
Between 10 and 4 outstanding comments	250.00	
≤ 3 outstanding comments	125.00	
32.2210 Variance request (includes one (1) sign)	350.00	
32.2210 Well permit:		
Shallow wells (less than 75 feet)	35.00	
Deep wells (75 ft and over)	65.00	
32.2210 Zoning text amendment	350.00	
32.2900 Burn permit	50.00	
32.2900 Door-to-Door Solicitation; Base annual fee	200.00	
Per person/per day fee	50.00	
32.2900 Live Entertainment permit, per year	100.00	
32.2900 Special Event permit	300.00	
32.2900 Timber harvesting permit	50.00	
32.2900 Tree Removal permit	50.00	
32.2900 Tire disposal fees:		
Passenger cars/light weight truck tires (off rim)	3.00	
Passenger cars/light weight truck tires (on rim)	5.00	
Heavy weight truck tires (off rim)	15.00	
Heavy weight truck tires (on rim)	25.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

32.3000 REGULATORY FEES		2024 Fee	2023 Fee
32.3100	Boring Fees:		
	0' to 20'	1,500.00	
	20' to 50'	2,500.00	
32.3100	Building Permit Fees:		
	Single family residence - 2,500 sq ft or less	500.00	
	Single family residence - 2,501 sq ft - 5,000 sq ft	600.00	
	Single family residence - 5,001 sq ft - 7,500 sq ft	700.00	
	Single family residence - 7,501 sq ft - 10,000 sq ft	800.00	
	Single family residence - 10,001 sq ft and over	900.00	
	Multi-family (per unit)	500.00	
	Commercial projects (i.e., pools, buildings) - by total valuation:		
	0 999	50.00	
	1,000 to 50,000 First 1,000 50.00 (+ 10.00 for each add'l thousand or fraction thereof)		
	50,001 to 100,000 First 50,000 540.00 (+ 8.00 for each add'l thousand or fraction thereof)		
	100,001 to 500,000 First 100,000 940.00 (+ 6.00 for each add'l thousand or fraction thereof)		
	500,001 and over First 500,000 3,340.00 (+ 4.00 for each add'l thousand or fraction thereof)		
32.3100	Residential- Remodel, Renovations, Additions - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$50.00		
32.3100	Demolition permit - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$50		
32.3100	Fence permit - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$50		
32.3100	Solar Panel: \$10 per each \$1,000 or fraction thereof by total valuation (includes cost of inspection) with minimum fee of \$50		
32.3100	Inspection fees (per inspection):		
	Electrical	50.00	
	Garages, storage building	50.00	35.00
	Mechanical	50.00	
	Plumbing	50.00	
	Emergency Responder Communication Coverage (commercial)	500.00	
	Reinspection fees:		
	1st building permit reinspection	50.00	

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

	<i>2024 Fee</i>	<i>2023 Fee</i>
2nd building permit reinspection	75.00	
Curb and gutter	50.00	
Meter	50.00	
Sidewalk	50.00	
Stabilization	50.00	
Tree	50.00	
32.3100 Mobile home or construction trailer permit	65.00	
32.3100 Moving permit (relocation of existing structure)	65.00	
32.3100 Pool permits:		
Above ground	50.00	
Private pool - inground - \$10 per each \$1,000 or fraction thereof by total valuation with minimum fee of \$100		

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

34 CHARGES FOR SERVICES			
34.1000 GENERAL GOVERNMENT			
34.1300	Arborist (per acre)	150.00	
34.1300	Flood Maps:		
	Small	5.00	
	Large	10.00	
34.1300	Plan Review Fee:		
	Residential	50.00	
	Commercial	300.00	
	Commercial retrofitting space	150.00	
	Commercial buildout	150.00	
34.1300	Site plan review submittal fees:		
	Site plan submittal fee	3,000.00	
	Resubmittal of pending site plan for review		
	≥ 20 outstanding comments	500.00	
	Between 19 and 11 outstanding comments	375.00	
	Between 10 and 4 outstanding comments	250.00	
	≤ 3 outstanding comments	125.00	
	Revisions to an approved site plan	1,500.00	
	Site Addition	350.00	
34.1300	Zoning fees:		
	Verification letter	50.00	
34.1300	Zoning maps:		
	Small	5.00	
	Large	10.00	
34.1400	Copy fee (per page)	0.10	
34.1900	Notary fee (per page)	2.00	
34.1900	Stop work order fee	500.00	

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

2024 Fee

2023 Fee

	<i>2024 Fee</i>	<i>2023 Fee</i>
34.1900 Towing fees:		
Services provided by head-out wrecker service, not to exceed	85.00	
Vehicle storage (provided by head-out wrecker service), per day	15.00	

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

2024 Fee

2023 Fee

34.4000 UTILITIES / ENTERPRISE			
34.4100	Sanitation rates *		
	Sanitation-only user deposit (renters)	75.00	
	Wheeled trash carts - non-refundable deposit, per cart	75.00	
	Residential trash service (includes one (1) recycling cart service), per month, one (1) trash cart	23.72	23.14
	Residential trash service - additional trash cart, per month	11.25	10.97
	Commercial trash service (carts), per month	26.89	26.23
	Additional recycling cart - residential/commercial (with trash cart service) carts, non-refundable deposit, per cart	25.00	
	Additional recycling service fee, per month/per cart	8.73	8.52
	Re-delivery fee for repossessed carts	50.00	
34.4211	Water rates:*		
	Residential, single family dwelling units, condominiums, townhouses, apartments per unit, per month:		
	Base charge for first 2,000 gallons	10.88	10.62
	2,001 gallons to 8,000 gallons, per 1,000 gallons	2.86	2.79
	8,001 gallons to 14,000 gallons, per 1,000 gallons	4.53	4.42
	Over 14,000 gallons, per 1,000 gallons	8.59	8.38
	Commercial, per month:		
	Base charge for first 5,000 gallons	48.94	47.75
	5,001 gallons to 25,000 gallons, per 1,000 gallons	2.86	2.79
	25,001 gallons to 225,000 gallons, per 1,000 gallons	4.27	4.17
	Over 225,000 gallons, per 1,000 gallons	8.59	8.38
	Hotels, motels, hospitals, nursing homes, per month, per room:		
	Base charge for first 1,000 gallons	3.43	3.35
	1,001 gallons to 2,000 gallons, per 1,000 gallons	2.86	2.79
	2,001 gallons to 5,000 gallons, per 1,000 gallons	4.27	4.17
	Over 5,000 gallons, per 1,000 gallons	8.59	8.38
	Senior citizens, per month:		
	Base charge for first 2,000 gallons	7.76	7.57
	2,001 gallons to 8,000 gallons, per 1,000 gallons	2.11	2.06
	8,001 gallons to 14, 000 gallons, per 1,000 gallons	3.13	3.06
	Over 14,000 gallons, per 1,000 gallons	6.30	6.15
	Multi-family on master meter, per unit, per month:		

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

	2024 Fee	2023 Fee
Base charge for first 2,000 gallons	10.88	10.62
2,001 gallons to 8,000 gallons, per 1,000 gallons	2.86	2.79
8,001 gallons to 14,000 gallons, per 1,000 gallons	4.53	4.42
Over 14,000 gallons, per 1,000 gallons	8.59	8.38
Industrial: Water rates same as commercial		
Service call / disconnect / re-connect fee, requested by customer	55.00	
Service call - more than one (1) hour, per 1/4 hour	10.00	
Water: Backflow preventer inspection fees (effective 08-20-12):		
Up to 2", per device	75.00	
Up to 2", more than five (5) devices for same property, per device	50.00	
Over 2", per device	100.00	
Re-test, if device fails and has to be repaired by certified plumber	25.00	
Utility service rates (effective 08-21-17):		
Residential water service deposit (renters only)	150.00	
Commercial water service deposit (renters only)	300.00	
Water service fee - courtesy, three (3) days maximum, non-refundable	50.00	
Penalty for non-payment for each meter scheduled for disconnection:	50.00	
Hydrant meters, monthly fee	48.94	47.75
Per 1,000 gallons	3.09	3.02
Charge for failure to bring meter in for reading	50.00	
Swimming pool - fee for fire department to fill pools, plus charge for water used as stated above	25.00	
Deposit	993.00	
Permit fee	120.00	
34.4212 Water meters:		
Three-fourths inch	682.73	565.00
One inch	1,115.46	820.00
One and one half inch, plus flange kit	1,290.00	1,287.00
Two inch, plus flange kit	1,490.00	1,465.00
Three inch	1,885.00	1,725.00
Four inch	3,275.00	2,950.00
Six inch	5,650.00	5,210.00

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

	2024 Fee	2023 Fee
Eight inch	9,135.00	8,425.00
Ten inch	11,810.00	10,840.00
Water meters - Fire line:		
Four inch F2 compact	7,295.00	7,275.00
Six inch F2 compact	9,695.00	9,675.00
Eight inch F2 Fire Service	15,375.00	14,080.00
Ten inch F2 Fire line	20,720.00	19,400.00
MXU Radio Read Fee: per meter	160.00	150.00
Replace damaged MXU <i>(No charge for first device replacement)</i>	160.00	150.00
34.4214 Water meter repair parts/repair fees:		
Dual check for 3/4" meter	70.00	49.50
Star 3/4"	47.96	34.75
Iron lid for 3/4" box 3/4" meter	31.80	30.00
3/4" box (includes brass and recessed lids)	145.00	140.00
	419.77	335.00
Dual check for 1" meter	113.74	67.50
Ball valve for 1" meter	-	77.50
Star 1"	80.58	55.35
Iron lid for 1" 1" meter	66.00	50.00
1" box (includes brass and recessed lids)	230.00	195.00
Sensor wire	691.14	545.00
MXU mushroom lid housing assembly	26.00	22.00
	30.50	-
34.4255 Sewer rates *		
Residential, single family dwelling units, condominium, townhouses and apartments, per unit, per month:		
Base charge	14.67	14.31
Per 1,000 gallons	3.79	3.70
Unmetered residences or residences on private waterwells, flat rate, per month	31.07	30.31
Commercial, per month		
Base charge	48.94	47.75

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

	<i>2024 Fee</i>	<i>2023 Fee</i>
0-5,000 gallons, per 1,000 gallons	3.79	3.70
Over 5,000 gallons, per 1,000 gallons	4.22	4.12
Hotels, motels, hospitals, nursing homes, per month, per room		
Base charge	6.52	6.36
First 3,000 gallons, per 1,000 gallons	3.79	3.70
Over 3,000 gallons, per 1,000 gallons	4.23	4.12
Multi-family on master meter		
Base charge, per unit	14.67	14.31
Per 1,000 gallons	3.79	3.70
Senior Rate		
Base charge	12.42	12.12
Per 1,000 gallons	2.96	2.89
Industrial		
Domestic strength sewage - rate same as commercial		
Industrial strength sewage - rates to be negotiated		
Municipal - rates to be negotiated		
Septic tank companies - dumping fee, per 1000 gallons - effective 6-1-19	150.00	
Reuse water, per 1000 gallons	0.75	
*2.5% increase effective every January 1st		

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

	2024 Fee	2023 Fee
34.6000 OTHER FEES		
34.6410 Background Check Fees	30.00	
34.7000 CULTURE AND RECREATION		
34.7500 Recreation program fees:		
Youth Sports:		
Online Resident fee	40.00	
Walk-in Resident fee	45.00	
Online Non-Resident fee	85.00	
Walk-in Non-Resident fee	90.00	
Late registration fee	10.00	
Adult Sports:		
Basketball - Team Registration	400.00	
34.7500 Gymnastics and Tumbling:		
Online fee	40.00	
Walk-in fee	45.00	
34.7500 Dance:		
10 years old and under	50.00	
10 years old or older	60.00	
34.7800 Leisure Services - Senior Citizens:		
Membership fee - non Pooler/Bloomingdale residents - quarterly fee	25.00	
34.9000 OTHER CHARGES FOR SERVICES NOT INCLUDED ABOVE		
34.9000 Returned check charge	35.00	
34.9100 Cemetery Fees:		
Burial Administrative Fee	75.00	
34.9900 Convenience Fee - online utility payments	3.50%	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

37 CONTRIBUTIONS AND DONATIONS FROM PRIVATE SOURCES		
37.1000	Tree Fund Contributions	
	Payment in lieu for tree replacement, removal of significant trees (per Sec. 42-198)	2,000.00
	Payment in lieu for tree replacement, commercial and industrial hardship alternative (per Sec. 42-199)	475.00
37.1001	Tap-in fees - Water (does not include cost of meter):	
	Three-fourths by five-eighths inch meter (single family residential)	500.00
	One inch meter	500.00
	One and one-half inch meter or two inch meter, plus \$150 per unit	500.00
	Three inch meter, plus \$150 per unit	1,250.00
	Four inch meter, plus \$150 per unit	2,500.00
	Six inch meter, plus \$150 per unit	4,700.00
	Eight inch meter, plus \$150 per unit	5,800.00
	Ten inch meter, plus \$150.00 per unit	6,900.00
	Hotels, motels, inns, initial connection expansion, plus \$150 per room	4,500.00
	Restaurants:	
	Freestanding, plus \$140 per seat	2,500.00
	Buildout / Hotel restaurant, per seat	125.00
	Service Stations:	
	Service stations, no facilities	2,500.00
	With car washing facilities	4,500.00
	Car wash only	4,000.00
	Office, retail, shops, other commercial establishments:	
	Three-fourths inch meter	500.00
	One inch meter	500.00
	One and one-half inch meter or two inch meter	500.00
	Two inch meter - plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons, per month	500.00

CITY OF POOLER, GEORGIA
SCHEDULE OF FEES

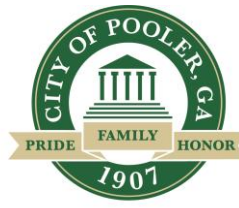
	2024 Fee	2023 Fee
Industrial:		
Three-fourths by five-eighths inch meter	500.00	
One inch meter	500.00	
One and one-half inch meter or two inch meter	500.00	
Three inch meter	1,250.00	
Four inch meter	2,500.00	
Six inch meter	4,700.00	
Eight inch meter, plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons, per month	5,800.00	
37.1002 Tap-in fees - Sewer:		
Single family and multi-family residential, per unit	500.00	
Commercial/industrial, plus \$10.00 per 1,000 gallons of anticipated water use over 8,000 gallons per month	500.00	
Special commercial - hotels, motels, hospitals, nursing homes, plus \$75.00 per room	500.00	
Capital Cost Recovery Fees (per ERU):		
37.1004 1998 GEFA Loan (Savannah Quarters)	1,666.00	
37.1005 2003 GEFA Loan (Morgan Tract, Morgan Pines, Oglethorpe Square)	3,400.00	
37.1006 2005 GEFA Loan (Hunt Club)	1,830.00	
37.1006 2005 GEFA Loan (Morgan Lakes)	1,780.00	
Capital Cost Recovery Fees (per ERU):		
37.1007 City of Savannah	1,415.00	
Godley Station area north end Pooler Pkwy		
JACP Properties		
Capallo Family (Hunt Club)		
Morgan Lakes		
Savannah Quarters area south end of Pooler Pkwy		
37.1008 Wastewater treatment plant capital cost recovery fee		
	per gallon 13.58	
	per ERU 4,074.00	

**CITY OF POOLER, GEORGIA
SCHEDULE OF FEES**

2024 Fee

2023 Fee

38 MISCELLANEOUS REVENUE			
38.1000 RENTS AND ROYALITIES			
38.1000	Picnic shelter rental (in Sangrena Woods):		
	Deposit - refundable once key is returned and no damage found	50.00	
	Rental fee (per day - Pooler Resident)	200.00	
	Rental fee (per day - Non Resident)	300.00	
38.1000	Recreation park rental fees:		
	Complex @ 200 Preston Stokes Drive, per field, weekdays beginning 5:00 p.m. or later	75.00	
	Complex @ 200 Preston Stokes Drive, per field, Saturday/Sunday/weekdays prior to 5:00 p.m.	150.00	
	Complex @ 900 S. Rogers Street), per field, per day	100.00	
	Pitching machines, per machine, per day	25.00	
38.1000	Standard Specifications CD	75.00	
38.9001	Excavation permit	35.00	



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Zoning Map Amendment for Clear Lake Reserve Lot 5

Project:	#231730
P&Z Meeting Date:	January 22, 2024
Public Hearing Date:	February 20, 2024
Applicant and Authorized Agent:	Pooler Parkway of GA, LLC (Adam Bryant)
Location (Address):	Clear Lake Way (Clear Lake Reserve, Lot 5)
Parcel (PIN):	51011F 01005
Existing Zoning:	C-2
<hr/>	
Zoning Action:	Zoning Map Amendment
Request:	Request to rezone the subject site from C-2 to R-3-C
<hr/>	
Application Filed:	December 12, 2023
Legal Notice Published:	January 21, 2024
Sign Posted:	January 10, 2024
Letters Mailed:	January 10, 2024
<hr/>	
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
Recommended Motion:	<i>"After review of the criteria, move for approval of the request."</i>
<hr/>	
Background:	The subject site is approximately 14.845 acres located in Clear Lake Reserve. The subject site is centrally located within the

development and bounded by Kita Ave, E Marketplace, and Clear Lake Way. The site is undeveloped and presently wooded.

The applicant is requesting to rezone from C-2 to R-3-C for a multifamily development. Under the requested zoning, a maximum of 296 units would be permitted for multi-family.

Clear Lake Reserve is centrally located along Pooler Parkway approximately halfway between US Highway 80 and I-16. It is a mixed-use development with a variety of commercial and residential uses planned, permitted, and under construction. The residential components are located to the south of the subject site off of Clear Lake Way. The only active commercial use, a retail shopping plaza, is located across the subject site on E Marketplace Way.

The Pooler 2040 Comprehensive Plan includes this area within the Residential character area. The FLUM designates this area as Residential.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *In part, yes, this would be a logical extension of an existing zoning boundary. The residential component of Clear Lake Reserve (360 Communities) is zoned R-3-C. This request would then be an extension of that same zoning district. The larger portion of the residential zone is separated by commercial frontage that generally is not usable for commercial development (wetlands or drainage ponds). Because of this, the rezoning would serve to improve the pattern of potential uses for the residential components where there is a transition from commercial to higher intensity residential to less intense residential uses throughout the development.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, the request would entail extension of existing zoning districts. Likewise, the request is of a substantial enough size to exist on its own. Further, the request is consistent with the recommendations of the 2040 Comp Plan as the area is designed as residential in the FLUM and Character Area map.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established

single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?

- *The proposed use would be located off a major roadway and corridors designed and intended for higher levels of traffic. The proposed use would not traverse through residential neighborhoods but through a mostly commercial development.*

4. Will this request place irreversible limitations on the area as it is or on future plans for it?

- *No, the FLUM designates this area for residential development. Likewise, the proposed zoning districts would be compatible and consistent with the existing districts and uses found within the general area. Further, Clear Lake Reserve is designed and intended as a mixed-use development with a variety of uses.*

5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?

- *There is a need for additional housing within the City as commercial development and growth in the larger region continues. The master developer of Clear Lake Reserve appears to have an intended user for the site with the intent to develop the site for multifamily residential.*

6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?

- *No, the proposed multifamily residential use would not be in conflict with the existing development pattern and would complement the nearby residential and commercial development.*

7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?

- *It is unlikely that additional requests for R-3-C would occur within the area. Most of the other sites are not conducive to multifamily uses and are suitable for commercial or retail. Likewise, potential land use impacts related to multifamily development are less than those that would occur with commercial development.*

8. Will the action adversely impact adjacent or nearby properties in terms of:

- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and

air that is incompatible with the established development pattern?

- *No, the proposed use would not affect the surrounding development or properties. Any potential traffic issues would need to be addressed as part of the site plan process in order for the use to be established.*

- Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?

- *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable. Additionally, because the property is surrounded by right-of-way, the subject site would not abut any commercial tracts, thereby negating any potential required buffers for future commercial development.*

- Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?

- *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*

9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility of the developer and would not place a burden on the City.*

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Clear Lake Reserve Map
- C. Application and Submittal Documentation



CITY OF POOLER
 GEORGIA
A great place to Live, Work and Play

Project #231730 - Clear Lake Reserve Rezoning

01/17/2024

Parcels







CITY OF POOLER
 GEORGIA
A great place to Live, Work and Play

**Project #231730 -
 Clear Lake
 Reserve Rezoning**

01/17/2024

Parcels



Conceptual Site Plan

Clear Lake Vista - Pooler, GA

SITE DATA:
 PARCEL AREA: +/- 14.84 ACRES

PROPOSED DEVELOPMENT SUMMARY:

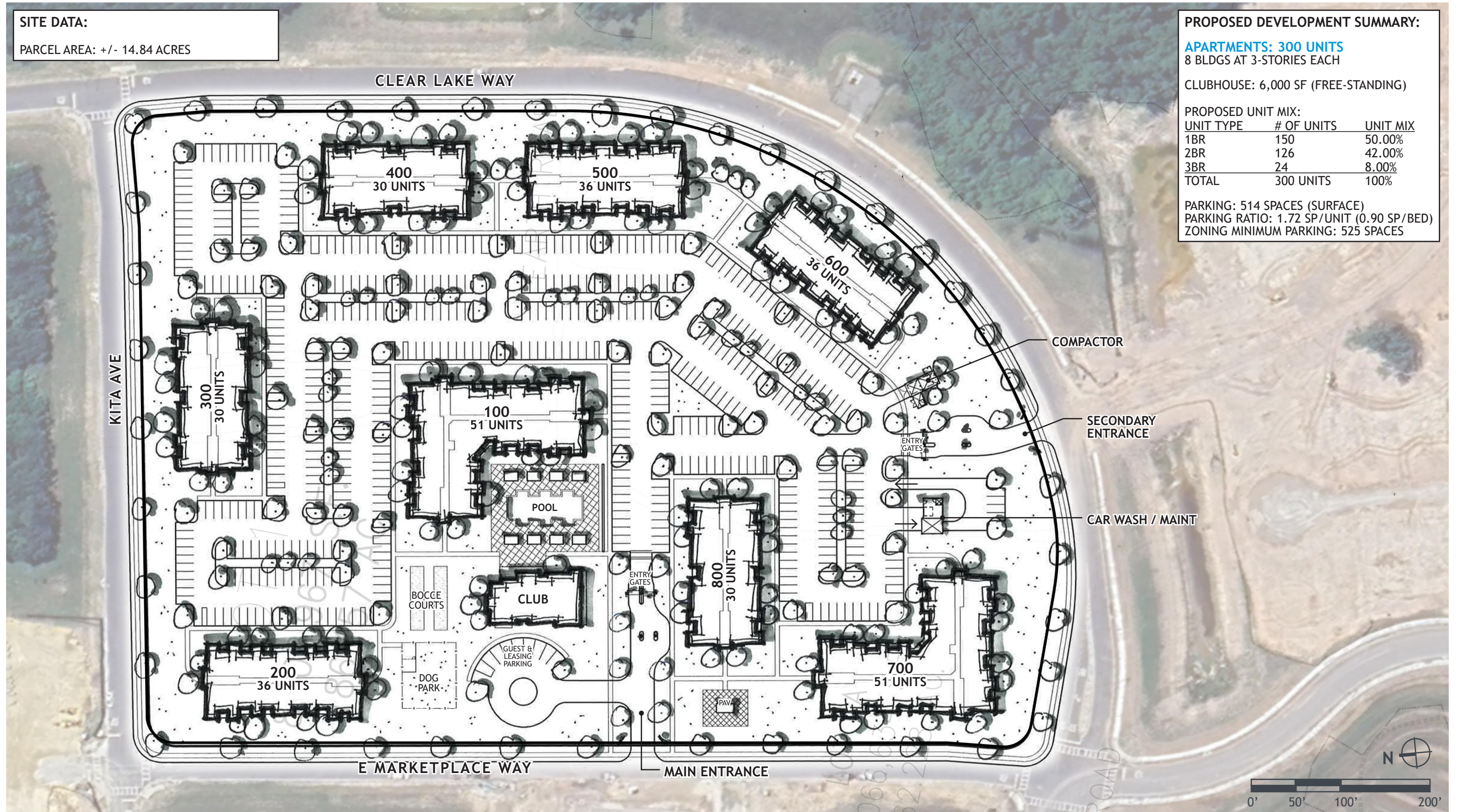
APARTMENTS: 300 UNITS
 8 BLDGS AT 3-STORIES EACH

CLUBHOUSE: 6,000 SF (FREE-STANDING)

PROPOSED UNIT MIX:

UNIT TYPE	# OF UNITS	UNIT MIX
1BR	150	50.00%
2BR	126	42.00%
3BR	24	8.00%
TOTAL	300 UNITS	100%

PARKING: 514 SPACES (SURFACE)
 PARKING RATIO: 1.72 SP/UNIT (0.90 SP/BED)
 ZONING MINIMUM PARKING: 525 SPACES



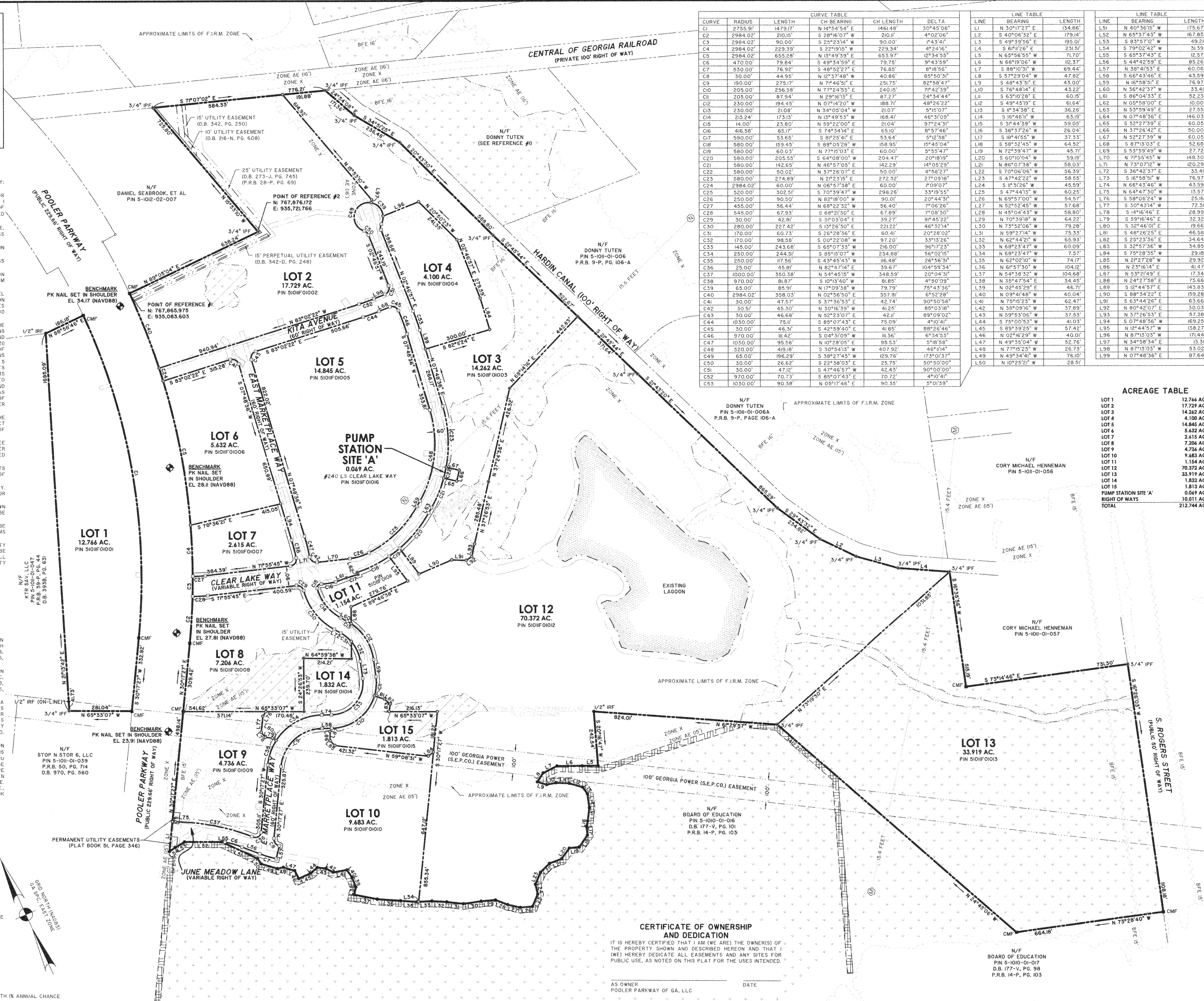
Type: PLAT
 Recorded: 1/26/2022 3:11:00 PM
 Fee Amt: \$40.00 Page 1 of 4
 Chatham Co. Clerk Superior Court
 Tammie Mosley Clerk Superior Court
 Participant ID: 4498674959
BK 53 PG 278 - 281

THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

- NOTES**
- FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM90 R2
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 161,860 FEET, AN ANGULAR ERROR OF 0" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS METHOD.
 - ALL CORNERS MARKED WITH 3/4" IRON PIPE, 24" LONG WITH CAP STAMPED "T&H" UNLESS OTHERWISE NOTED.
 - THIS PLAT HAS A PRECISION OF ONE FOOT IN 1245,500 FEET OR BETTER.
 - ELEVATIONS ARE BASED ON NAVD83, UNLESS OTHERWISE NOTED.
 - COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
 - ACCORDING TO F.I.R.M. MAP NO. 13051C, PANEL 0107H, REVISED AUGUST 15, 2018, A PORTION OF THE PROPERTY SHOWN ON THIS PLAT LIES IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATIONS IS FEET AND 16 FEET).
 - WETLANDS SHOWN ARE BASED UPON THE APPROVED JURISDICTIONAL DETERMINATIONS (SAS-2001-00845, DATED JULY 8, 2021, AND SAS-2021-00370, DATED JULY 8, 2021) ISSUED BY THE US ARMY CORPS OF ENGINEERS. THESE APPROVED VERIFICATIONS (JD'S) REMAIN VALID FOR A PERIOD OF 5 YEARS UNLESS NEW INFORMATION WARRANTS REVISIONS PRIOR TO THAT DATE. LOT OWNERS AND THE DEVELOPER ARE ADVISED TO REVIEW THE JD'S TO UNDERSTAND APPLICABLE COMPLIANCE REQUIREMENTS, AS PENALTY BY LAW FOR DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL MAY OCCUR.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - FOR PROPOSED WATER LINE EASEMENTS, SEE SHEET 2. FOR PROPOSED SANITARY ZONE EASEMENTS SEE SHEET 3. FOR PROPOSED DRAINAGE EASEMENTS SEE SHEET 4.
 - WATER & SEWER UTILITIES AND EASEMENTS ARE HEREBY DEDICATED TO THE CITY OF POOLER FOR OWNERSHIP AND MAINTENANCE.
 - LINE TAGS ARE NUMBERED CONSECUTIVELY. SOME TAGS HAVE BEEN OMITTED FOR CLARITY AND LEGIBILITY.
 - ALL PROPOSED RIGHTS-OF-WAY SHOWN HEREON WITHIN THE SUBDIVISION ARE TO BE PRIVATE.
 - THE CITY OF POOLER SHALL NOT BE RESPONSIBLE FOR STORM DRAINAGE SYSTEMS OR DETENTION PONDS AND ARE PRIVATE.
 - POOLER PARKWAY OF GA, LLC PROPERTY OWNERS ASSOCIATION (POA) WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARCELS AND ITEMS NOT OWNED BY THE CITY OF POOLER.

- REFERENCES**
- A LIMITED WARRANTY DEED BY AND BETWEEN DONNY TUTEN AND LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 737, CHATHAM COUNTY RECORDS.
 - A LIMITED WARRANTY DEED BY AND BETWEEN LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, AND DONNY TUTEN, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 696, CHATHAM COUNTY RECORDS.
 - AN ALTA/NSPS LAND TITLE SURVEY OF A 243.949 ACRE PORTION OF THE LANDS KNOWN AS THE RYALS TRACT, PREPARED FOR THE BLACKWOOD RYALS ESTATE, BY THOMAS & HUTTON ENGINEERING CO., DATED JANUARY 13, 2017, UNRECORDED, BEARING T&H JOB NO. 2549-0001.
 - AN 88.400 ACRE SURVEY SHOWING A PORTION OF PARCEL "E" AND THE REMAINING PORTIONS OF PARCELS "B" AND "D" AND LOTS 45 THRU 48, AND LOT 54, A PORTION OF PHASE ONE-ADDITION TWO OF GARDEN ACRE ESTATES, FORMERLY OF THE J.E. TUTEN PROPERTY, PREPARED FOR DONNY & R.E. TUTEN, BY EMC ENGINEERING SERVICES, INC., DATED MAY 2, 1988, RECORDED IN PLAT BOOK 99, PAGE 160A, CHATHAM COUNTY RECORDS.

- LEGEND**
- BENCHMARK
 - COMPUTED POINT (NO MONUMENT)
 - CONCRETE MONUMENT (FOUND)
 - IRON PIPE (FOUND)
 - IRON PIPE (SET)
 - IRON REBAR (FOUND)
 - ADJOINER PROPERTY LINE
 - FRESHWATER WETLAND EDGE
 - UTILITIES EASEMENT
 - POWER LINE EASEMENT
 - FRESHWATER WETLAND (JURISDICTIONAL)
 - FRESHWATER WETLAND (NON-JURISDICTIONAL)



CURVE TABLE

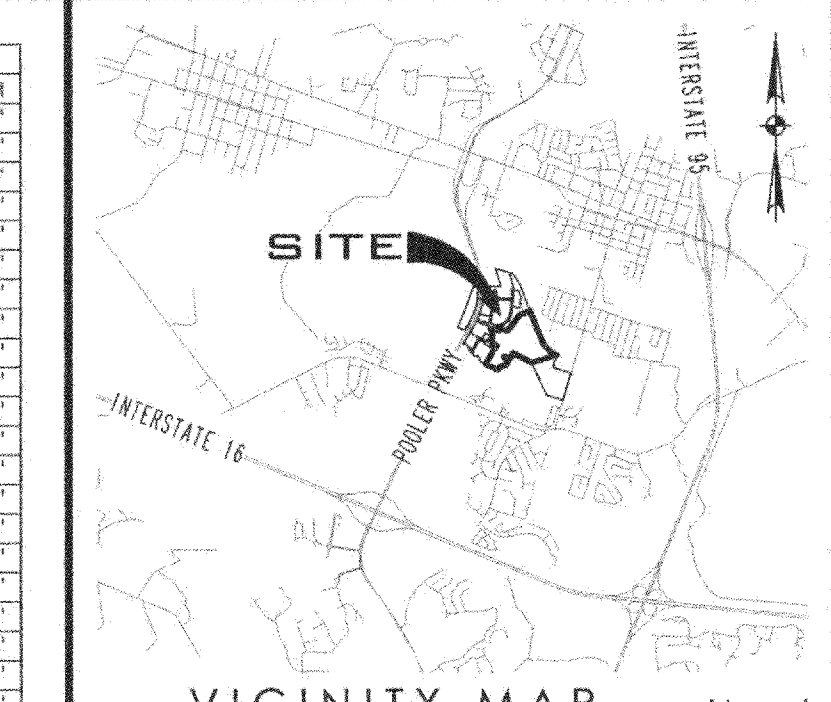
CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	2755.91'	1479.17'	N 14°54'54" E	1461.48'	30°45'06"
C2	2984.02'	210.15'	S 28°16'07" W	210.11'	4°02'06"
C3	2984.02'	90.00'	S 25°23'14" W	90.00'	7°43'01"
C4	2984.02'	223.59'	S 2°19'15" W	223.54'	4°24'16"
C5	2984.02'	655.28'	N 13°49'59" E	653.97'	12°34'55"
C6	470.00'	79.84'	S 49°34'59" E	79.75'	9°43'59"
C7	530.00'	76.92'	S 48°52'27" E	76.85'	8°18'56"
C8	530.00'	44.95'	N 12°37'48" W	40.96'	6°50'30"
C9	190.00'	275.77'	N 7°48'51" E	275.75'	8°25'59"
C10	205.00'	256.56'	N 77°24'55" E	240.15'	7°42'59"
C11	205.00'	87.94'	N 29°16'13" E	87.27'	24°34'44"
C12	230.00'	194.45'	N 07°14'20" W	188.71'	48°26'22"
C13	230.00'	21.06'	N 34°05'04" W	21.07'	2°15'00"
C14	190.00'	173.13'	N 13°49'59" E	188.41'	14°30'09"
C15	14.00'	23.80'	N 59°22'00" E	21.04'	97°24'31"
C16	46.58'	65.17'	S 74°34'14" E	65.10'	8°57'46"
C17	590.00'	53.65'	S 8°25'41" E	53.64'	8°25'38"
C18	580.00'	159.45'	S 89°05'28" W	158.35'	1°45'04"
C19	580.00'	60.03'	N 77°15'03" E	60.00'	9°45'47"
C20	580.00'	205.55'	S 64°08'00" W	204.47'	20°18'19"
C21	580.00'	142.65'	N 46°57'05" E	142.29'	14°05'29"
C22	580.00'	50.02'	N 37°26'07" E	50.00'	4°58'27"
C23	580.00'	274.89'	N 2°23'15" E	272.52'	27°09'18"
C24	2984.02'	60.00'	N 06°57'38" E	60.00'	1°03'07"
C25	520.00'	302.51'	S 70°39'47" W	298.26'	33°19'55"
C26	250.00'	90.50'	N 82°18'56" E	90.01'	20°44'31"
C27	455.00'	56.44'	N 68°22'32" E	56.40'	7°06'26"
C28	545.00'	67.93'	S 68°21'30" E	67.89'	7°08'30"
C29	30.00'	42.87'	S 3°03'04" E	39.27'	8°45'22"
C30	280.00'	227.42'	S 13°26'30" E	221.22'	46°32'14"
C31	170.00'	60.73'	S 26°28'56" E	60.41'	20°28'02"
C32	170.00'	98.58'	S 00°22'08" W	97.20'	33°13'26"
C33	145.00'	243.68'	S 65°07'33" W	216.00'	36°17'23"
C34	250.00'	244.59'	S 32°15'07" W	234.88'	56°02'16"
C35	250.00'	87.56'	S 43°45'43" W	16.48'	26°56'51"
C36	25.00'	45.81'	N 82°47'14" E	39.67'	104°59'34"
C37	1000.00'	350.38'	N 54°45'15" W	348.59'	20°04'31"
C38	970.00'	81.87'	S 10°15'40" W	81.85'	4°50'09"
C39	65.00'	85.97'	N 17°09'38" W	79.79'	78°43'36"
C40	2984.02'	358.03'	N 02°56'50" E	357.81'	6°52'28"
C41	30.00'	47.57'	S 37°36'53" E	42.74'	90°50'58"
C42	30.50'	45.30'	N 30°16'39" E	41.25'	85°03'18"
C43	50.00'	46.68'	N 52°23'07" E	42.11'	89°09'02"
C44	1030.00'	75.11'	S 85°01'43" E	75.09'	4°15'07"
C45	30.00'	46.31'	S 42°59'40" E	41.85'	88°26'46"
C46	970.00'	111.42'	S 04°31'09" W	96.34'	6°34'53"
C47	1030.00'	95.56'	N 10°28'05" E	95.53'	5°18'58"
C48	520.00'	419.18'	S 30°54'13" W	407.92'	46°10'44"
C49	65.00'	196.29'	S 39°27'45" W	183.76'	17°01'37"
C50	30.00'	25.62'	S 22°38'03" E	23.75'	50°50'00"
C51	30.00'	47.12'	S 47°46'43" E	42.43'	90°00'00"
C52	970.00'	70.73'	S 85°07'43" E	70.72'	4°10'41"
C53	1030.00'	90.38'	N 05°17'46" E	90.35'	5°01'39"

LINE TABLE

LINE	BEARING	LENGTH
L1	N 30°17'27" E	134.86'
L2	S 40°06'52" E	179.14'
L3	S 49°33'56" E	193.01'
L4	S 6°19'26" E	231.51'
L5	N 65°56'55" W	71.70'
L6	N 66°19'06" W	112.37'
L7	S 88°10'31" W	69.44'
L8	S 7°23'04" W	47.82'
L9	S 48°43'31" E	43.00'
L10	S 76°48'14" E	43.22'
L11	S 63°10'28" E	60.15'
L12	S 49°45'19" E	61.64'
L13	S 1°34'58" W	36.26'
L14	S 84°46'11" W	63.59'
L15	S 3°44'59" W	59.05'
L16	S 36°37'26" W	26.04'
L17	S 18°41'55" W	37.33'
L18	S 58°32'45" W	64.52'
L19	N 72°39'47" W	48.77'
L20	S 60°10'04" W	59.19'
L21	N 86°07'38" W	56.03'
L22	S 70°06'06" W	56.39'
L23	S 47°42'22" W	58.53'
L24	S 1°31'28" W	45.59'
L25	S 47°44'13" W	60.25'
L26	N 69°57'00" W	54.57'
L27	N 52°52'45" W	57.68'
L28	N 45°04'43" W	58.80'
L29	N 70°39'18" W	64.22'
L30	N 73°52'06" W	79.28'
L31	N 59°27'14" W	75.33'
L32	N 62°44'21" W	65.93'
L33	N 68°23'47" W	60.09'
L34	N 02°42'52" E	7.57'
L35	N 62°02'10" W	74.17'
L36	N 6°57'30" W	104.12'
L37	N 54°38'32" W	104.68'
L38	N 35°47'54" E	54.45'
L39	N 02°42'52" E	46.77'
L40	N 09°41'48" W	40.04'
L41	N 75°15'23" W	62.47'
L42	N 38°09'16" W	37.89'
L43	N 59°53'06" W	37.55'
L44	S 75°00'53" W	41.03'
L45	S 89°39'25" W	57.42'
L46	N 02°18'29" W	40.01'
L47	N 49°35'04" W	52.76'
L48	N 77°15'23" W	26.73'
L49	N 68°23'47" W	76.07'
L50	N 10°25'21" W	28.51'

ACREAGE TABLE

LOT	ACREAGE
LOT 1	12.764 AC.
LOT 2	17.729 AC.
LOT 3	14.262 AC.
LOT 4	4.100 AC.
LOT 5	14.845 AC.
LOT 6	5.632 AC.
LOT 7	2.615 AC.
LOT 8	7.206 AC.
LOT 9	4.734 AC.
LOT 10	9.683 AC.
LOT 11	1.164 AC.
LOT 12	70.372 AC.
LOT 13	33.919 AC.
LOT 14	1.832 AC.
LOT 15	1.813 AC.
PUMP STATION SITE 'A'	0.069 AC.
RIGHT OF WAY	10.011 AC.
TOTAL	212.744 AC.



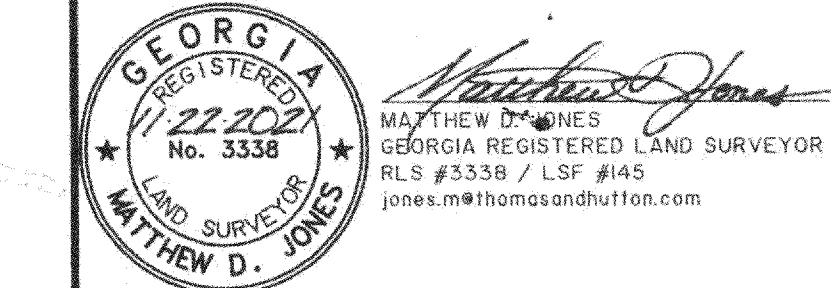
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- CITY OF POOLER APPROVAL**
 THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING.
- | NAME | DATE |
|----------------|------------|
| REGGIE BENTON | 01/18/2022 |
| MAYOR | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |
| COUNCIL MEMBER | |

APPROVED BY THE CITY OF POOLER CLERK

CLERK OF COUNCIL

SURVEYOR'S CERTIFICATION
 AS REQUIRED BY SUBSECTION (6) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCELS. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



A MAJOR SUBDIVISION OF CLEAR LAKE RESERVE PHASE 1
 BEING TRACTS 1 & 2 FORMERLY KNOWN AS THE RYALS TRACT AND PARCEL E-3 BEING A PORTION OF PARCEL "E" OF THE MORGAN TRACT "Q"

8th G.M. DISTRICT, CITY OF POOLER, CHATHAM COUNTY, GEORGIA

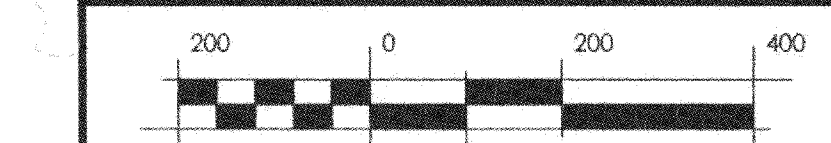
prepared for POOLER PARKWAY OF GA, LLC

No. Revision	By	Date

THOMAS & HUTTON
 Engineering | Surveying | Planning | GIS | Consulting

50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300

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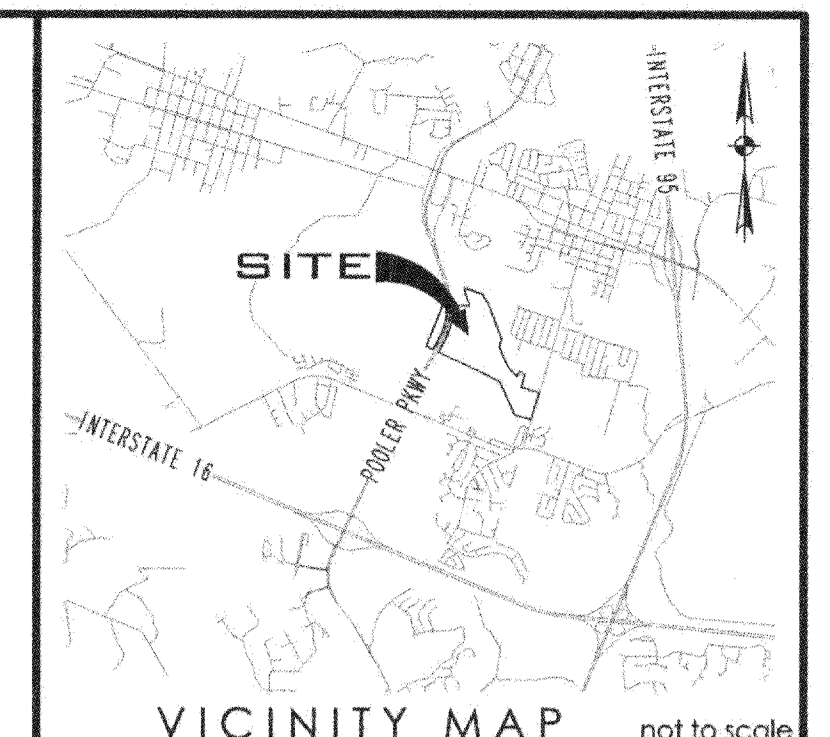
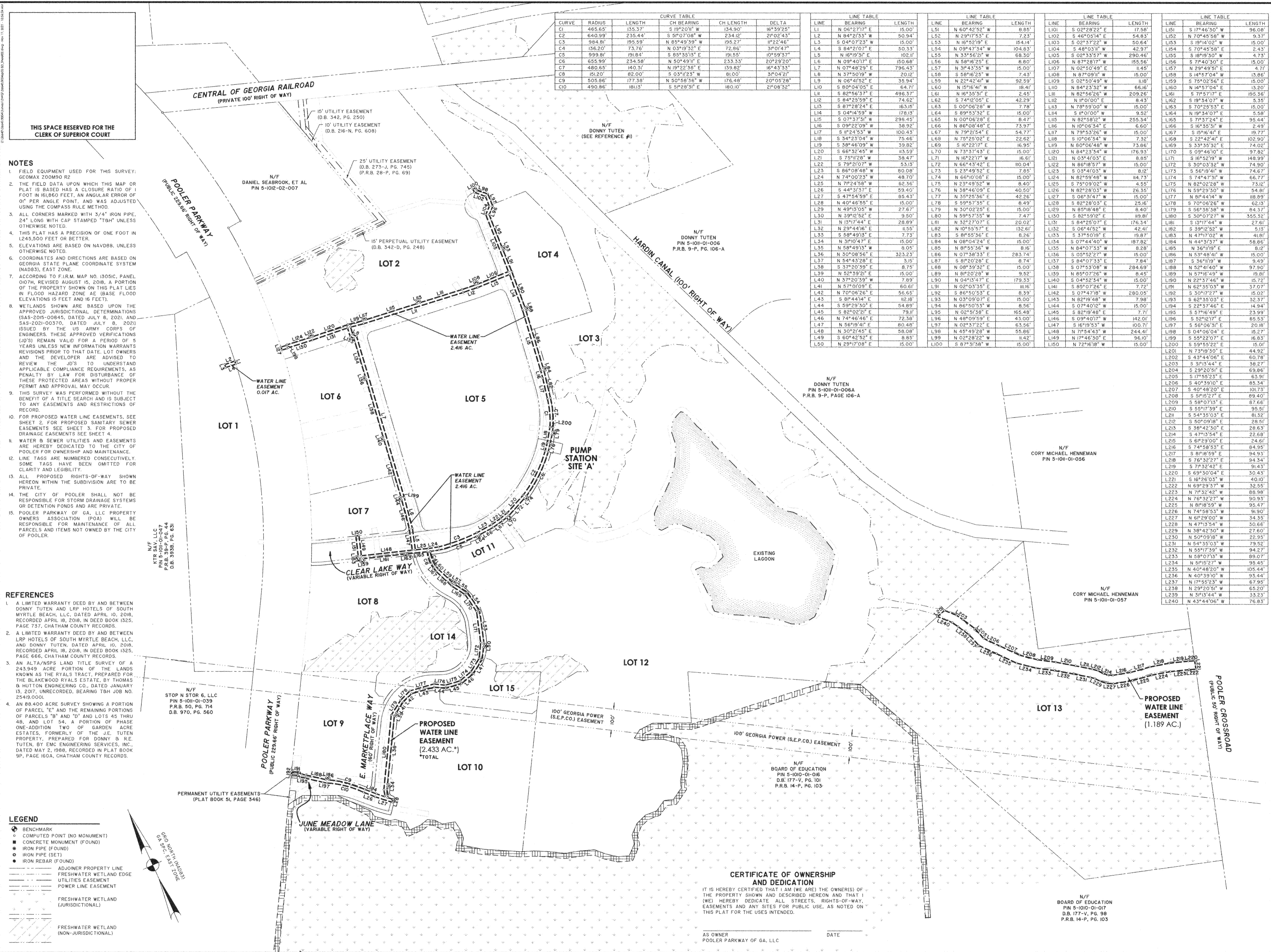
1 INCH = 200 FEET

plot drawn reviewed field crew
 11/17/2021 MDJ MDJ 03/22/2019 BJ

CERTIFICATE OF OWNERSHIP AND DEDICATION
 IT IS HEREBY CERTIFIED THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY DEDICATE ALL EASEMENTS AND ANY SITES FOR PUBLIC USE, AS NOTED ON THIS PLAT FOR THE USES INTENDED.

AS OWNER POOLER PARKWAY OF GA, LLC DATE

N/F BOARD OF EDUCATION
 PIN 5-1010-01-017
 D.B. 177-V, PG. 98
 P.R.B. 14-P, PG. 103



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LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N 06°27'17" E	15.00'	L51	N 60°42'52" W	8.85'
L2	N 84°21'33" W	50.94'	L52	N 29°17'53" E	7.23'
L3	S 04°07'23" W	15.00'	L53	N 16°52'19" E	16.414'
L4	S 84°37'07" E	50.33'	L54	N 09°47'24" W	104.83'
L5	N 16°19'51" E	102.11'	L55	N 33°56'21" W	68.30'
L6	N 09°40'17" E	150.68'	L56	N 58°16'25" E	8.80'
L7	N 07°48'29" E	796.43'	L57	N 3°43'35" W	15.00'
L8	N 37°50'19" W	20.12'	L58	N 58°16'25" W	7.43'
L9	N 08°41'52" E	39.94'	L59	N 22°42'41" W	92.99'
L10	S 80°04'05" E	64.71'	L60	N 15°16'41" W	18.41'
L11	S 82°56'37" E	498.37'	L61	N 16°35'31" E	2.45'
L12	S 84°25'59" E	74.62'	L62	S 74°12'05" E	42.29'
L13	S 87°28'24" E	163.15'	L63	S 00°06'28" W	7.78'
L14	S 04°14'59" W	172.13'	L64	S 89°53'32" E	15.00'
L15	S 07°33'51" W	298.45'	L65	N 00°06'28" E	6.47'
L16	S 09°22'09" W	38.92'	L66	N 86°08'48" E	73.97'
L17	S 11°24'53" W	100.43'	L67	N 79°21'54" E	54.77'
L18	S 34°23'04" W	79.46'	L68	N 75°25'02" E	22.62'
L19	S 38°46'09" W	39.82'	L69	S 16°22'17" E	16.95'
L20	S 66°52'45" W	115.59'	L70	N 73°37'43" E	15.00'
L21	S 75°12'28" W	38.47'	L71	N 03°41'03" E	16.61'
L22	S 79°21'07" W	53.13'	L72	N 66°43'42" E	100.04'
L23	S 86°08'48" W	80.08'	L73	S 23°49'52" E	7.85'
L24	N 74°00'23" W	48.70'	L74	N 68°10'08" E	15.00'
L25	N 78°24'58" W	62.36'	L75	N 23°49'52" W	8.40'
L26	S 44°31'37" E	59.40'	L76	N 38°46'09" E	40.50'
L27	S 47°54'59" E	85.43'	L77	N 35°25'36" E	42.26'
L28	N 40°46'55" E	15.00'	L78	S 59°57'35" E	8.49'
L29	N 49°13'09" W	27.67'	L79	N 30°02'25" E	15.00'
L30	N 39°12'52" E	3.50'	L80	N 59°57'35" W	7.47'
L31	N 13°17'44" E	28.89'	L81	N 32°27'07" E	20.02'
L32	N 29°44'16" E	11.55'	L82	N 10°55'57" E	132.61'
L33	S 58°49'13" E	7.73'	L83	S 88°55'36" E	8.26'
L34	N 39°10'47" E	15.00'	L84	N 08°04'24" E	15.00'
L35	N 58°49'13" E	8.05'	L85	N 88°55'36" W	8.16'
L36	N 30°08'56" E	323.23'	L86	N 07°38'33" E	283.74'
L37	N 54°43'28" E	3.15'	L87	N 80°20'28" E	8.74'
L38	S 37°20'59" E	8.75'	L88	N 08°39'52" E	15.00'
L39	N 53°33'21" E	15.00'	L89	N 68°20'28" W	9.52'
L40	N 37°20'59" W	7.89'	L90	N 04°13'47" E	179.33'
L41	N 57°01'09" E	60.61'	L91	N 02°03'55" E	111.61'
L42	N 70°06'26" E	56.65'	L92	S 86°50'53" E	8.39'
L43	S 88°44'14" E	112.18'	L93	N 03°09'07" E	15.00'
L44	S 59°23'30" E	54.89'	L94	N 86°50'53" W	8.56'
L45	S 82°02'27" E	78.11'	L95	N 02°53'58" E	165.48'
L46	N 74°46'46" E	72.36'	L96	N 48°09'59" E	43.00'
L47	N 56°19'41" E	80.48'	L97	N 02°37'22" E	63.56'
L48	N 30°21'45" E	58.08'	L98	N 45°49'28" W	55.86'
L49	S 60°42'52" E	8.85'	L99	N 02°28'22" W	11.42'
L50	N 29°17'08" E	15.00'	L100	S 87°31'58" W	15.00'

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (6) OF O.C.G.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

GEORGIA
REGISTERED
LAND SURVEYOR
No. 3338
MAYTHEW D. JONES

MAYTHEW D. JONES
GEORGIA REGISTERED LAND SURVEYOR
RLS #3338 / LSF #45
jones.m@thomasandhutton.com

A MAJOR SUBDIVISION OF CLEAR LAKE RESERVE PHASE 1

BEING TRACTS 1 & 2 FORMERLY KNOWN AS THE RYALS TRACT AND PARCEL E-3 BEING A PORTION OF PARCEL "E" OF THE MORGAN TRACT "Q" (PROPOSED WATERLINE EASEMENTS)

8th G.M. DISTRICT, CITY OF POOLER, CHATHAM COUNTY, GEORGIA

prepared for POOLER PARKWAY OF GA, LLC

THOMAS & HUTTON
Engineering | Surveying | Planning | GIS | Consulting

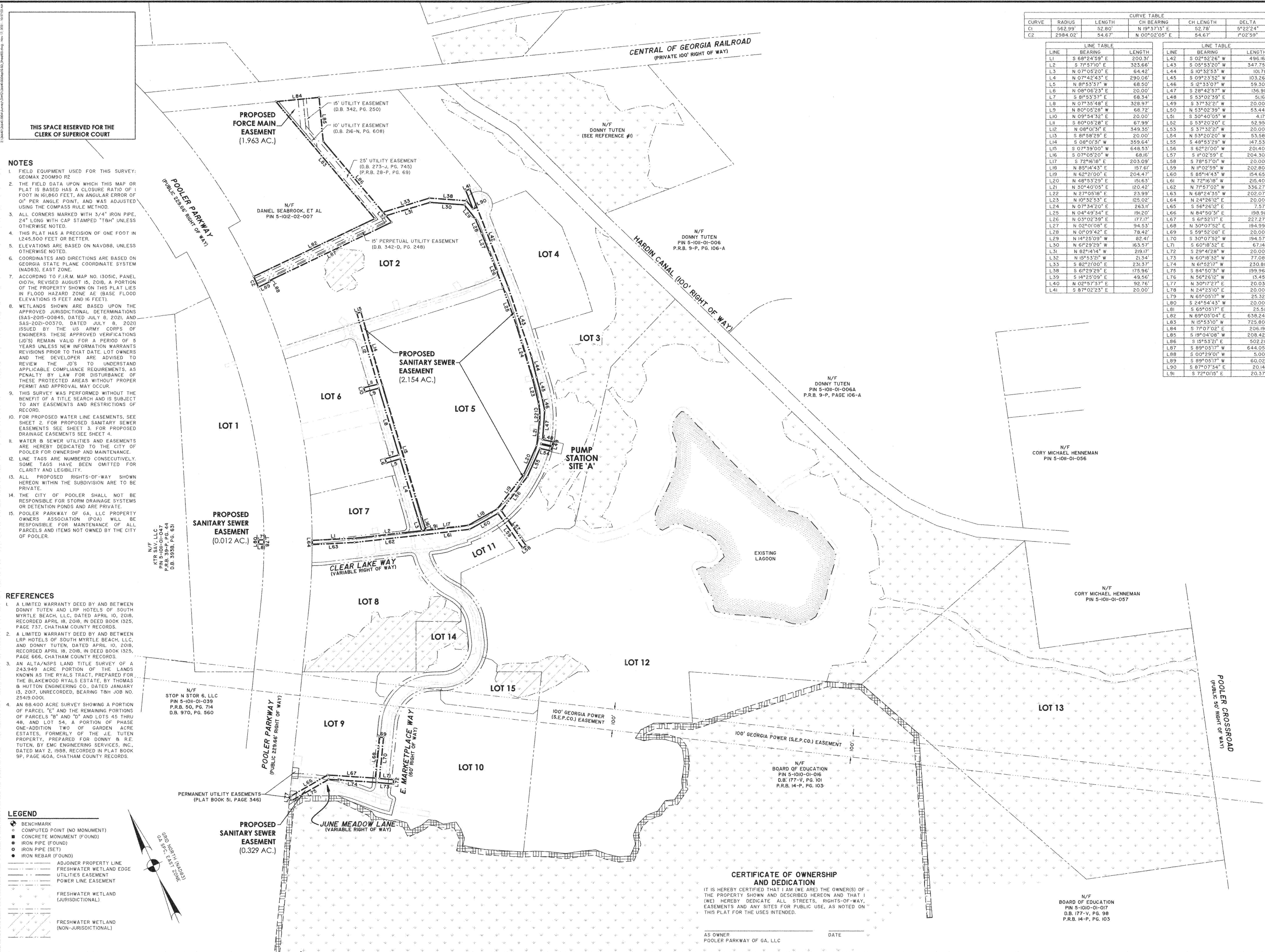
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1 INCH = 200 FEET

plot 11/17/2021
drawn MDJ
job 26640.0004

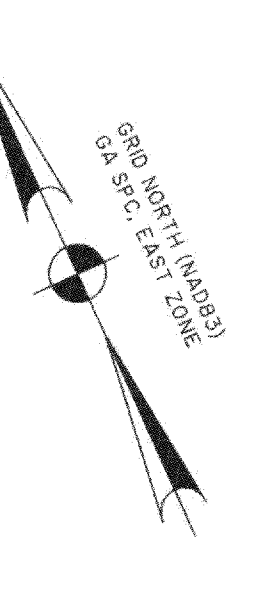
reviewed MDJ
field 03/27/2022
SHEET 2 OF 4



- NOTES**
- FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOMBO R2
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 16,860 FEET, AN ANGULAR ERROR OF 01" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
 - ALL CORNERS MARKED WITH 3/4" IRON PIPE, 24" LONG WITH CAP STAMPED "T&H" UNLESS OTHERWISE NOTED.
 - THIS PLAT HAS A PRECISION OF ONE FOOT IN 1,245,500 FEET OR BETTER.
 - ELEVATIONS ARE BASED ON NAVD83, UNLESS OTHERWISE NOTED.
 - COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
 - ACCORDING TO F.I.R.M. MAP NO. 13051C, PANEL 0107H, REVISED AUGUST 15, 2018, A PORTION OF THE PROPERTY SHOWN ON THIS PLAT LIES IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATIONS 15 FEET AND 16 FEET).
 - WETLANDS SHOWN ARE BASED UPON THE APPROVED JURISDICTIONAL DETERMINATIONS (SAS-2015-00845, DATED JULY 8, 2021, AND SAS-2021-00370, DATED JULY 8, 2021) ISSUED BY THE US ARMY CORPS OF ENGINEERS. THESE APPROVED VERIFICATIONS (JVS) REMAIN VALID FOR A PERIOD OF 5 YEARS UNLESS NEW INFORMATION WARRANTS REVISIONS PRIOR TO THAT DATE. LOT OWNERS AND THE DEVELOPER ARE ADVISED TO REVIEW THE JVS TO UNDERSTAND APPLICABLE COMPLIANCE REQUIREMENTS, AS PENALTY BY LAW FOR DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL MAY OCCUR.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - FOR PROPOSED WATER LINE EASEMENTS, SEE SHEET 2. FOR PROPOSED SANITARY SEWER EASEMENTS SEE SHEET 3. FOR PROPOSED DRAINAGE EASEMENTS SEE SHEET 4.
 - WATER & SEWER UTILITIES AND EASEMENTS ARE HEREBY DEDICATED TO THE CITY OF POOLER FOR OWNERSHIP AND MAINTENANCE.
 - LINE TAGS ARE NUMBERED CONSECUTIVELY. SOME TAGS HAVE BEEN OMITTED FOR CLARITY AND LEGIBILITY.
 - ALL PROPOSED RIGHTS-OF-WAY SHOWN HEREON WITHIN THE SUBDIVISION ARE TO BE PRIVATE.
 - THE CITY OF POOLER SHALL NOT BE RESPONSIBLE FOR STORM DRAINAGE SYSTEMS OR DETENTION PONDS AND ARE PRIVATE.
 - POOLER PARKWAY OF GA, LLC PROPERTY OWNERS ASSOCIATION (POA) WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARCELS AND ITEMS NOT OWNED BY THE CITY OF POOLER.

- REFERENCES**
- A LIMITED WARRANTY DEED BY AND BETWEEN DONNY TUTEN AND LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 737, CHATHAM COUNTY RECORDS.
 - A LIMITED WARRANTY DEED BY AND BETWEEN LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, AND DONNY TUTEN, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 666, CHATHAM COUNTY RECORDS.
 - AN ALTA/NSPS LAND TITLE SURVEY OF A 243,949 ACRE PORTION OF THE LANDS KNOWN AS THE RYALS TRACT, PREPARED FOR THE BLAKEWOOD RYALS ESTATE, BY THOMAS & HUTTON ENGINEERING CO., DATED JANUARY 13, 2017, UNRECORDED, BEARING T&H JOB NO. 25419.0001.
 - AN 88-400 ACRE SURVEY SHOWING A PORTION OF PARCEL "E" AND THE REMAINING PORTIONS OF PARCELS "B" AND "D" AND LOTS 45 THRU 48, AND LOT 54, A PORTION OF PHASE ONE-ADDITION TWO OF GARDEN ACRE ESTATES, FORMERLY OF THE J.E. TUTEN PROPERTY, PREPARED FOR DONNY & R.E. TUTEN, BY EMC ENGINEERING SERVICES, INC., DATED MAY 2, 1988, RECORDED IN PLAT BOOK 9P, PAGE 160A, CHATHAM COUNTY RECORDS.

- LEGEND**
- BENCHMARK
 - COMPUTED POINT (NO MONUMENT)
 - CONCRETE MONUMENT (FOUND)
 - IRON PIPE (FOUND)
 - IRON PIPE (SET)
 - IRON REBAR (FOUND)
 - ADJOINER PROPERTY LINE
 - FRESHWATER WETLAND EDGE
 - UTILITIES EASEMENT
 - POWER LINE EASEMENT
 - FRESHWATER WETLAND (JURISDICTIONAL)
 - FRESHWATER WETLAND (NON-JURISDICTIONAL)

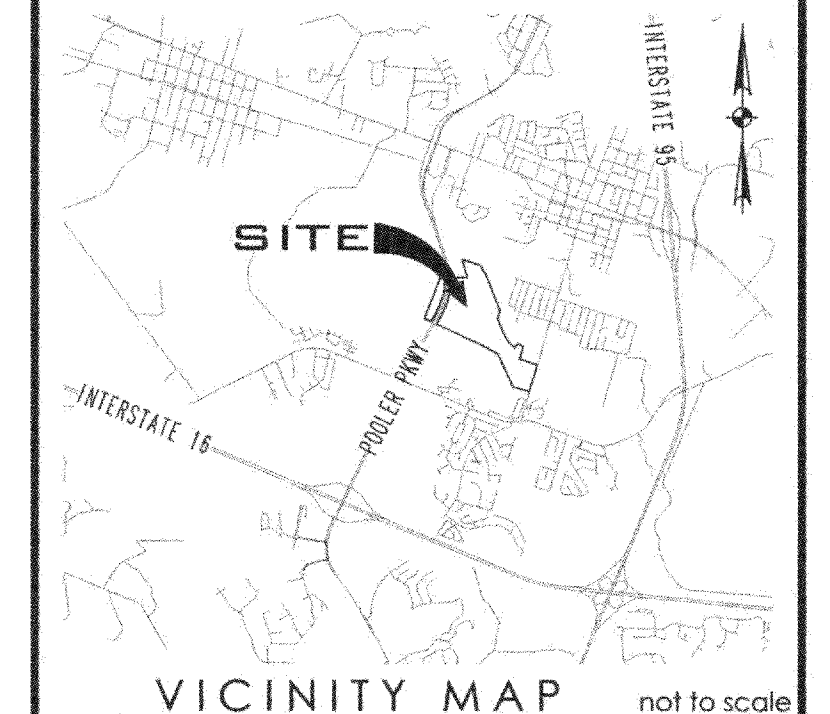


CURVE TABLE

CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	562.99'	52.80'	N 19° 37' 13" E	52.78'	5° 22' 24"
C2	2984.02'	54.67'	N 00° 02' 05" E	54.67'	0° 02' 59"

LINE TABLE

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S 68° 24' 59" E	200.37'	L42	S 02° 52' 26" W	496.16'
L2	S 77° 57' 10" E	323.66'	L43	S 05° 03' 20" W	547.75'
L3	N 07° 05' 20" E	64.42'	L44	S 10° 52' 53" W	101.71'
L4	N 07° 42' 43" E	290.06'	L45	S 09° 23' 52" W	103.26'
L5	N 8° 53' 37" W	68.50'	L46	S 12° 33' 07" W	59.30'
L6	N 08° 06' 23" E	20.00'	L47	S 28° 42' 57" W	136.91'
L7	S 89° 53' 37" E	68.34'	L48	S 53° 02' 39" E	50.61'
L8	N 07° 35' 48" E	328.97'	L49	S 37° 32' 27" W	20.00'
L9	N 80° 00' 28" W	68.72'	L50	N 63° 02' 39" W	53.44'
L10	N 09° 54' 32" E	20.00'	L51	S 30° 40' 05" W	4.17'
L11	S 80° 05' 28" E	67.99'	L52	S 53° 20' 20" E	52.95'
L12	N 08° 01' 31" E	349.35'	L53	S 37° 32' 27" W	20.00'
L13	S 89° 58' 29" E	20.00'	L54	N 53° 20' 20" W	53.58'
L14	S 08° 01' 31" W	359.64'	L55	S 48° 53' 29" W	147.53'
L15	S 07° 39' 00" W	648.53'	L56	S 62° 21' 00" W	204.40'
L16	S 07° 05' 20" W	68.16'	L57	S 10° 02' 59" E	204.30'
L17	S 72° 16' 18" E	203.09'	L58	S 78° 57' 07" W	20.00'
L18	N 85° 14' 43" E	157.61'	L59	N 11° 02' 59" W	202.80'
L19	N 62° 21' 00" E	204.47'	L60	S 85° 14' 43" W	154.65'
L20	N 48° 53' 29" E	151.63'	L61	N 72° 16' 18" W	215.40'
L21	N 30° 40' 05" E	120.42'	L62	N 77° 57' 02" W	336.27'
L22	N 27° 05' 18" E	23.99'	L63	N 68° 24' 55" W	202.07'
L23	N 10° 32' 53" E	105.02'	L64	N 24° 26' 12" E	20.00'
L24	N 07° 34' 20" E	263.11'	L65	S 56° 26' 12" E	7.57'
L25	N 04° 49' 34" E	191.20'	L66	N 84° 50' 31" E	198.91'
L26	N 03° 02' 39" E	177.17'	L67	S 61° 52' 17" E	227.27'
L27	N 02° 40' 05" E	94.53'	L68	N 30° 07' 52" E	194.99'
L28	N 05° 09' 42" E	78.42'	L69	S 59° 52' 08" E	20.00'
L29	N 14° 28' 09" W	82.41'	L70	S 30° 07' 52" W	194.57'
L30	N 6° 29' 29" W	163.57'	L71	S 60° 18' 32" E	67.14'
L31	N 82° 41' 41" W	219.17'	L72	S 29° 41' 28" W	20.00'
L32	N 10° 55' 21" W	21.54'	L73	N 60° 18' 32" W	77.08'
L33	S 82° 21' 00" E	231.37'	L74	N 6° 52' 17" W	230.81'
L34	S 6° 29' 29" E	175.96'	L75	S 84° 50' 31" W	199.96'
L35	S 14° 25' 09" E	49.56'	L76	N 56° 26' 12" W	13.45'
L36	N 02° 57' 57" E	92.76'	L77	N 30° 17' 27" E	20.03'
L37	S 87° 02' 25" E	20.00'	L78	N 24° 23' 10" E	20.00'
L38	S 87° 02' 25" E	20.00'	L79	N 65° 05' 17" W	25.32'
L39	S 24° 54' 43" W	20.00'	L80	S 24° 54' 43" W	20.00'
L40	S 65° 05' 17" E	25.51'	L81	N 89° 05' 04" E	638.24'
L41	N 10° 55' 21" W	21.54'	L82	N 10° 55' 21" W	725.80'
L42	N 05° 09' 42" E	78.42'	L83	S 77° 07' 02" E	208.18'
L43	N 07° 35' 48" E	328.97'	L84	S 19° 04' 08" W	208.42'
L44	S 09° 23' 52" W	103.26'	L85	S 15° 53' 21" E	502.21'
L45	S 12° 33' 07" W	59.30'	L86	S 89° 05' 17" W	644.05'
L46	S 28° 42' 57" W	136.91'	L87	S 00° 29' 01" W	5.00'
L47	S 53° 02' 39" E	50.61'	L88	S 89° 05' 17" W	60.02'
L48	S 37° 32' 27" W	20.00'	L89	S 87° 07' 54" E	20.14'
L49	S 37° 32' 27" W	20.00'	L90	S 72° 01' 15" E	20.37'
L50	N 63° 02' 39" W	53.44'	L91	S 72° 01' 15" E	20.37'

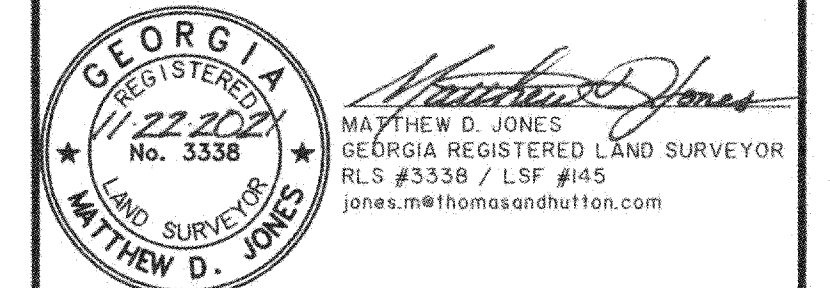


VICINITY MAP not to scale

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SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (6) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



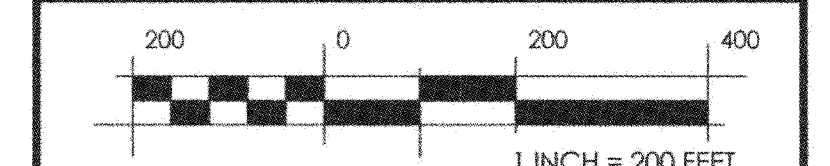
A MAJOR SUBDIVISION OF
CLEAR LAKE RESERVE
PHASE 1
 BEING
TRACTS 1 & 2
 FORMERLY KNOWN AS THE RYALS TRACT
 AND
PARCEL E-3
 BEING A PORTION OF PARCEL "E"
 OF THE MORGAN TRACT "Q"
 (PROPOSED SANITARY SEWER
 AND FORCE MAIN EASEMENTS)
 8th G.M. DISTRICT, CITY OF POOLER,
 CHATHAM COUNTY, GEORGIA
 prepared for
 POOLER PARKWAY OF GA, LLC

No. Revision	By	Date



50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300

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plotted	drawn	reviewed	field	crew
11/17/2021	MDJ	MDJ	03/22/2019	BJ
job 26640.0004	SHEET 3 OF 4			

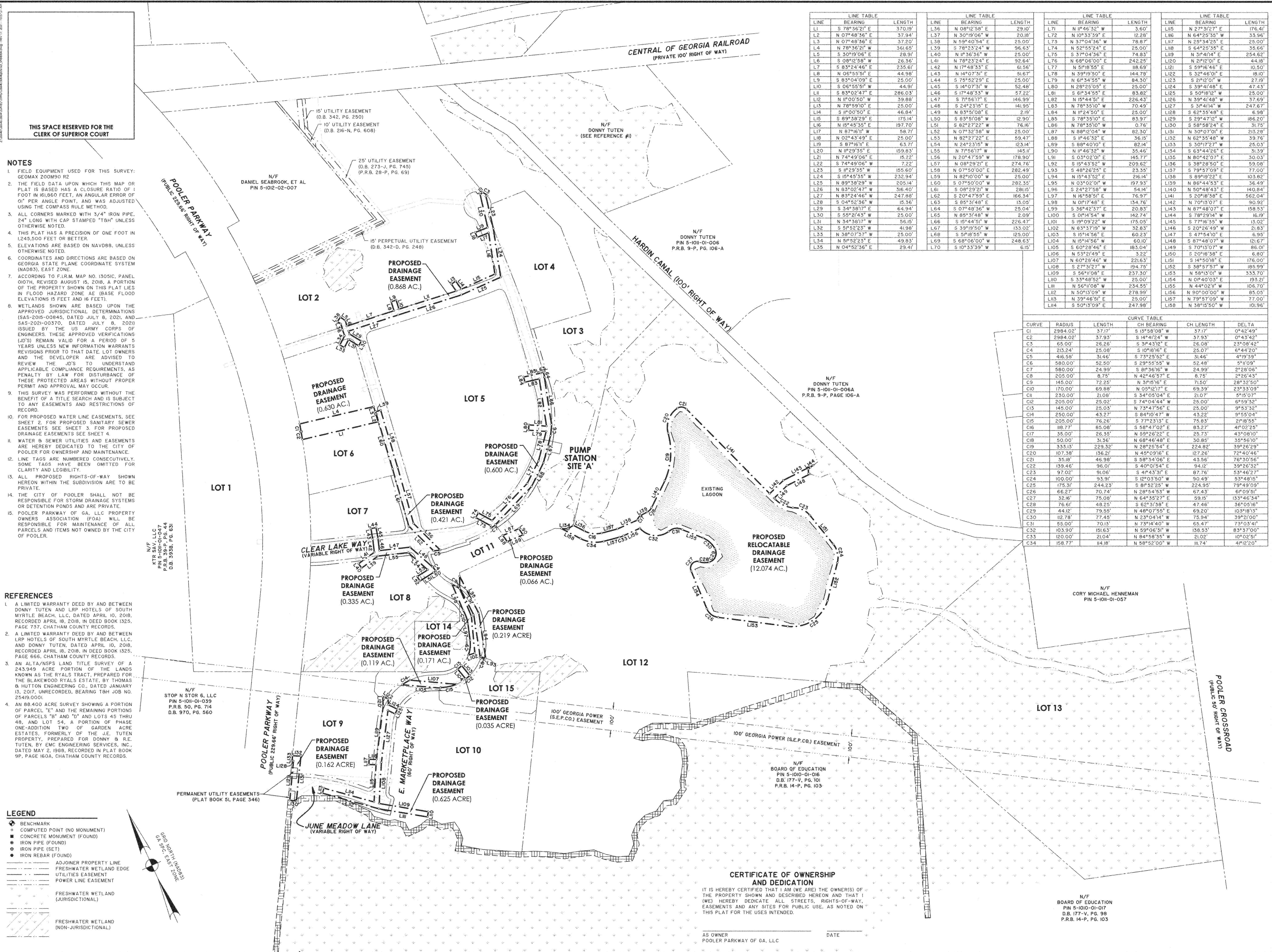
CERTIFICATE OF OWNERSHIP AND DEDICATION

IT IS HEREBY CERTIFIED THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY DEDICATE ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE, AS NOTED ON THIS PLAT FOR THE USES INTENDED.

AS OWNER
 POOLER PARKWAY OF GA, LLC

DATE _____

N/F
 BOARD OF EDUCATION
 PIN 5-1010-01-017
 D.B. 177-V, PG. 99
 P.R.B. 14-P, PG. 103

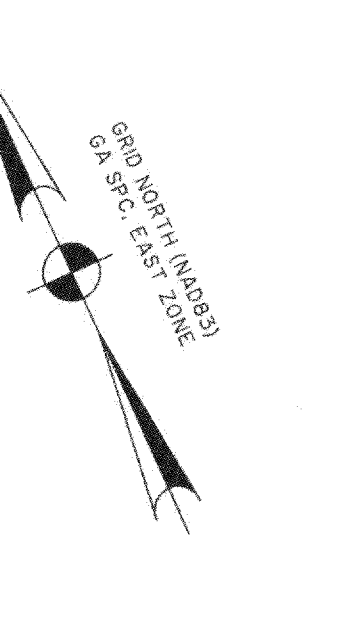


THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

- NOTES**
- FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM80 R2
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 161,860 FEET, AN ANGULAR ERROR OF 01" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
 - ALL CORNERS MARKED WITH 3/4" IRON PIPE, 24" LONG WITH CAP STAMPED "THT" UNLESS OTHERWISE NOTED.
 - THIS PLAN HAS A PRECISION OF ONE FOOT IN 1,245,500 FEET OR BETTER.
 - ELEVATIONS ARE BASED ON NAVD83, UNLESS OTHERWISE NOTED.
 - COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
 - ACCORDING TO F.L.R.M. MAP NO. 1303IC, PANEL 0107H, REVISED AUGUST 15, 2018, A PORTION OF THE PROPERTY SHOWN ON THIS PLAN LIES IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATIONS 15 FEET AND 16 FEET).
 - WETLANDS SHOWN ARE BASED UPON THE APPROVED JURISDICTIONAL DETERMINATIONS (SAS-2015-00845, DATED JULY 8, 2021, AND SAS-2021-00370, DATED JULY 8, 2021) ISSUED BY THE US ARMY CORPS OF ENGINEERS. THESE APPROVED VERIFICATIONS (JD'S) REMAIN VALID FOR A PERIOD OF 5 YEARS UNLESS NEW INFORMATION WARRANTS REVISIONS PRIOR TO THAT DATE. LOT OWNERS AND THE DEVELOPER ARE ADVISED TO REVIEW THE JD'S TO UNDERSTAND APPLICABLE COMPLIANCE REQUIREMENTS. AS PENALTY BY LAW FOR DISTURBANCE OF THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL MAY OCCUR.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS OF RECORD.
 - FOR PROPOSED WATER LINE EASEMENTS, SEE SHEET 2. FOR PROPOSED SANITARY SEWER EASEMENTS SEE SHEET 3. FOR PROPOSED DRAINAGE EASEMENTS SEE SHEET 4.
 - WATER & SEWER UTILITIES AND EASEMENTS ARE HEREBY DEDICATED TO THE CITY OF POOLER FOR OWNERSHIP AND MAINTENANCE.
 - LINE TAGS ARE NUMBERED CONSECUTIVELY, SOME TAGS HAVE BEEN OMITTED FOR CLARITY AND LEGIBILITY.
 - ALL PROPOSED RIGHTS-OF-WAY SHOWN HEREON WITHIN THE SUBDIVISION ARE TO BE PRIVATE.
 - THE CITY OF POOLER SHALL NOT BE RESPONSIBLE FOR STORM DRAINAGE SYSTEMS OR DETENTION PONDS AND ARE PRIVATE.
 - POOLER PARKWAY OF GA, LLC PROPERTY OWNERS ASSOCIATION (POA) WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL PARCELS AND ITEMS NOT OWNED BY THE CITY OF POOLER.

- REFERENCES**
- A LIMITED WARRANTY DEED BY AND BETWEEN DONNY TUTEN AND LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 737, CHATHAM COUNTY RECORDS.
 - A LIMITED WARRANTY DEED BY AND BETWEEN LRP HOTELS OF SOUTH MYRTLE BEACH, LLC, AND DONNY TUTEN, DATED APRIL 10, 2018, RECORDED APRIL 18, 2018, IN DEED BOOK 1325, PAGE 665, CHATHAM COUNTY RECORDS.
 - AN ALTA/NSPS LAND TITLE SURVEY OF A 243.949 ACRE PORTION OF THE LANDS KNOWN AS THE RYALS TRACT, PREPARED FOR THE BLAKWOOD RYALS ESTATE, BY THOMAS & HUTTON ENGINEERING CO., DATED JANUARY 13, 2017, UNRECORDED, BEARING T&H JOB NO. 25410-0001.
 - AN 88.400 ACRE SURVEY SHOWING A PORTION OF PARCEL "E" AND THE REMAINING PORTIONS OF PARCELS "B" AND "D" AND LOTS 45 THRU 48, AND LOT 54, A PORTION OF PHASE ONE-ADDITION TWO OF GARDEN ACRE ESTATES, FORMERLY OF THE J.E. TUTEN PROPERTY, PREPARED FOR DONNY B. R.E. TUTEN, BY EMC ENGINEERING SERVICES, INC., DATED MAY 2, 1998, RECORDED IN PLAT BOOK 9P, PAGE 160A, CHATHAM COUNTY RECORDS.

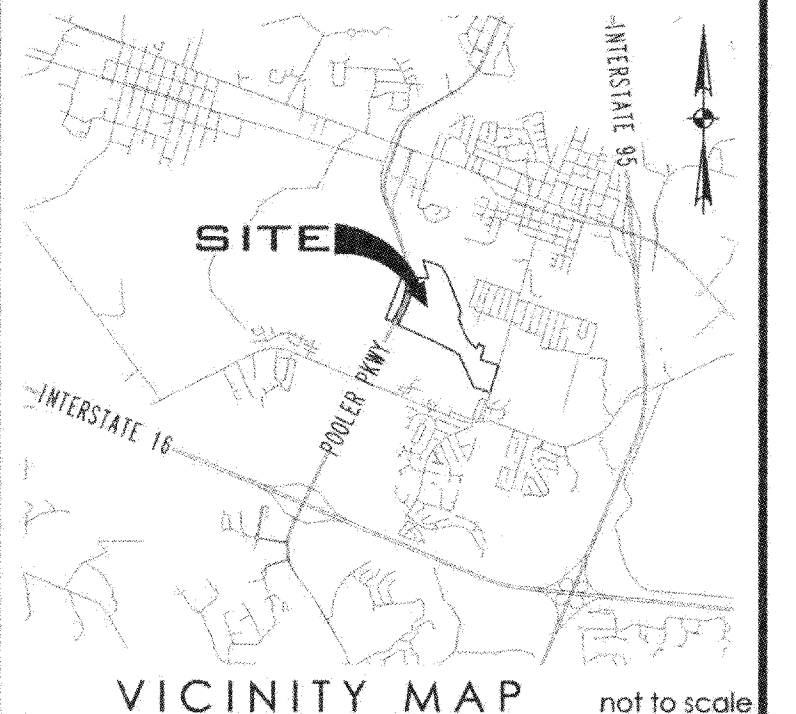
- LEGEND**
- BENCHMARK
 - COMPUTED POINT (NO MONUMENT)
 - CONCRETE MONUMENT (FOUND)
 - IRON PIPE (FOUND)
 - IRON PIPE (SET)
 - IRON REBAR (FOUND)
 - ADJOINER PROPERTY LINE
 - FRESHWATER WETLAND EDGE
 - UTILITIES EASEMENT
 - POWER LINE EASEMENT
 - FRESHWATER WETLAND (JURISDICTIONAL)
 - FRESHWATER WETLAND (NON-JURISDICTIONAL)



LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S 78°36'21" E	370.19'	L36	N 08°12'58" E	29.10'	L71	N 10°33'39" E	3.60'	L115	N 27°31'27" E	176.41'
L2	N 07°48'36" E	37.94'	L37	N 30°19'06" W	20.18'	L72	N 10°33'39" E	12.28'	L116	N 64°25'55" W	33.96'
L3	N 07°48'36" E	37.20'	L38	N 59°40'54" E	25.00'	L73	N 37°04'36" W	78.87'	L117	N 23°51'25" E	25.00'
L4	N 78°36'21" W	361.65'	L39	S 78°23'24" E	26.63'	L74	N 32°55'24" E	25.00'	L118	S 64°22'51" W	35.66'
L5	S 30°19'06" E	28.91'	L40	N 1°36'33" W	25.00'	L75	S 37°04'36" E	74.83'	L119	N 3°41'41" E	254.62'
L6	S 08°12'58" W	26.36'	L41	N 78°23'24" E	92.64'	L76	N 68°06'00" E	242.25'	L120	N 21°02'01" E	44.18'
L7	S 83°24'46" E	235.61'	L42	N 17°48'33" E	61.56'	L77	N 5°18'55" E	188.69'	L121	S 59°16'46" E	10.50'
L8	N 08°12'58" E	44.98'	L43	N 14°07'31" E	216.77'	L78	N 38°19'50" E	144.78'	L122	S 32°46'00" E	18.10'
L9	S 83°04'09" E	25.00'	L44	S 71°52'29" E	25.00'	L79	N 6°34'55" W	84.30'	L123	S 29°12'07" W	27.19'
L10	S 06°55'51" W	44.91'	L45	S 14°07'31" W	52.48'	L80	N 28°25'05" E	25.00'	L124	S 39°41'48" E	47.43'
L11	S 83°02'47" E	286.03'	L46	S 17°48'33" W	57.22'	L81	S 6°34'55" E	83.82'	L125	S 60°18'12" W	29.00'
L12	N 1°00'50" W	39.88'	L47	S 71°56'17" E	146.99'	L82	N 15°44'51" E	226.43'	L126	N 39°41'48" W	37.69'
L13	N 08°12'58" E	25.00'	L48	S 24°23'15" E	141.95'	L83	N 78°35'10" W	70.49'	L127	S 32°46'00" E	247.67'
L14	S 1°00'50" E	46.84'	L49	N 83°51'08" E	2.19'	L84	N 1°02'50" E	25.00'	L128	S 62°58'48" E	25.00'
L15	S 89°38'29" E	175.14'	L50	S 83°51'08" W	12.90'	L85	S 78°35'10" E	83.97'	L129	S 29°47'12" W	186.20'
L16	N 15°45'35" E	197.70'	L51	S 82°27'22" W	76.16'	L86	N 78°35'10" W	0.76'	L130	S 58°58'24" E	31.75'
L17	N 87°16'11" W	58.77'	L52	N 07°32'58" W	25.00'	L87	N 88°12'04" W	82.30'	L131	N 30°07'01" E	213.28'
L18	N 02°43'49" E	25.00'	L53	N 82°27'22" E	59.47'	L88	S 1°46'32" E	36.19'	L132	N 62°35'48" W	39.76'
L19	S 87°16'11" E	63.77'	L54	N 24°23'15" W	123.14'	L89	S 88°40'01" E	82.14'	L133	S 30°17'27" W	25.03'
L20	N 1°29'35" E	159.83'	L55	N 7°56'17" W	145.11'	L90	N 1°46'32" W	35.46'	L134	S 63°44'26" E	51.39'
L21	N 74°49'06" E	15.22'	L56	N 20°47'59" W	178.90'	L91	S 03°02'01" E	145.77'	L135	N 80°42'07" E	30.03'
L22	S 74°49'06" W	7.22'	L57	N 08°29'21" E	274.76'	L92	S 15°43'52" W	209.62'	L136	S 38°28'50" E	59.08'
L23	S 1°29'35" W	185.60'	L58	N 07°50'00" E	282.49'	L93	S 48°26'25" E	23.35'	L137	S 79°57'09" E	77.00'
L24	S 1°04'53" E	232.94'	L59	N 02°10'00" W	25.00'	L94	S 1°04'53" E	216.14'	L138	S 89°19'22" E	103.82'
L25	N 89°38'29" E	205.14'	L60	S 07°50'00" W	282.35'	L95	N 03°02'01" W	197.93'	L139	N 86°44'53" E	36.49'
L26	N 83°02'47" W	316.40'	L61	S 08°29'21" W	54.14'	L96	S 24°27'58" W	54.14'	L140	N 50°48'43" E	140.84'
L27	N 83°24'46" W	247.88'	L62	S 20°47'59" E	166.34'	L97	N 16°58'51" E	76.97'	L141	S 20°18'38" E	562.04'
L28	S 04°52'36" W	15.36'	L63	S 85°21'48" E	13.05'	L98	N 0°17'48" E	134.76'	L142	N 70°13'07" E	90.92'
L29	S 34°38'17" E	64.94'	L64	S 07°49'36" W	25.04'	L99	S 36°42'37" E	20.83'	L143	N 87°48'07" E	158.53'
L30	S 55°21'43" W	25.00'	L65	N 85°31'48" W	2.09'	L100	S 0°14'54" W	142.74'	L144	S 78°29'34" W	16.19'
L31	N 34°38'17" W	56.15'	L66	S 15°44'51" W	226.47'	L101	S 19°09'22" E	175.05'	L145	S 77°16'55" W	13.02'
L32	S 5°52'23" W	41.98'	L67	S 39°19'50" W	133.02'	L102	N 83°37'19" W	32.83'	L146	S 20°26'49" W	21.83'
L33	N 38°07'37" W	25.00'	L68	S 9°18'55" W	120.00'	L103	S 1°14'56" E	60.23'	L147	S 47°54'10" E	6.95'
L34	N 5°52'23" E	49.83'	L69	S 68°06'00" W	248.63'	L104	N 15°14'56" W	50.10'	L148	S 37°48'07" W	21.67'
L35	N 04°52'36" E	29.41'	L70	S 10°33'39" W	6.15'	L105	S 60°28'46" E	183.04'	L149	S 70°13'07" W	86.01'
						L106	N 53°21'49" E	3.22'	L150	S 20°18'38" E	6.80'
						L107	N 60°28'46" W	221.63'	L151	S 14°50'18" E	176.00'
						L108	S 27°31'27" W	194.75'	L152	S 38°57'57" W	185.99'
						L109	S 56°11'08" E	237.30'	L153	N 58°13'01" W	333.70'
						L110	S 33°48'52" W	25.00'	L154	N 0°40'03" E	193.27'
						L111	N 56°11'08" W	234.55'	L155	N 44°02'11" W	106.70'
						L112	N 50°13'09" W	278.99'	L156	N 90°00'00" W	85.05'
						L113	N 39°46'51" E	25.00'	L157	N 78°57'09" W	77.00'
						L114	S 50°13'09" E	247.98'	L158	N 38°15'50" W	101.95'

CURVE TABLE

CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	2984.02'	37.17'	S 15°58'08" W	37.17'	0°42'49"
C2	2984.02'	37.93'	S 14°41'24" W	37.93'	0°43'22"
C3	85.00'	26.26'	S 3°43'12" E	26.08'	23°08'42"
C4	213.24'	25.00'	S 10°16'16" E	25.07'	6°44'20"
C5	416.58'	31.46'	S 73°25'52" E	31.46'	4°19'39"
C6	580.00'	52.20'	S 29°55'55" W	52.48'	5°11'09"
C7	580.00'	24.99'	S 8°36'16" W	24.99'	22°23'06"
C8	205.00'	8.75'	N 42°46'57" E	8.75'	2°56'43"
C9	145.00'	72.25'	N 3°16'15" E	71.50'	28°32'50"
C10	170.00'	69.88'	N 05°12'17" E	69.39'	23°33'09"
C11	230.00'	21.08'	S 34°09'04" E	21.07'	6°15'07"
C12	205.00'	23.02'	S 74°04'44" W	23.00'	6°49'52"
C13	145.00'	23.03'	N 73°47'56" E	23.00'	9°53'32"
C14	250.00'	43.27'	S 84°10'47" W	43.22'	9°55'04"
C15	205.00'	76.26'	S 77°23'13" E	75.83'	2°18'55"
C16	18.77'	85.08'	S 58°47'02" E	83.27'	4°02'25"
C17	35.00'	26.35'	N 15°28'22" E	25.73'	43°06'01"
C18	50.00'	3.36'	N 88°46'48" E	3.36'	35°56'00"
C19	333.13'	229.32'	N 28°25'54" E	224.82'	39°26'29"
C20	107.38'	136.21'	N 45°09'16" E	127.26'	72°40'46"
C21	35.18'	46.98'	S 58°34'06" E	43.56'	76°30'56"
C22	139.46'	86.01'	S 40°01'54" E	84.12'	39°26'32"
C23	97.02'	91.06'	S 49°43'31" E	87.76'	23°46'27"
C24	100.00'	93.91'	S 12°03'50" W	90.49'	53°48'15"
C25	175.31'	244.23'	S 8°12'25" W	224.95'	79°49'09"
C26	66.27'	70.74'	N 28°54'53" W	67.43'	6°09'51"
C27	32.16'	75.08'	N 64°35'27" E	59.15'	133°46'34"
C28	76.61'	43.83'	S 62°13'51" E	47.416'	36°05'18"
C29	44.12'	79.55'	N 48°07'55" E	69.20'	103°18'13"
C30	112.78'	77.45'	N 23°04'14" W	75.94'	39°21'00"
C31	55.00'	70.15'	N 73°14'40" W	65.47'	73°03'41"
C32	103.90'	191.63'	N 59°06'31" W	158.53'	83°37'00"
C33	100.00'	21.04'	N 84°18'35" W	21.02'	10°02'51"
C34	158.77'	141.81'	N 58°52'00" W	117.41'	4°12'20"



VICINITY MAP not to scale

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SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

MATTHEW D. JONES
GEORGIA REGISTERED LAND SURVEYOR
R.L.S. #3338 / L.S.P. #145
jones.mthomasandhutton.com

A MAJOR SUBDIVISION OF
CLEAR LAKE RESERVE
PHASE 1
BEING
TRACTS 1 & 2
FORMERLY KNOWN AS THE RYALS TRACT
AND
PARCEL E-3
BEING A PORTION OF PARCEL "E"
OF THE MORGAN TRACT "Q"
(PROPOSED DRAINAGE EASEMENTS)

8th G.M. DISTRICT, CITY OF POOLER,
CHATHAM COUNTY, GEORGIA

prepared for
POOLER PARKWAY OF GA, LLC

No. Revision	By	Date

THOMAS & HUTTON
Engineering | Surveying | Planning | GIS | Consulting

50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com



1 INCH = 200 FEET

plot	drawn	reviewed	field	crew
11/17/2021	MDJ	MDJ	03/22/2019	BJ

job 26640.0004 SHEET 4 OF 4

CERTIFICATE OF OWNERSHIP AND DEDICATION

IT IS HEREBY CERTIFIED THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY DEDICATE ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE, AS NOTED ON THIS PLAN FOR THE USES INTENDED.

AS OWNER
POOLER PARKWAY OF GA, LLC

DATE

N/F
BOARD OF EDUCATION
PIN 5-1010-01-017
D.B. 177-V, PG. 101
P.R.B. 14-P, PG. 103



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Zoning Map Amendment for Warnell Tract

Project:	#231710
P&Z Meeting Date:	February 12, 2024
Public Hearing Date:	February 20, 2024
Applicant and Authorized Agent:	Port I-95, LLC (Robert McCorkle)
Location (Address):	Demott Drive (accessed via Bloomingdale from Jimmy DeLoach)
Parcel (PIN):	51015 01032
Existing Zoning:	PUD [Wynn-Capallo]
Zoning Action:	Zoning Map Amendment
Request:	Request to rezone the subject site from PUD to I-2
Application Filed:	December 8, 2023
Legal Notice Published:	January 18, 2024
Sign Posted:	January 10, 2024
Letters Mailed:	January 12, 2024
Staff Recommendation:	Approval <ul style="list-style-type: none"> In the event Council finds the requested zoning to be too intense, Staff recommends approval of I-1 (Light Industrial) as it would be an extension of the adjacent industrial zoning within Pooler.
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
Recommended Motion:	<i>"After review of the criteria, move for approval of the request."</i>

<p>Background:</p>	<p>The subject site is approximately 63 acres located in the Wynn-Capallo PUD. The subject site is located along the City’s boundary with Bloomingdale along Jimmy DeLoach Blvd. The property is accessible through Bloomingdale off Demott Drive.</p> <p>The applicant is requesting to rezone from PUD to I-2 (Heavy Industrial) for trucking and logistics uses. The property is adjacent to an industrial park in Bloomingdale that is similarly zoned and utilized. The property is not visible from any Pooler properties or roadways. The surrounding area is forested wetlands. The adjacent Pooler properties are either undeveloped (wetlands) or an industrial use.</p> <p>The Pooler 2040 Comprehensive Plan includes this area within the Industrial character area. The FLUM designates this area as Industrial.</p>
<p>Relevant Ordinances:</p>	<p>App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District</p>
<p>Zoning Action Standards:</p>	<ol style="list-style-type: none"> 1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area? <ul style="list-style-type: none"> • <i>In part, yes, this would be a logical extension of an existing zoning boundary. The property is generally landlocked except through the neighboring parcel in Bloomindale. Any access from Pooler would have to be through wetlands, which would unfeasible. Likewise, the zoning would allow for the limited amount of uplands to be utilized in a similar manner as the adjacent property.</i> 2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area? <ul style="list-style-type: none"> • <i>No, the adjacent properties are of a similar zoning of I-1. Likewise, the request is of a substantial enough size to exist on its own. Further, the request is consistent with the recommendations of the 2040 Comp Plan as the area is designed as residential in the FLUM and Character Area map.</i> 3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards? <ul style="list-style-type: none"> • <i>The proposed use would be located off a major roadway and corridors designed and intended for higher levels of traffic, specifically industrial uses. The</i>

proposed use would not traverse through residential neighborhoods.

4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *No, the FLUM designates this area for industrial development. Likewise, the proposed zoning district would be compatible and consistent with the existing districts and uses found within the general area. Further, the property is zoned within the PUD for future development (unassigned) and the request would allow for utilization of the property.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - *The property is likely to be utilized as requested. The property owner is intending to expand the existing use on the adjacent property and in order to do so would need this property zoned accordingly.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - *Potentially, while the surrounding properties are zoned industrial, they are zoned as I-1 (including the Bloomingdale property per the zoning map on their webpage). The I-2 district could allow for more intense development than the I-1 district, the primary difference is the use permissions allowed.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - *It is unlikely to see additional requests such as this or accelerate adverse land use changes in the area. Generally all other properties in this area are zoned and developed. The only potential requests would only likely be more a new use or more favorable use permission to an otherwise permitted use.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
 - Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *No, the proposed use would not affect the surrounding development or properties. Any potential traffic issues would need to be addressed as part of the site plan*

process in order for the use to be established. Likewise, this property would be accessed through the City of Bloomington from the adjacent property.

- Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?

- *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*

- Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?

- *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*

- 9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility of the developer and would not place a burden on the City.*

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

Attachments:

A. Vicinity Map

B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231710 - Warnell Tract Rezoning

02/07/2024

Parcels





CITY OF POOLER
 GEORGIA
A great place to Live, Work and Play

Project #231710 - Warnell Tract Rezoning

02/07/2024

- Parcels
- Business/Commercial
- Industrial
- PUD
- Residential





City of Pooler Zoning Map Amendment Application

Date: 12/8/23 File #: 231710

Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

1. Name of owner/authorized agent: Robert L. McCorkle, III
2. Address of owner/authorized agent: _____
3. Telephone number of owner/agent: _____
4. Have any previous applications been made for a text or map amendment affecting these same premises? ___ Yes or No
5. If yes, give file number, date and action taken: N/A
(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

Information Required:

1. General location of property (the area) street number and location with respect to nearby public roads in common use: Jimmy DeLoach Parkway/DeMott Drive
2. Legal description of property (name of subdivision, block and lot number):
Lot 2-A, Subdivision of the Western Portion of Lot 2, Warnell Tract
3. PIN #: 5105 01032
4. Zone Classification: Present PUD Requested: I-2
5. Owner of property: (If same as applicant, leave blank) Port I-95, LLC
6. Address of owner: 128 Grays Creek Drive, Savannah, Georgia 31410
7. Telephone number of owner: 912-484-4448
8. Total area of property: (acres or approximate sq. feet) 62.59 acres
9. Existing land use (specify such as grocery store, single-family residence, vacant land, etc.)
Borrow Pit, wetlands
10. Desire land use (specify such as residence, grocery store, mobile home park, etc.) Truck Terminal, wetlands

Reasons and Certifications

(Required for all amendments)

- Reasons for requesting change of zoning map which would support the purposes of the zoning program: Property is a land locked parcel on the municipal boundary with Bloomingdale making up a part of an existing industrial park in Bloomingdale. Access to the property is in Bloomingdale. Adjacent zoning and use east and west is industrial. Property is not visible from public roads or other properties in Pooler due to forested wetlands.

City of Pooler

Zoning Map Amendment Application

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way.

Morgan Lakes Industrial XII, LLC
P.O. Box 1547
Valdosta, Georgia 31603

Morgan Lakes Industrial XI, LLC
P.O. Box 1547
Valdosta, Georgia 31603

Savannah Economic Development Authority
P.O. Box 128
Savannah, Georgia 31402

Hure Properties II, LLC
6801 Suemac Place
Jacksonville, Florida 32254

Morgan Lakes Property, LLC
70 Shirly B James Drive
Savannah, Georgia 31408

- (Please list additional names on separate sheet)

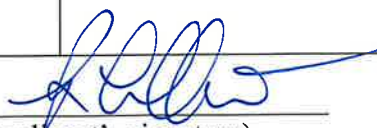
Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- No**, I have not made campaign contributions to any Pooler City Official(s).
 Yes, I have made campaign contributions to one or more Pooler City (Official(s)).

City Official	Title	Dollar Value	Description of Gift

I attest that all the information provided is true to fact _____


 (Applicant's signature)

Date: 12-1-23

City of Pooler

Zoning Map Amendment Application

Filing Requirements

Applicant must submit the following information 30 days prior to the regularly scheduled meeting on the second and fourth Monday of each month. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission.

- Filing fee (see schedule of fees). Make checks payable to the City of Pooler.
- For Power Point presentation, please e-mail PDF file on project to kclassen@pooler-ga.gov
- A scaled plat showing dimensions, acreage, location of the tract(s) and utility easements prepared by a licensed architect/surveyor. Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Legal description of property.
- Complete Campaign Contributions and Acknowledge receipt of Zoning Standards for Map Amendment.
- If Agent, Authorization of property owner, signed, dated and notarized.
- Copy of current tax bill showing payment or a certification from the City of Pooler Tax Office stating taxes were paid.

AK
initial I acknowledge receipt of Zoning Standards for a Map Amendment. I understand the standards and any other factors relevant to promoting the public health, safety, and general welfare of the City of Pooler against unrestricted use of property will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision.

I have received and understand the "checklist" of actions needed to amend the City of Pooler Zoning Map.

I hereby certify that the above stated facts are true to the best of my knowledge and I am the owner or authorized agent for the owner of subject property.

Sworn to and subscribed before me on this 4th day of December 2029.

[Signature]

[Signature]

Owner's or authorized agent's signature

Notary Public



Application Status

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 1/14/24 2/20
- Notice published in newspaper on: 12/23 1/18 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 12/23 1/12/24
- This action was approved _____ or denied _____ (copy of minutes disposing of this action are attached).
- Notification of the results of this action mailed to the applicant on: _____
- Sign posted: 1/18/24



City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Robert L. McCorkle, III

Address: 319 Tattnall Street

City & State: Savannah, Georgia Zip 31401

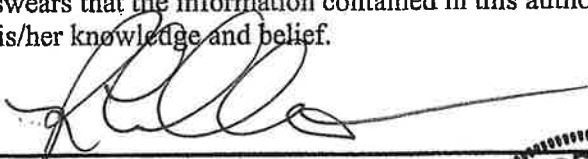
Telephone number: _____

Port I-95, LLC


Raymond J. DeMott, Manager Signature of owner

Personally appeared before me Raymond J. DeMott

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.



Notary Public

12-1-23
Date



Doc ID: 029038000005 Type: WD
Recorded: 08/28/2015 at 10:34:21 AM
Fee Amt: \$668.00 Page 1 of 5
Transfer Tax: \$650.00
Chatham, Ga. Clerk Superior Court
Daniel Massey Clerk Superior Court
BK 616 PG 645-649

PREPARED BY:
WILLIS A. DuVALL, JR.
MOORE, CLARKE, DuVALL & RODGERS, P.C.
P. O. Drawer 71727
Albany, Georgia 31708-1727

17394.002

LIMITED WARRANTY DEED

STATE OF GEORGIA)
)
COUNTY OF CHATHAM)

KNOW ALL MEN BY THESE PRESENTS:

THAT HERRIN DEVELOPERS, LLC, a Georgia limited liability company, and ROBERT W. LEE, an individual and resident of Georgia (collectively, "Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) cash and other good and valuable consideration to Grantor paid by PORT I-95, LLC, a Georgia limited liability company with an address of P.O. Box 4772 Savannah, Georgia 31418 ("Grantee"), the receipt of which is hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD and CONVEYED and by these presents does GRANT, BARGAIN, SELL AND CONVEY unto Grantee all of that certain tract or parcel of land, together with all improvements thereon and rights and appurtenances with respect thereto, situated in Chatham County, Georgia, as further described in Exhibit A attached hereto and made a part hereof for all purposes (the "Premises"):

This conveyance is made subject only to easements, restrictions and other matters of record and those matters set forth in Exhibit B attached hereto and made a part hereof.

TO HAVE AND TO HOLD the Premises, together with all and singular the rights and appurtenances thereof in anywise belonging unto Grantee and Grantee's successors and assigns forever; and it is agreed that Grantor and Grantor's successors and assigns are hereby bound to warrant and forever defend, all and singular, the Premises, unto Grantee and Grantee's successors and assigns against every person whomsoever lawfully claiming or to claim the same, or any part thereof by, through or under Grantor, but not otherwise.

EXHIBIT A

Legal Description of Land

TRACT 1:

All that certain lot, tract or parcel of land situate, lying and being near the town of Bloomingdale, located in the 8th G.M. District of Chatham County, Georgia, being known and designated as Parcel "1", containing 154.11 acres, more or less, and being known and designated upon a map or plat titled "Property Survey for Betty Vickery", prepared by Warren E. Poythress, G.R.L.S. #1953, dated December 1, 1997, and recorded in the Office of the Clerk of Superior Court of Chatham County, Georgia, in plat record book 15-P, Page 32. For a more particular description, reference is hereby made to the aforesaid map or plat, which is specifically incorporated herein and made a part hereof. This conveyance is made subject to all zoning ordinances, easements, restrictions and rights-of-way of record affecting said described property formerly known as a portion of "Heidt Place".

Subject, however, to all valid easements, restrictions, and rights-of-way of record.

AND

TRACT 2:

All that certain tract or parcel of land lying and being in the 8th G.M. District, City of Pooler, Chatham County, Georgia and shown as Lot 2-A on a map or plat titled "A Minor Subdivision of the Western Portion of Lot 2, the Warnell Tract, 8th G.M. District, City of Pooler, Chatham County, Georgia", prepared by Terry Mack Coleman, G.R.L.S. #2486, dated June 1, 2006, and recorded in the Office of the Clerk of the Superior Court of Chatham County, Georgia in Plat Book 34-P, Page 32, and being more particularly described as follows:

Commencing at an iron pipe on the Northern right-of-way of Jimmy DeLoach Parkway at the intersection of the Bloomingdale and Pooler City Limits; thence along the Eastern line of Parcel 1, Heidt Tract N02°04'53"E a distance of 1546.62' to an iron pipe marking the point of beginning; thence continuing N02°04'53"E a distance of 2560.00' to an iron pipe; thence along the Southern line of a portion of Lot 2, Warnell Tract S58°35'27"E a distance of 2112.65' to an iron pipe; thence along the Northern line of Lot 2-B of the Western portion of Lot 2, Warnell Tract S43°49'46"W a distance of 2037.06' to an iron pipe; thence N88°33'24"W a distance of 485.52' to the point of beginning; said parcel contains 62.508 acres.

Together with all that certain parcel or tract of land lying between and immediately adjacent to, at right angles, the Western boundary line of Parcel 2-A and to the Eastern Boundary Line of Parcel 1, Heidt Place as shown on the aforescribed plat. It was the intention of the predecessor in the title to convey all property lying between the 2560.00' length of the Western Boundary Line of Parcel 2-A and the Eastern Boundary Line of Parcel 1 of the Heidt Place as noted on the within described plat to be the property line as shown on Plat by Joe P. Davis, dated

Property Owners Within 200 Feet

Hopeton South Land Trust LLC
c/o Fellers, Schewe, Scott & Roberts, Inc.
P.O. Box 45033
Atlanta, Georgia 31145

SAIMAA International, Inc.
101 North Coastal Highway
Port Wentworth, Georgia 31407

STARBARBS, LLC
101 Little Neck Road, Bldg 4, Suite C
Savannah, Georgia 31419

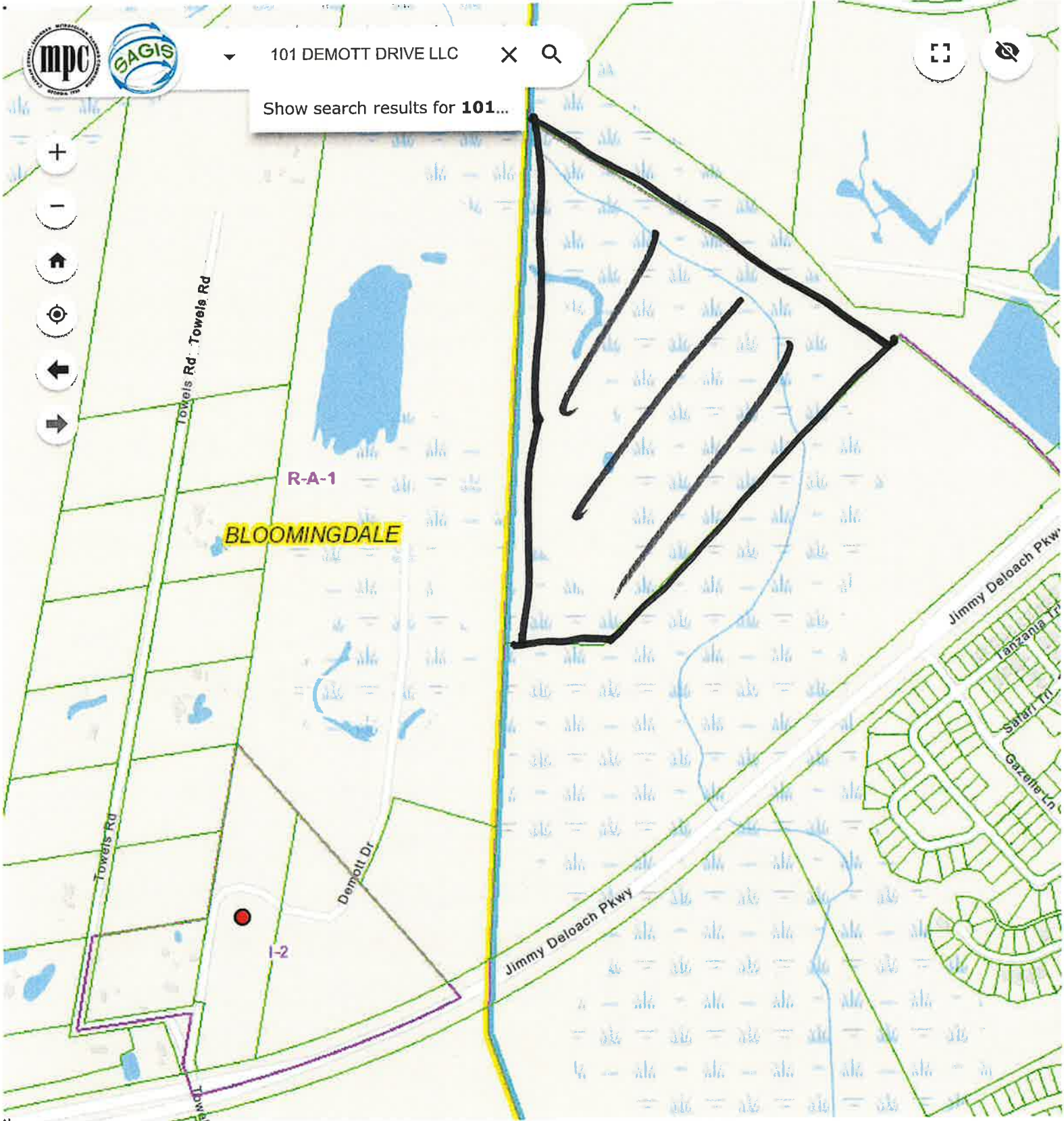
Savannah Little Neck Self Storage, LLC
300 South Tryon Street, Suite 2500
Charlotte, North Carolina 28202



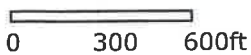
101 DEMOTT DRIVE LLC



Show search results for 101...



-81.281 32.153 Degrees



..... Reload the map where I left off
CLICK HERE to reload previous map location !





101 DEMOTT DRIVE LLC



Show search results for 101...



BLOOMINGDALE

-81.282 32.152 Degrees

0 300 600ft



..... Reload the map where I left off
CLICK HERE to reload previous map location !

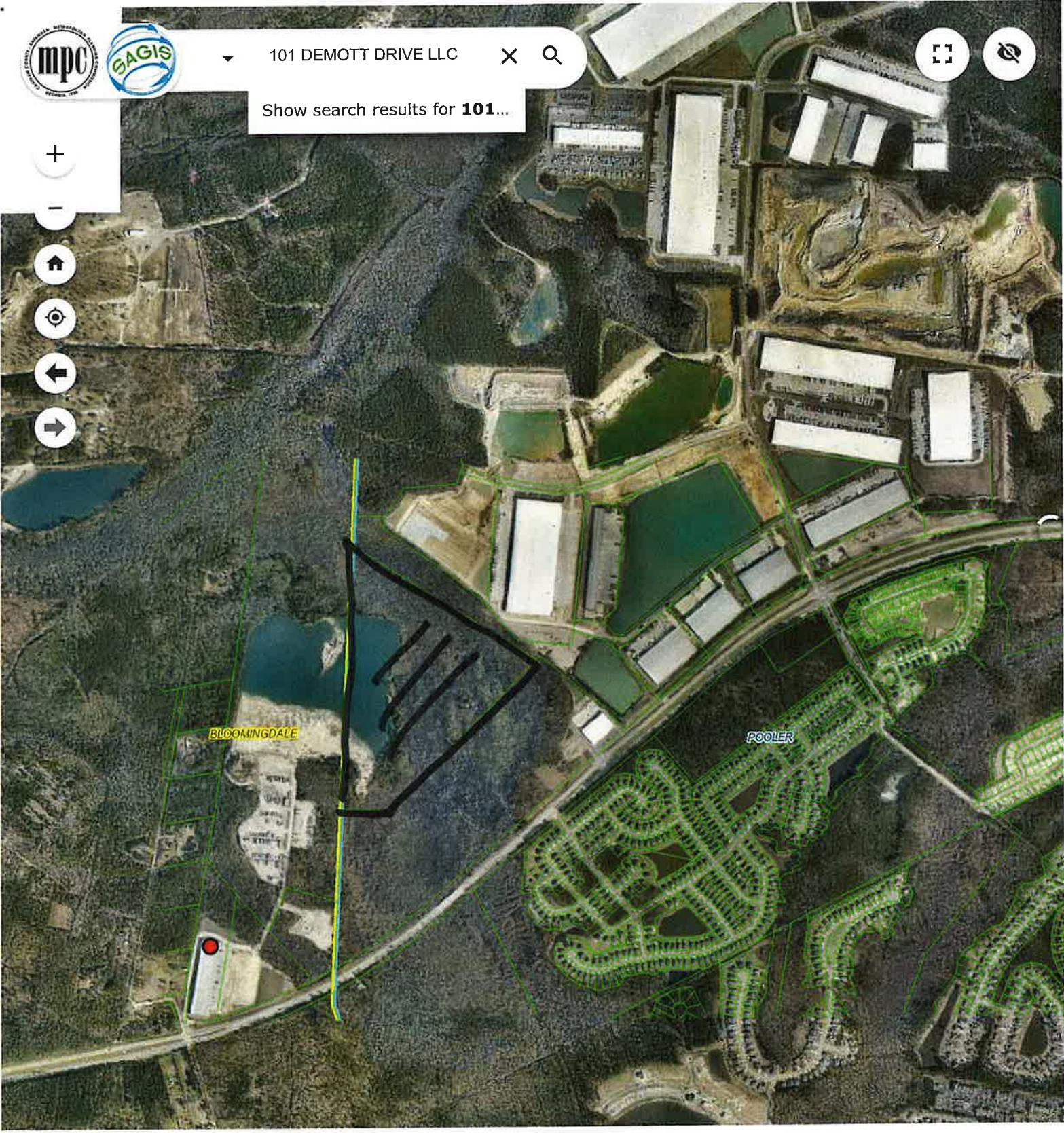




101 DEMOTT DRIVE LLC X Q



Show search results for 101...



-81.281 32.157 Degrees

0 0.15 0.3mi



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CLICK HERE to reload previous map location !





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Place of Worship at 1324 S Rogers St

Project:	#231760
P&Z Meeting Date:	February 12, 2024
Public Hearing Date:	February 20, 2024
Applicant and Authorized Agent:	Rev. Frankie Smith, True Vine Harvest Ministries Inc
Location (Address):	1324 S Rogers St
Parcel (PIN):	51011 02037A and 02043
Existing Zoning:	R-1-A (One Family Residential)
Zoning Action:	Conditional Use
Request:	Request to establish a place of worship
Application Filed:	December 15, 2023
Legal Notice Published:	January 18, 2024
Sign Posted:	January 18, 2024
Letters Mailed:	January 12, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>disagreed</u> with staff and recommends <u>disapproval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 6.8 acres with frontage on S Rogers St. The site comprises two parcels. The main parcel has a

residence and an accessory structure, and the other is generally undeveloped. The surrounding properties are all zoned R-1-A and consist of residences or undeveloped property. This is another place of worship located approximately 900' south of the subject site on S Rogers St.

The applicant is requesting to develop a place of worship at the site with an associated recreational building (gymnasium). The intent is to convert the residence into a parsonage for the church and use the accessory structure as a storage building. The main days of use of the property would be Sundays along with Tuesday through Thursdays.

Sec. 24 of Art. III, App. A provides specific criteria related to places of worship. One requirement sets forth a setback from property lines (except a right-of-way) of 50' for a place of worship and associated structures. Another requires places of worship only be permitted on a site that abuts a collector or arterial street.

The lot and proposed concept layout would allow for the setback requirements to be met for the sanctuary and recreational building; however, Council would need to authorize a reduced setback for the proposed parsonage and storage building as they would not be 50' from the side setbacks. S Rogers St is considered a minor arterial roadway and satisfies the road classification criteria.

Relevant Ordinances:

App. A, Art. III, Sec. 24 – Churches and Other Places of Worship
App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with the surrounding residential uses and other development. The proposed use would be consistent with the purpose of the ordinance for places of worship development and uses in the R-1-A zoning district.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an allowed use within the R-1-A district and would be similar to the other place of worship located nearby.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or

fumes generated by or as a result of the use, or type of physical activity associated with the land use.

- *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard. The use would have to meet all site plan standards as part of the development of the site.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.*
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is of sufficient size to satisfy all site design requirements for the use.*
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use. A site plan will be required in order for development to move forward.*
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion:

The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments:

A. Vicinity Map

B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231760 - 1324 S Rogers St

02/07/2024

Parcels







Rev. Frankie Smith

Conditional Use Application

Applicant Information	Applicant <u>True vine world Harvest ministries inc</u>
	Mailing address <u>5224 Augusta Rd.</u>
	City <u>Garden city</u> State <u>GA</u> Zip <u>31408</u>
	Telephone () Fax ()

Property Ownership	Property Owner(s) <u>Kellen Stanford</u>
	Mailing address <u>1324 S Rogers St.</u>
	City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u>
	Telephone () Fax ()

Contact Person	Contact Person(s) <u>Holly young</u>
	Telephone () Fax () E-mail

* All staff correspondence will be sent only to one designated contact person.
* Addresses and telephone numbers do not have to be repeated if provided above.

Request	Location address _____
	Current Zoning <u>R-1-A</u> Present use <u>residential</u>
	Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: _____
	Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Church - Gym - Tues - Thursday Sunday S.</u>
	A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>mid summer - 2024</u>

A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities:
Builder - developer -

Conditional Use Application (CONT.)

* This application will not be processed until ***ALL*** of the following items are submitted *

Filing Requirements	<input checked="" type="checkbox"/> Filing fee (see scheduled fees). Make checks payable to the City of Pooler. <input checked="" type="checkbox"/> A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c) <input type="checkbox"/> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities. <input type="checkbox"/> Submit one copy if 11" x 17" or smaller, 16 copies if larger. <input checked="" type="checkbox"/> Signed and dated Campaign Contributions and acceptance of conditional standards. <input checked="" type="checkbox"/> Authorization of property owner signed, dated and notarized. (page 3)
----------------------------	---

Adjacent Property Owners	<p>Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary. <i>(Required)</i></p> <hr/> <hr/> <hr/> <hr/>
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Campaign Contributions	<p>Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?</p> <input checked="" type="checkbox"/> * No. I have not made campaign contributions to any Pooler City Official(s). <i>(Please sign below at the *)</i> <input type="checkbox"/> * Yes. I have made campaign contributions to one or more Pooler City Official(s). <i>(Please sign below at the *)</i>												
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">City Official</th> <th style="width: 25%;">Title</th> <th style="width: 25%;">Dollar Value</th> <th style="width: 25%;">Description of gift</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	City Official	Title	Dollar Value	Description of gift								
City Official	Title	Dollar Value	Description of gift										
	<p>* Signature: _____ Date: _____</p> <p>If more space is needed for campaign contributions attach another copy of this form.</p>												

Signature & Date	<p>I attest that all the information provided is true to fact: _____ (Applicants Signature)</p> <p>Date: <u>12/15/2023</u></p> <p style="text-align: right;">Attest: _____ (Zoning Administrator or Agent thereof)</p>
-----------------------------	--

Application Status

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 1/18/24 2/20/24
- Notice published in newspaper on: 12/13/23 1/18/24 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 12/21/23 1/12/24
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: 1/18/24

City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

and/or

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: True Vine World Harvest Ministries, Inc.

Address: _____

City & State: Gothen City, GA. Zip 31408

Telephone number: _____

KEVIN STANFORD 12-12-23
Signature of owner Date

Personally appeared before me Kevin Stanford

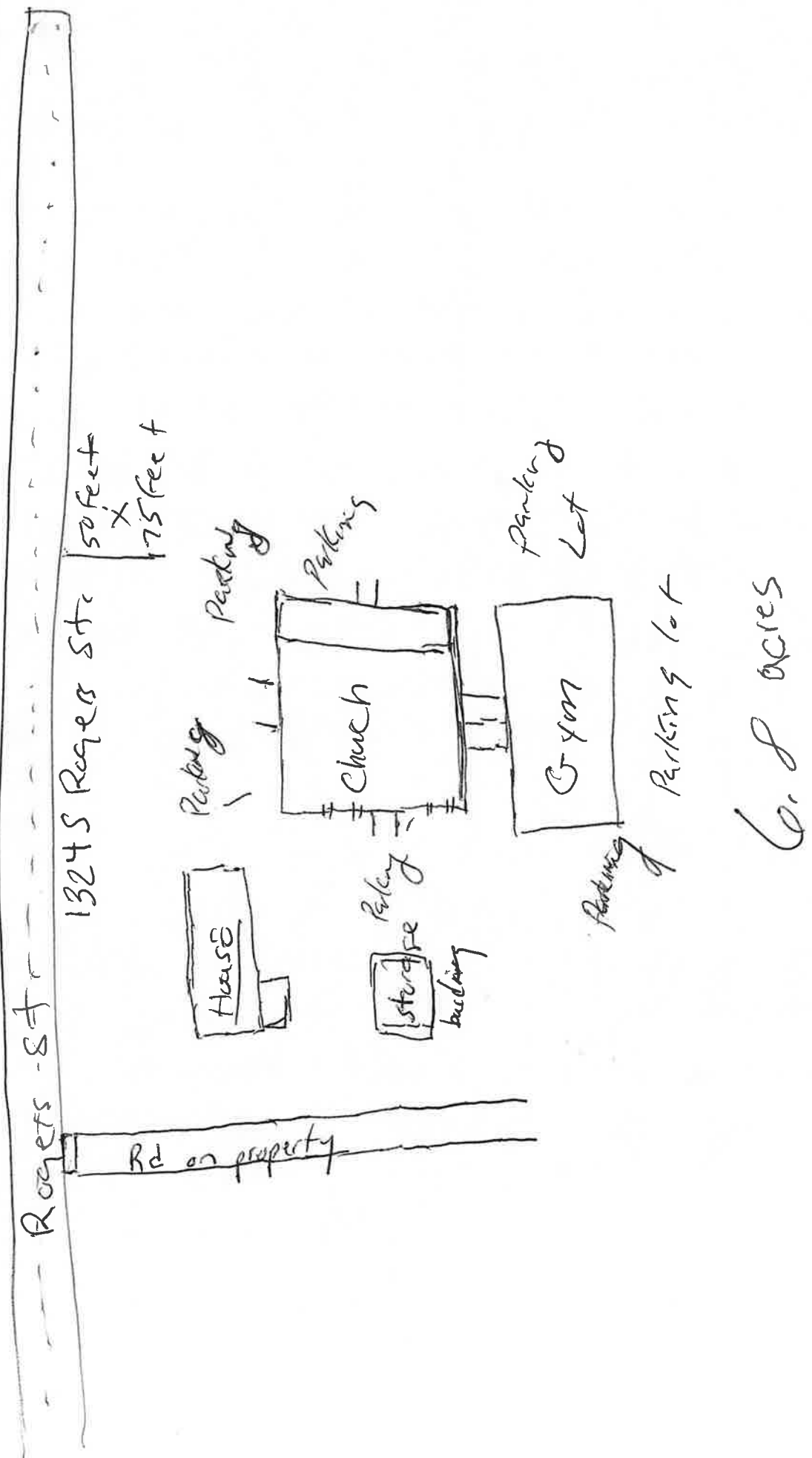
Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

Sandy Reese
Notary Public

12/12/23
Date

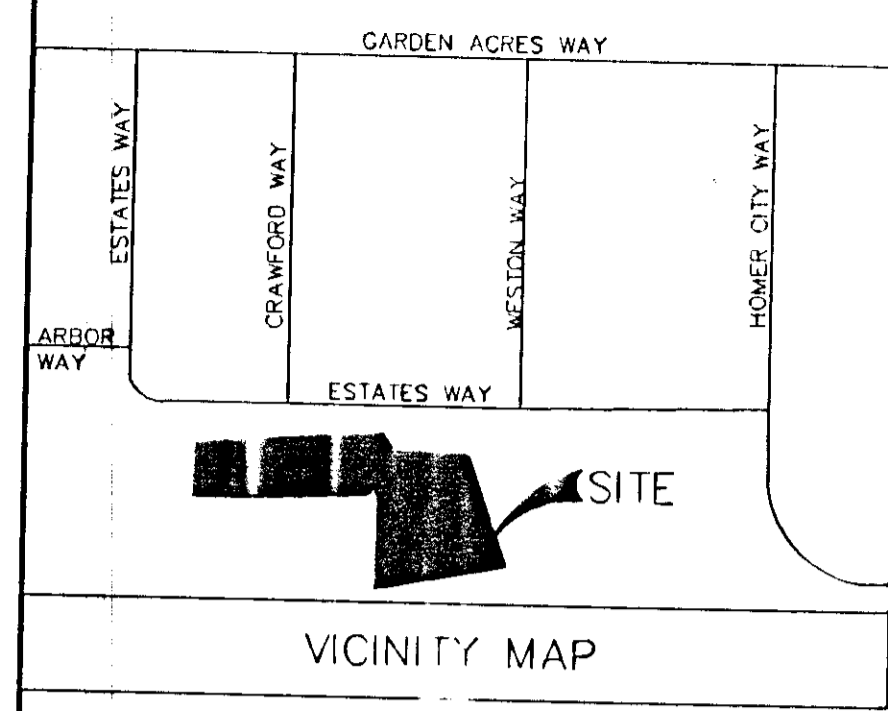
SANDY REESE
NOTARY PUBLIC
Effingham County
State of Georgia
My Comm. Expires August 16, 2027







Under Contract: \$1,200,000 (3 beds, 3 baths, 1,695 Square Feet)



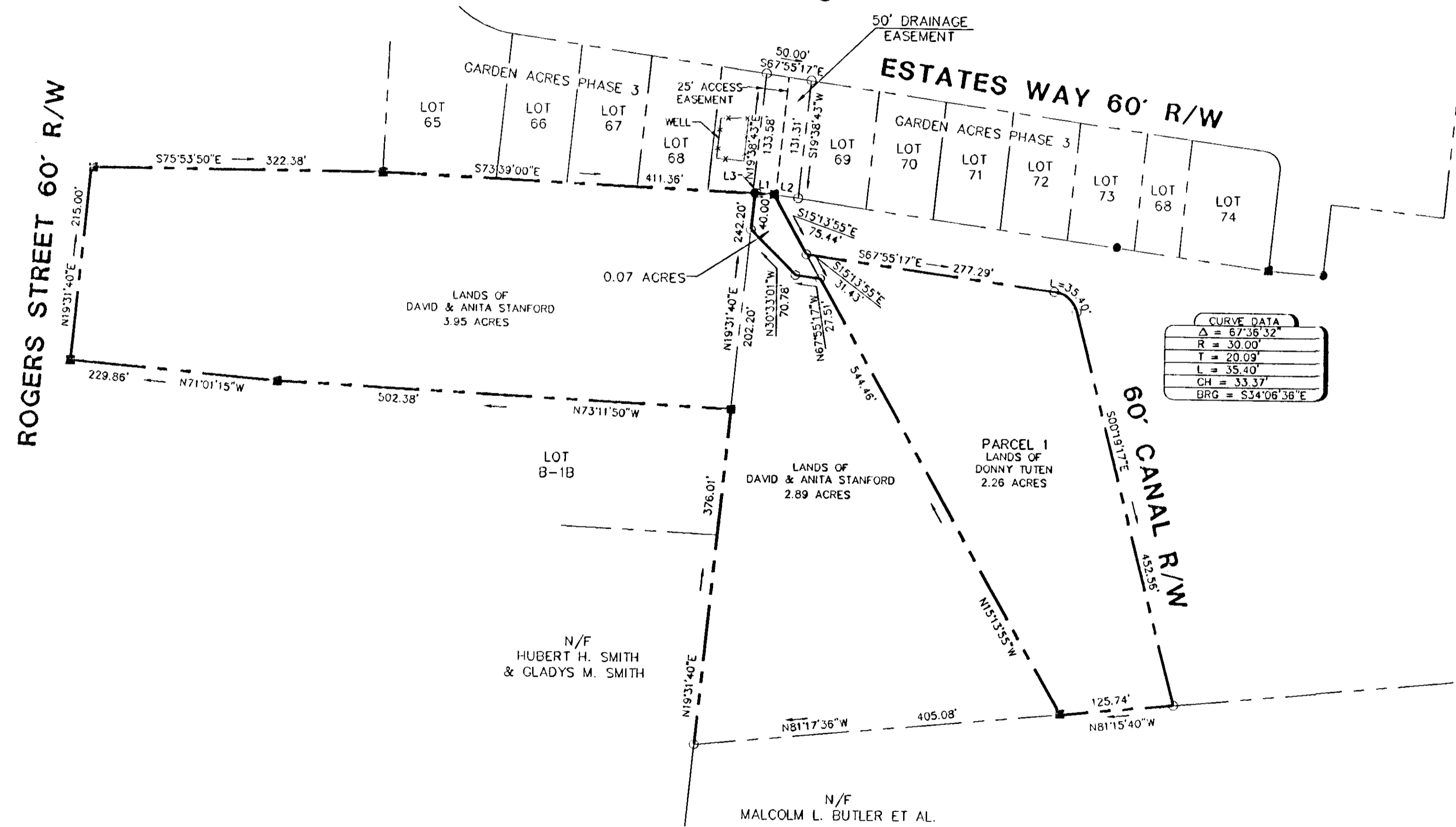
SUBDIVISION NOTES:

- 1) PARCEL 1 WILL NOT BE FURTHER SUBDIVIDED AT A LATER DATE.
- 2) GARDEN ACRES ESTATES DOES NOT UTILIZE THE POND LOCATED ON PARCEL 1 FOR DRAINAGE RETENTION OR DETENTION OR IN ANY OTHER FASHION.
- 3) 5/8" REBAR WILL BE PLACED AT ALL PROPERTY CORNERS.
- 4) LOTS TO BE SERVED BY CITY OF POOLER WATER AND SEWER SYSTEMS.
- 5) THIS SUBDIVISION CONTAINS 9.17 ACRES AND IS DIVIDED INTO 2 LOTS.
- 6) THE 25' ACCESS EASEMENT IS AN EXCLUSIVE EASEMENT TO BE USED ONLY BY THE OWNER OF PARCEL 1 FOR ACCESS TO PARCEL 1.
- 7) THE DRIVE LOCATED WITHIN THE 25' ACCESS EASEMENT WILL NOT DAMAGE NOR IMPEDE THE USE OF THE 50' DRAINAGE EASEMENT FOR THE USE IT WAS INTENDED FOR.
- 8) ALL STREETS, RIGHT OF WAYS, EASEMENTS AND ANY AREAS FOR PUBLIC USE ARE HEREBY DEDICATED FOR THE USE INTENDED.

98 JUN -5 PM 2:19
 CLERK OF SUPERIOR COURT
 CHATHAM COUNTY, GEORGIA

LINE	DIRECTION	DISTANCE
L1	S73°39'00"E	20.86'
L2	S67°55'17"E	27.32'
L3	S73°39'00"E	1.84'

David & Anita Stanford
 DAVID & ANITA STANFORD
Donny Tuten
 DONNY TUTEN



CURVE DATA

Δ =	67°36'32"
R =	30.00'
T =	20.09'
L =	35.40'
CH =	33.37'
BRG =	S34°06'36"E



EMC ENGINEERING SERVICES, INC.
 Post Office Box 8101
 23 East Cheriton Street
 Savannah, Georgia 31412
 Phone: (912) 232-6533
 Fax: (912) 232-2920

MINOR SUBDIVISION AND RECOMBINATION PLAT OF FORMERLY LANDS OF DONNY TUTEN AND LANDS OF DAVID & ANITA STANFORD, 8TH G.M. DISTRICT, POOLER, CHATHAM COUNTY, GEORGIA 17581
 PREPARED FOR:
DANNY R. ROBINSON & LISA M. ROBINSON



I CERTIFY THAT IN MY OPINION THIS IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF GEORGIA LAW AND IS SUITABLE FOR RECORDING.

Terry Mack Coleman
 TERRY MACK COLEMAN
 GA. REG. P.E. NO. 2486

REVISIONS

NUMBER	DATE

DESIGN: RDG

GRAPHICS: RDG

REVIEW: TMC

DATE: 6/12/98

SCALE: 1"=100'

PROJECT: 98149

SHEET: 1 OF 1

REFERENCE: 1) S.M.B. 14'S, PAGE 52.
 2) PLAT OF GARDEN ACRES PHASE 3 PREPARED BY: HUSSEY, GAY & BELL

BASED ON MY OBSERVATION THIS LOT IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY HUD, COMMUNITY NO. 130030, PANEL NO. 20-C, MAP DATED MAY 19, 1987

AREA: 399,468 S.F. (9.17 ACRES)
E.O.C. PLAT: 1/478,226
E.O.C. FIELD: 1/23,291
ERROR PER PT.: 00°00'03"
ADJ. METHOD: OBSERVATION
EQUIPMENT USED: SOKKIA SET 4-A

APPROVED BY THE MAYOR AND COUNCILMEN, CITY OF POOLER

Cal R. Case 6/11 1998
 MAYOR

Wayne Seay 6/11 1998
 COUNCILMAN

SE Wall 6/11 1998
 COUNCILMAN

John Beck 6/11 1998
 COUNCILMAN

John P. Stutz 6/11 1998
 COUNCILMAN

John Brewster 6/11 1998
 COUNCILMAN

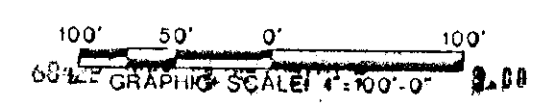
Malcolm L. Butler 6/11 1998
 COUNCILMAN

APPROVED BY THE POOLER PLANNING AND ZONING COMMISSION

Robert Jones 5/25 1998
 CHAIRMAN

APPROVED BY CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENGINEERING AND SANITATION

____ 1998
 DIRECTOR





CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Warehouse expansion at 125 Coleman Blvd

Project:	#231761
P&Z Meeting Date:	February 12, 2024
Public Hearing Date:	February 20, 2024
Applicant and Authorized Agent:	Thomas & Hutton (Agent)
Location (Address):	125 Coleman Blvd
Parcel (PIN):	50985 04075
Existing Zoning:	I-1 (Light Industrial)
Zoning Action:	Conditional Use
Request:	Request to expand an existing warehouse.
Application Filed:	December 14, 2023
Legal Notice Published:	January 18, 2024
Sign Posted:	January 18, 2024
Letters Mailed:	January 16, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>

Background:

The subject site is approximately 7.21 acres with access from Coleman Blvd. The site has an existing warehouse of approximately 101,100 sf.

The applicant is requesting to expand the existing warehouse by approximately 40,000 sf. As the Warehousing and Storage (493) use is a conditional use, any expansion of such use requires a conditional use approval.

Relevant Ordinances:

App. A, Art. IV, Sec. 4 – Conditional Uses

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with surrounding uses, which includes other warehouses and similar uses. The proposed use would be consistent with the purpose of the ordinance for industrial development.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an existing use at this site and expands the footprint. The use is an allowed use within the I-1 District and would be similar to the other warehousing and industrial uses nearby.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the*

proposed use is similar and compatible with existing uses.

5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is of sufficient size to satisfy all site design requirements for the use.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments: A. Vicinity Map
B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231761 - 125 Coleman Blvd

02/07/2024

Parcels





Conditional Use Application

Applicant Information	Applicant <u>Jason Chambless, PE - Thomas & Hutton</u> Mailing address <u>50 Park of Commerce Way</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone (____) _____ Fax (____) _____
Property Ownership	Property Owner(s) <u>Stephen Green Properties - Stephen Green</u> Mailing address _____ City <u>Savannah</u> State <u>Georgia</u> Zip <u>31412</u> Telephone (____) _____ Fax (____) _____
Contact Person	Contact Person(s) <u>Thomas & Hutton - Lauren Davenport, PE</u> Telephone _____ Fax (____) _____ E-mail (____) _____ <p style="text-align: center; font-size: small;"> * All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above. </p>
Request	Location address <u>125 Coleman Blvd</u> Current Zoning <u>I-1 -Light Industrial</u> Present use <u>Laydown yard for existing warehouse</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>There is an existing warehouse on this property. The proposed building expansion would be to expand the existing warehouse (for the same use and zoning). Article IV: Section 21-I-1 Light Industrial</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Warehouse activities are ongoing; single unit; Monday - Friday 7:00am - 5:00pm</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>March 2024/ year end completion</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities:

ie proposed site is currently industrial as are the parcels on all four sides, and most likely operate with multiple shifts. Given these cts, the likelihood of activities on the site having a negative impact on the operation of adjacent facilities is relatively small. owever, during construction, the contractor will follow the approved erosion, sedimentation, and pollution control plan to minimize the diment runoff and dust migration. The storm system has been designed and will be constructed to comply with applicable stormwat anagement rules and regulations. Storm structures and drainage pipe under Coleman Blvd installed per previously approved plans. ie site does not share access with any adjacent facility and uses the public right of way of Coleman Blvd. for ingress and egress. ough the number of trips in and out of the site will likely increase some after development, the site is located within an industrial par igned to accommodate industrial traffic. Coleman Blvd. has a traffic signal which will manage ingress and egress from the park.

Conditional Use Application (CONT.)

* This application will not be processed until **ALL** of the following items are submitted *

- Filing Requirements**
- Filing fee (see scheduled fees). Make checks payable to the City of Pooler.
 - A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)
 - A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities.
 - Submit one copy if 11" x 17" or smaller, 16 copies if larger.
 - Signed and dated Campaign Contributions and acceptance of conditional standards.
 - Authorization of property owner signed, dated and notarized. (page 3)

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary. **(Required)**


- 1. **JCB INC - 2000 BAMFORD BLVD, POOLER, GA 31322-9504** _____
- 2. **HORTON, WILLIAM DAVID - 280 INDUSTRIAL BLVD RINCON GA 31326** _____
- 3. **CITI TRENDS INC - 660 N CENTRAL EXPY STE 240 PLANO TX 75074-6897** _____
- 4. **112 COLEMAN BLVD LLC - 411 SUNCREST BLVD, SAVANNAH, GA 31410-2213** _____
- 5. **VHC INC - 3090 HOLMGREN WAY, GREEN BAY, WI 54304-5736** _____
- 6. **ATLANTIC FREIGHT OF SAVANNAH INC - PO BOX 7552, SAVANNAH, GA 31418-7552** _____

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?


- * No. I have not made campaign contributions to any Pooler City Official(s). *(Please sign below at the *)*
- * Yes. I have made campaign contributions to one or more Pooler City Official(s). *(Please sign below at the *)*

City Official	Title	Dollar Value	Description of gift

* **Signature:**  **Date:** 12/11/2023

If more space is needed for campaign contributions attach another copy of this form.

Signature & Date

I attest that all the information provided is true to fact: 
 (Applicants Signature)

Date: 12 / 11 / 2023

Attest: _____
 (Zoning Administrator or Agent thereof)

Application Status

This portion to be completed by Zoning Administrator

- Hearing date has been set for: 1/18/24 2/20/24
- Notice published in newspaper on: 12/21/23 1/18/24 (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: 1/16/24
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: 1/18/24



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

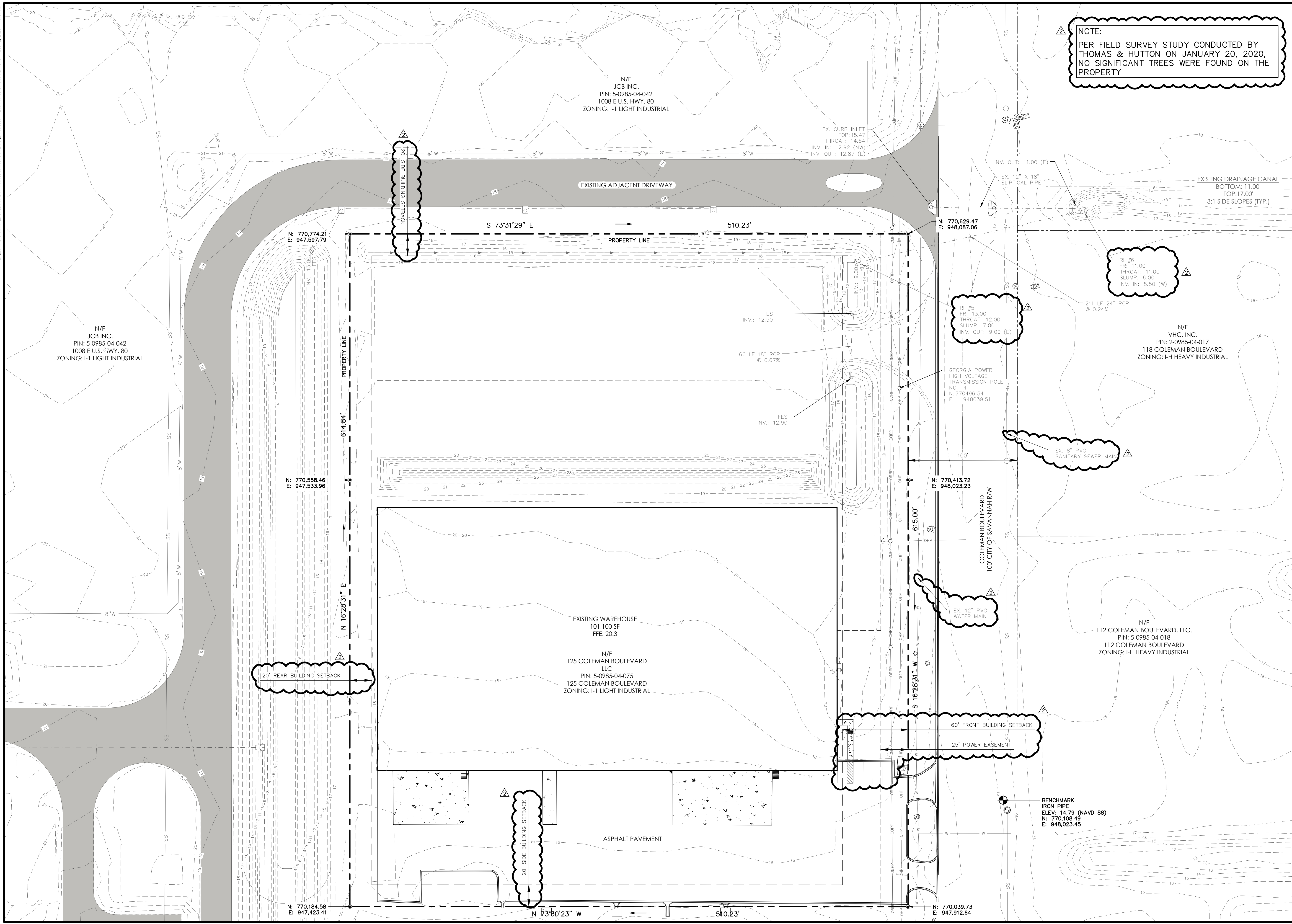
Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov.

 Applicant/Owner initial as received

2:2740(27940.000)\\S:\DRAWING\CONSTRUCTION PLANS\27940.000 - DRAINAGE CONDITIONS PLAN.DWG - Dec 12, 2023 - 10:51 AM



NOTE:
PER FIELD SURVEY STUDY CONDUCTED BY THOMAS & HUTTON ON JANUARY 20, 2020, NO SIGNIFICANT TREES WERE FOUND ON THE PROPERTY

NO.	REVISIONS	BY	DATE
2	REVISED PER CITY OF POOLER COMMENTS	WEW	12-12-23



THOMAS & HUTTON

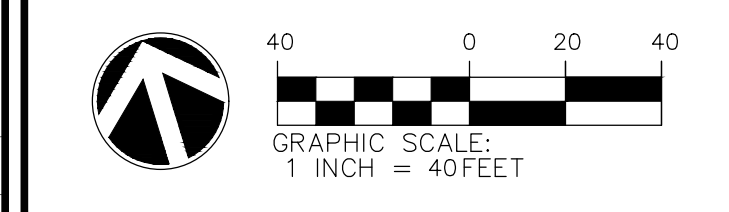
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

EXISTING CONDITIONS PLAN

125 COLEMAN BLVD. BUILDING EXPANSION

PROJECT LOCATION:
POOLER, GEORGIA

CLIENT/OWNER:
STEPHEN GREEN PROPERTIES
111 BARNARD STREET, SUITE 301
P.O. BOX 10143
SAVANNAH, GA 31401



DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO: 27940.0001
DATE: 9-8-23
DRAWN: WEW
DESIGNED: DSG
REVIEWED: LAD
APPROVED: JOC
SCALE: 1" = 40'

EX1.1

PERMIT SET - FOR REVIEW PURPOSES ONLY



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for an Auto Body Repair at 800 Clear Lake Way

Project:	#231762
P&Z Meeting Date:	February 12, 2024
Public Hearing Date:	February 20, 2024
Applicant and Authorized Agent:	Thomas & Hutton (Agent)
Location (Address):	800 Clear Lake Way
Parcel (PIN):	51011F 01022
Existing Zoning:	C-2 (Heavy Commercial)
Zoning Action:	Conditional Use
Request:	Request to establish and Auto Body Repair and Paint use
Application Filed:	December 14, 2023
Legal Notice Published:	January 18, 2024
Sign Posted:	January 18, 2024
Letters Mailed:	January 29, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>disagreed</u> with staff and recommends <u>disapproval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 1.9 acres with frontage on Clear Lake Way. The site is generally undeveloped. The neighboring lot

is the location of the recently approved American Pet Resort. The under-construction Chatham Subaru is also located nearby.

The applicant is requesting approval for the development and operation of an auto body repair and paint facility. The proposed building is approximately 12,500 sf. The hours of operation as listed as 7:30am through 5:30pm, Monday through Friday. All repair activities will be conducted indoors and screened from public view.

Relevant Ordinances:

App. A, Art. IV, Sec. 4 – Conditional Uses

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with surrounding uses at this time, which include a pet resort and car dealership. The proposed use would be consistent with the purpose of the ordinance for commercial development.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an allowed use within the C-2 district and would be similar to the other commercial uses nearby, particularly the Chatham Subaru.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.*

5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is of sufficient size to satisfy all site design requirements for the use.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments: A. Vicinity Map
B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231762 - 800 Clear Lake Way

02/07/2024

Parcels







Conditional Use Application

Applicant Information	Applicant <u>Bret Flory</u> Mailing address <u>1</u> City <u>Plano</u> State <u>TX</u> Zip <u>75013</u> Telephone _____ Fax (____) _____
Property Ownership	Property Owner(s) <u>Pooler Parkway of GA, LLC</u> Mailing address _____ City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone (____) _____ Fax (____) _____
Contact Person	Contact Person(s) <u>Melissa Hernandez</u> Telephone _____ Fax (____) _____ E-mail _____ <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>Clear Lake Way and Kita Ave (Parcel # 51011F01004)</u> Current Zoning <u>C-2</u> Present use <u>Vacant Lot</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>We are requesting approval of Conditional Use Permit to allow operation of an Auto Body Paint & Repair Shop.</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Hours of Operation. 7:30 a.m. – 5:30 p.m. Monday through Friday. All repair activities will be conducted in-doors and completely screened from public view.</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Proposed date of Construction: June 2024, Date of Completion/Use Opening: February 2025</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>The proposed facility (site and building) will be designed by licensed Architects/Engineers who are thoroughly versed in Body Shop Designs. Interior Lighting, HVAC Ventilation, and Storm Sewer oil/sand interceptors shall be properly placed to facility safe conditions within and outside the entire property. These designs shall receive City of Pooler Plan Review/Permit Approval to ensure structural, life safety, ADA and Building Code compliance for the proposed operations</u>

Conditional Use Application (CONT.)

* This application will not be processed until **ALL** of the following items are submitted *

Filing Requirements

- Filing fee (see scheduled fees). Make checks payable to the City of Pooler.
- A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)
- A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities.
- Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Signed and dated Campaign Contributions and acceptance of conditional standards.
- Authorization of property owner signed, dated and notarized. (page 3)

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary. **(Required)**

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- * No. I have not made campaign contributions to any Pooler City Official(s). *(Please sign below at the *)*
- * Yes. I have made campaign contributions to one or more Pooler City Official(s). *(Please sign below at the *)*

City Official	Title	Dollar Value	Description of gift

DocuSigned by: RAJENDRA V PATEL Date: December 13, 2023
 * Signature: _____ Date: _____
 If more space is needed for campaign contributions attach another copy of this form.

Signature & Date

I attest that all the information provided is true to fact: *Rajendra Patel*
 (Applicants Signature)
 Date: 12 / 5 / 23
 Attest: _____
 (Zoning Administrator or Agent thereof)

Application Status

This portion to be completed by Zoning Administrator

- Hearing date has been set for: _____
- Notice published in newspaper on: _____ (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: _____
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: _____

City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

and/or

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Bret Flory

Address: _____

City & State: Plano, TX Zip 75075

Telephone number: _____

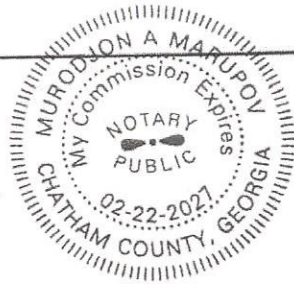
[Signature] _____ 12/5/23
Signature of owner Date

Personally appeared before me HAJENDRA PATEL

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

[Signature]
Notary Public

12/5/2023
Date





Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

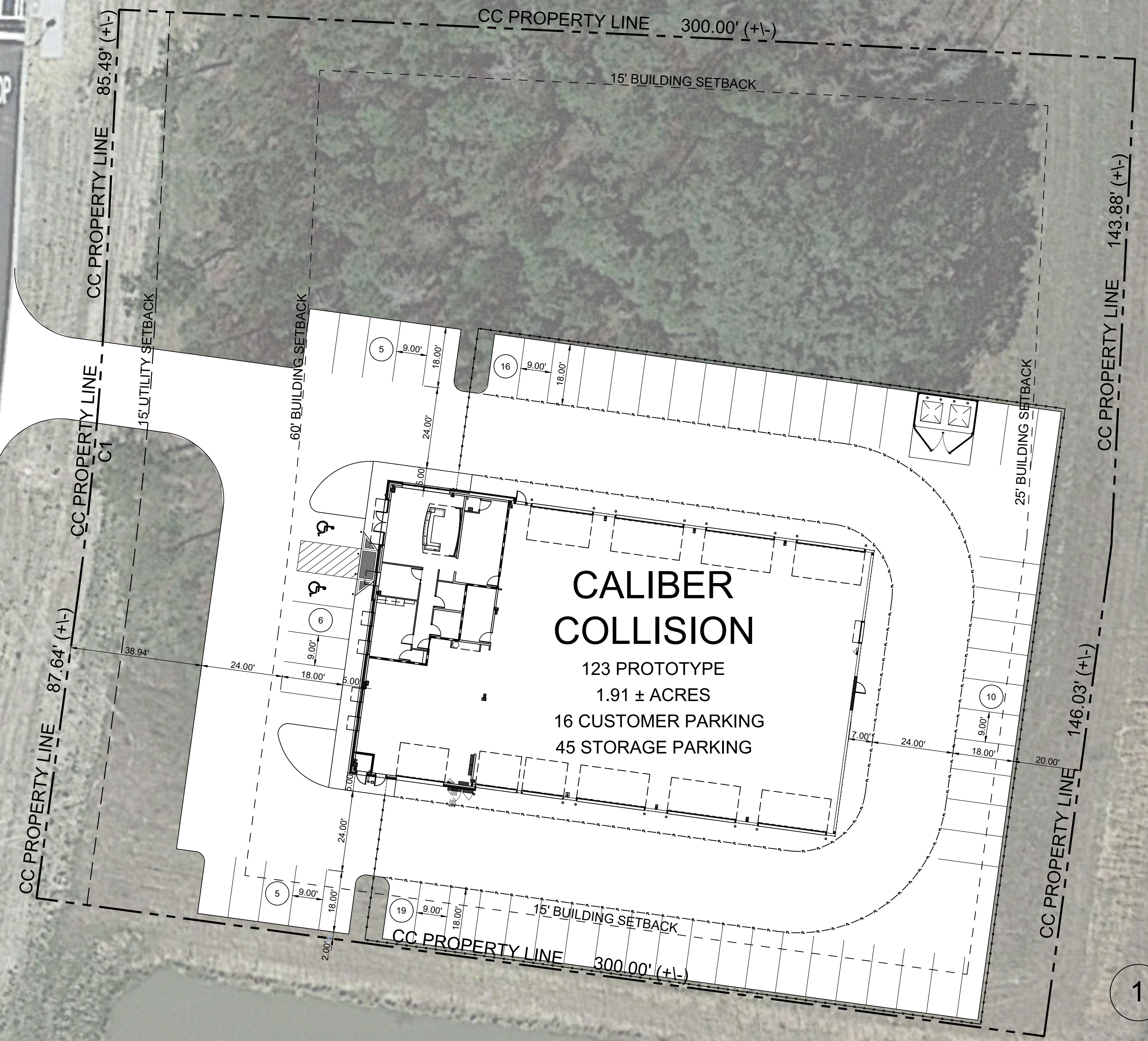
If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

RRP

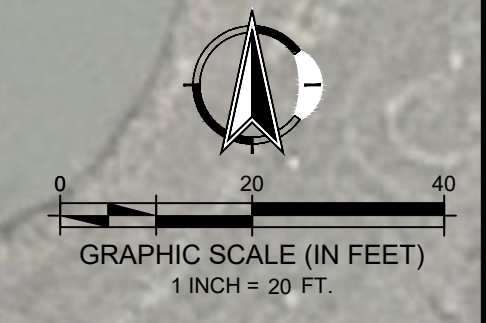
____ Applicant/Owner initial as received

KITA AVE.

CLEAR LAKE WAY



1 SITE PLAN
1" = 20'-0"



SITE DATA (123)	
OFFICE SQ. FT.	= 1,698 SQ. FT. ±
SHOP FLOOR SQ.FT.	= 10,777 SQ. FT. ±
TOTAL BUILDING SQ.FT.	= 12,475 SQ. FT. ±
ACREAGE TOTAL	= 1.91
PARCEL CONTROL NUMBER: 51011F01004	
FLOOD ZONE 'X' (OUTSIDE 500 YEAR PLAIN)	
SETBACKS: FRONT: 60' REAR: 10' SIDES: 10'	
PROPOSED HEIGHT	= TBD
MAX. HEIGHT	= TBD
ZONING	C-2
USE	AUTO BODY PAINT & REPAIR SHOP
WATER	PUBLIC
SEWER	PUBLIC
PARKING CALCULATIONS	
ONE-HALF SPACE FOR EACH GAS PUMP, PLUS ONE SPACE FOR EACH SERVICE BAY OR SIMILAR FACILITY	
CITY TOTAL REQUIRED (19 BAYS)	= 19

Bret FLORY
BRET FLORY
1913 GARDENGROVE COURT
PLANO, TEXAS 75075
PH: 972.467.9749

McNEEL PROPERTIES

CALIBER COLLISION
CONCEPTUAL SITE PLAN 01
KITA AVE. & CLEAR LAKE PKWY.
POOLER, GA.

DRAWN: SGM	PROJECT #: SCHE	DATE: 23.09.26
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CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Site Plan for 212 E Hwy 80

Project:	#221523
P&Z Meeting Date:	January 22, 2024
City Council Meeting Date:	February 5, 2024
Applicant and Authorized Agent:	Mark Boyles (Engineer) / Dr. Toni Sylvester (Applicant)
Location (Address):	212 E Highway 80
Parcel (PIN):	50006 13033
Acreage:	0.97 total – 0.57 disturbed
Zoning:	C-1 (Light Commercial) / Main Street Overlay
Proposed Use:	Physician’s office
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA

A great place to Live, Work and Play

Project #221523 - 212 E Hwy 80 Office

01/18/2024

Parcels





NEW OFFICE

PIN #50006 13033

212 East Hwy 80

Pooler Georgia

OWNER/DEVELOPER

Dr Toni Sylvester
(973)220-4399
sylvester.reynolds@gmail.com

SURVEYOR

Vince Helmly
(912)429-9395

ENGINEER

S. MARK BOYLES, PE, PC
P.O. BOX 22324
SAVANNAH, GA 31403
CONTACT: MARK BOYLES
(912)657-1155
SMBOYLES@BELLSOUTH.NET



VICINITY MAP
NTS

SHEET INDEX

- C1.0--COVER SHEET
- C1.1--GENERAL NOTES
- C1.2--EXISTING SITE PHOTOGRAPHS
- C2.0--ORIGINAL SURVEY & DEMOLITION PLAN
- C2.1--SITE PLAN
- C2.2--GRADING & DRAINAGE PLAN
- C2.3--UTILITY PLAN
- C2.4--EROSION CONTROL PLAN
- C3.0--SITE DETAILS
- C3.1--SITE DETAILS
- C3.2--SITE DETAILS
- C3.3--SITE DETAILS
- L1.0--LANDSCAPE PLAN
- L2.0--LANDSCAPE DETAILS
- A1--GADOT STANDARD DETAILS
- A2--GADOT STANDARD DETAILS
- A3--GADOT STANDARD DETAILS
- A4--GADOT STANDARD DETAILS
- T01--GADOT STANDARD DETAILS
- T02--GADOT STANDARD DETAILS
- T11a--GADOT STANDARD DETAILS
- T12b--GADOT STANDARD DETAILS

LEGEND		
EXISTING	NEW	
		BUILDING
		ASPHALT PAVEMENT
		CONCRETE PAVEMENT
		CONCRETE CURB AND GUTTER
		WALK
		STORM DRAIN
		SANITARY SEWER
		WATER LINE
		TELEPHONE LINE
		UNDERGROUND TELEPHONE LINE
		POWER POLE W/LIGHT
		UNDERGROUND POWER
		GAS LINE
		MANHOLE
		INLET
		VALVE
		TREE
		CONTOUR
		TP=34.56 TOP OF PAVEMENT
		TW=34.56 TOP OF WALK
		FG=34.56 FINISHED GRADE
		IE=34.56 INVERT ELEVATION
		FIRE HYDRANT
		DITCH OR SWALE
		RD ROOF DRAIN
		C.O. CLEANOUT
		CHAINLINK FENCE
		SILT FENCE

SITE DEVELOPMENT DATA	
PIN NUMBER =	50006 13033
CURRENT ZONE =	C-1
TOTAL AREA OF SITE =	0.975 ACRES
DISTURBED AREA =	0.57 ACRES
NEW SIDEWALK AREA =	407 SQUARE FT
NEW IMP. PAVEMENT AREA =	4475 SQUARE FT
TOTAL NEW IMPERVIOUS AREA =	4872 SQUARE FT
NEW GRAVEL PAVEMENT AREA=	3860 SQUARE FT.
EXIST. BUILDING AREA =	2854 SQUARE FT
PARKING REQUIRED:	
1 SPACE FOR EACH 300 SF OF OFFICE=	2854/300 = 10
PARKING PROVIDED:	
REGULAR =	14
VAN ACCESSIBLE =	1
TOTAL =	15
REQUIRED TREE QUALITY POINTS =	0.57 x 1600 = 912 TQP
REQUIRED PARKING TQP =	0.06 x 1200 = 74 TQP
REQUIRED LANDSCAPE QUALITY POINTS =	0.57 x 400 =228 LQP

THE UTILITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY TO VERIFY THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Know what's below.
Call before you dig.



S. Mark Boyles, PE, PC
P.O. BOX 22324
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CELL: 912-657-1155
smboyles@bellsouth.net

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Uncion Urogynecology, LLC

No.	Description	Date
1	PER GDOT & POOLER	11/15/23
2	PER GDOT	11/17/23

New Office
212 Hwy 80
Pooler Georgia

Cover

Project number	22-046
Date	2/7/23
Drawn by	S.M.B.
Designed by	S.M.B.

C1.0

Scale As Shown

GENERAL SITE NOTES:

1. TREE PROTECTION AND EROSION CONTROL SHALL BE INSTALLED BEFORE ANY OTHER WORK COMMENCES ON THE PROJECT BY THE CONTRACTOR.
2. PRIOR TO ANY AND ALL DIGGING OPERATIONS, THE CONTRACTOR SHALL GIVE ALL UTILITY COMPANIES THREE WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. CONTACT THE UTILITY PROTECTION CENTER (UPC) AT (1-800-282-7411). CONTRACTOR SHALL HAVE THE FOLLOWING INFORMATION READY BEFORE CALLING THIS NUMBER: COUNTY, TOWN, LOCATION, NEAREST STREET INTERSECTION, TYPE OF WORK (SEWER, WATER, ETC.), YOUR NAME, YOUR COMPANY NAME, TELEPHONE NUMBER (WHERE YOU CAN BE REACHED AND THE BEST TIME TO REACH YOU), OWNERS NAME, DATE AND TIME YOU ARE PLANNING TO DIG.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL OF THE UTILITIES. ANY DAMAGE SHALL BE THE EXPENSE OF THE CONTRACTOR.
4. IT IS THE OBLIGATION OF THE BIDDER TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA THAT IS AVAILABLE AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED AND WASTED, GRADED AND COMPACTED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED.
5. ALL DISTURBED EARTH AREAS NOT COVERED OTHERWISE BY PAVING SHALL BE GRASSED USING A HYDRO-MULCH OF FERTILIZER, MULCH, CENTIPEDE GRASS SEED AND SUBSEQUENTLY WATERED AND MAINTAINED ACCORDING TO APPLICABLE PROVISIONS OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" BY THE STATE OF GEORGIA SOIL AND WATER CONSERVATION COMMISSION 5TH EDITION, DATED APRIL 2000.
6. ALL WORK SHALL CONFORM WITH APPLICABLE REQUIREMENT AND CODES OF THE CITY OF POOLER, GEORGIA.
7. ALL RELATED SITE DETAILS NOT OTHERWISE SHOWN SHALL CONFORM TO THE LATEST CITY OF POOLER STANDARD CONSTRUCTION DETAILS.
8. WHERE EXISTING PAVEMENT IS SHOWN TO BE MATCHED, EXISTING PAVEMENT SHALL BE SAW CUT TO A NEAT LINE.
9. CONTRACTOR SHALL COORDINATE DEMOLITION AND IMPROVEMENTS TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF FACILITIES.
10. STREET SIGNS SHALL CONFORM TO STANDARDS OF THE CITY OF POOLER TRAFFIC ENGINEER'S DEPT. AT ALL ENTRANCES TO SITE. DIRECTIONAL ARROWS, CROSS WALK MARKINGS AND OTHER PAINTED TRAFFIC MARKINGS SHALL CONFORM TO CITY OF POOLER TRAFFIC ENGINEERS DEPARTMENT STANDARDS.
11. TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT BLOCKAGE OF STORM SEWERS, PONDING IN TRAFFIC AREAS OR RAISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
12. THE CONTRACTOR SHALL OBTAIN A " RIGHT OF WAY PERMIT" PRIOR TO ANY WORK WITHIN THE STREET RIGHT OF WAY.
13. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
14. THE CONTRACTOR SHALL FURNISH AN "AS-BUILT" SURVEY OF THE COMPLETED CONSTRUCTION. THE SURVEY SHALL BE PREPARED BY A REGISTERED SURVEYOR IN AUTOCAD VERSION 2000 OR LATER ON CD. THE SURVEY SHALL BE PREPARED WITH A COORDINATE SYSTEM BASED ON THE GEORGIA STATE PLANE COORDINATE SYSTEM EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). ELEVATIONS SHALL BE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD OF 88). COORDINATES SHALL BE PROVIDED FOR ALL DRAINAGE STRUCTURES, DETENTION FACILITIES, MANHOLES, VALVES, HYDRANTS, TEES, AND BENDS. INVERTS FOR ALL STORM DRAINAGE AND SANITARY SEWER PIPES AND STRUCTURES SHALL BE PROVIDED.
15. THE CONTRACTOR SHALL FURNISH AN "AS-BUILT" LANDSCAPE PLAN SHOWING THE SPECIES, SIZE AND LOCATION OF ALL TREES, SHRUBS AND GROUND COVERS AND THE "AS-BUILT" TOP AND LQP.
16. THE CITY WILL HAVE THE RIGHT TO PROPERTY/SITE FOR INSPECTION DURING CONSTRUCTION.

WATER INSTALLATION NOTES:

1. CONTRACTOR IS REQUIRED BY LAW TO CONTACT THE UTILITIES PROTECTION CENTER (UPC) AT 1- 800-282-7411 FOR UTILITY LOCATIONS A MINIMUM OF 72 HOURS PRIOR TO ANY DIGGING ACTIVITY.
2. "PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS, AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES."

"ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE."

"CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT ALL DIRT BEFORE LAYING."

"FLUSH THE NEW PIPE LINE UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION." (VELOCITY- 2.5 FPS, TIME- 30 MIN.)
3. DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, OR APPROVED EQUAL, WILL BE USED TO FOR A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING USED.
4. IF THE CITY WATER SUPPLY IS USED TO FLUSH THE NEW WATER SYSTEM, A TEMPORARY BACK FLOW PREVENTOR AND TEMPORARY CONNECTION SHALL BE PROVIDED BY THE CONTRACTOR. THE SYSTEM SHALL BE FLUSHED THRU THE FIRE HYDRANTS AND SERVICE LATERALS. THE WATER FROM FLUSHING SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.
5. FOR CITY WATER, SANITARY SEWER LINES, AND STORM DRAINAGE, CONTACT THE UTILITIES PROTECTION CENTER A MINIMUM OF SEVENTY- TWO (72) HOURS PRIOR TO DIGGING. (1-800-282-7411)
6. PREFABRICATED METER PITS ARE ACCEPTABLE FOR INSTALLATION. METER VALVES MUST MEET CITY OF POOLER SPECIFICATIONS.
7. ALL CONSTRUCTION MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF POOLER'S CONSTRUCTION SPECIFICATIONS AND DETAILS.
8. ALL PIPE SHALL BE IN ACCORDANCE WITH THE CITY OF SAVANNAH SPECIFICATIONS. PIPE 4 INCHES AND LARGER SHALL BE EITHER C-900 PVC OR DUCTILE IRON. PIPE SMALLER THAN 4 INCHES SHALL BE EITHER POLYETHYLENE OR COPPER.
9. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED FIRE HYDRANT METER EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE. THIS METER AND BACKFLOE DEVICE WILL BE OBTAINED FROM THE CITY OF SAVANNAH WATER OPERATIONS DEPARTMENT.
10. ALL PIPE JOINTS TO BE RESTRAINED WITH MECHANICAL RESTRAINTS IN ACCORDANCE WITH CITY OF POOLER STANDARDS. THRUST BLOCKS ARE NOT ALLOWED.
11. THE WATER SERVICE LATERALS SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAINS TO THE METERS. THE CITY OF SAVANNAH WILL ONLY MAKE THE WET TAP. THE CITY WILL NOT INSTALL THE WATER SERVICE LATERAL.
12. CONNECTION TO THE EXISTING WATER DISTRIBUTION SYSTEM MUST BE MADE BY WET TAP WITH NO INTERRUPTION OF SERVICE IN THE EXISTING SYSTEM.
13. MAINTAIN 18 INCH VERTICAL CLEARANCE BETWEEN ALL WATER LINES AND ALL STORM AND SANITARY SEWER LINES.
14. ALL EXISTING UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY OF POOLER.
15. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
16. ALL MATERIALS USED AND COMING INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITARY FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61)
17. FOR COPPER PIPE, SOLDER AND FLUX USED DURING INSTALLATION OF THE WATER LINES MUST BE "LEAD FREE" WITH NO MORE THAN 8% LEAD IN THE PIPE AND FITTINGS AND NO MORE THAN 0.2% LEAD IN THE SOLDER AND FLUX.



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Uncion Urogynecology, LLC

No.	Description	Date
1	PER GDOT & POOLER	11/15/23

New Office
 212 Hwy 80
 Pooler Georgia

General Notes

Project number	22-046
Date	10/19/22
Drawn by	S.M.B.
Designed by	S.M.B.

C1.1

Scale As Shown



S. Mark Boyles, PE, PC
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Uncion Urogynecology, LLC

No.	Description	Date

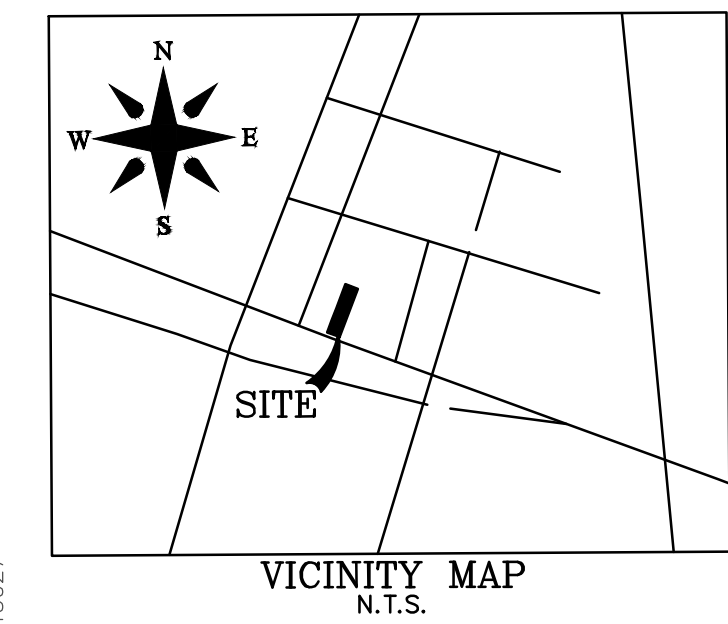
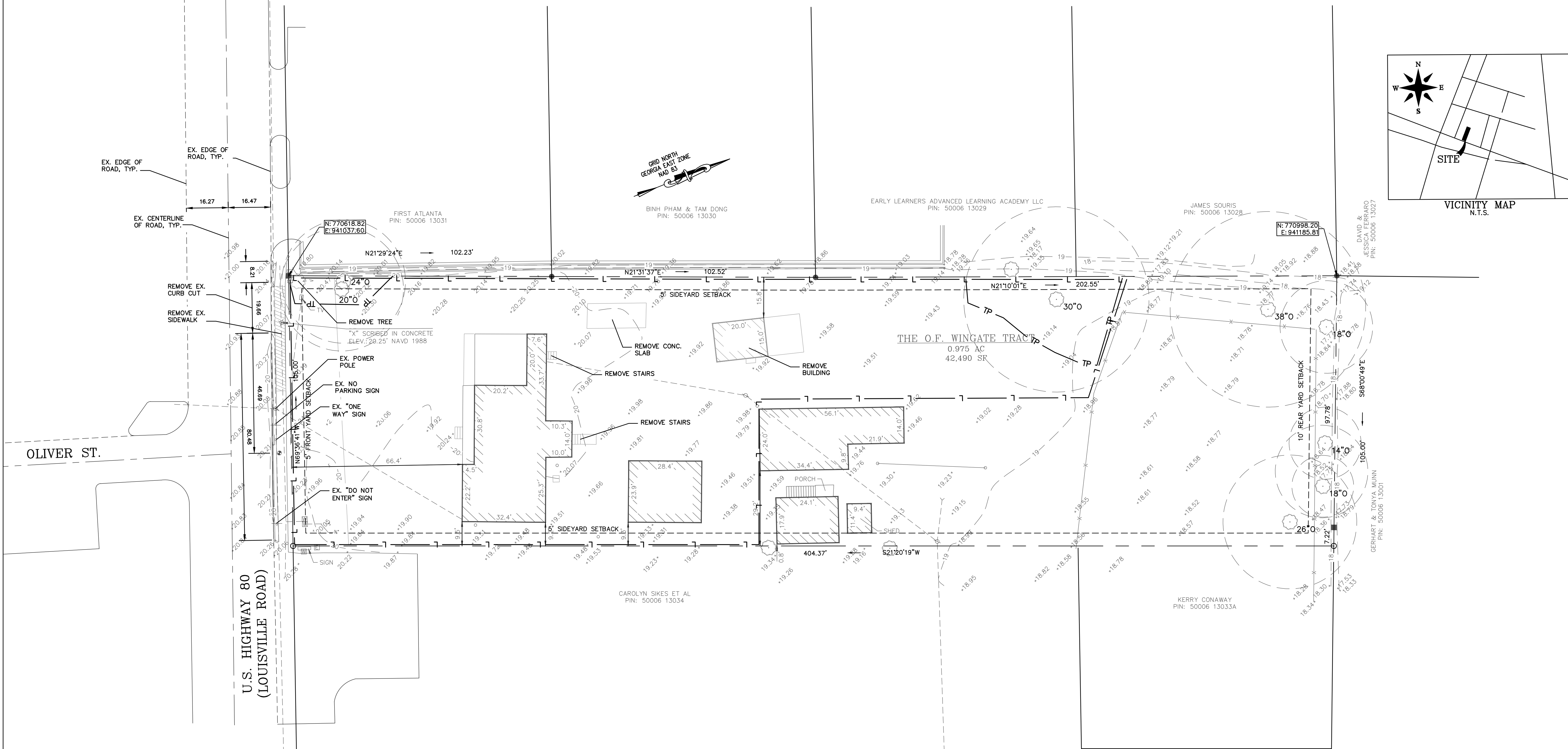
New Office
 212 Hwy 80
 Pooler Georgia

Existing Site Photographs

Project number 22-046
 Date 10/19/22
 Drawn by S.M.B.
 Designed by S.M.B.

C1.2
 Scale As Shown

NOTE: CONTRACTOR MUST
TRANSFER BENCHMARK PRIOR TO
REMOVING EXISTING SIDEWALK



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Uncion Urogynecology, LLC

No.	Description	Date
2	PER GDOT	11/17/23

This plot is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plot complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

VINCENT HELMLY NO. 1882 DATE

ERROR OF CLOSURE:
FIELD: 1/45.382
ANGULAR ERROR OF 2" PER
ANGLE POINT AND ADJUSTED
BY COMPASS METHOD
PLAT CLOSURE 1/127.709
EQUIPMENT: TOPCON GTS238W
TOTAL STATION: SINGLE PRISM

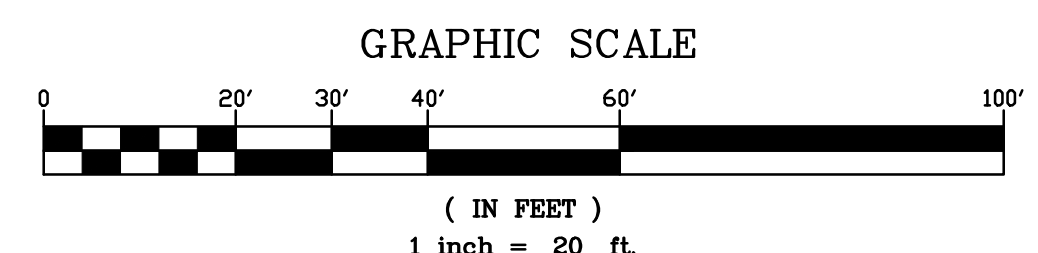
REFERENCE:
1. PRB P, PAGE 90
2. DB 687, PAGE 183

NOTES:
1. ACCORDING TO F.I.R.M. MAP NO. 13051C0126H EFFECTIVE DATE 8/16/2018, THIS PARCEL SHOWN HEREON LIES IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA.
2. CURRENT ZONING: C-1
3. THE HORIZONTAL DATUM IS BASED ON GRID NORTH, GEORGIA EAST ZONE, NAD 83.

- LEGEND
- CMF-CONCRETE MONUMENT FOUND
 - IRF-IRON ROD FOUND
 - IRP-IRON PIPE FOUND
 - IRS-5/8" IRON ROD SET
 - C&G-CURB AND GUTTER
 - MB-MAIL BOX
 - CO-CLEAN OUT
 - OH-OVERHEAD POWER
 - PP-POWER POLE
 - SP-SPIGOT
 - WM-WATER METER
 - TR-TRANSFORMER
 - EBX-ELECTRIC BOX
 - TV-TELEPHONE VAULT
 - GW-GUY WIRE
 - G-GUM TREE
 - O-OAK TREE
 - P-PINE TREE
 - UT--- UNDERGROUND TELEPHONE
 - W--- UNDERGROUND WATER LINE

A TOPOGRAPHIC & TREE SURVEY
OF THE O.F. WINGATE TRACT
8TH G.M. DISTRICT, POOLER,
CHATHAM COUNTY, GEORGIA
ADDRESS: 212 EAST U.S. HIGHWAY 80
PIN: 50006 13033
Surveyed For: REDMAN CONSTRUCTION, INC.

Vincent Helmly
129-A BURTON ROAD
SAVANNAH, GEORGIA 31405
(912) 429-9395
FIELD SURVEY DATE: 9/12/2022
DATE: 9/13/2022 JOB No. 22-228



New Office

212 Hwy 80
Pooler Georgia

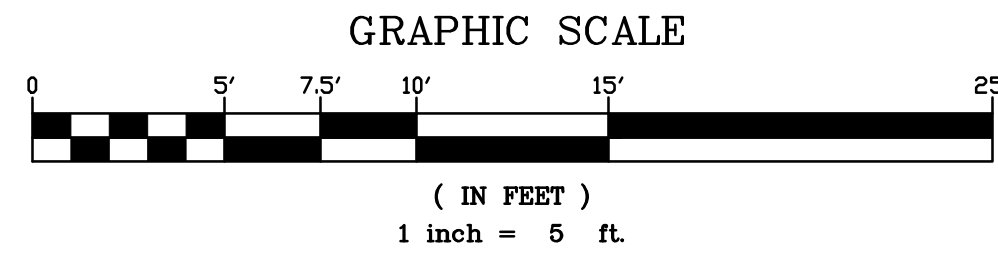
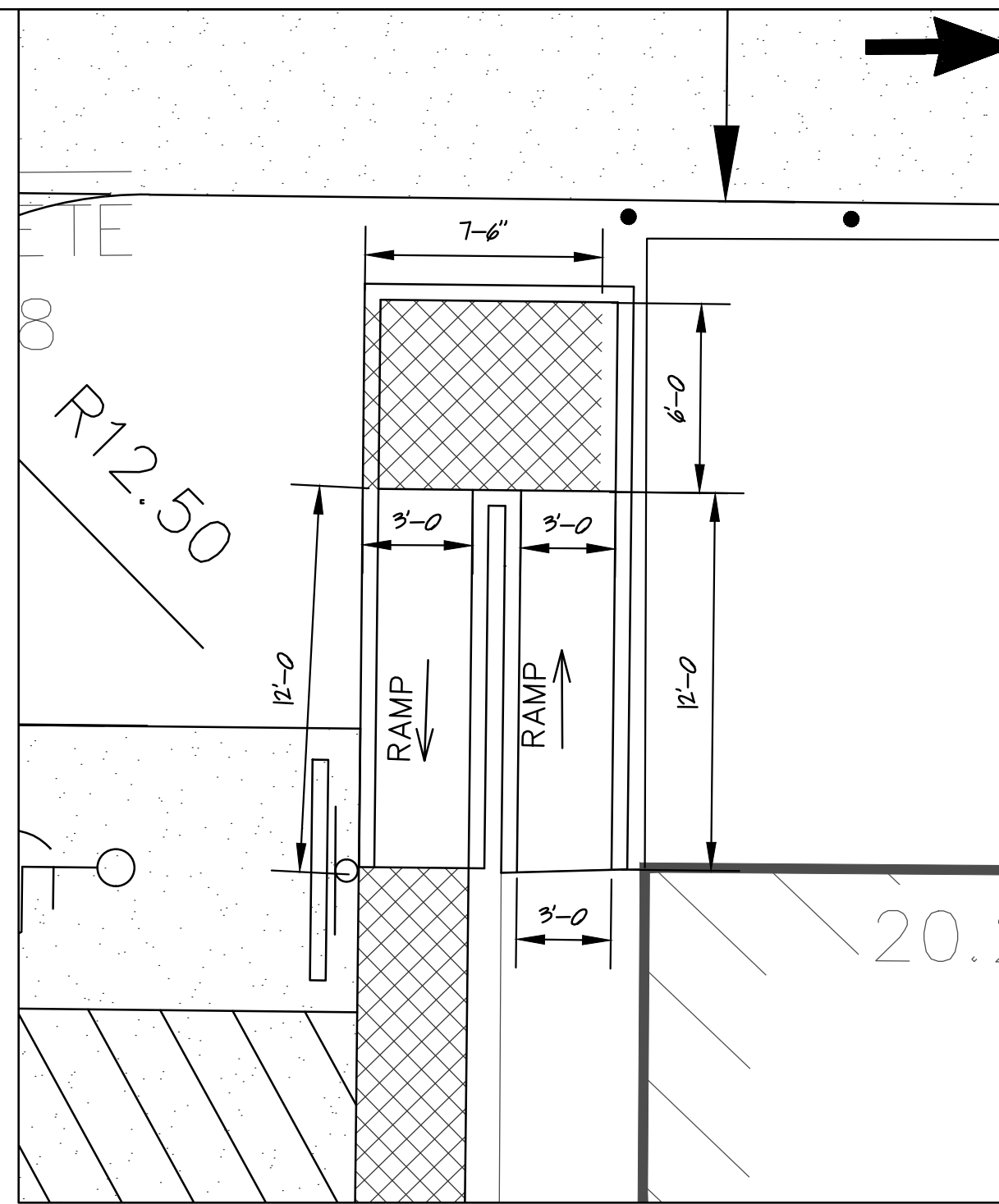
Existing Survey & Demolition Plan

Project number	22-046
Date	2/7/23
Drawn by	S.M.B.
Designed by	S.M.B.

C2.0

Scale As Shown

Full Size: 24X36



- NOTES:
1. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF POOLER AND GDOT.
 2. SEE THE ARCHITECTURAL PLANS FOR DETAILS OF THE RENOVATIONS TO THE BUILDINGS.
 3. SEE ARCHITECTURAL PLANS FOR DETAILS OF THE BUSINESS SIGN.
 7. SEE SHEET C1.2 FOR PHOTOGRAPHS OF THE EXISTING SITE AT ROW.
 8. ALL WORK IN THE ROW SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT STANDARDS, DETAILS AND SPECIFICATIONS OF GEORGIA DOT.
 10. PAVEMENT IN THE ROW SHALL BE CONCRETE TO MEET GDOT STANDARDS.
 11. THE POSTED SPEED LIMIT ON THIS STRETCH OF HWY 80 IS 35 MPH.

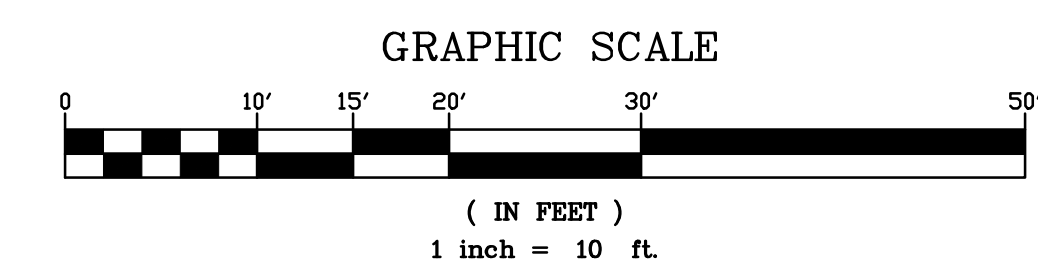
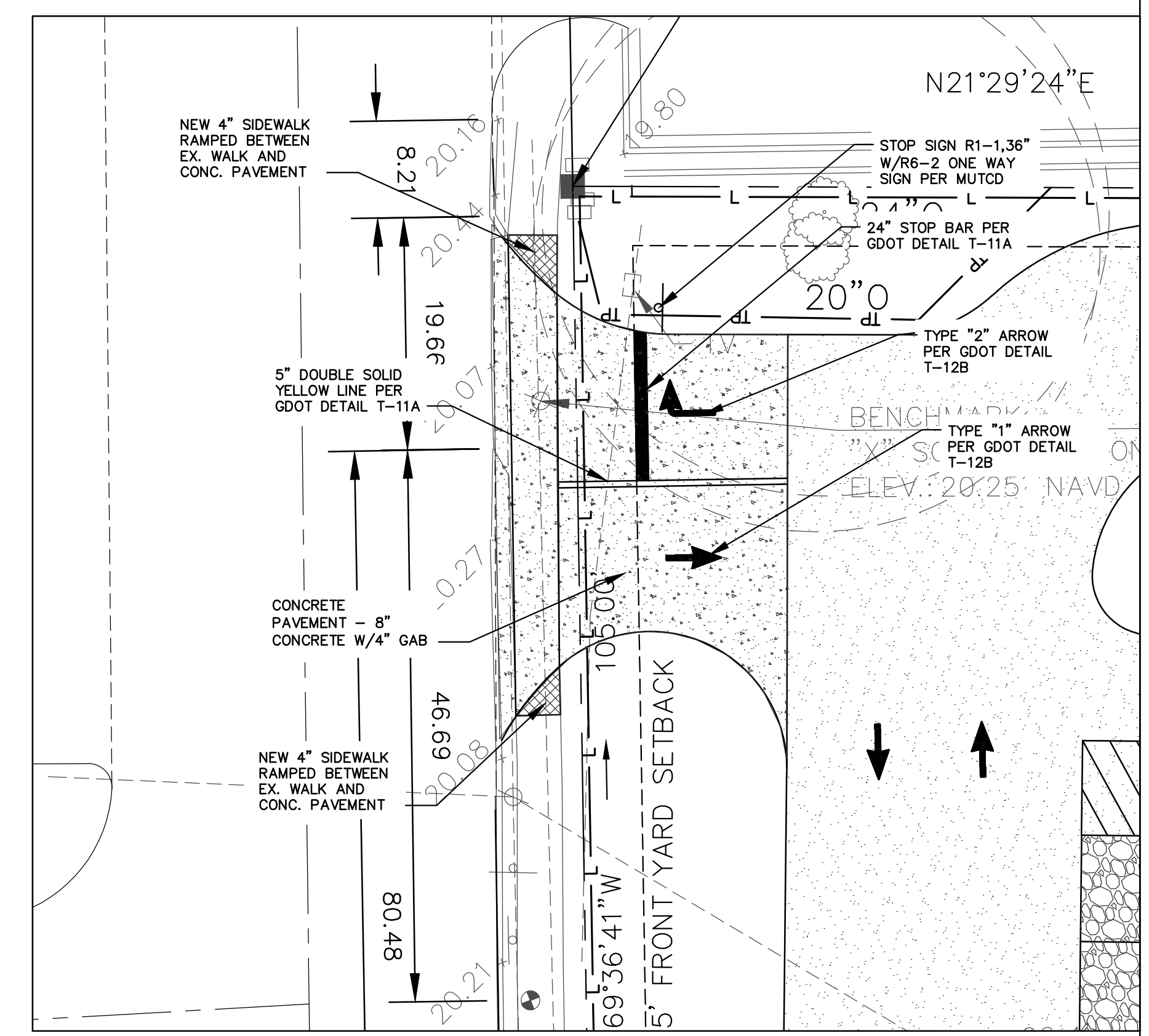
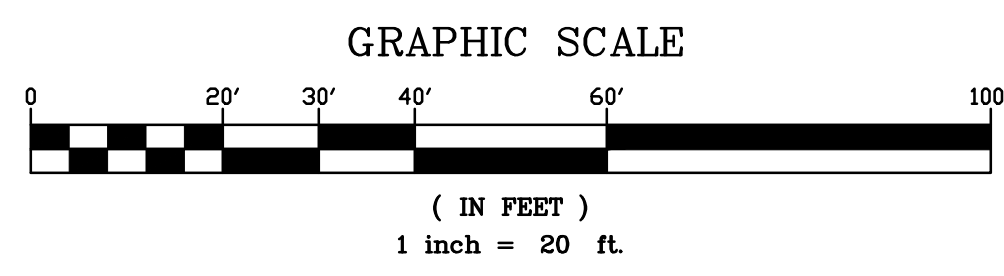
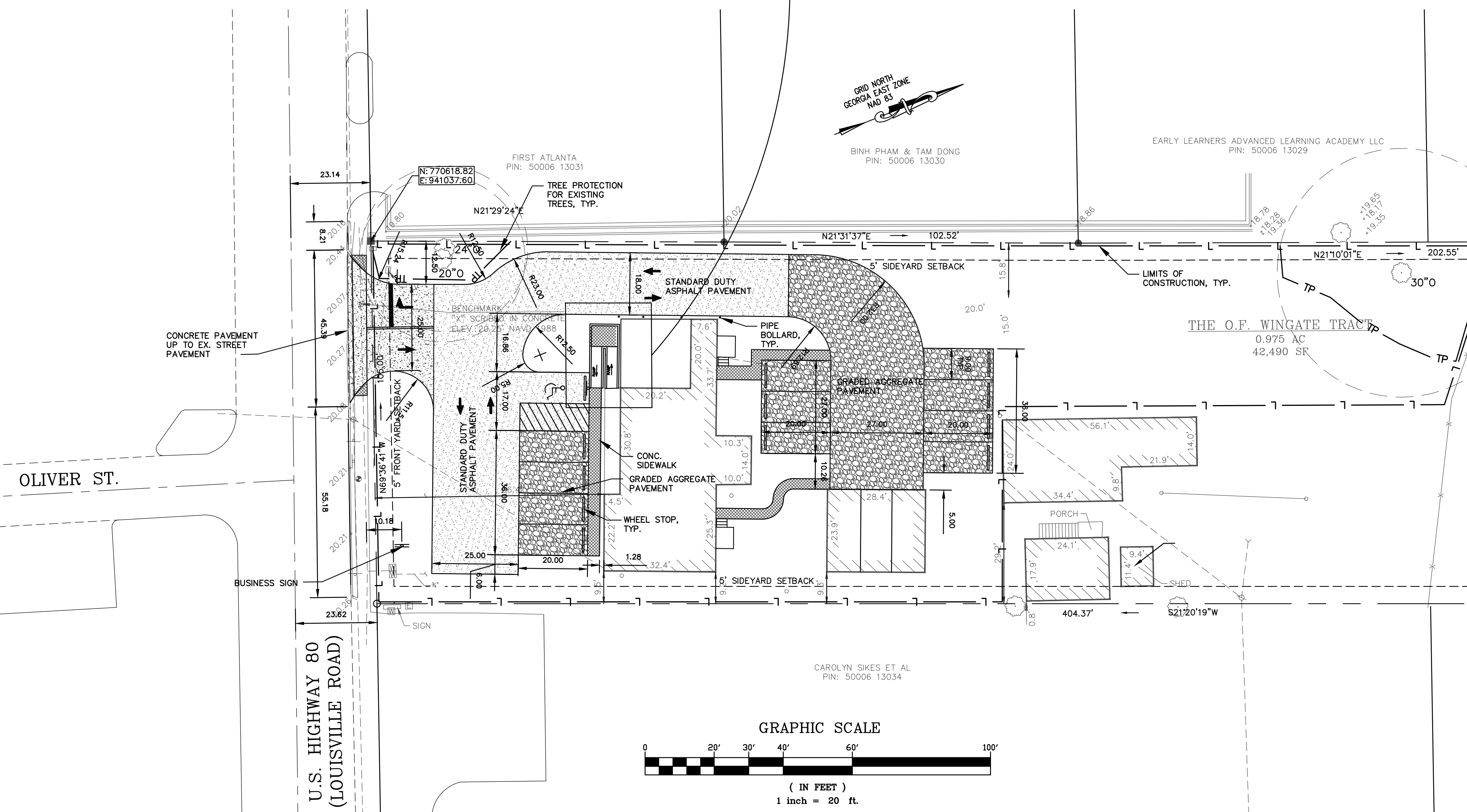


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 CELL: 912-657-1155
 smboyles@bellsouth.net

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Uncion Urogynecology, LLC

No.	Description	Date
1	PER GDOT & POOLER	11/15/23
2	PER GDOT	11/17/23



New Office
 212 Hwy 80
 Pooler Georgia

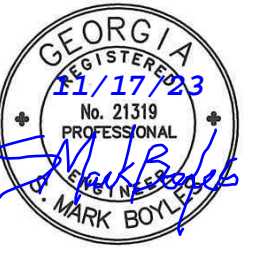
Site Plan

Project number 22-046
 Date 2/7/23
 Drawn by S.M.B.
 Designed by S.M.B.

Scale As Shown



Full Size: 24X36



SMB
 S. Mark Boyles, PE, PC
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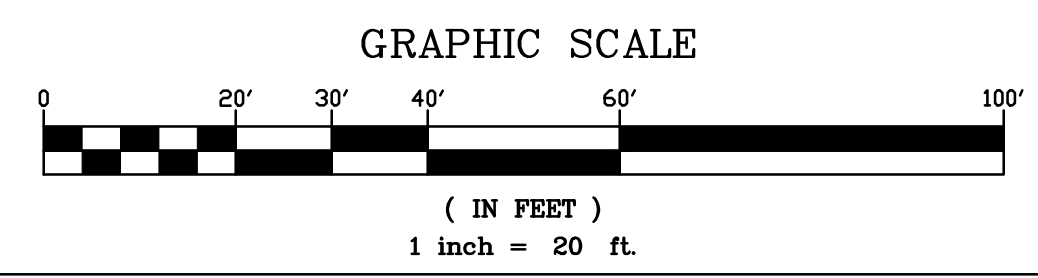
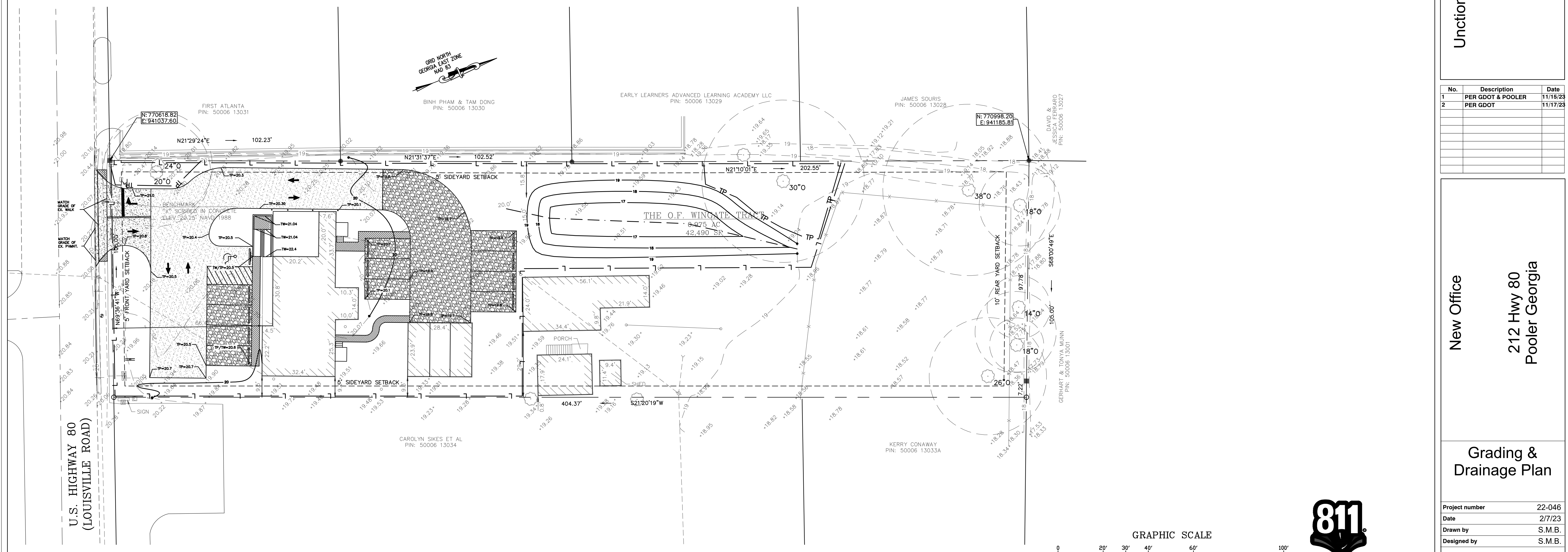
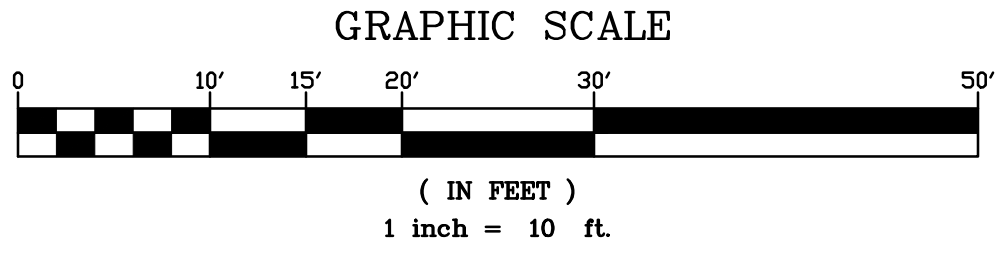
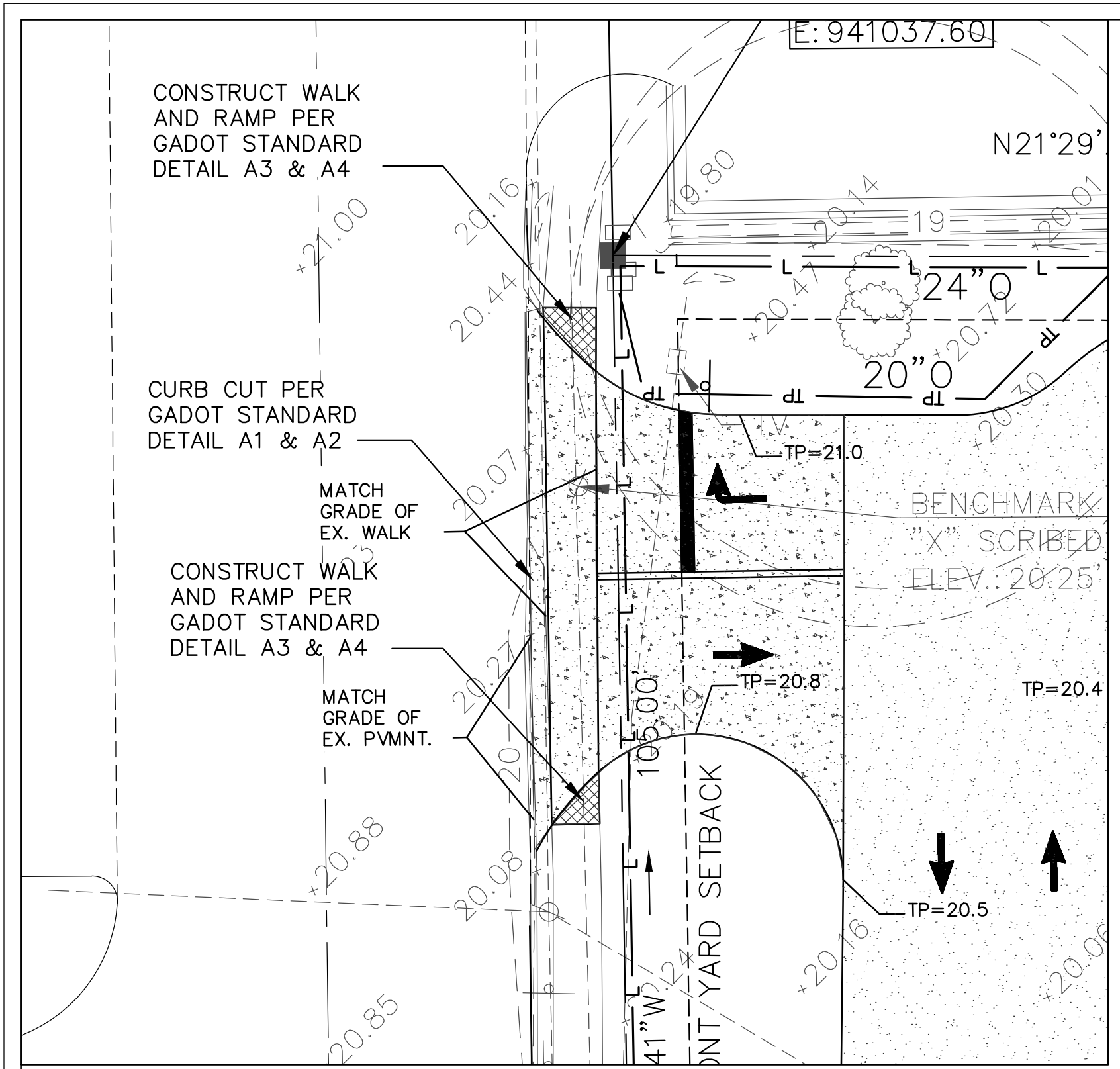
No.	Description	Date
1	PER GDOT & POOLER	11/15/23
2	PER GDOT	11/17/23

New Office
 212 Hwy 80
 Pooler Georgia

Grading & Drainage Plan

Project number	22-046
Date	2/7/23
Drawn by	S.M.B.
Designed by	S.M.B.

C2.2
 Scale As Shown



Know what's below.
 Call before you dig.



NOTES:

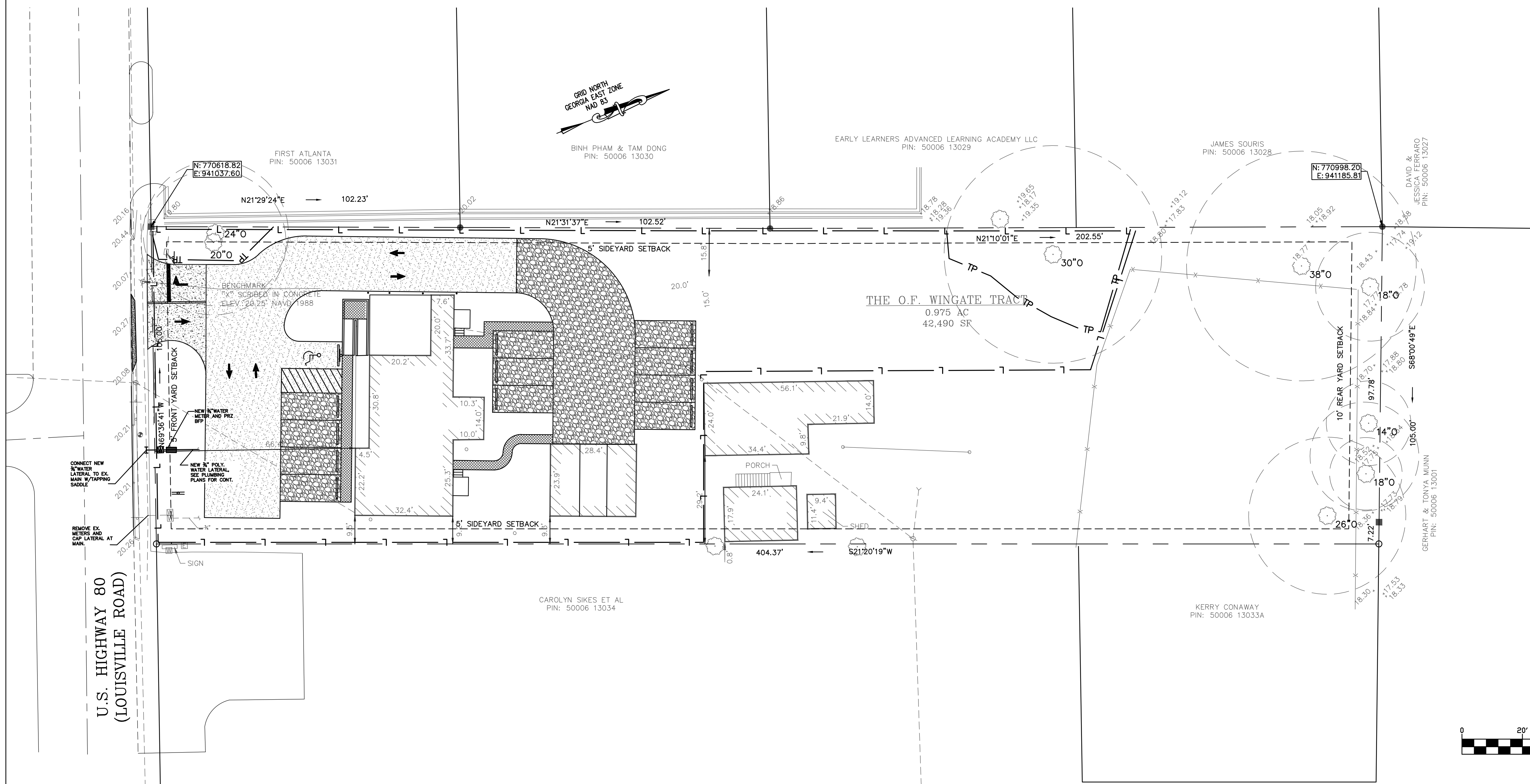
1. THE EXISTING WATER METER SHALL BE REMOVED AND TURNED OVER TO THE CITY OF POOLER.
2. THE EXISTING SANITARY SEWER LINE SHALL BE INSPECTED AND REPAIRED OR REPLACED AS NECESSARY.
3. SEE PLUMBING PLANS INCLUDED IN THE ARCHITECTURAL SET FOR ROUTING OF WATER AND SANITARY SEWER FOR THE BUILDING.
4. SEE ARCHITECTURAL PLANS FOR WATER AND SANITARY SEWER IN THE BUILDING.
5. SEE ARCHITECTURAL PLANS FOR EXTERIOR LIGHTING.



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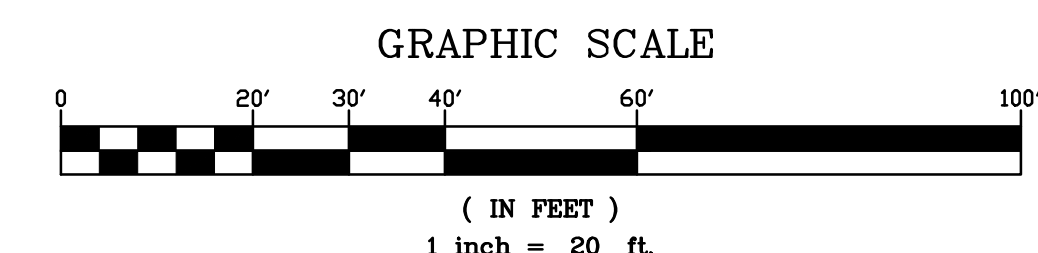
No.	Description	Date
1	PER GDOT & POOLER	11/15/23

New Office
 212 Hwy 80
 Pooler Georgia

Utility Plan

Project number 22-046
 Date 2/7/23
 Drawn by S.M.B.
 Designed by S.M.B.

C2.3
 Scale As Shown





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Uncion Urogynecology, LLC

No.	Description	Date

New Office
 212 Hwy 80
 Pooler Georgia

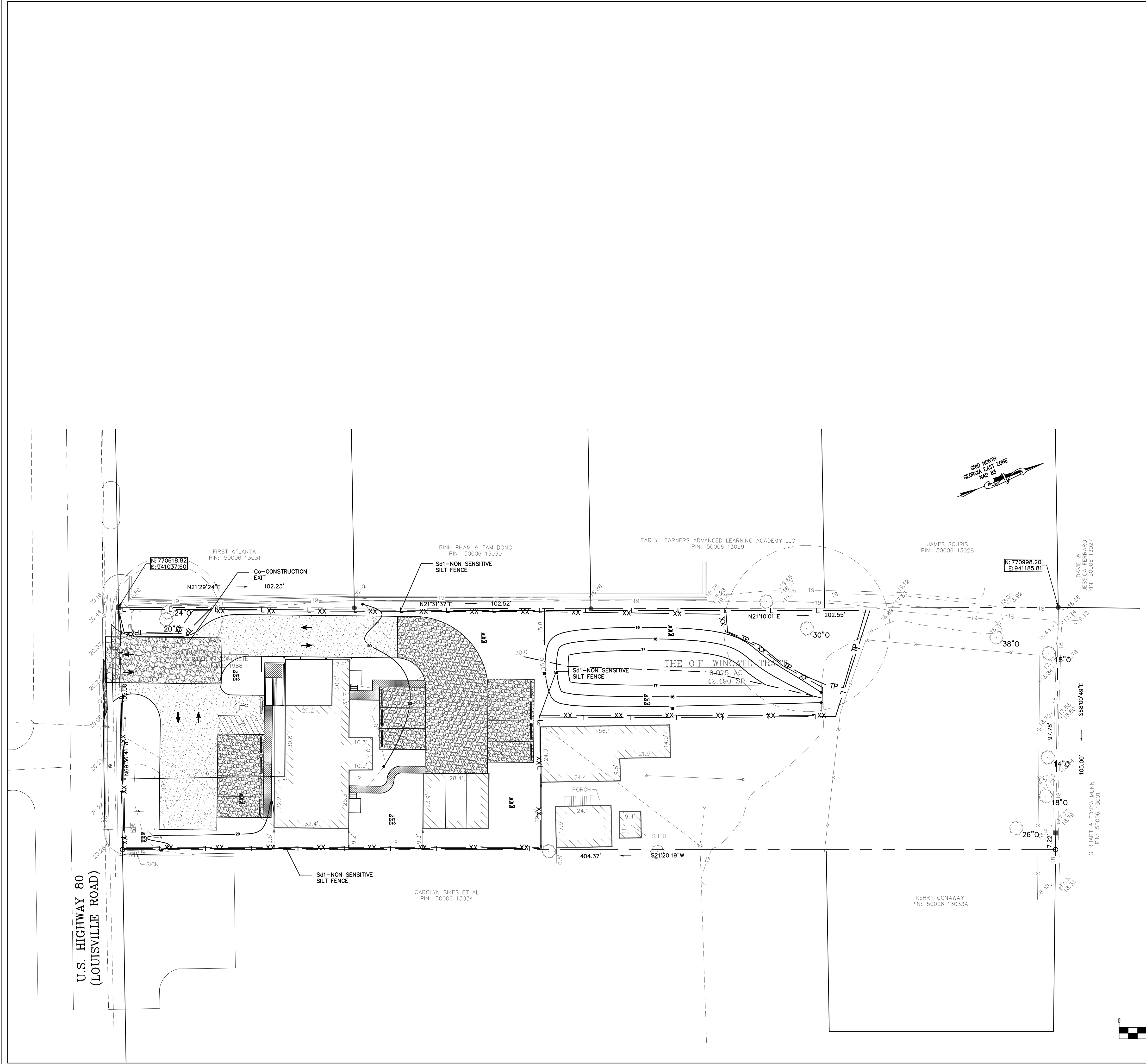
Erosion Control Plan

Project number	22-046
Date	2/7/23
Drawn by	S.M.B.
Designed by	S.M.B.

C2.4

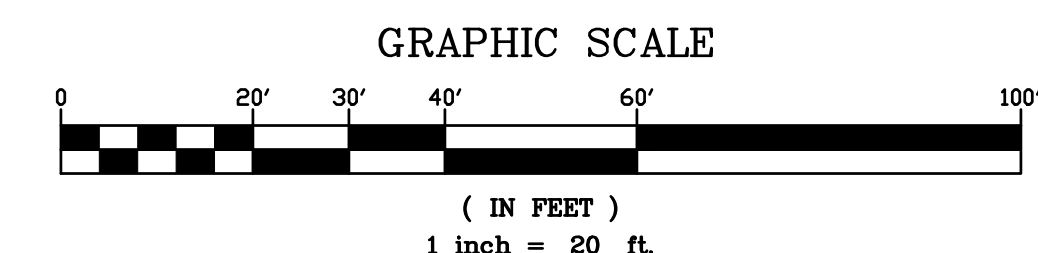
Scale As Shown

Full Size: 24X36

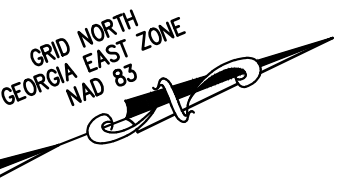


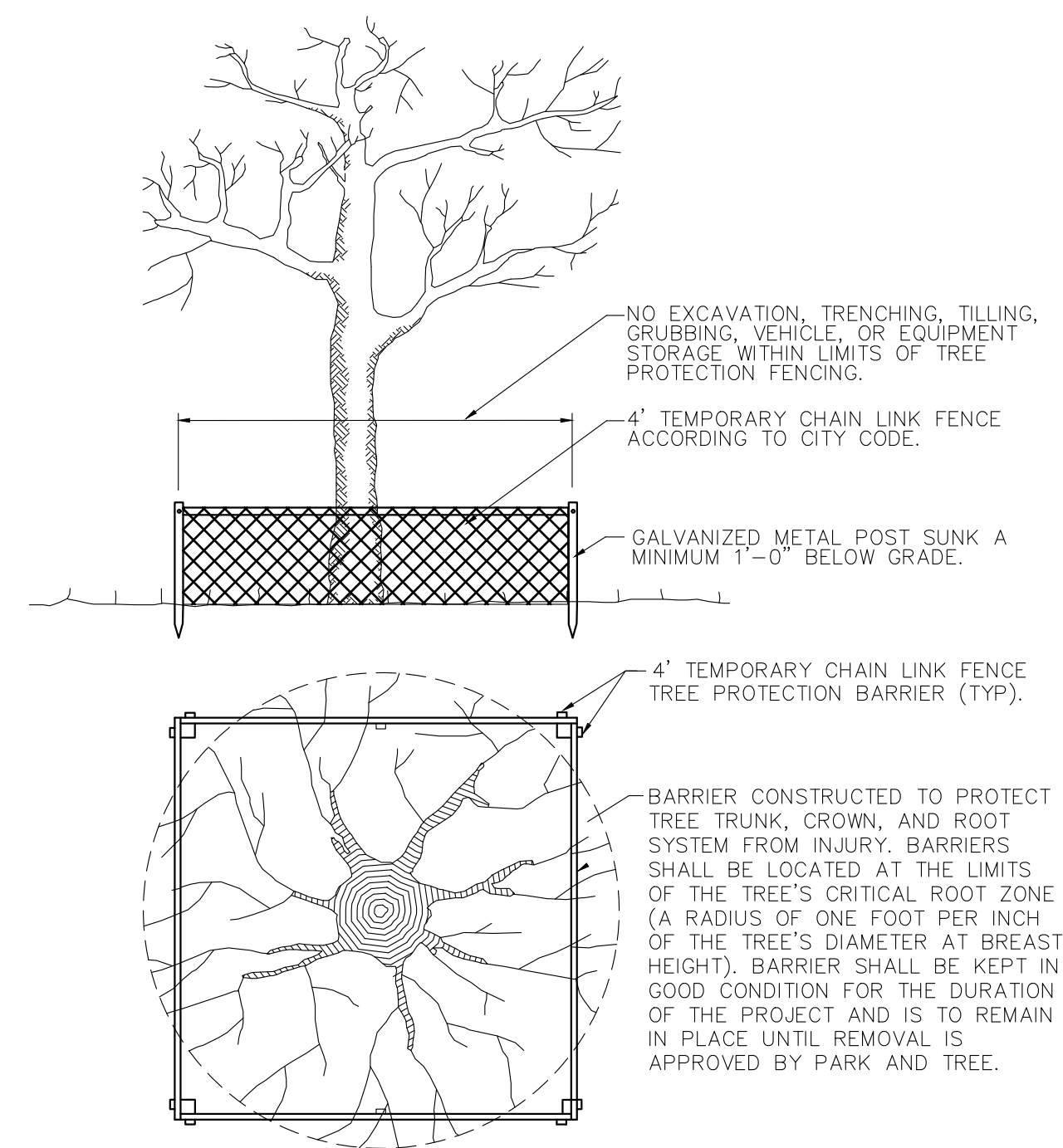
NOTE: ALL DISTURBED AREAS LEFT EXPOSED FOR 14 DAYS OR MORE SHALL BE STABILIZED WITH MULCH OR TEMPORARY GRASSING.

NOTE: ALL DISTURBED AREAS NOT COVERED WITH IMPROVEMENTS SHALL RECEIVE PERMANENT GRASSING.



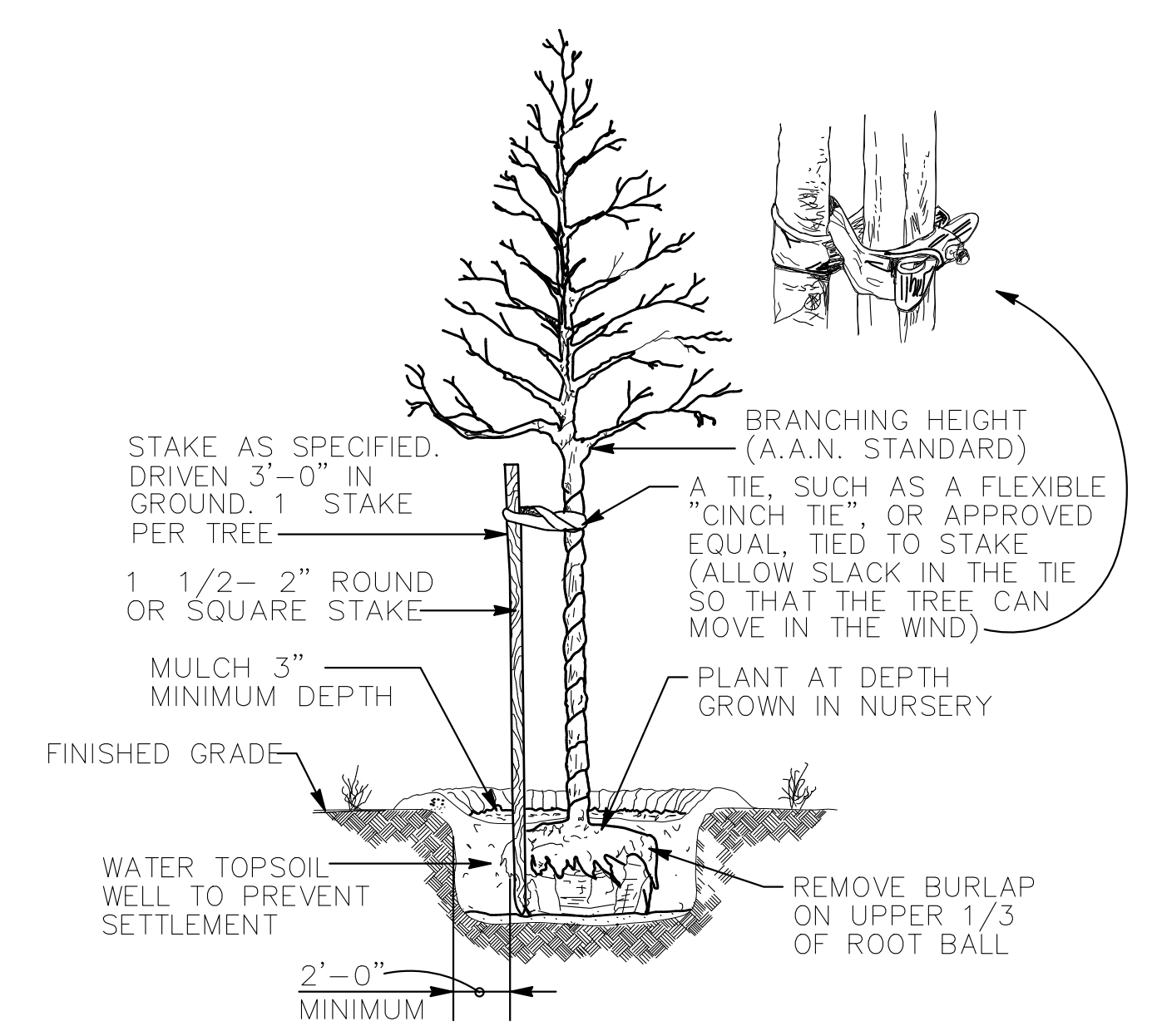
U.S. HIGHWAY 80
 (LOUISVILLE ROAD)





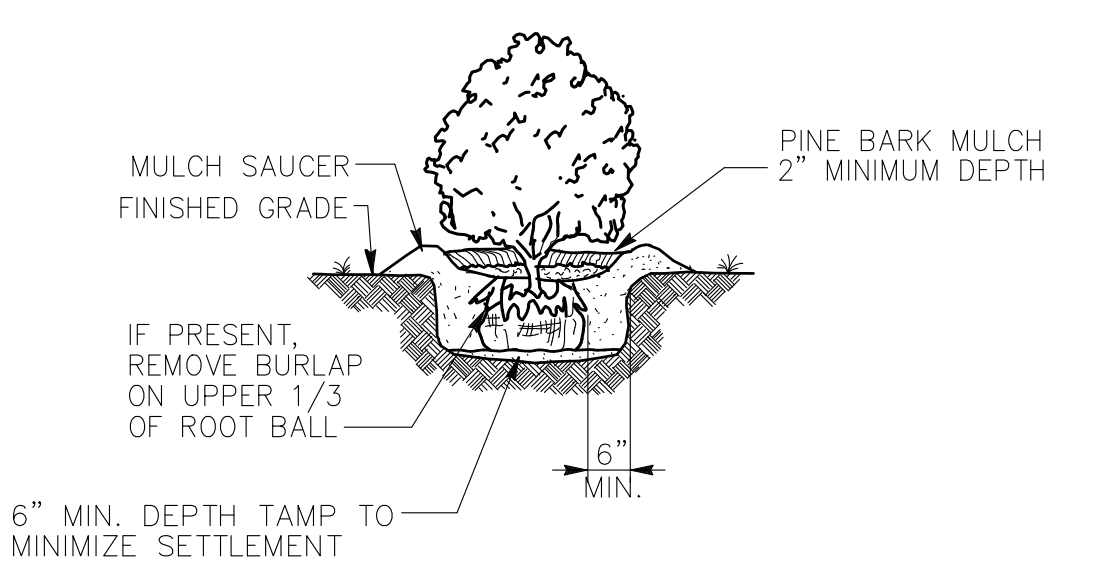
- FOR ADDED PROTECTION
- PROVIDE 4" DEEP WOOD CHIP MULCH OVER ANY UNPROTECTED ROOT ZONE.
 - MAKE CLEAN CUTS ON ROOTS EXPOSED BY GRADING AND BACKFILL IMMEDIATELY.
 - PROVIDE TEMPORARY IRRIGATION WHERE PRACTICAL AND FEASIBLE.

TREE PROTECTION BARRIER



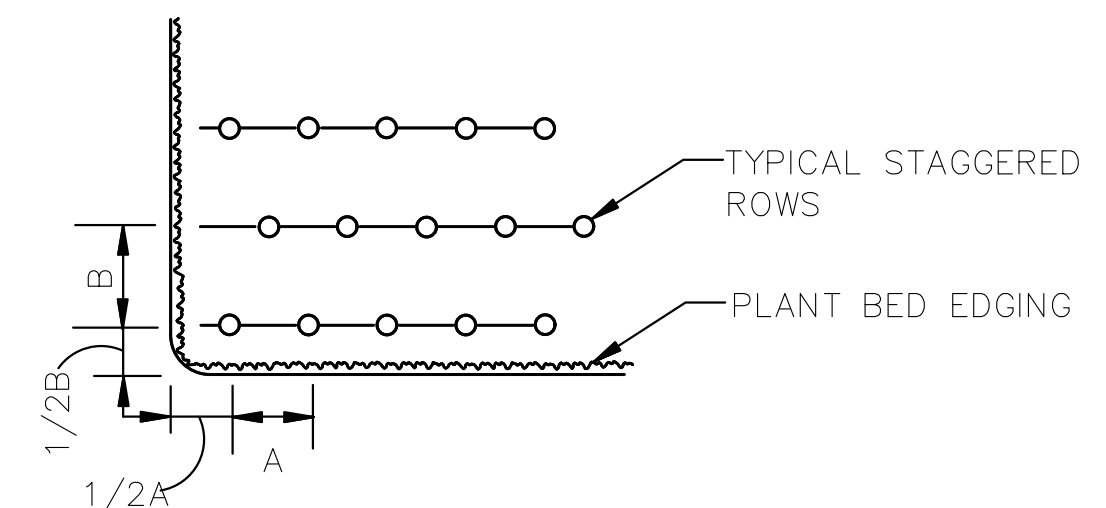
MEDIUM TREE

(LESS THAN 3" CALIPER AND BARE-ROOT)
FOR ALL MAPLES, MAGNOLIAS AND WILLOW OAKS
NOT TO SCALE

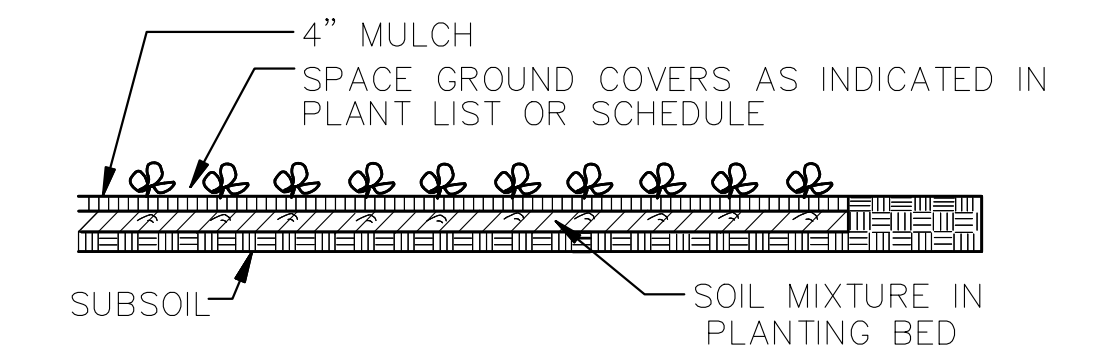


SHRUB PLANTING

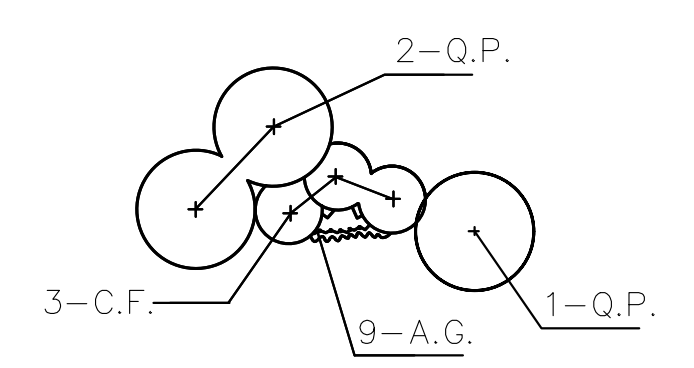
- NOTES
- CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
 - FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.



PLAN VIEW



SECTION GROUND COVER DETAIL



GROUND COVER PLANTING DETAIL & GRAPHIC PLAN SYMBOLS

(NOT TO SCALE)

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smboyles@ellsouth.net

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Uncion Urogynecology, LLC

No.	Description	Date

New Office
212 Hwy 80
Pooler Georgia

Landscape Details

Project number	22-046
Date	2/7/23
Drawn by	S.M.B.
Designed by	S.M.B.

L2.0
Scale As Shown



LED AREA LIGHT

PLTS-11986

DESCRIPTION

Outlasting and outperforming 400W metal halide fixtures, this 250W LED area light is ideal for a variety of outdoor applications.

FEATURES

- Up to 130 LPW ultra-high efficiency delivers superior performance over older HID fixtures
- Type III light distribution projects light outwards with a lateral width of 40 degrees
- 0-10V dimming
- Instant on with no warmup

LISTINGS

- IP65
- UL Listed for wet locations
- FCC Part 15, Part B, Class A
- DesignLights Consortium® 5.1 Premium - meets the requirements for the highest DLC qualification for efficacy and lumen maintenance, DLC PN - PLTBFA512

PERFORMANCE

- CRI: 80+
- CCT: 5000K
- LED L70 Life Hours: ≥100,000 hours
- Surge Protection: 6kV
- Light Distribution: Type III
- Philips Lumileds LEDs and Sosen driver

THERMAL

- -40°F to 113°F (-40°C to 45°C) operating temperature

ELECTRICAL

- THD: <20%
- Power Factor: >0.95
- Input Voltage: 480V
- Dimmable power supply (0-10V)

INSTALLATION

- Designed to be mounted with Excel Series and select Grandview Series slip fitters, straight arms, or U brackets (all sold separately), see Mounting Accessories section for full list of compatible products. See installation instructions for more information on how to install these fixtures.

CONSTRUCTION

- Low profile die-cast aluminum housing
- Durable dark bronze powder coat finish

WARRANTY

- 5 year limited warranty; see pltsolutions.com for warranty details

project name	type
catalog number	
comments	voltage
approved by	date



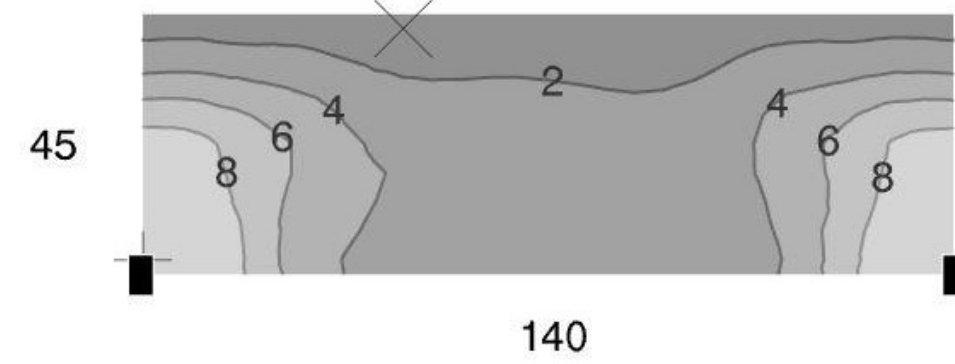
APPLICATIONS

- Parking Lots
- Automotive Dealerships
- Roadways
- Campuses
- Area Security Lighting
- Airports

140 ft

24 ft

PLTS-11980 300W 4K T3
Single (Arm)

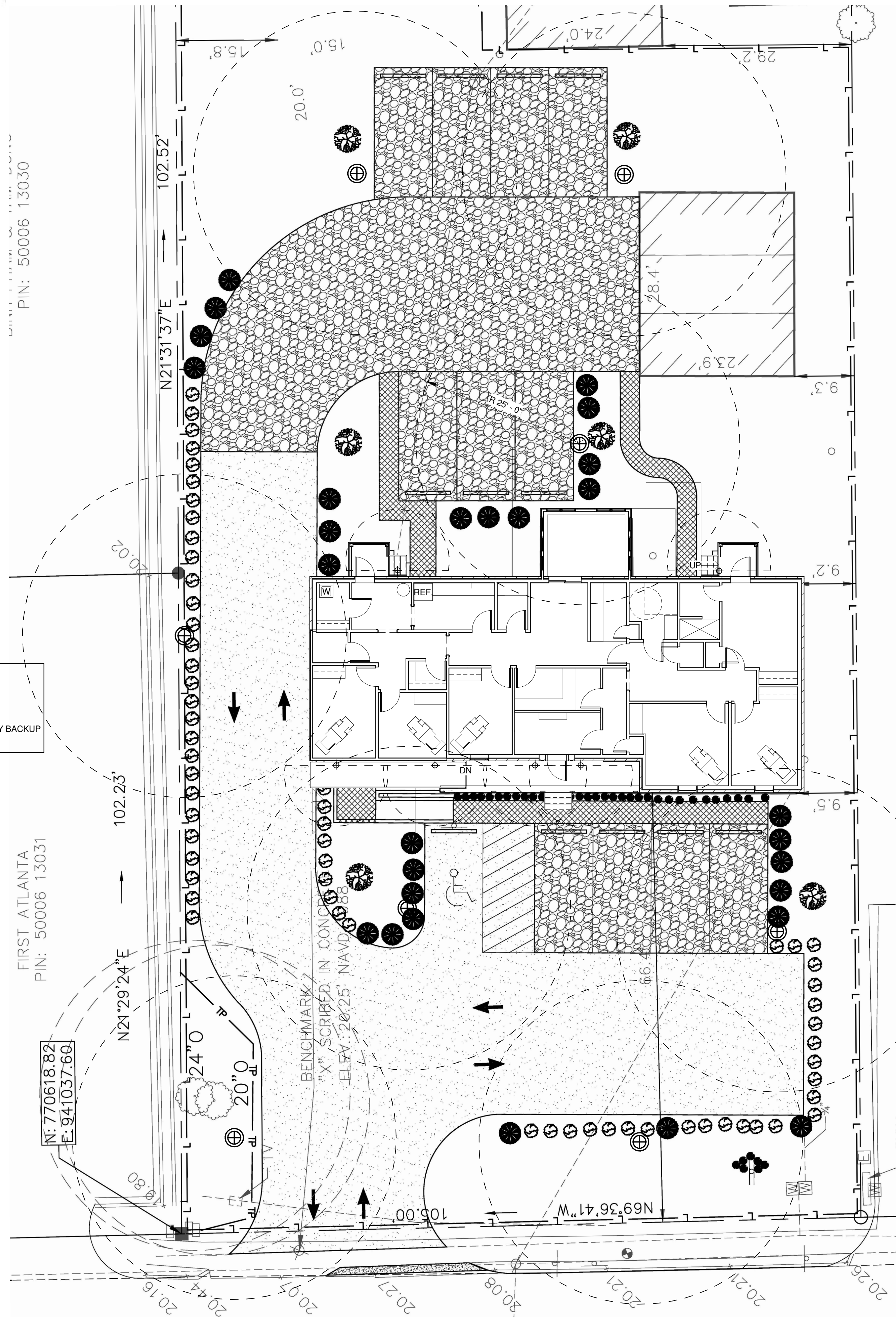


UNION UROGYNECOLOGY LLC
PIN: 50006 13030

NOTE:
POLE HEIGHT SHALL BE 20FT MAX

FIXTURE LEGEND

- ⊕ PARKING LOT LIGHT FIXTURE LOCATION
- ⊕ WALL LIGHT FIXTURE LOCATION W/ BATTERY BACKUP



FIRST ATLANTA
PIN: 50006 13031

N: 770618.82
E: 941037.60

1 SITE LIGHTING PLAN
C1.2 1" = 10'-0"



Architectural Design
and Development

James Wubbena, RA, NCARB
40 Drayson Circle
Bluffton, SC 29910
P - 912 660 5438
jim@wubbenapc.com

Uction
Urogynecology, LLC

NEW OFFICE SPACE FOR
UNCTION
UROGYNECOLOGY LLC

212 US HWY 80
POOLER GA 31322

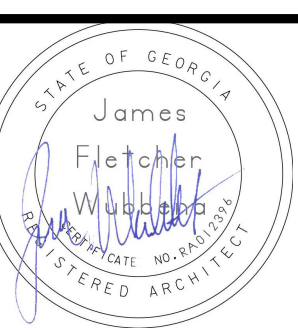
REVISIONS

SHEET TITLE

SITE LIGHTING
PLAN

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3. Do not scale dimensions from prints. Plans and details are not always to scale. Use dimensions given or consult the Architect for further clarification.



PROJECT NUMBER: 2215
DATE: 9/9/2022
DRAWN: MRS
BY: JFW
CHECKED BY: JFW

SHEET NO.

C1.2

SCALE: 1" = 10'-0"

SATCO NUVO

Project Name: _____
Location: _____
Prepared By: _____

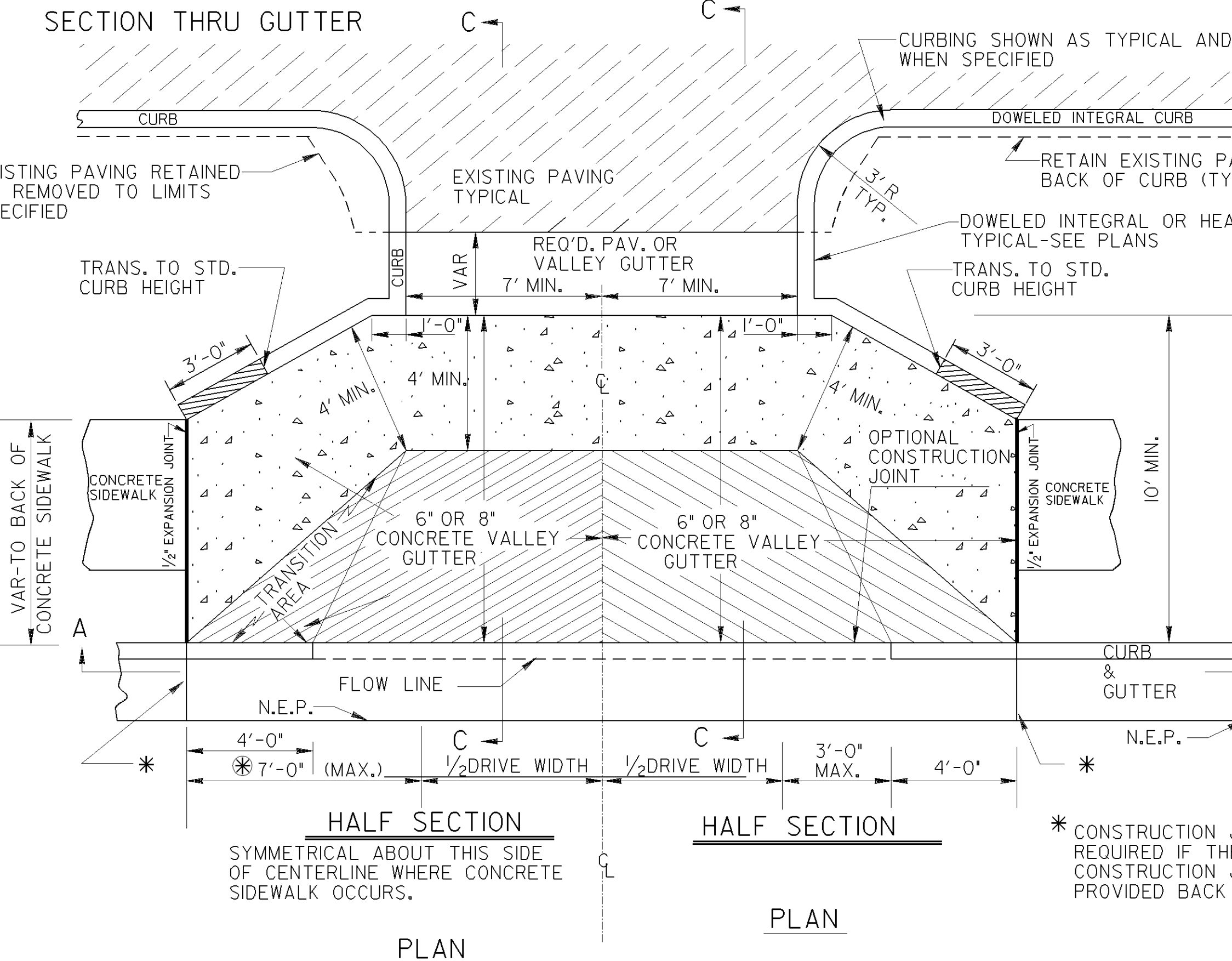
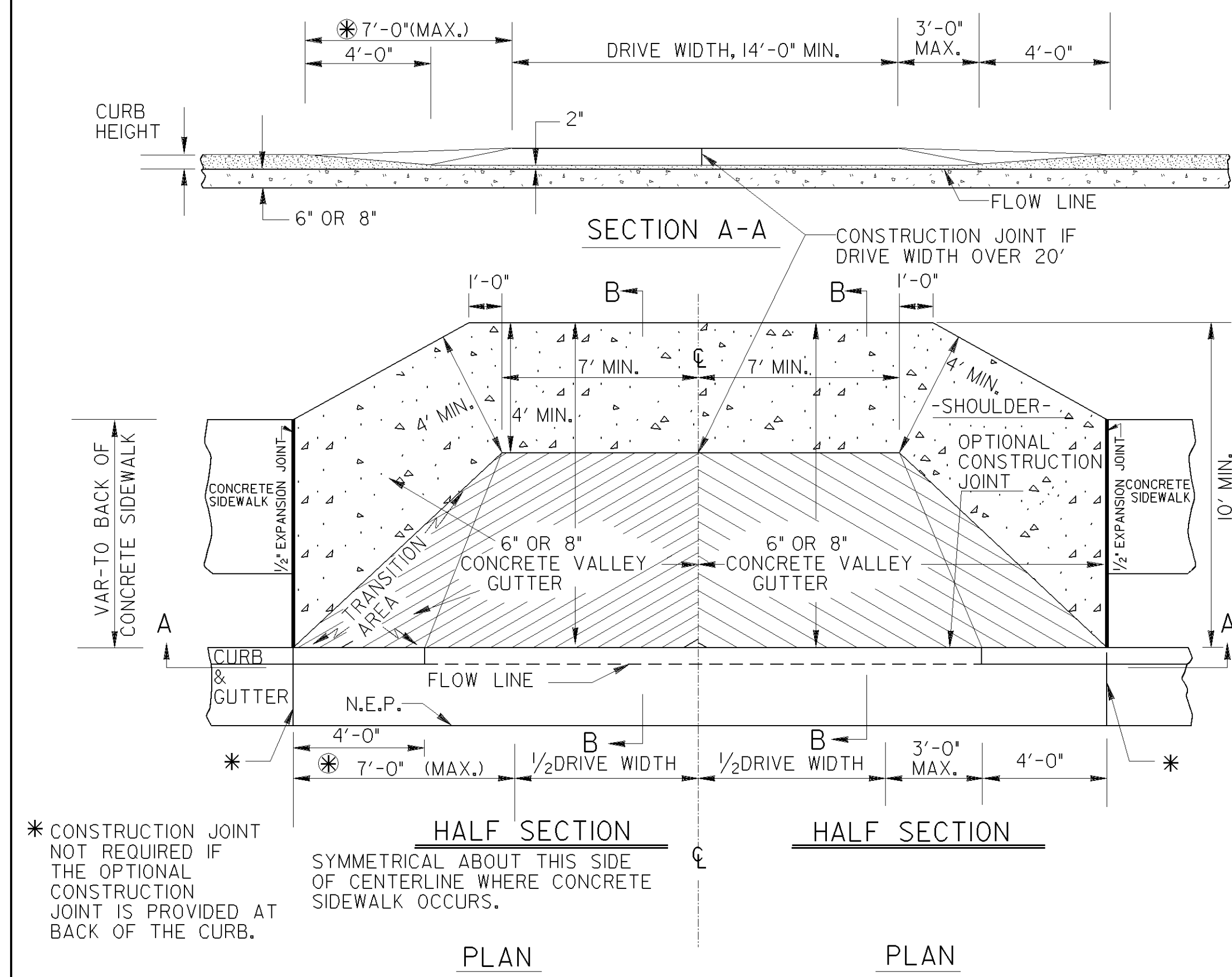
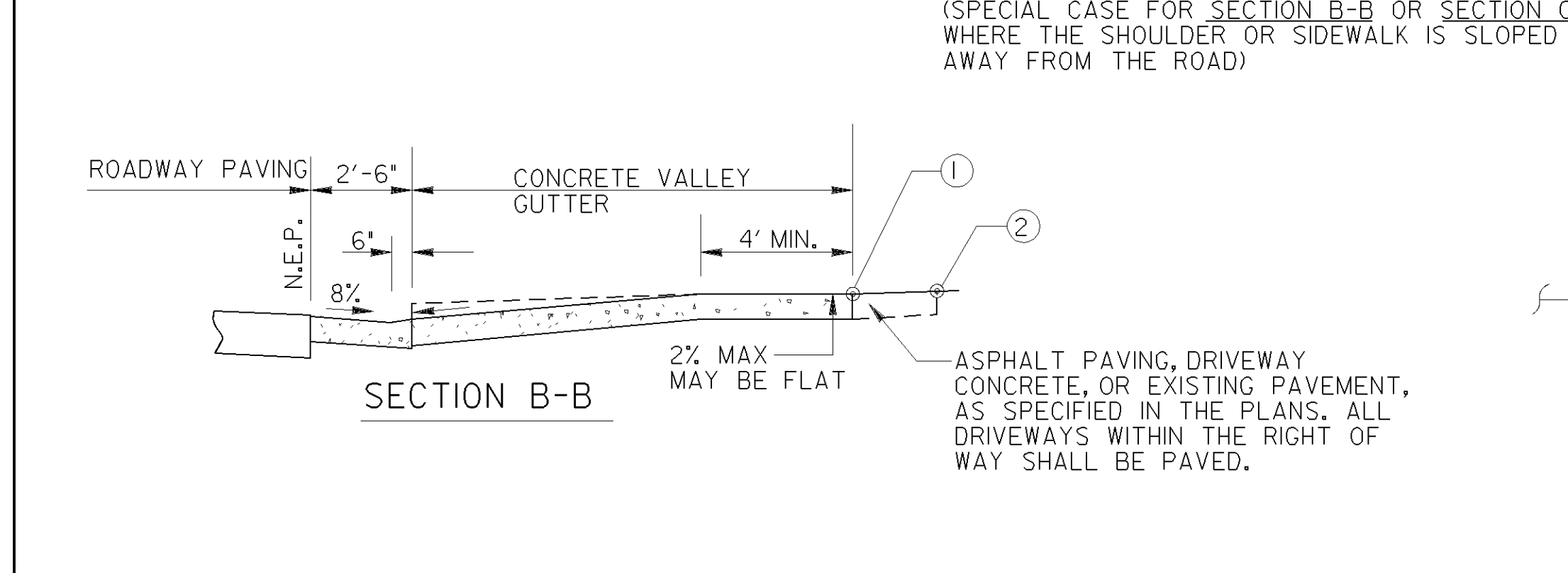
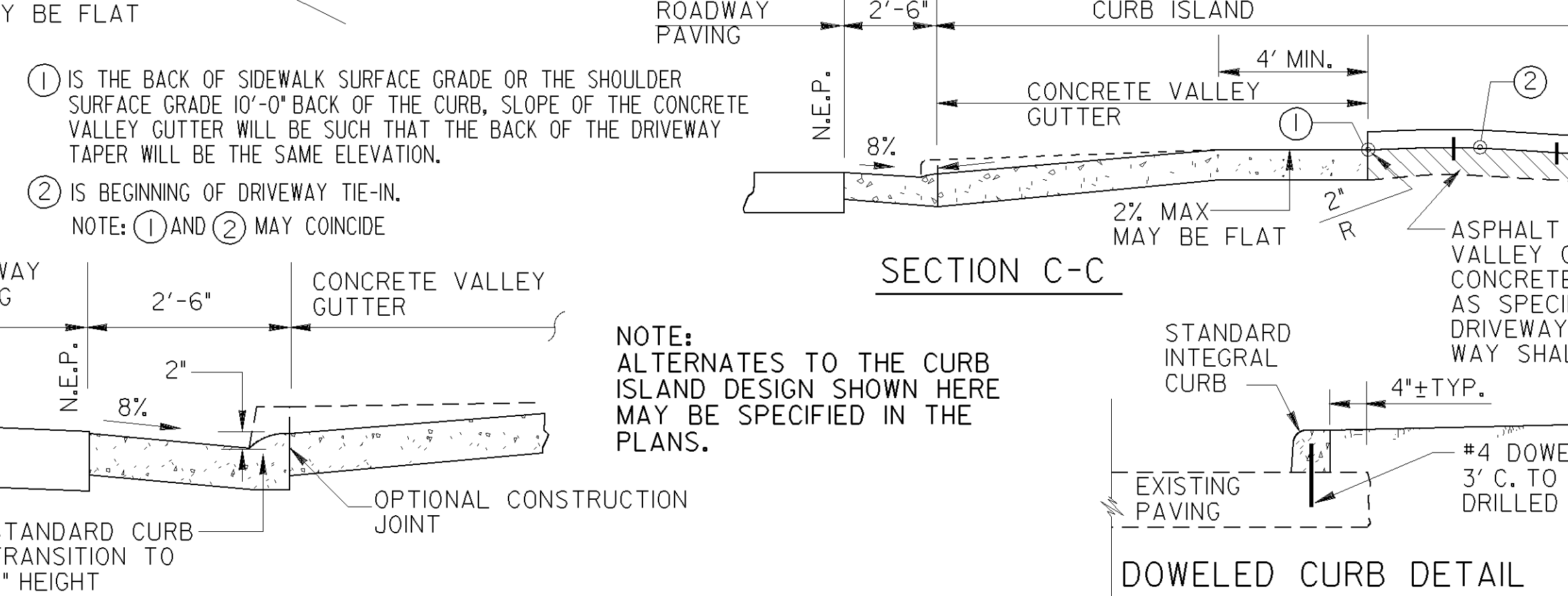
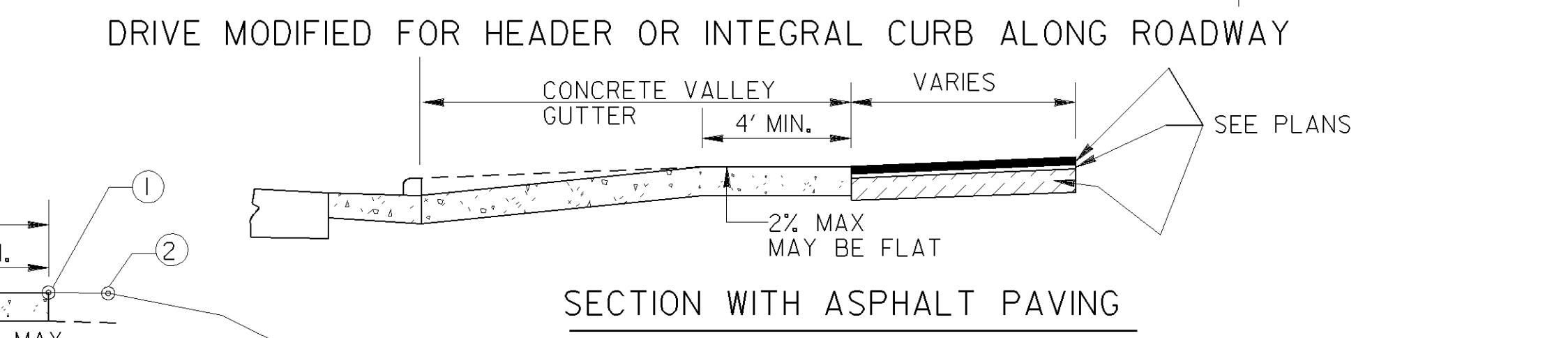
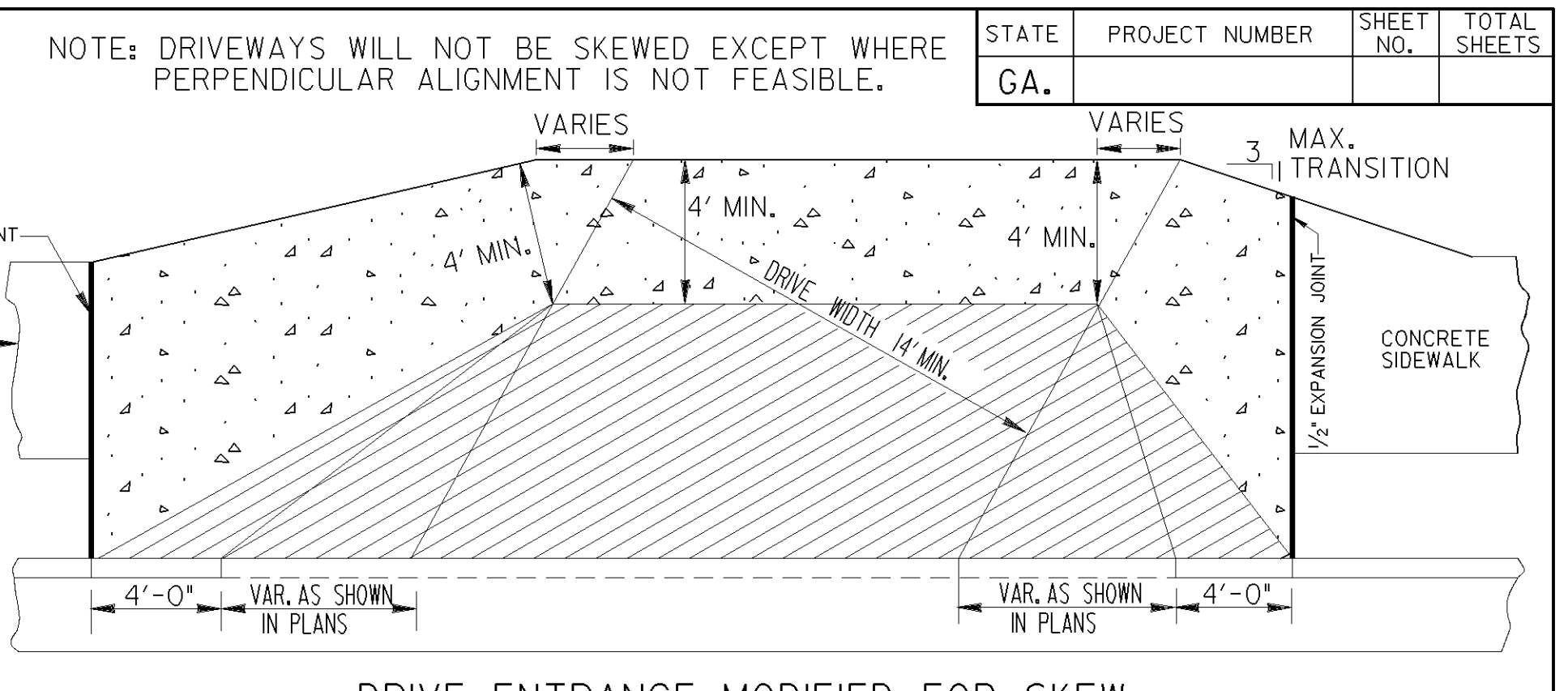
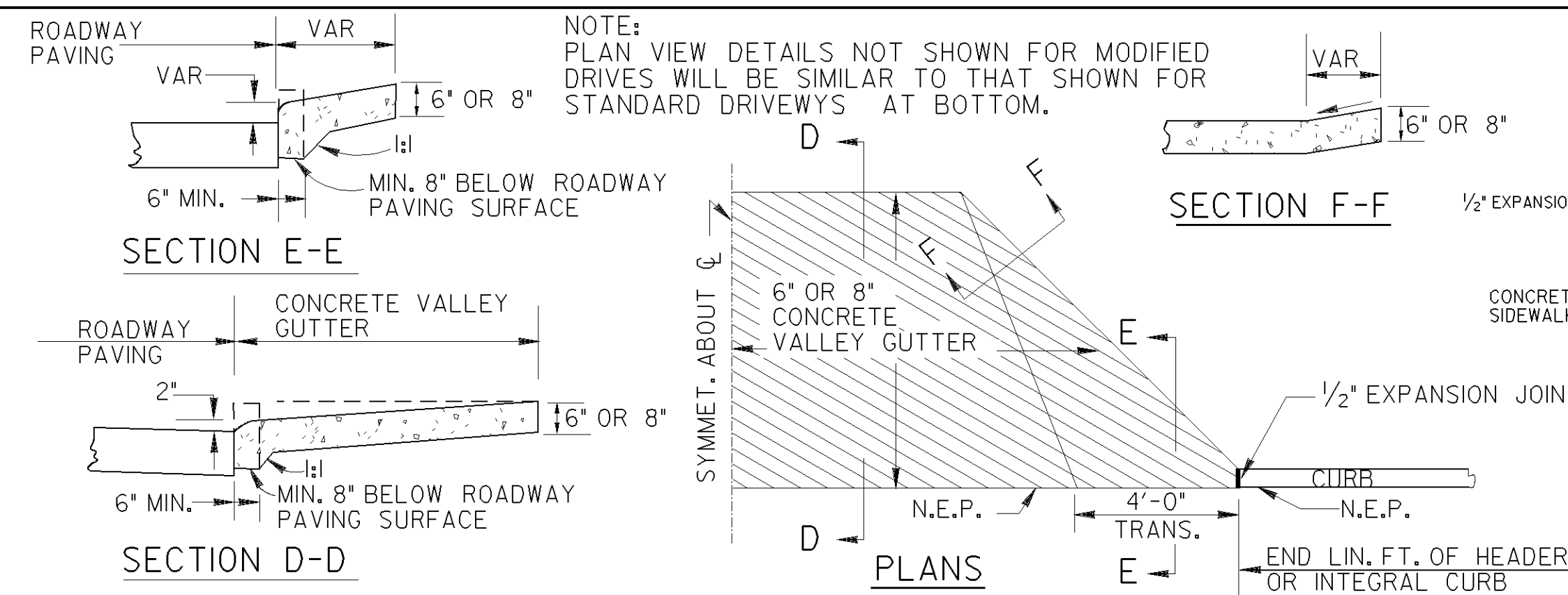
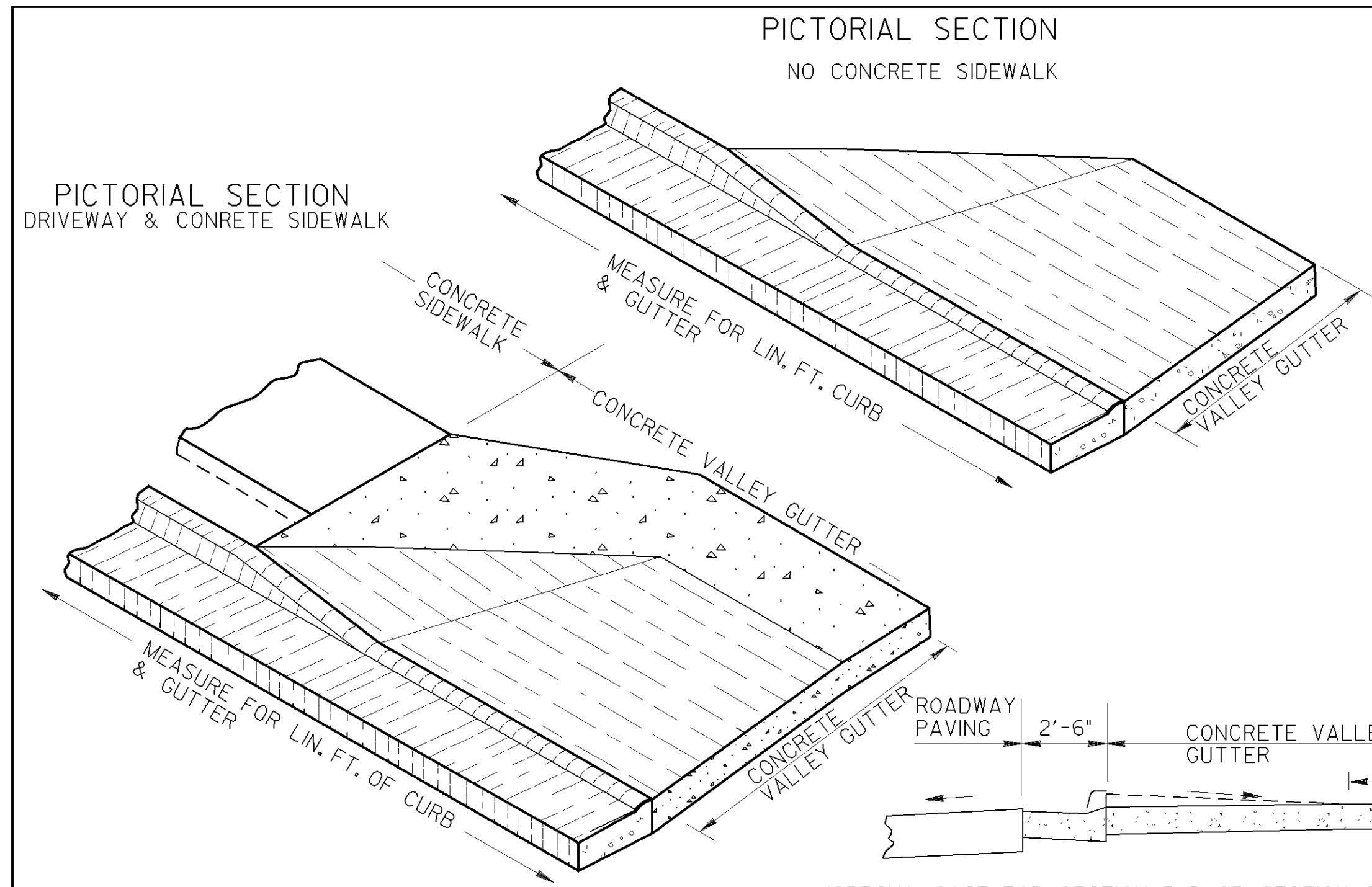


NUVO 62-1146R1
2 LT LED LC UP & DOWN SCORCE

General	
Status	Active
Finish	Black
Wattage	20W
Style	L115
CCT (Kahr)	3000
Color Temperature	Warm White
Width (in.)	5.00
Height (in.)	11.75
Beam Spread (in.)	4.22
Indoor or Outdoor Fixture	Outdoor
Specifications	
Technology	LED
CRI	90
Lumen Output	~800L
Rated Hours	50000
Voltage	~20V/277V
Dimmable	Non-Dimmable
Weight (lb.)	2.5
Light Down Installation	Light Down
Fixture Material	Die Cast Aluminum
Fixture Type	Spotlight
Operating Temperature	-30C (-22F) to a maximum of -50C (-58F)
Dimensions	
Back Plate or Canopy Length (in.)	4.50
Back Plate or Canopy Width (in.)	4.50
Compliance	
Safety Listing	cULus
Location Rating	Wet
LL Application	Outdoor
Energy Star	Yes
ES Listing ID	ESID-2336102
ADA Compliant	No
California Status	California T24 Compliant
California Prop 65	Lead
RoHS Compliant	Yes
FCC Compliant	Yes
Additional Information	
Installation Notes	Mount to L and Down
Warranty	5 Year Limited - Fixture

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For More Information Visit: www.satco.com

STATE	PROJECT NUMBER	SHEET NO.	TOTAL SHEETS
GA.			

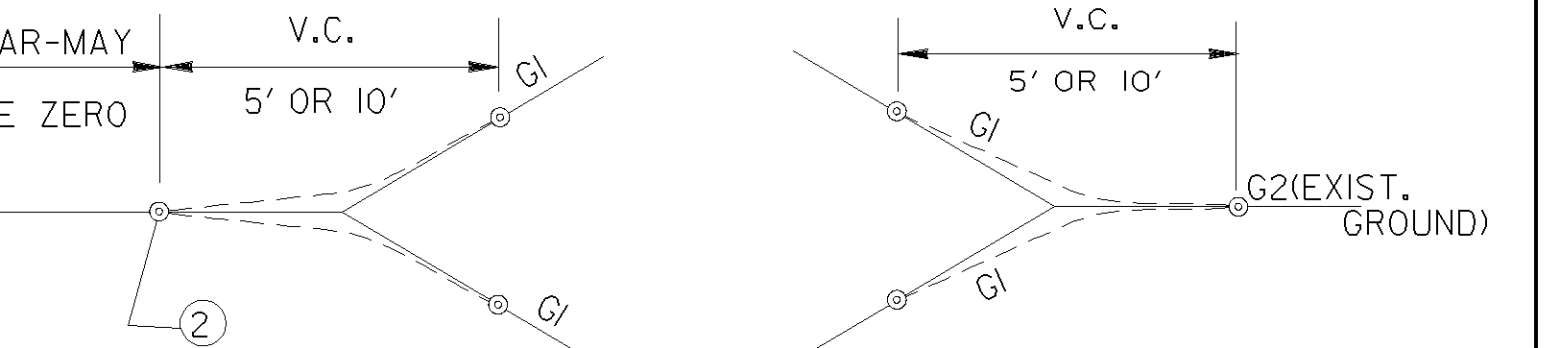


- GENERAL NOTES:**
- QUANTITIES SHALL BE MEASURED AS FOLLOWS:
 (A) CONCRETE CURB & GUTTER ALONG ROADWAY---
 LIN. FT. OF CURB & GUTTER SHALL BE MEASURED FOR PAYMENT CONTINUOUS THRU THE DRIVE ENTRANCES. PAYMENT FOR CURB & GUTTER SHALL INCLUDE DAPPING DOWN THE TOP PORTION OF THE CURB. SQ. YDS. OF CONCRETE VALLEY GUTTER SHALL BE MEASURED FOR PAYMENT TO THE BACK OF THE CURB LINE.
 (B) HEADER (OR INTEGRAL) CURB ALONG ROADWAY---
 LIN. FT. OF CURB SHALL BE MEASURED FOR PAYMENT TO THE BEGINNING OF DRIVE WAY. SQ. YDS. OF CONCRETE VALLEY GUTTER SHALL BE MEASURED FOR PAYMENT TO THE EDGE OF THE ROADWAY PAVING.
 - N.E.P. IS DEFINED AS THE POINT WHERE THE ROADWAY PAVING MEETS THE CURB & GUTTER, OR HEADER CURB, OR FACE OF THE INTEGRAL CURB.
 - DRIVES RECONSTRUCTED SHALL BE REPLACED IN KIND, I.E. ASPHALT FOR ASPHALT, CONCRETE FOR CONCRETE, AND PAVED TO THE RIGHT OF WAY LINE.
 - SEE STANDARD 9032-B FOR DETAILS OF CONCRETE CURB & GUTTER, HEADER CURBS AND DOWELED INTEGRAL CURBS.
 - WIDTHS OF COMMERCIAL DRIVEWAYS SHALL COMPLY WITH CURRENT "RULES AND REGULATIONS FOR DRIVEWAY AND ENCROACHMENT CONTROL". WIDTHS OF RESIDENTIAL NON-COMMERCIAL DRIVEWAYS SHALL BE AS SPECIFIED IN THE PLANS.
 - THE SLOPE OF THE "TRANSITION AREA" OF THE CONCRETE VALLEY GUTTER SHALL NOT BE STEEPER THAN 8% (2:1) WHERE SIDEWALKS ARE LOCATED.
 - MAXIMUM DRIVEWAY GRADES SHOWN BELOW ARE INTENDED FOR RESIDENTIAL DRIVEWAYS WHERE FLATTER GRADES ARE NOT FEASIBLE. GRADES FOR COMMERCIAL DRIVEWAYS OR FOR TRUCKS SHALL NOT BE GREATER THAN 11% UNLESS SPECIFIED OTHERWISE.

Guidelines For Use On Metric Projects
 When these details are incorporated into plans and or projects that are being prepared or constructed in metric units, exact or precise conversion to metric units is not required. The dimensions shown that are in feet and inches may be converted to corresponding metric units using the following "Rounded-Off" conversion factors: 1" = 25mm, 4" = 100mm, and 12" = 300mm. All measurement notes that refer to linear feet and square yards shall be interpreted to mean linear meters and square meters.

- IS THE BACK OF SIDEWALK SURFACE GRADE OR THE SHOULDER SURFACE GRADE 10'-0" BACK OF THE CURB. SLOPE OF THE CONCRETE VALLEY GUTTER WILL BE SUCH THAT THE BACK OF THE DRIVEWAY TAPER WILL BE THE SAME ELEVATION.
 - IS BEGINNING OF DRIVEWAY TIE-IN.
- NOTE: ① AND ② MAY COINCIDE

V.C.	GI		MAX. ALGEBRAIC GRADE CHANGE	
	CUT	FILL	SAG	CREST
5'	27%	16.61%	2%	25%
10'	28%	27%	25%	36%



This Detail Replaces Ga Standard 6050

DEPARTMENT OF TRANSPORTATION
 STATE OF GEORGIA

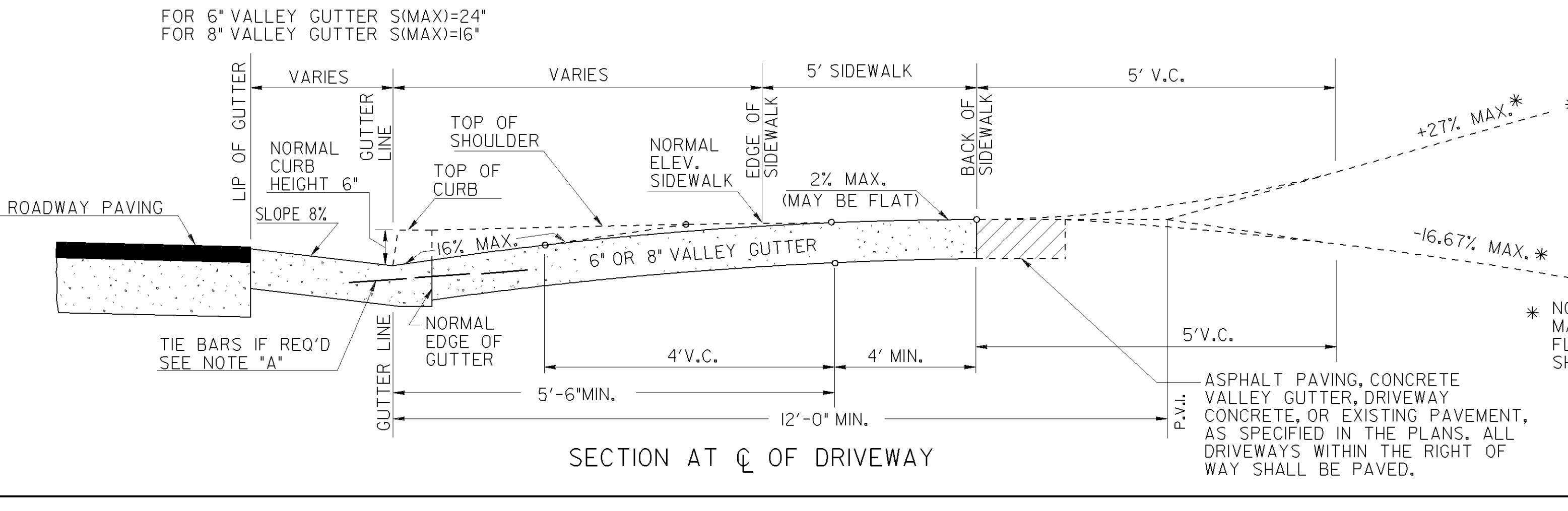
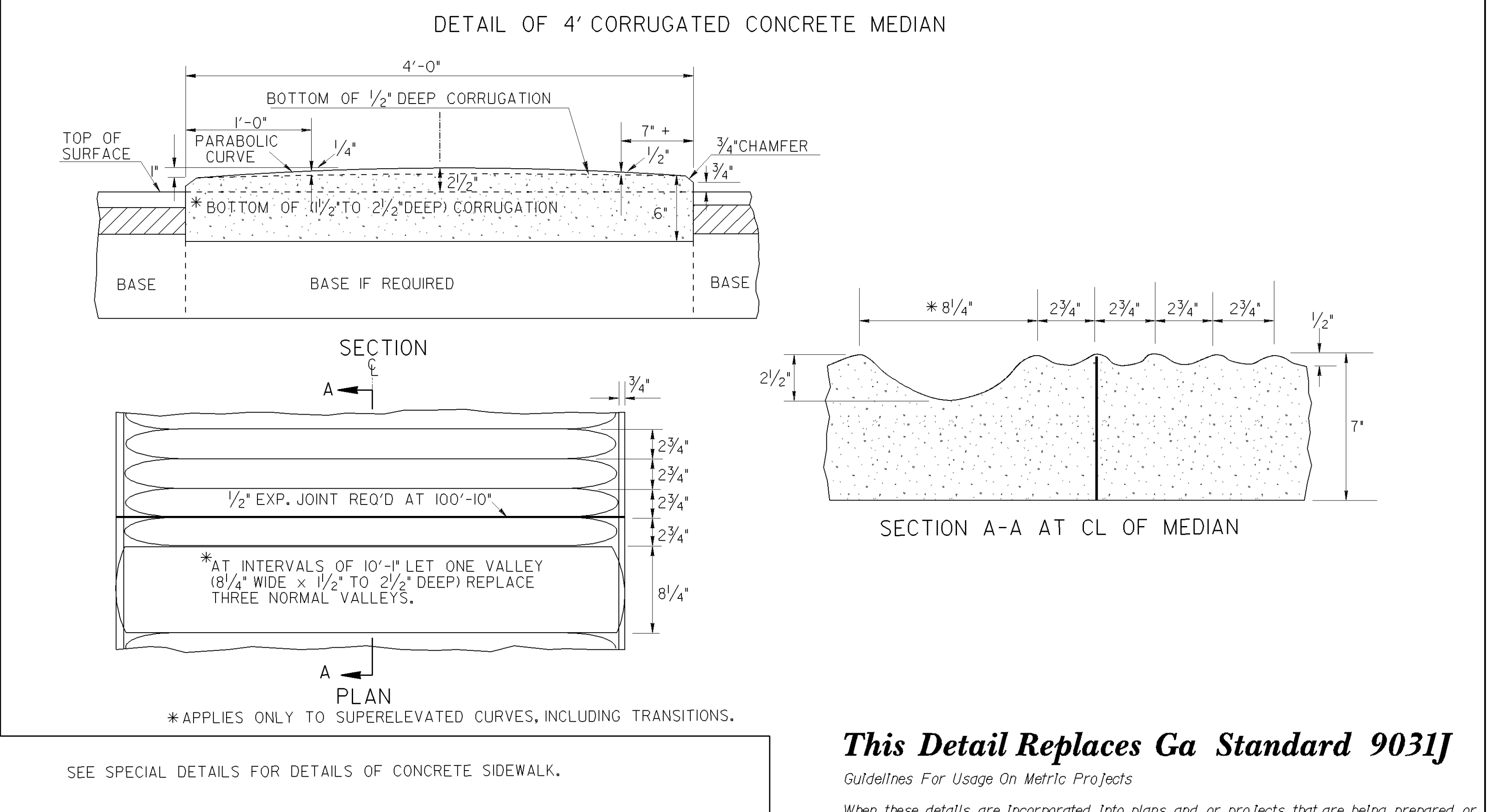
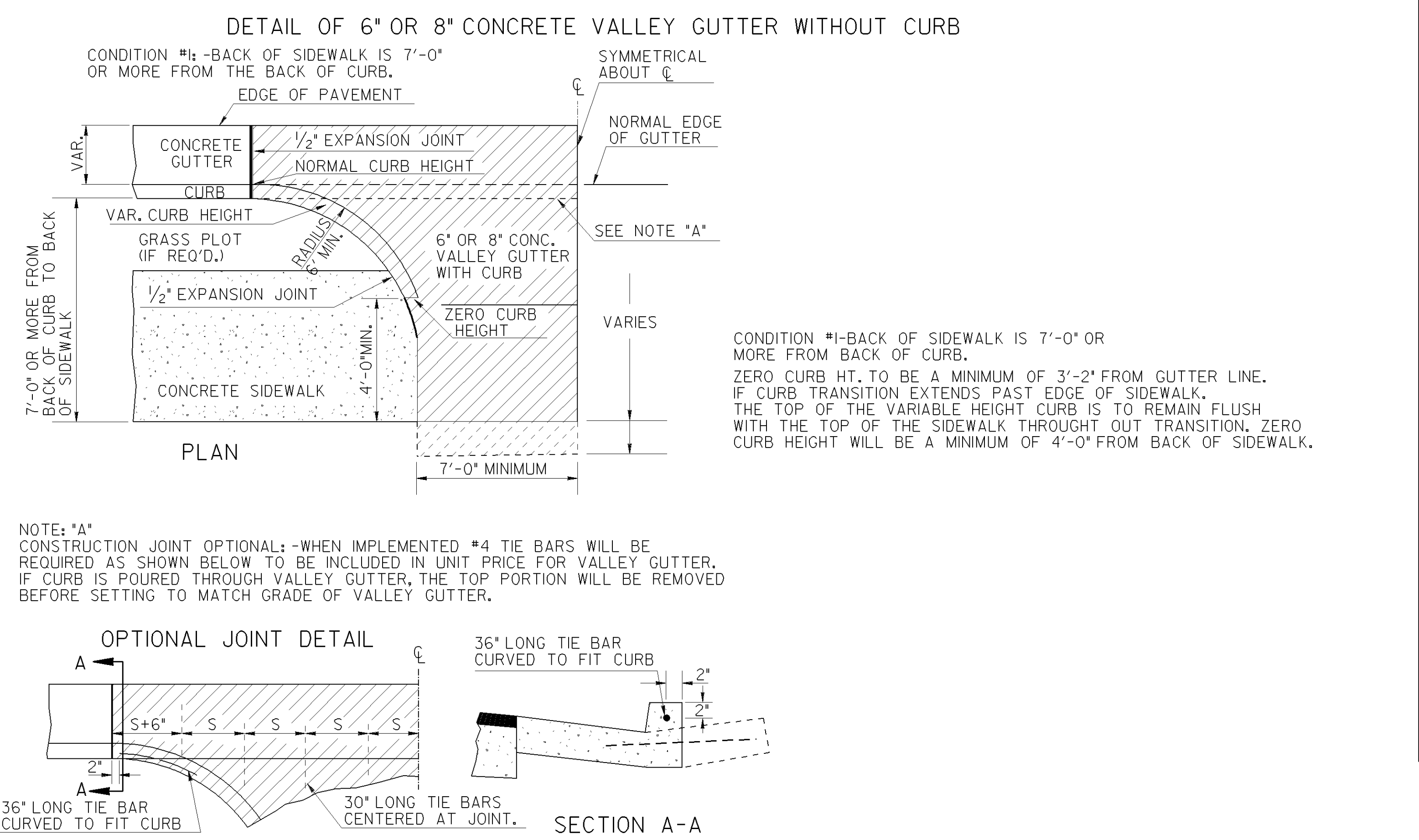
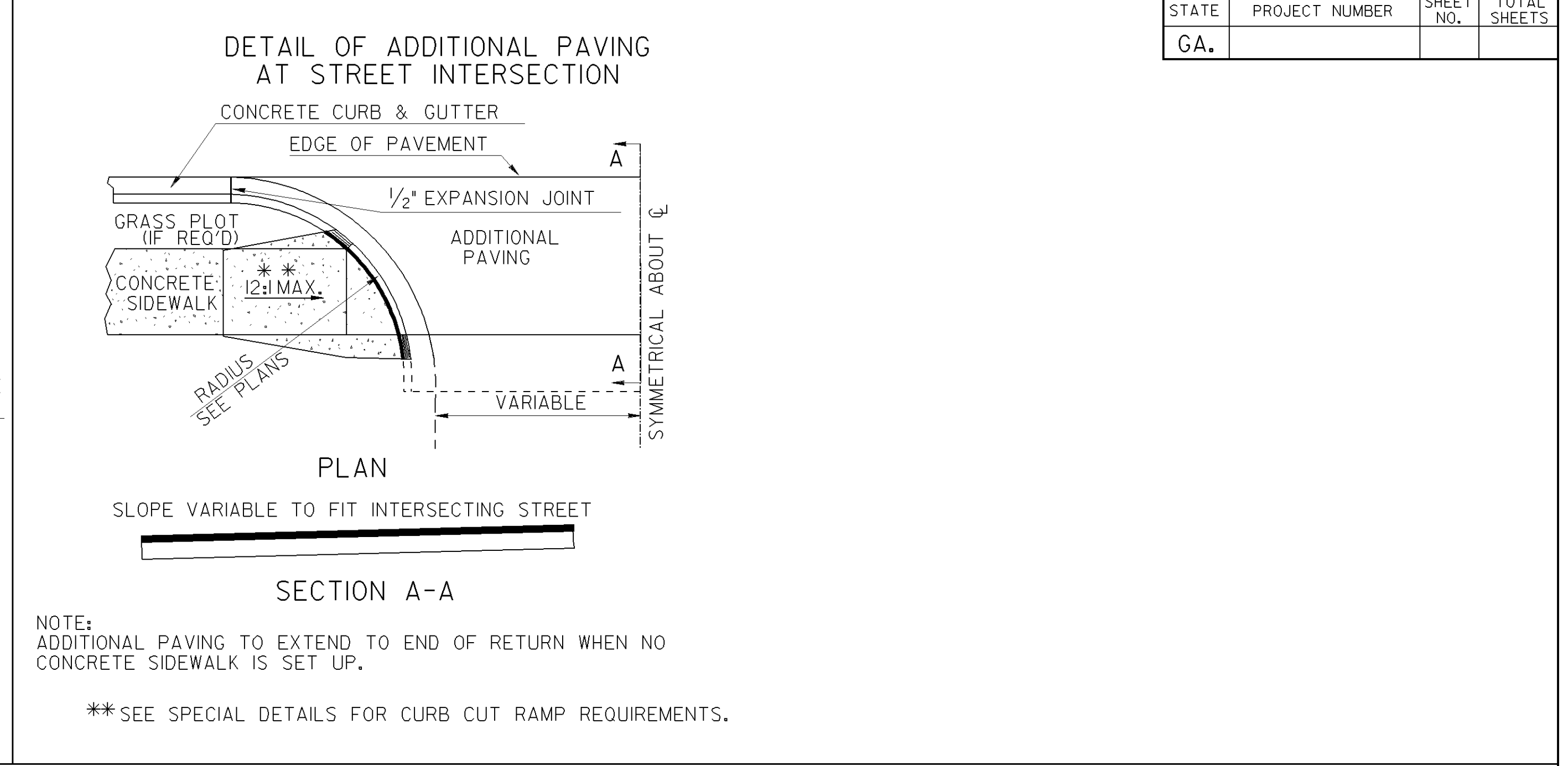
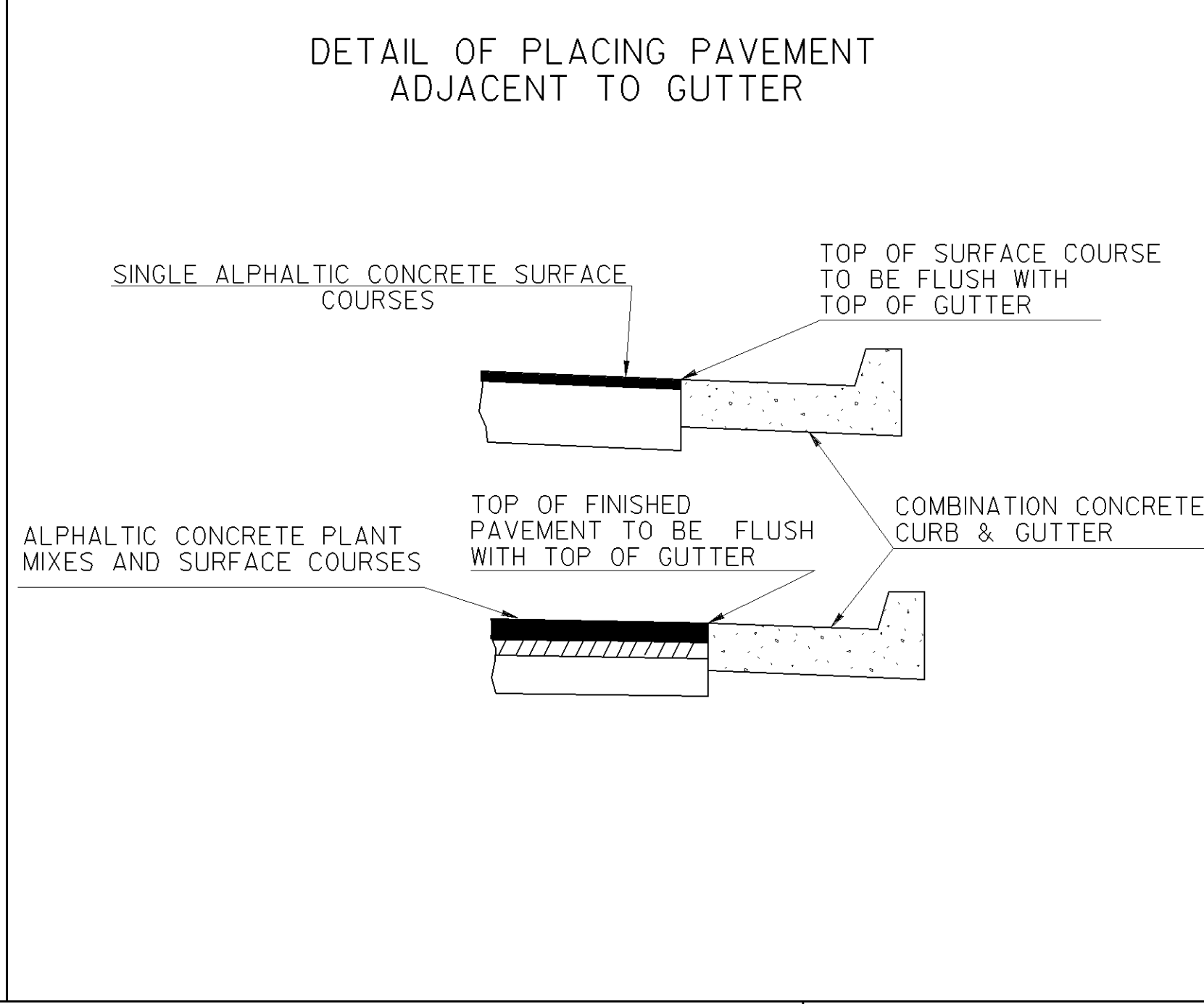
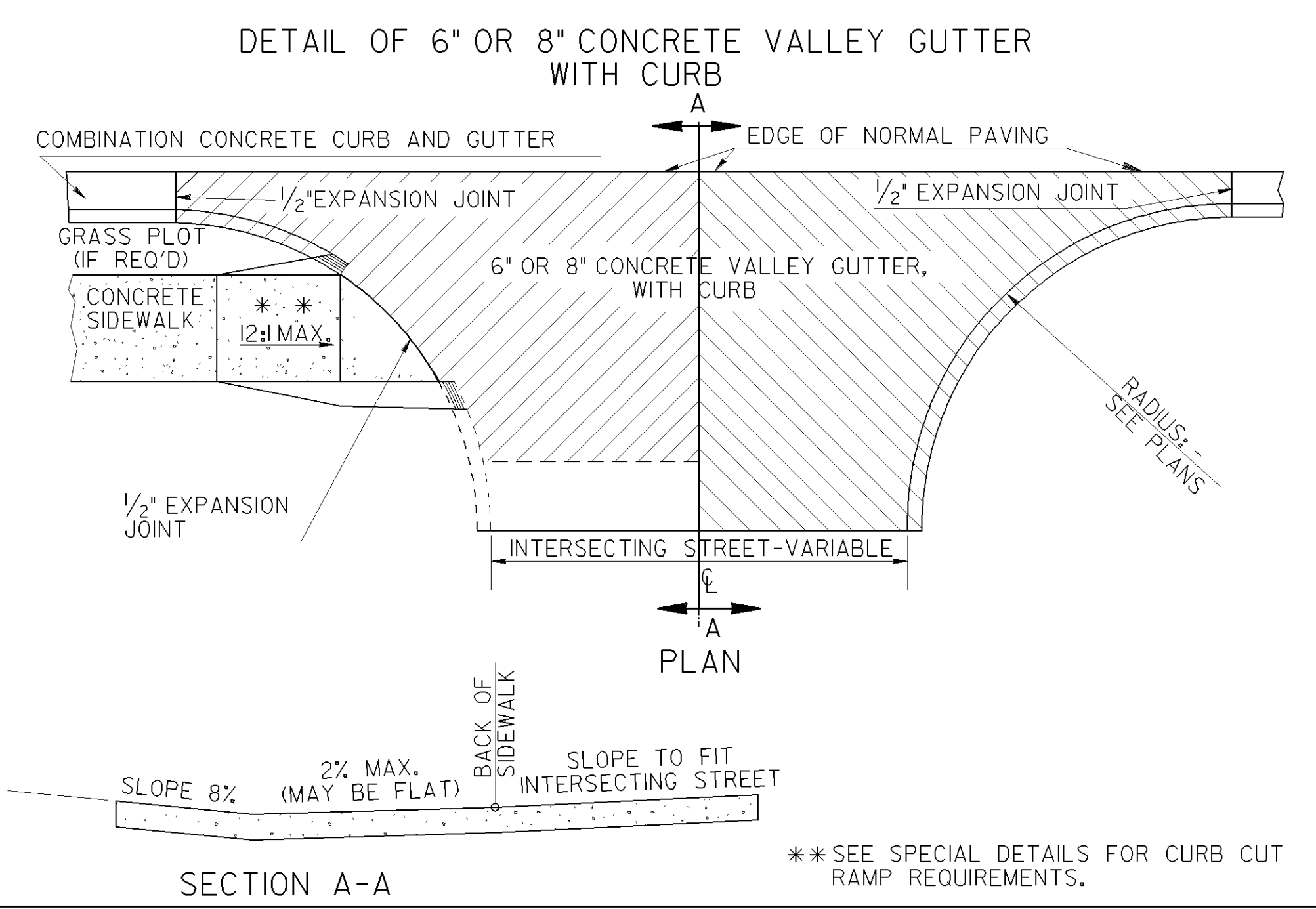
CONSTRUCTION DETAIL
 DRIVEWAYS WITH TAPERED ENTRANCES
 CONCRETE VALLEY GUTTERS

NO SCALE
 MARCH 12, 2002

REV. PAVEMENT NOTES, REV.	7-21-11	DATE
12" TO 14" MIN., REV. SWALK	4-11-02	
REVISED	4-3-02	
BY	REVISION	

NUMBER
AI

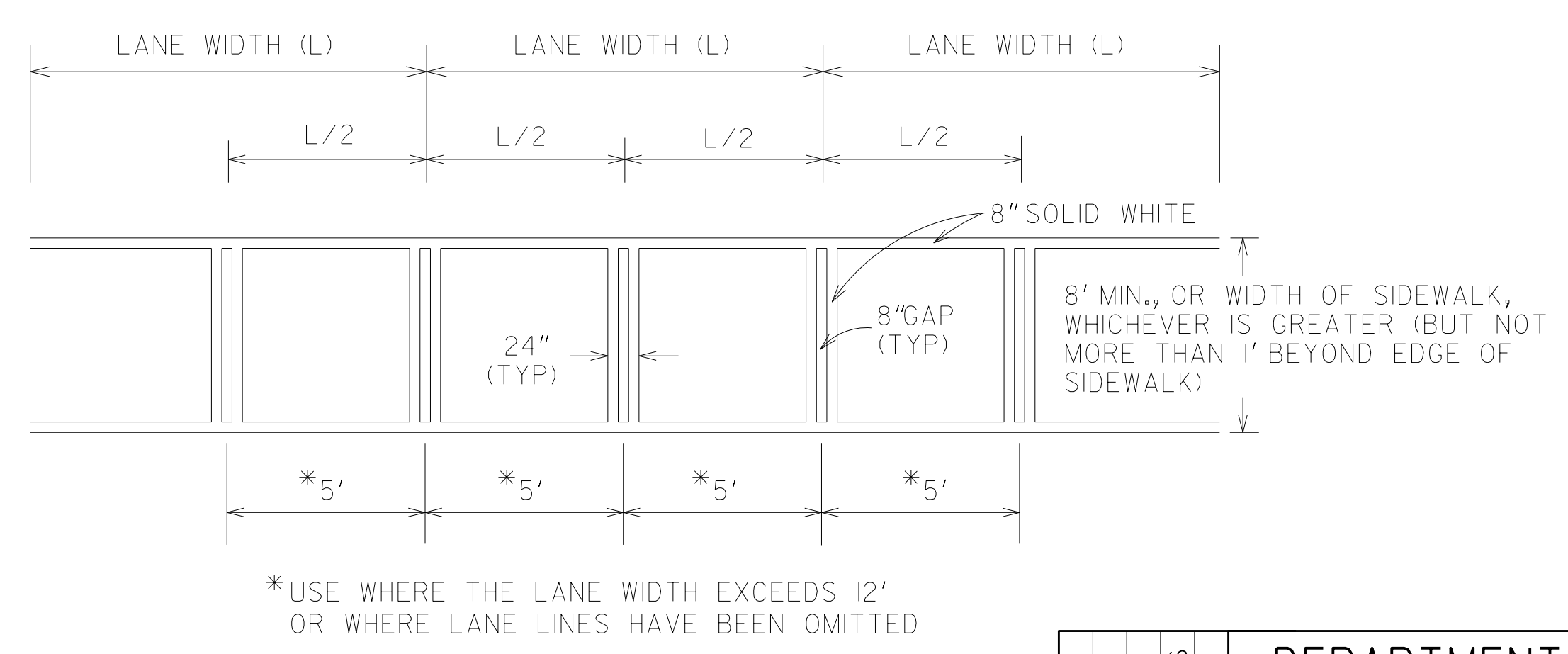
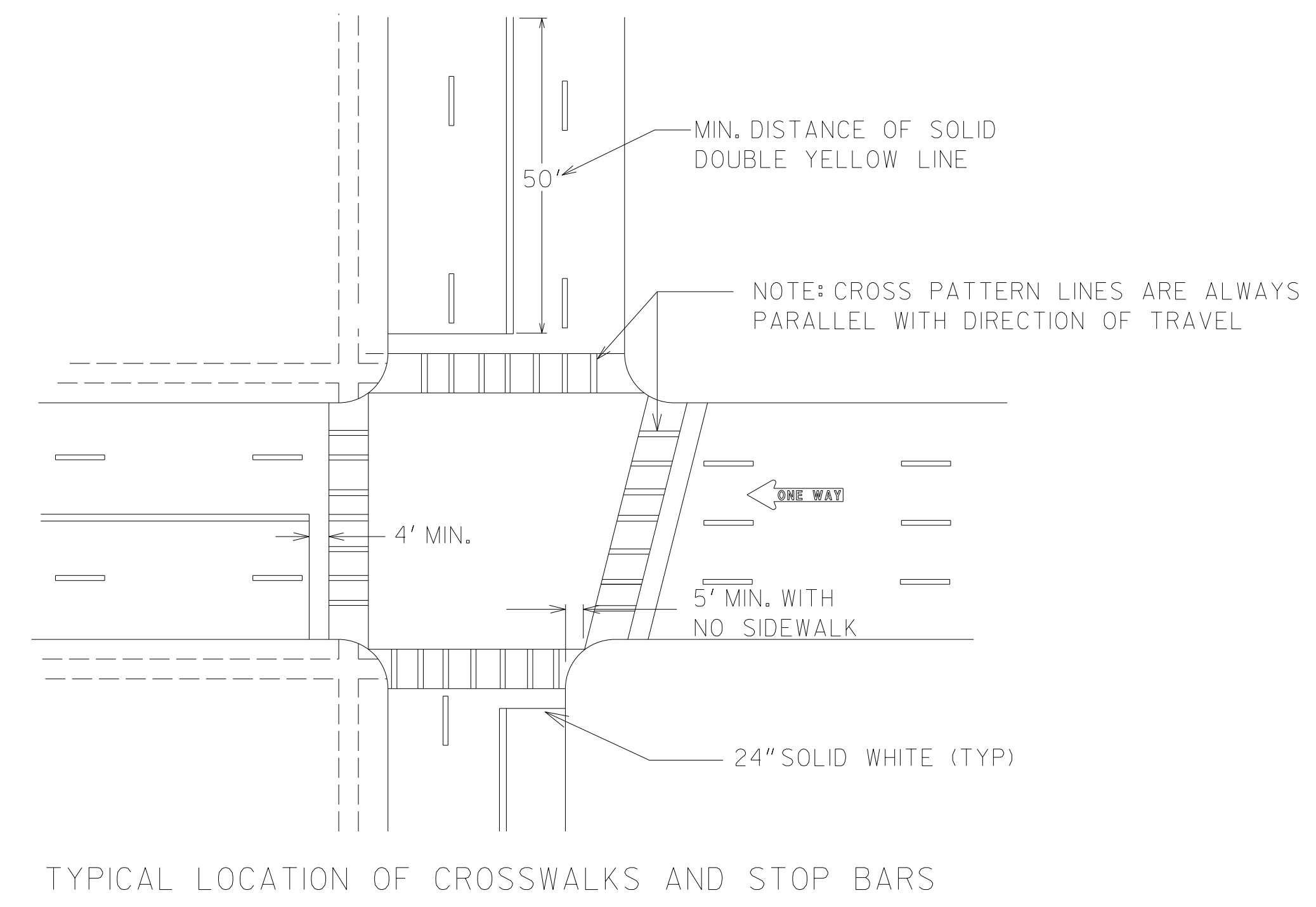
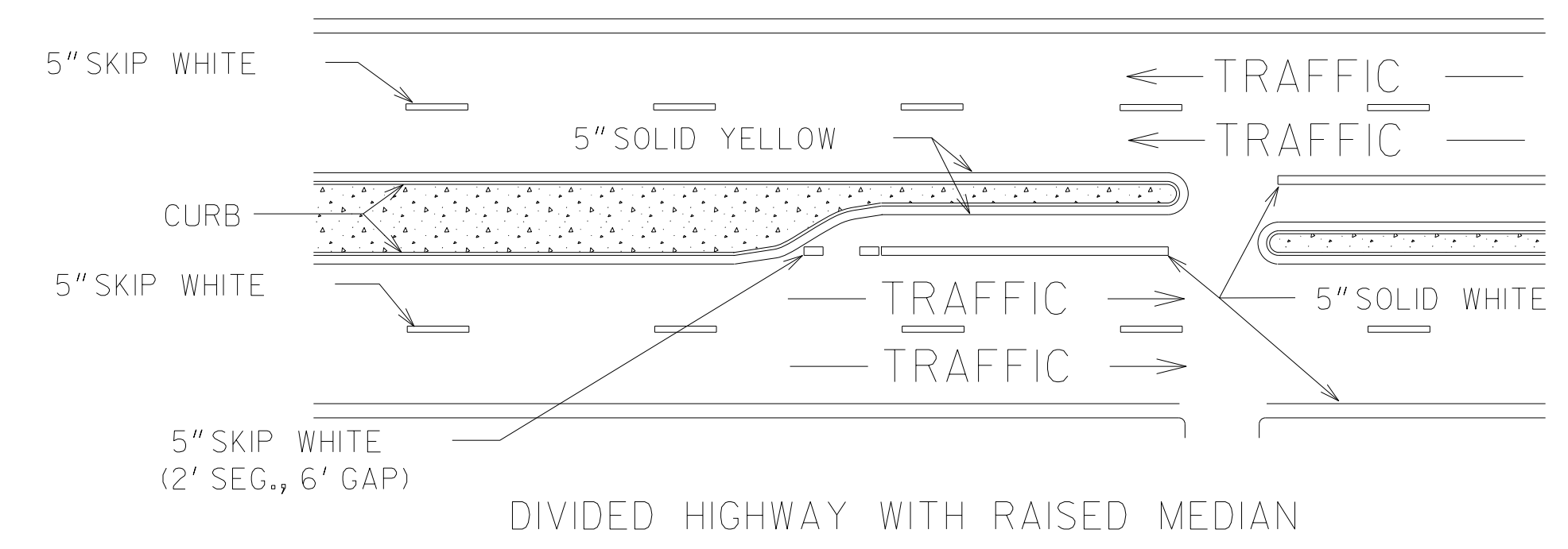
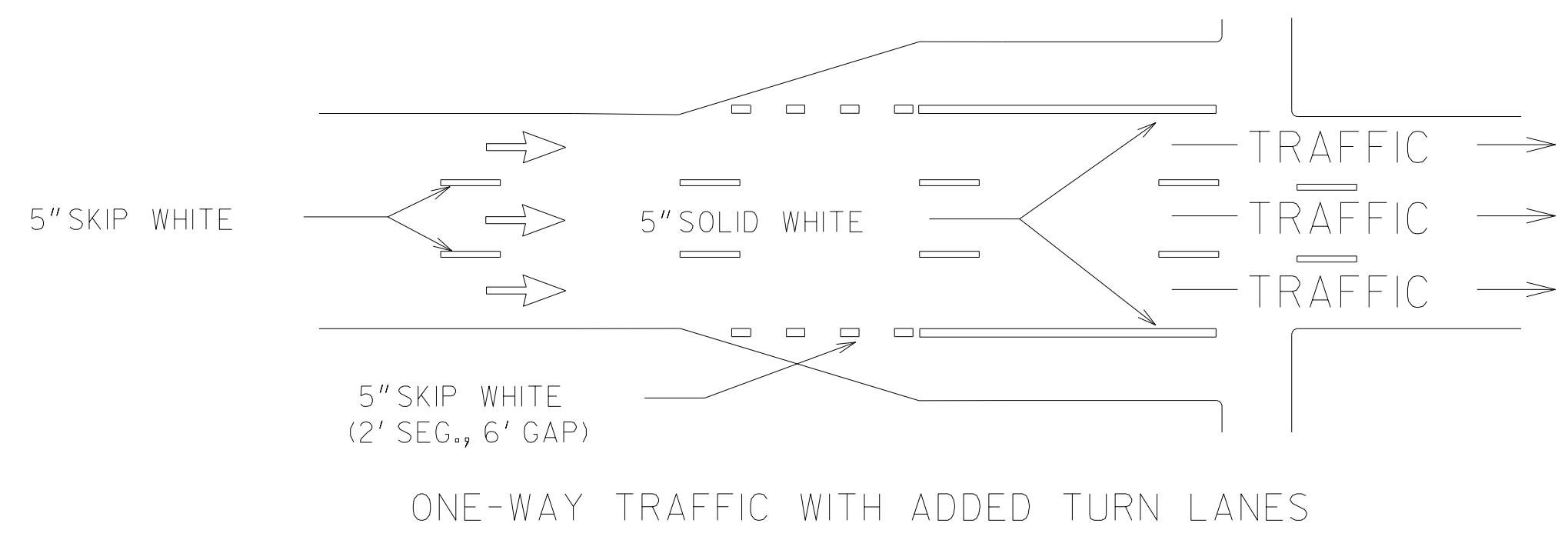
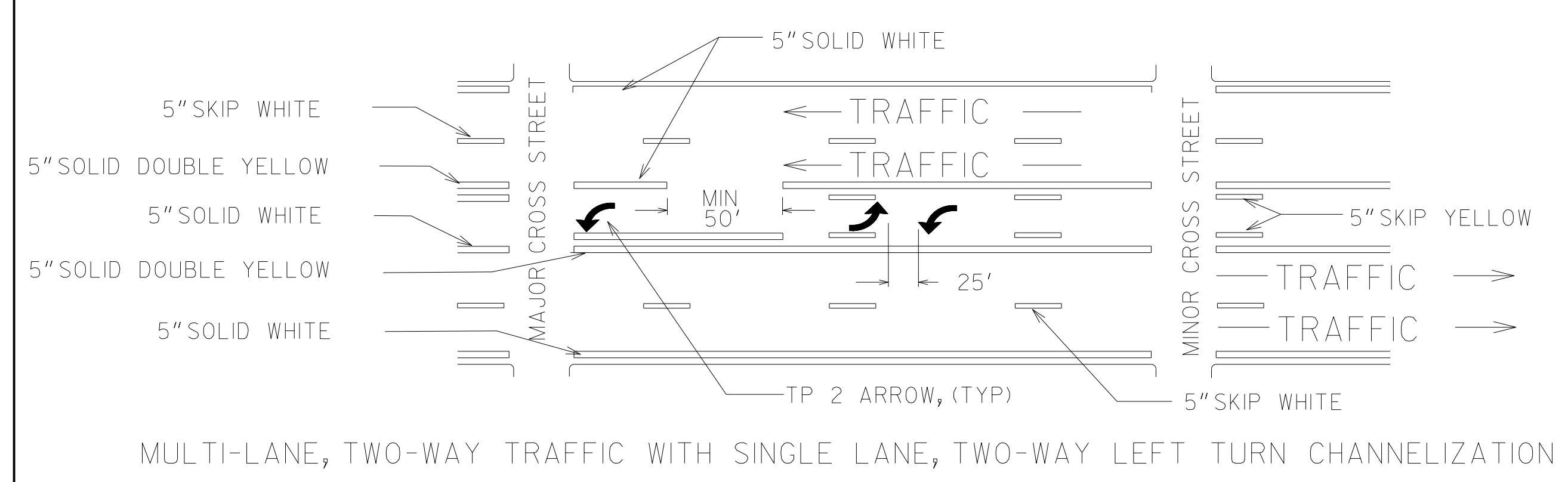
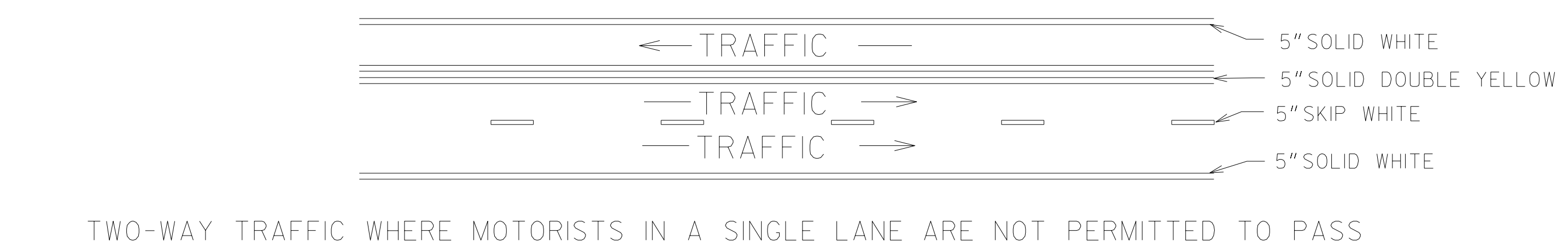
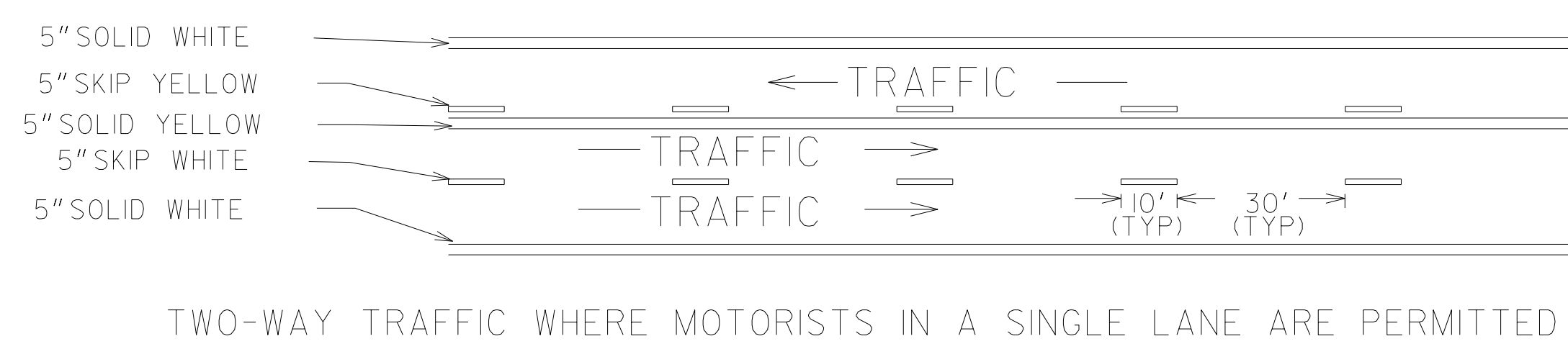
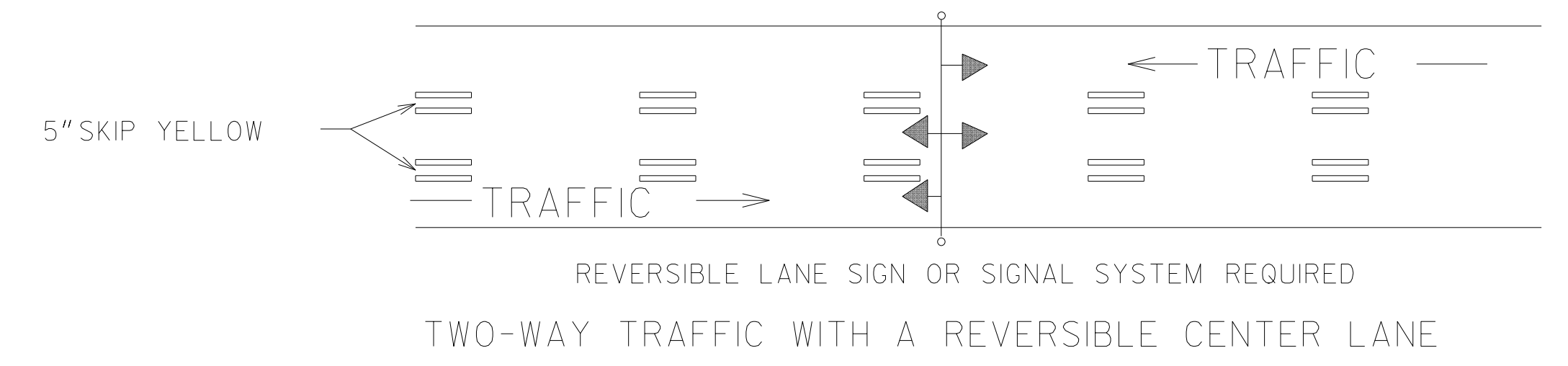
STATE	PROJECT NUMBER	SHEET NO.	TOTAL SHEETS
GA.			



This Detail Replaces Ga Standard 9031J
Guidelines For Usage On Metric Projects

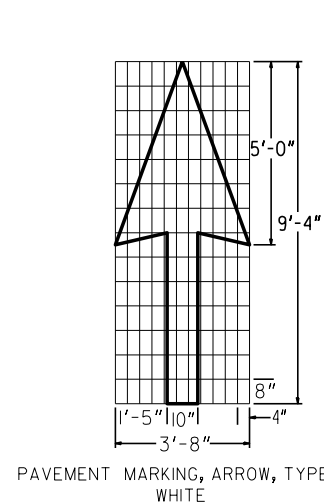
When these details are incorporated into plans and/or projects that are being prepared or constructed in metric units, exact or precise conversion to metric units is not required. The dimensions shown that are in feet and inches may be converted to corresponding metric units using the following "Rounded-Off" conversion factors: 1" = 25mm, 4" = 100mm, and 12" or 1' = 300mm. All measurement notes that refer to linear feet and square yards shall be interpreted to mean linear meters and square meters.

ADDED PAVEMENT NOTE, REV	7-21-11	DEPARTMENT OF TRANSPORTATION
DRIVEWAY SECTION		STATE OF GEORGIA
REV. PAVEMENT NOTES	2-21-03	CONSTRUCTION DETAIL
REVISED	4-11-02	CONCRETE VALLEY GUTTER AT STREET INTERSECTION
REVISED	4-3-02	6" OR 8" CONCRETE VALLEY GUTTER AT DRIVE
REVISED		PLACING PAVEMENT ADJACENT TO GUTTER
BY		ADDITIONAL PAVING AT STREET INTERSECTION
		4' CORRUGATED CONCRETE MEDIAN
		NO SCALE
		MARCH 12, 2002
		NUMBER
		A2

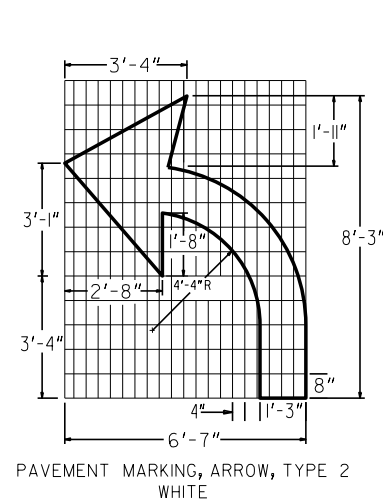


- GENERAL NOTES:
1. SPACING BETWEEN DOUBLE LINES SHALL BE EQUAL TO THE LINE WIDTH.
 2. EDGE LINES SHALL BE PLACED A MINIMUM OF 4 INCHES FROM THE NORMAL EDGE OF PAVEMENT.
 3. CONTRAST MARKINGS FOR SKIP STRIPING SHALL BE AS SHOWN IN DETAIL T-IIA.

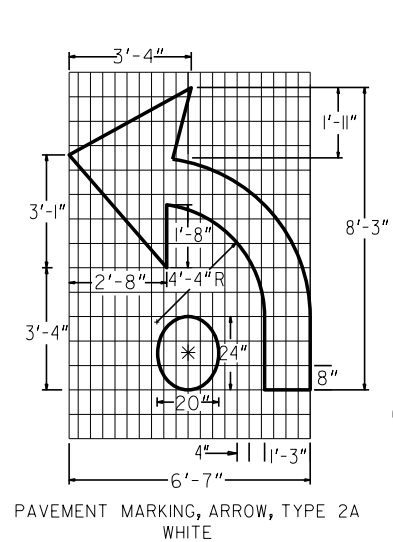
		9-15-16	DATE	DEPARTMENT OF TRANSPORTATION	
				STATE OF GEORGIA	
		3	REVISION	CONSTRUCTION DETAILS	
				PAVEMENT MARKING PLACEMENT	
				NON-LIMITED ACCESS ROADWAY	
				NO SCALE	JANUARY 2000
	CDR	BY	DESIGNED		NUMBER
			DRAWN		T-IIA
			TRACED		
			CHECKED		



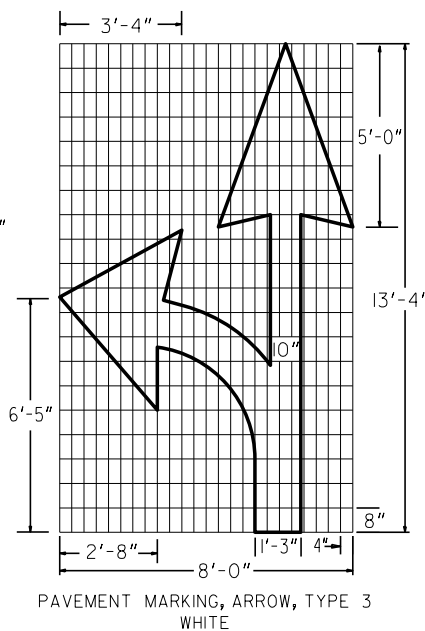
PAVEMENT MARKING, ARROW, TYPE 1 WHITE



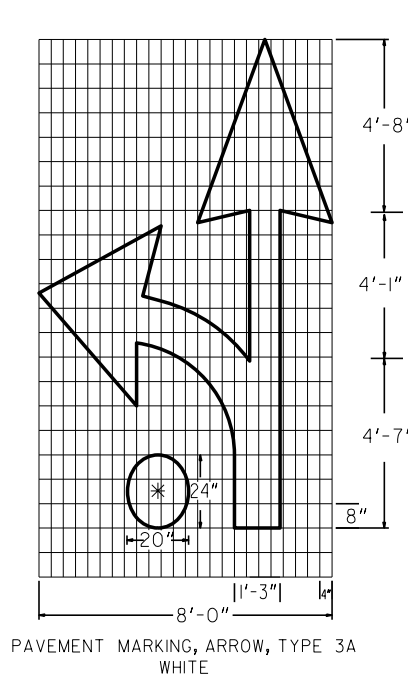
PAVEMENT MARKING, ARROW, TYPE 2 WHITE



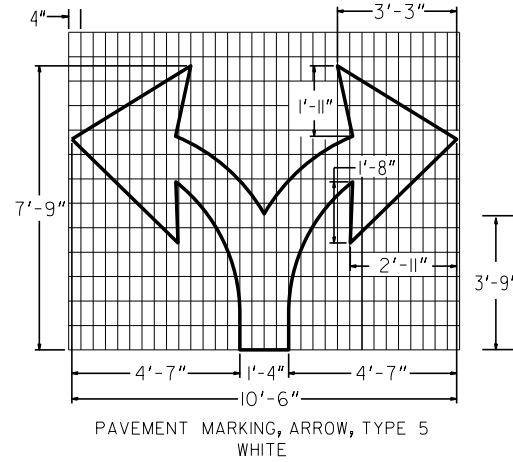
PAVEMENT MARKING, ARROW, TYPE 2A WHITE



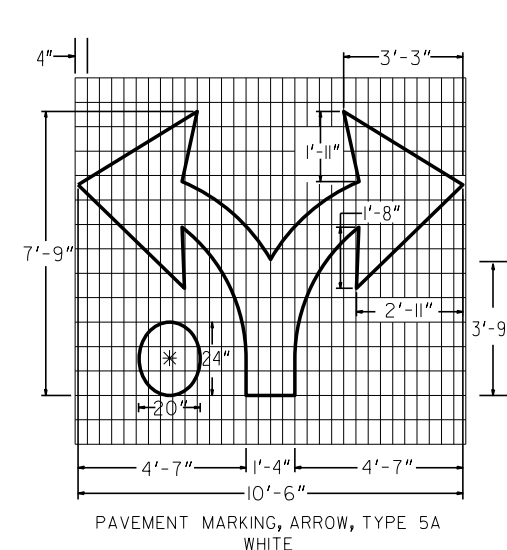
PAVEMENT MARKING, ARROW, TYPE 3 WHITE



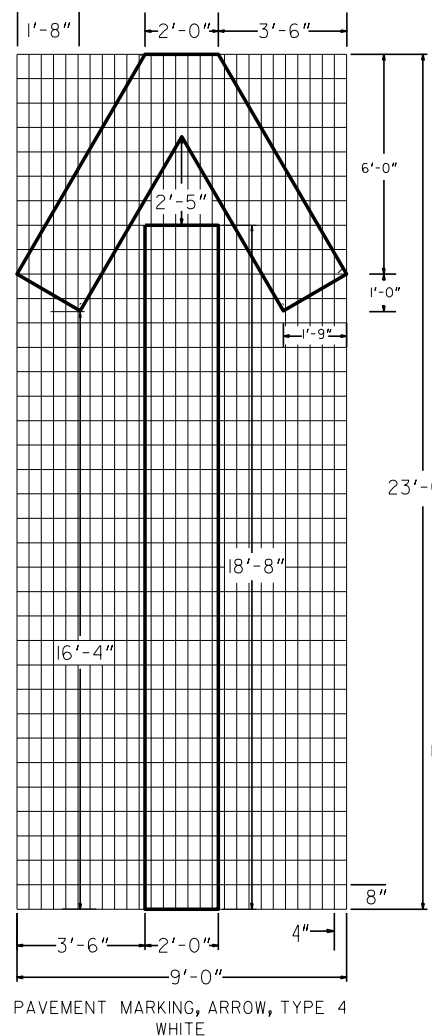
PAVEMENT MARKING, ARROW, TYPE 3A WHITE



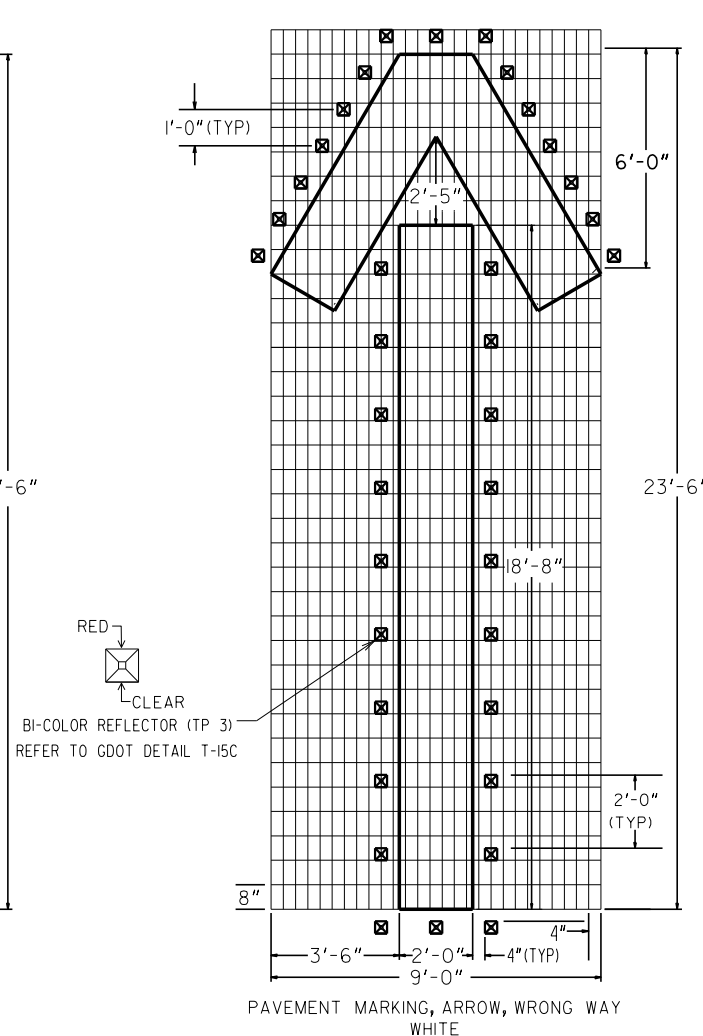
PAVEMENT MARKING, ARROW, TYPE 5 WHITE



PAVEMENT MARKING, ARROW, TYPE 5A WHITE

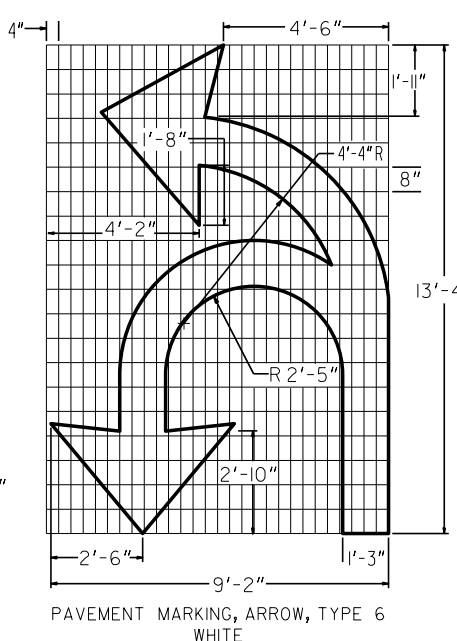


PAVEMENT MARKING, ARROW, TYPE 4 WHITE

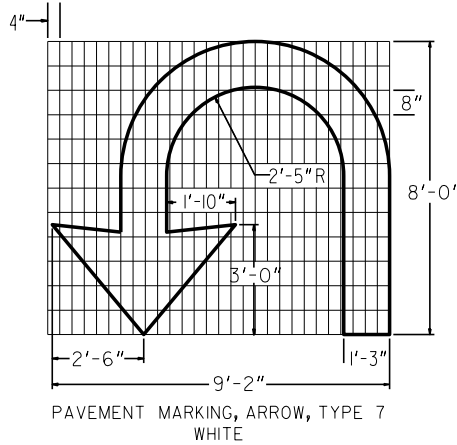


PAVEMENT MARKING, ARROW, WRONG WAY WHITE

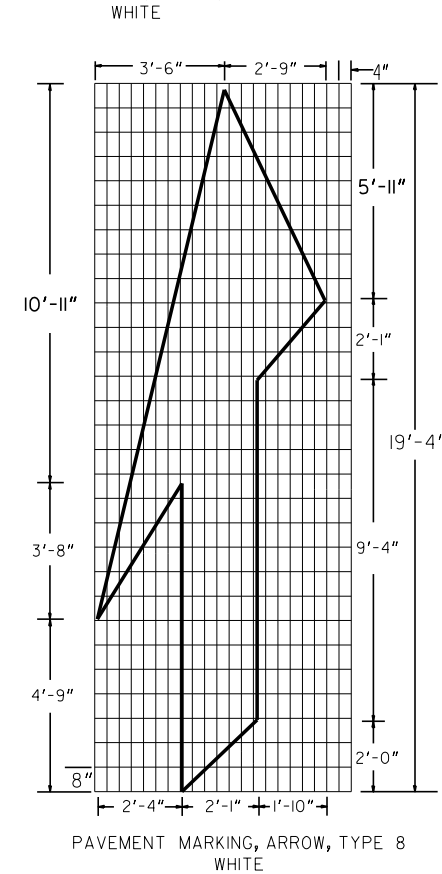
RED
CLEAR
BI-COLOR REFLECTOR (TP 3)
REFER TO GDOT DETAIL T-15C



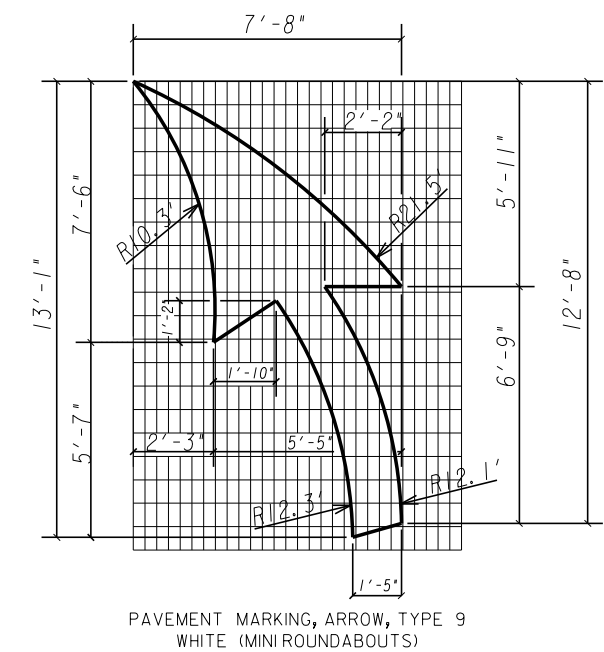
PAVEMENT MARKING, ARROW, TYPE 6 WHITE



PAVEMENT MARKING, ARROW, TYPE 7 WHITE



PAVEMENT MARKING, ARROW, TYPE 8 WHITE



PAVEMENT MARKING, ARROW, TYPE 9 WHITE (MINI ROUNDABOUTS)

NOTES
1. PAVEMENT MARKING ARROWS WITH A DOT (2A, 3A, 5A) SHALL BE USED ALONG MULTI-LANE ROUNDABOUT APPROACHES ALONG THE INSIDE LANE ONLY

11-04-20 05-30-19 04-11-00		DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA	
ADD'D PAVEMENT MARKING ADD'D PAVEMENT MARKING ARROWS FOR ROUNDABOUTS ON W/WRONG WAY ARROW		CONSTRUCTION DETAILS PAVEMENT MARKINGS - ARROWS	
NO SCALE		APRIL 2000	
ACP ACP ACP BY		DESIGNED DRAWN TRACED CHECKED	
NUMBER T-12B			



EOM Operations
Your solution to a better tomorrow

January 16th, 2024

S. Mark Boyles, P.E.
SMB
PO BOX 22324
Savannah, GA 31403

Dear Mr. Boyles,

I am pleased to provide you with a recommendation for Approval of the site development plans for 212 E Hwy 80 Office, which is provided below.

<u>Submittal Documents:</u>	Site Development Plans.....	Nov. 2023
	Stormwater Management Narrative & Calculations.....	Nov. 2023
	GDOT Review Submittal (w/ responses).....	Aug. 2023

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits and approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the required testing results, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM

CC: Nicole Dixon; Director of Planning and Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for Wawa at 1480 Pooler Parkway

Project:	#231502
P&Z Meeting Date:	February 12, 2024
City Council Meeting Date:	February 20, 2024
Applicant and Authorized Agent:	Jamie Gwaltney (Kimley-Horn)
Location (Address):	1480 Pooler Parkway
Parcel (PIN):	51011 01027
Acreage:	2.3 total – 2.3 disturbed
Zoning:	PUD [Morgan Family Tract]
Proposed Use:	Gas station with convenience store
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.<ul style="list-style-type: none">The site plan complies with the provisions for access and circulation per the Morgan Family Tract PUD; Sec. 11 of

App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.

3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Morgan Family PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #231502 - 1480 Pooler Parkway

02/07/2024

Parcels





CIVIL CONSTRUCTION DRAWINGS FOR WAWA - POOLER PARKWAY POOLER PARKWAY, POOLER, GA 31322

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
25 BULL STREET, SUITE 400
SAVANNAH, GA 31401
PHONE: (912) 231-4384
WWW.KIMLEY-HORN.COM

Wawa
WAWA, INC.
RED ROOF 260 W. BALTIMORE PIKE
WAWA, PENNSYLVANIA 19063
PHONE: 610-358-9000

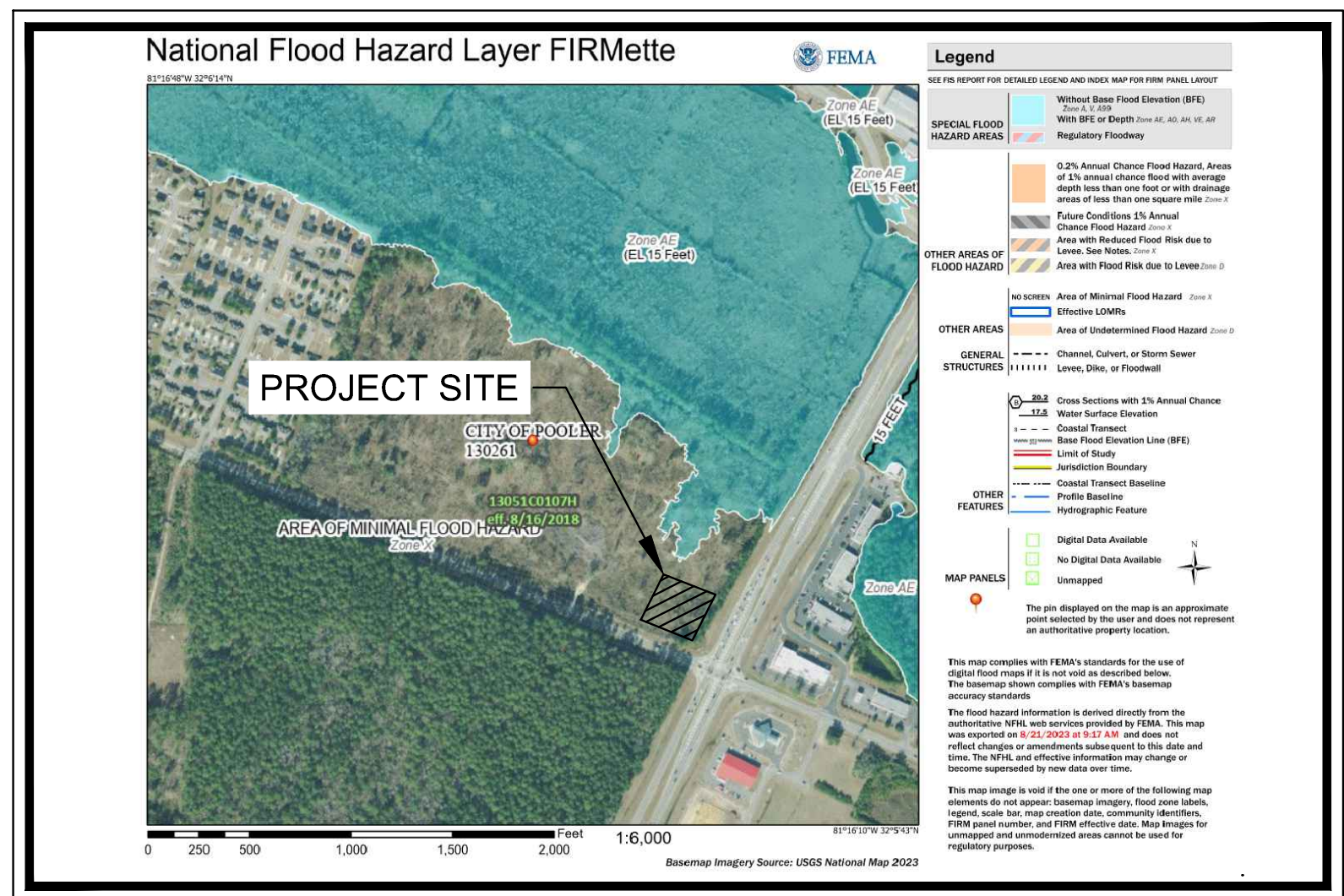
NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

WAWA - POOLER PARKWAY
POOLER PARKWAY AT PINE BARREN ROAD POOLER, GA 31322
1ST DISTRICT
PARCEL ID: 51011-01027



GSWCC NO. 0000092734
DRAWN BY MF
DESIGNED BY DDS
REVIEWED BY JNG
DATE 12/20/2023
PROJECT NO. 013488002

TITLE
COVER SHEET
SHEET NUMBER
C0-00



FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 13051C0107H DATED 8/16/2018.

1ST DISTRICT
PARCEL NO.: 51011-01027
EXISTING ZONING: PUD - PLANNED UNIT DEVELOPMENT
CITY OF POOLER, CHATHAM COUNTY, GEORGIA

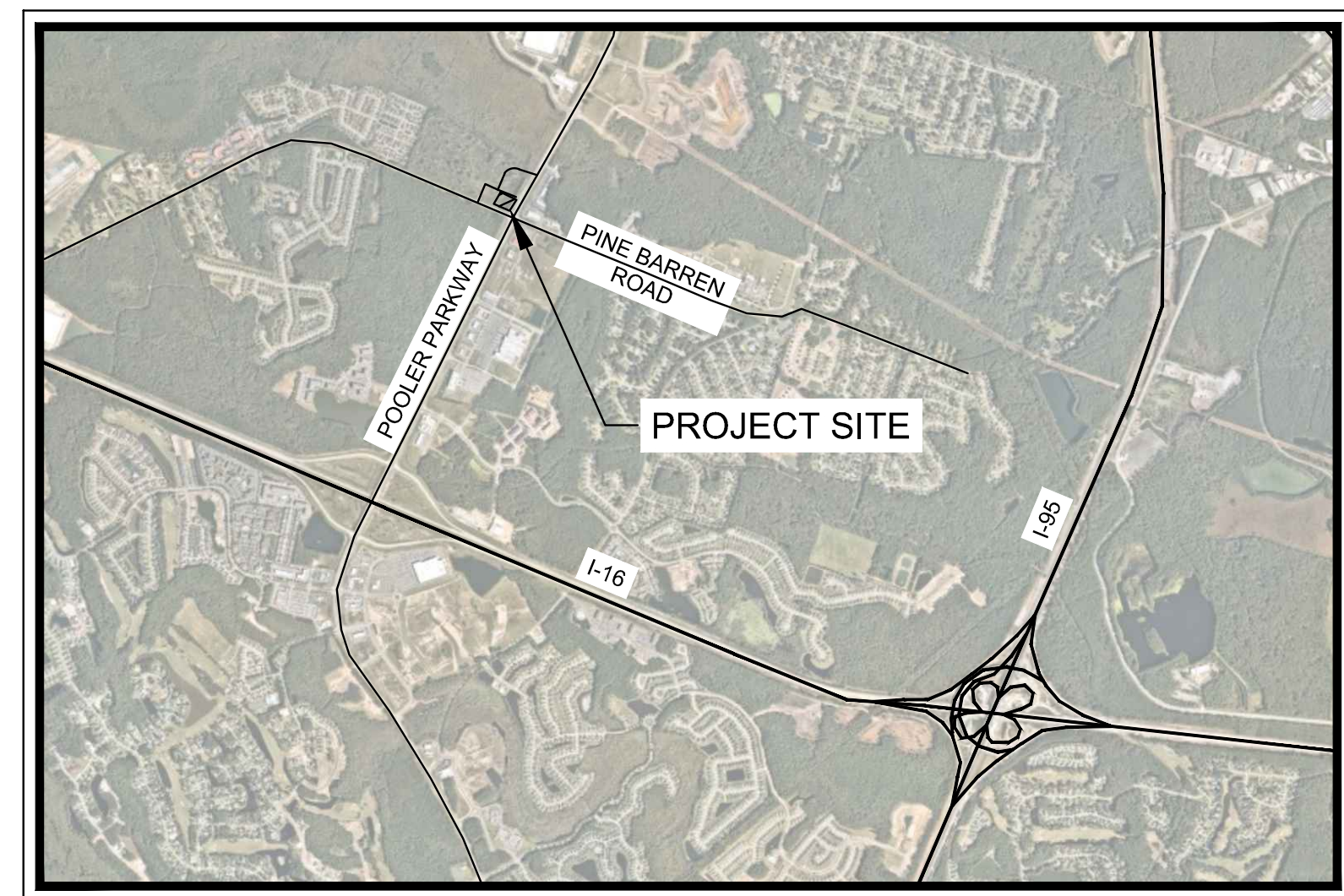
PROPERTY AREA = 2.27 ACRES
TOTAL DISTURBED AREA = 2.3 ACRES
IMPERVIOUS AREA = 1.61 ACRES (70.9%)
PERVIOUS AREA = 0.66 ACRES (29.1%)

PROJECT NARRATIVE:

THE WAWA SERVICE STATION IS A FUEL SERVICE AND CONVENIENCE STORE DEVELOPMENT. IT WILL CONTAIN AN 8 MULTIPLE PRODUCT DISPENSER (MPD) FUEL CANOPY WITH 16 FUELING SPACES AND A 6,119 SF CONVENIENCE STORE.

THE PROJECT, PROPOSED PARCEL R-3A, IS A PORTION OF A LARGER DEVELOPMENT, PROVIDENCE AT POOLER, CURRENTLY KNOWN AS PARCEL R-3, TO BE FURTHER SUBDIVIDED BY THE MAJOR SUBDIVISION PLAT SUBMITTED ON 10.26.23 BY HUSSEY GAY BELL SURVEYING.

THE PROJECT WILL INCLUDE THE CONSTRUCTION OF STORMWATER CONVEYANCE TO OFFSITE DETENTION, AND ALL ASSOCIATED UTILITIES. THE PROPERTY AREA ON SITE IS 2.27 ACRES, AND THE TOTAL DISTURBED AREA IS 2.3 ACRES.



VICINITY MAP
N.T.S.

PROJECT CONTACTS

OWNER / DEVELOPER: DG POOLER PARKWAY, LLC
11520 DAVIS DRIVE, SUITE 300
ALPHRETTA, GA 30009
PHONE: 770.680.2721
CONTACT: BRENT DAVIS

ARCHITECT: CUHACI PETERSON
2600 MAITLAND CENTER PARKWAY, SUITE 200
MAITLAND, FLORIDA 32751
PHONE: 407-661-9100
CONTACT: MARY ROSARIO

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
25 BULL STREET, SUITE 400
SAVANNAH, GA 31401
PHONE: 912.231.4384
CONTACT: JAMIE GWALTNEY, P.E.

SURVEYOR: HUSSEY GAY BELL
329 COMMERCIAL DRIVE
SAVANNAH, GEORGIA 31406
PHONE: 912.354.4626
CONTACT: NATHAN BROWN, P.L.S.

24-HR CONTACT: BRENT DAVIS / SERGIO MARTINEZ
DG POOLER PARKWAY, LLC / WAWA SOUTHEAST, LLC
678.392.3618 / 561.564.7247

NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
- IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.
- IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS, THE CITY OF POOLER REQUIREMENTS SHALL BE REQUIRED.
- THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN (CHAPTER 42, ARTICLE V, SECTION 42-183.4(6)).
- THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA (CHAPTER 42, ARTICLE V, SECTION 42-183.4(5)).

CIVIL SHEET LIST

REVISIONS NO.	SHEET NO.	SHEET TITLE
	C0-00	COVER SHEET
	C0-80	EXISTING CONDITIONS PLAN
	C2-00	SITE PLAN
	C3-00	GRADING PLAN
	C3-01	DRAINAGE PLAN
	C3-50	STORM SEWER PROFILES
	C4-00	UTILITY PLAN
	C4-50	SANITARY SEWER PROFILES
	C5-00	EROSION CONTROL NOTES
	C5-01	EROSION CONTROL NOTES
	C5-02	EROSION CONTROL NOTES
	C5-03	EROSION CONTROL NOTES
	C5-20	EROSION CONTROL PLAN - PHASE 2
	C5-30	EROSION CONTROL PLAN - PHASE 3
	C5-80	EROSION CONTROL DETAILS
	C5-81	EROSION CONTROL DETAILS
	C6-00	CONSTRUCTION DETAILS
	C6-01	CONSTRUCTION DETAILS
	C6-02	CONSTRUCTION DETAILS
	C6-03	CONSTRUCTION DETAILS
	C6-04	CONSTRUCTION DETAILS
	C6-40	STORM STRUCTURE DETAILS
	C6-50	SANITARY SEWER DETAILS
	C6-60	WATER CONSTRUCTION DETAILS
	L1-00	TREE PROTECTION PLAN
	L2-10	LANDSCAPE DETAILS
	SHEET 1	PHOTOMETRIC LIGHTING PLAN (BY OTHERS)

SITE DATA TABLE:

Wawa Store No.	6309
Building Type	F85 F/BL V2021.1
Canopy Type	SLOPED
Canopy Configuration	STRAIGHT
No. of MPD's	8
Type of MPD's	(8) 3+1+1
Parking Spaces	60
ADA Parking Spaces	3
Truck/Oversized Parking Spaces	0
SF of Asphalt Inside ROW	38210.8
SF of Lawn Area	12632.4

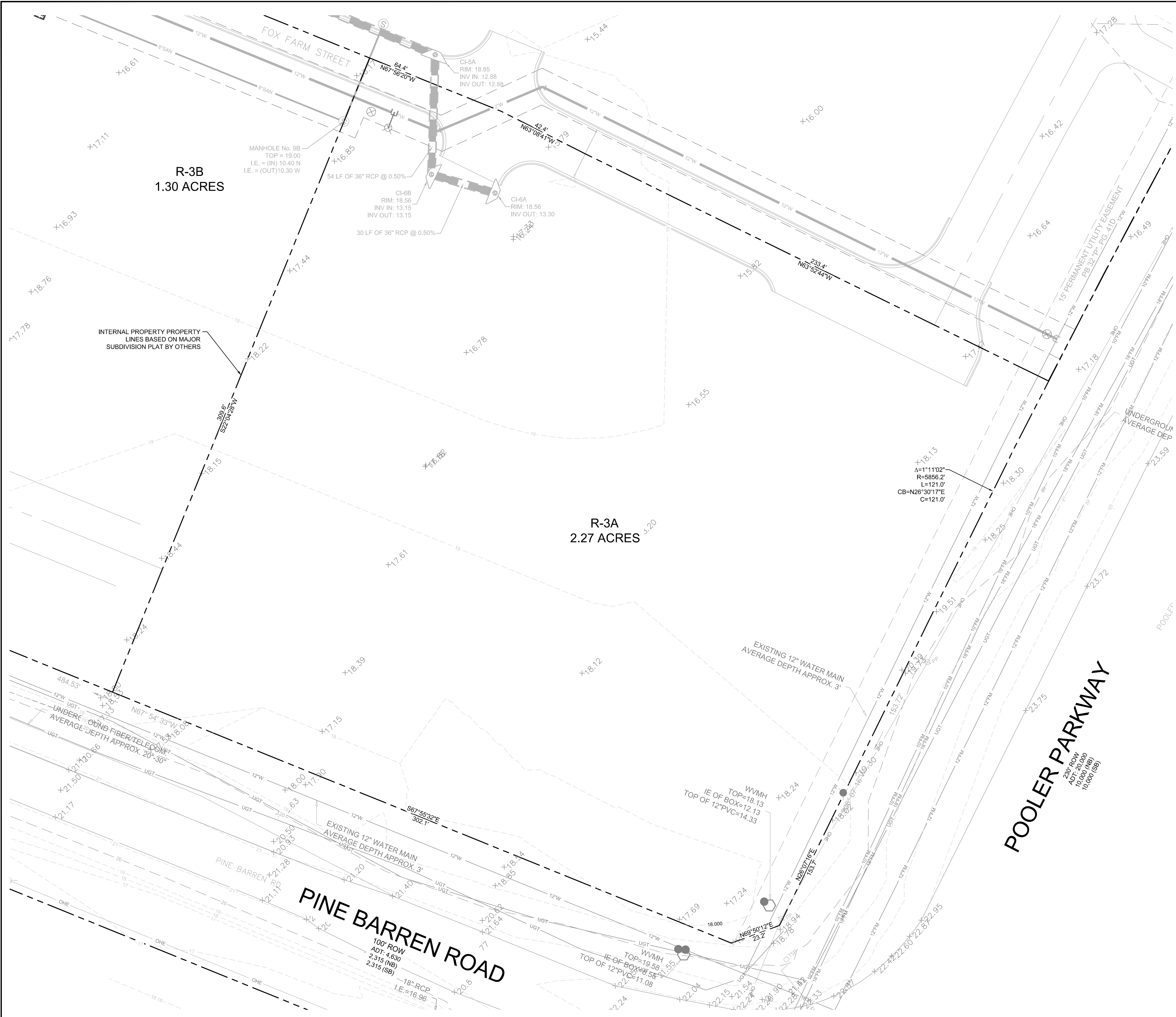
GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION

JAMIE N. GWALTNEY
Level II Certified Design Professional

CERTIFICATION NUMBER 0000092734
ISSUED: 12/18/2020 EXPIRES: 12/18/2026

GEORGIA811
Utilities Profession Code, Inc.
Know what's below.
Call before you dig.

Drawing name: K:\S\A_V_Civil\014777000_Walnut04-Davis Group\013488002_Pooler Plkwy Pooler GA\CAO\Plansheets\C0-80 - EXISTING CONDITIONS PLAN.dwg Dec 21, 2023 2:24 pm by david.smith



- EXISTING CONDITIONS NOTES:**
- EXISTING CONDITIONS SHOWN HEREON ARE FROM DAVIS GROUP MASTER SITE PLAN FILE PROVIDED HUSSEY GAY BELL DATED 09/01/2023. THE SITE IS CURRENTLY CLEARED BY OTHERS.
 - EXISTING BENCHMARK ON PARCEL R-1 USED

NORTHING:	765666.2498
EASTING:	931787.1820
ELEVATION:	16.95'
DATUM:	NAVD 88
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 - WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
 - ALL PROPERTIES SHOWN ARE CURRENTLY OWNED BY DG POOLER PARKWAY, LLC
 - WATER, SANITARY SEWER, AND STORM STRUCTURES SHOWN ADJACENT TO FOX FARM ARE BASED ON MASTER DEVELOPMENT (BY OTHERS).

PREPARED FOR

PREPARED BY

PROJECT

DATE

BY

Kimley-Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
25 BULL STREET, SUITE 400
ANNAPOLIS, MD 21401
PHONE: (410) 293-1484
WWW.KIMLEY-HORN.COM

WAWA - POOLER PARKWAY

POOLER PARKWAY AT PINE BARREN ROAD POOLER, GA 31322

1ST DISTRICT

PARCEL ID: 51011-01027

ISSUANCE AND REVISION DESCRIPTIONS

REGISTERED PROFESSIONAL ENGINEER

STATE OF GEORGIA

NO. PE034915

WARRIS GALLT, III

12/20/2023

GSWCC NO. (LEVEL II) 0000092734

DRAWN BY MF

DESIGNED BY DDS

REVIEWED BY JNG

DATE 12/20/2023

PROJECT NO. 013488002

TITLE

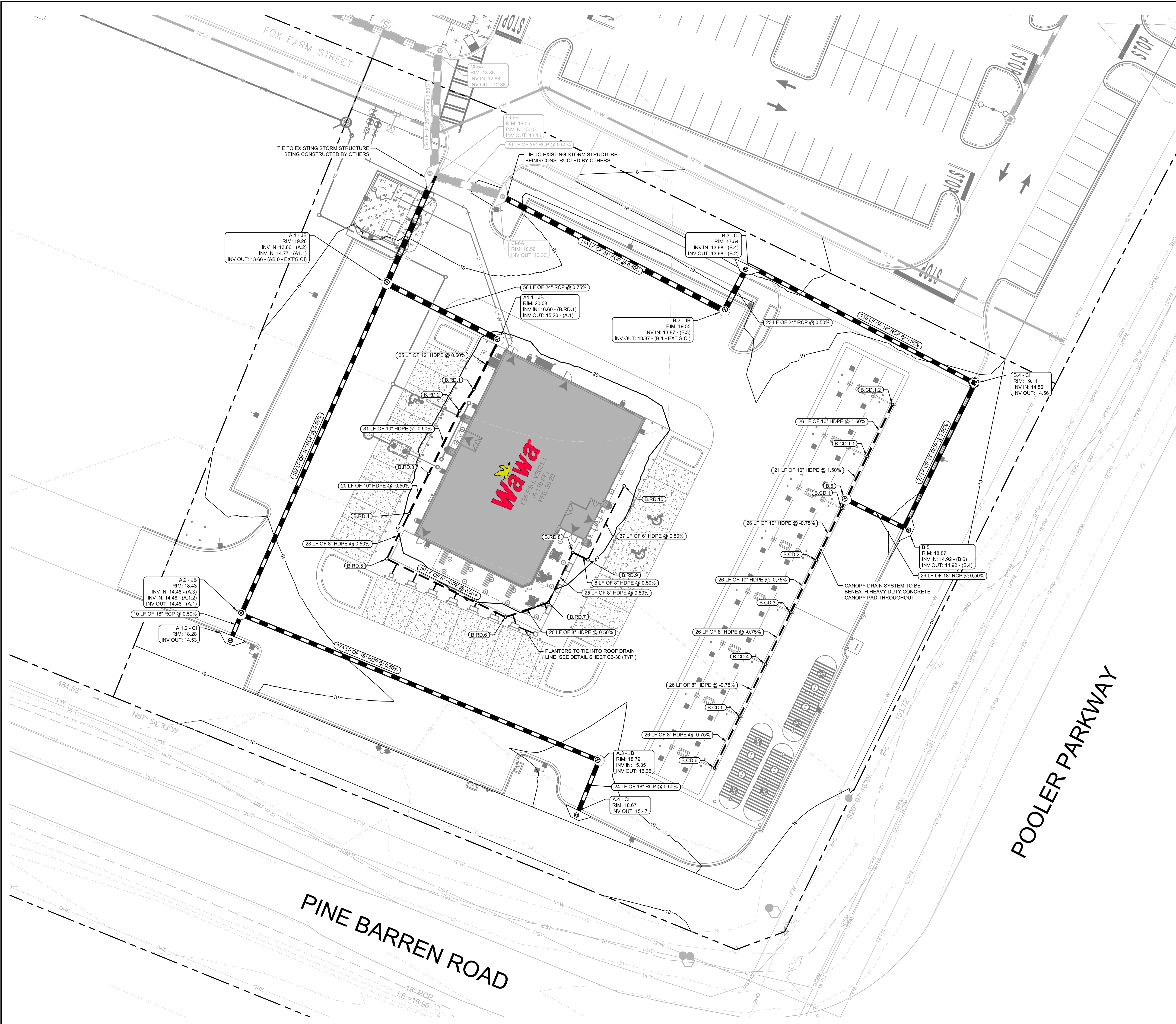
EXISTING CONDITIONS PLAN

SHEET NUMBER

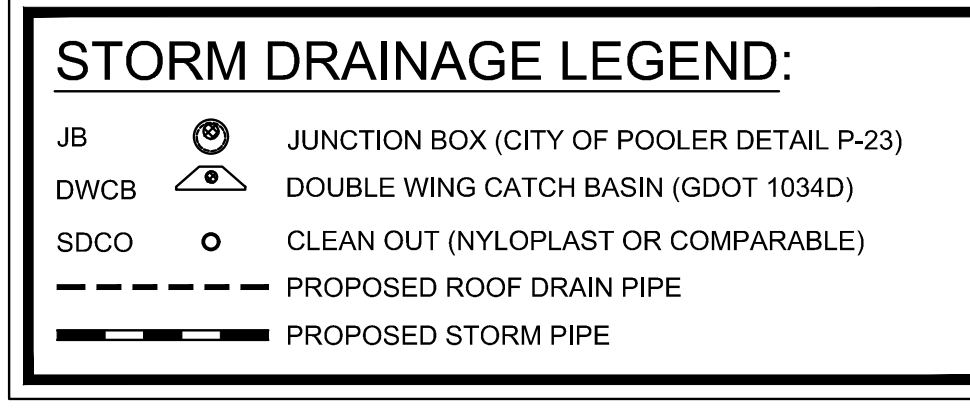
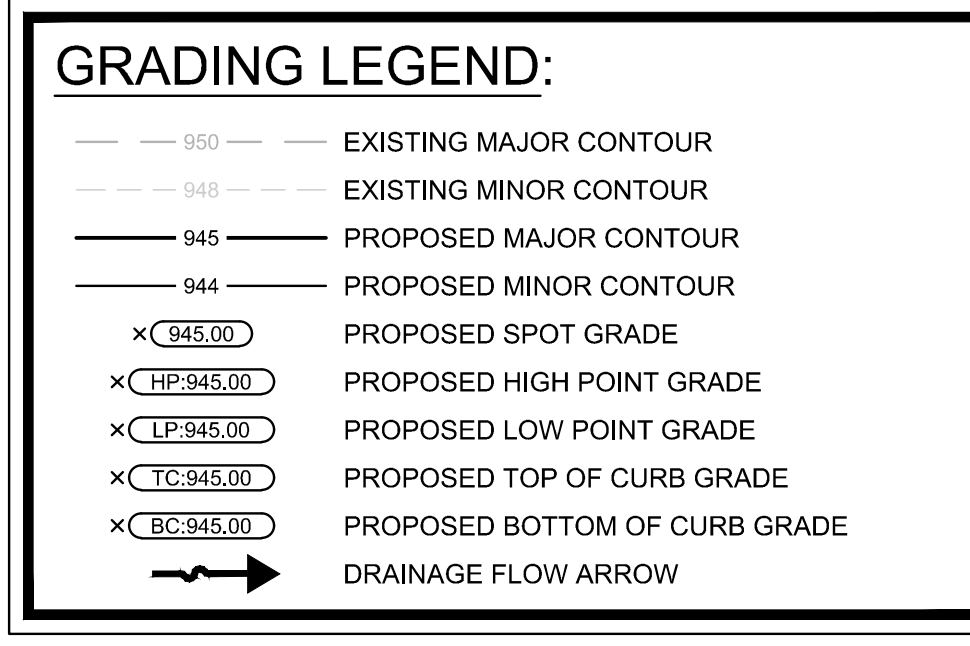
C0-80

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Drawing name: K:\S\A\..._Wainut04-Davis Group\013488002_Pooler Plkw Poodr CA\CA\Plansheets\C3-00 - GRADING & DRAINAGE PLAN.dwg C3-01 DRAINAGE PLAN Dec 21, 2023 4:42pm by: david.smith



- ### GRADING & DRAINAGE NOTES:
- SITE AREA: 2.27 ACRES
DISTURBED AREA: 2.3 ACRES
 - CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
 - ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
 - ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 - THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13051C0107H, DATED 8/16/2018.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 - CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 - NO GRADED SLOPE SHALL EXCEED 3H:1V
 - ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
 - ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.



PREPARED BY: **Kimley-Horn**

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25 BULL STREET, SUITE 400
SAVANNAH, GA 31401
PHONE: (912) 231-4384
WWW.KIMLEY-HORN.COM

PREPARED FOR: **Wawa, INC.**
RED ROOF 260 W. BALTIMORE PIKE
WAWA, PENNSYLVANIA 19063
PHONE: 610-359-9000

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT: **WAWA - POOLER PARKWAY**
POOLER PARKWAY AT PINE BARREN ROAD POOLER, GA 31322
1ST DISTRICT
PARCEL ID: 51011-01027

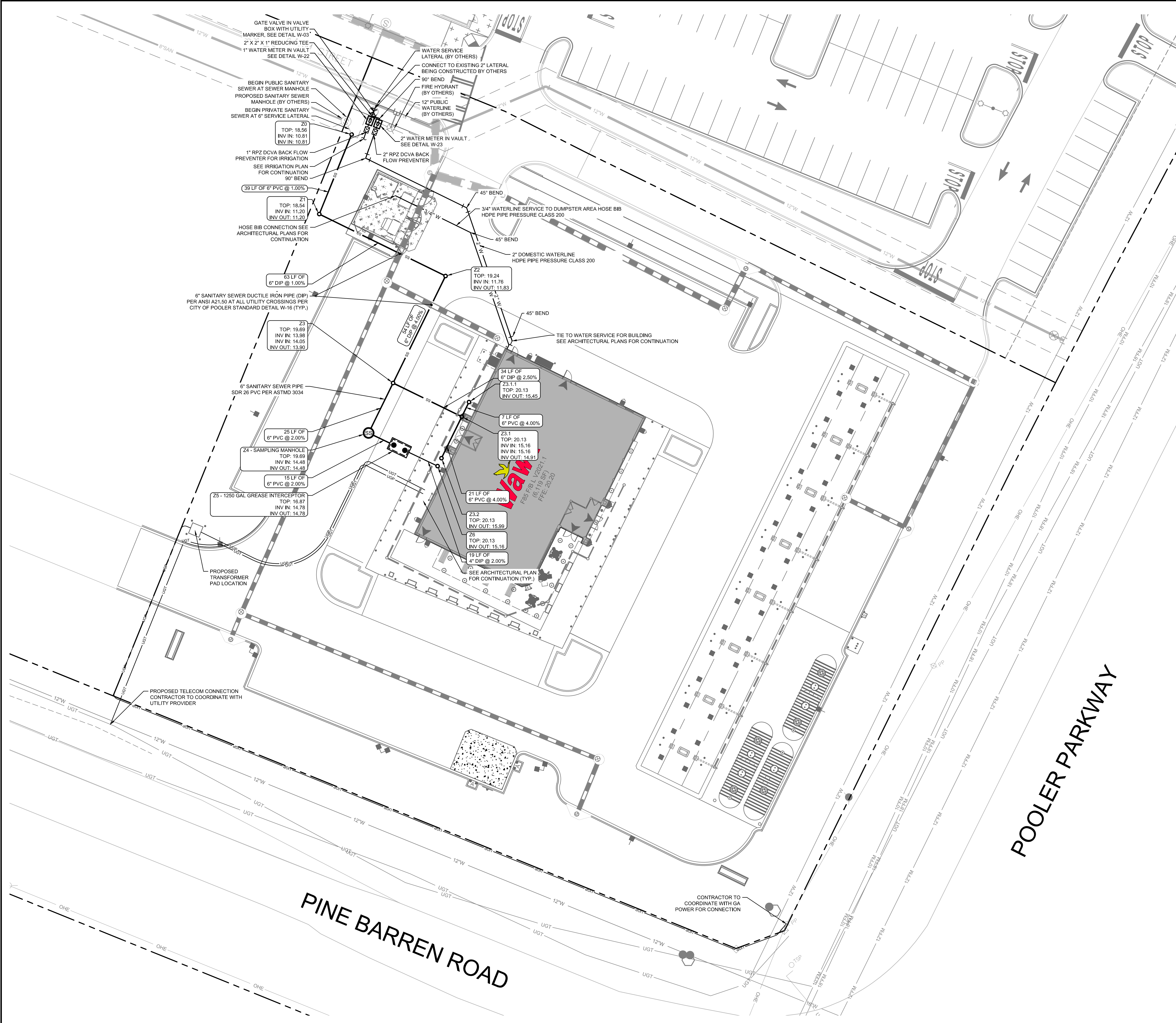
PROFESSIONAL ENGINEER
No. PE034915
WARRIS GWALTNEY
12/20/2023

GSWCC NO. (LEVEL II)	0000092734
DRAWN BY	MF
DESIGNED BY	DDS
REVIEWED BY	JNG
DATE	12/20/2023
PROJECT NO.	013488002
TITLE	DRAINAGE PLAN
SHEET NUMBER	C3-01

GRAPHIC SCALE IN FEET

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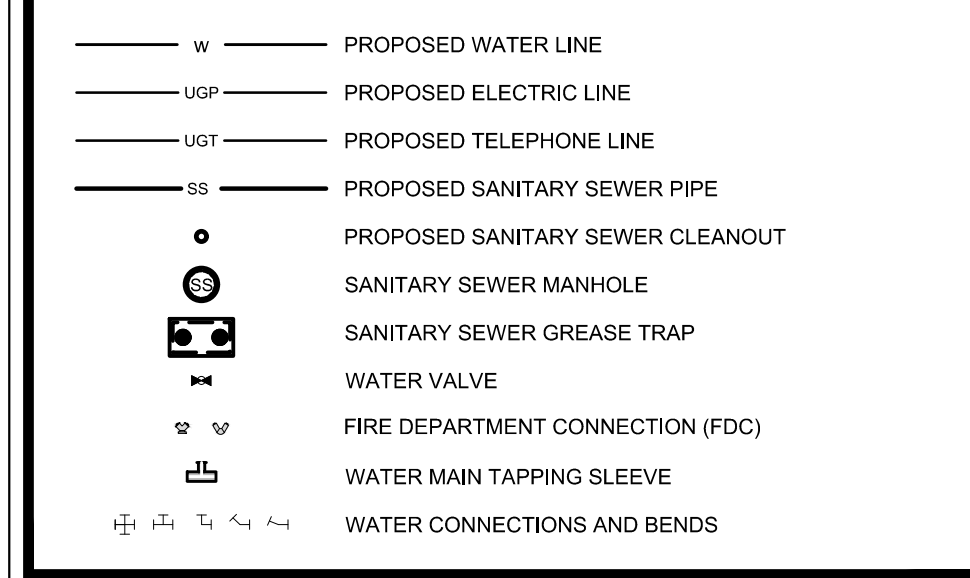
Drawing name: K:\SAV_Civil\14777000_Walnut04-Davis_Group\013488002_Pooler Plwy Pooler_GA\CAD\Plansheets\C4-00 - UTILITY PLAN.dwg C4-00 UTILITY PLAN Jan 24, 2024 3:30pm by: david.smith



UTILITY NOTES:

1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SEWER AUTHORITY SANITARY SEWER AND WATER AUTHORITY WATER STANDARDS AND SPECIFICATIONS.
4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
9. PROVIDE HDPE OR STAINLESS STEEL I&I INHIBITORS UNDER ALL STORM SEWER MANHOLES IN CONCRETE OR PAVEMENT.

UTILITY LEGEND:



Kimley Horn
 PREPARED BY
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 CHARLOTTE, NC 28202
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 WWW.KIMLEY-HORN.COM

Wawa, INC.
 PREPARED FOR
 WAWA, INC.
 RED ROOF 260 W. BALTIMORE PIKE
 WAWA, PENNSYLVANIA 19063
 PHONE: 610-358-9000

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT
WAWA - POOLER PARKWAY
 POOLER PARKWAY AT PINE BARREN ROAD POOLER, GA 31322
 1ST DISTRICT
 PARCEL ID: 51011-01027

01/24/2024

GSWCC NO. (LEVEL II)	0000092734
DRAWN BY	MF
DESIGNED BY	DDS
REVIEWED BY	JNG
DATE	01/24/2024
PROJECT NO.	013488002
TITLE	UTILITY PLAN

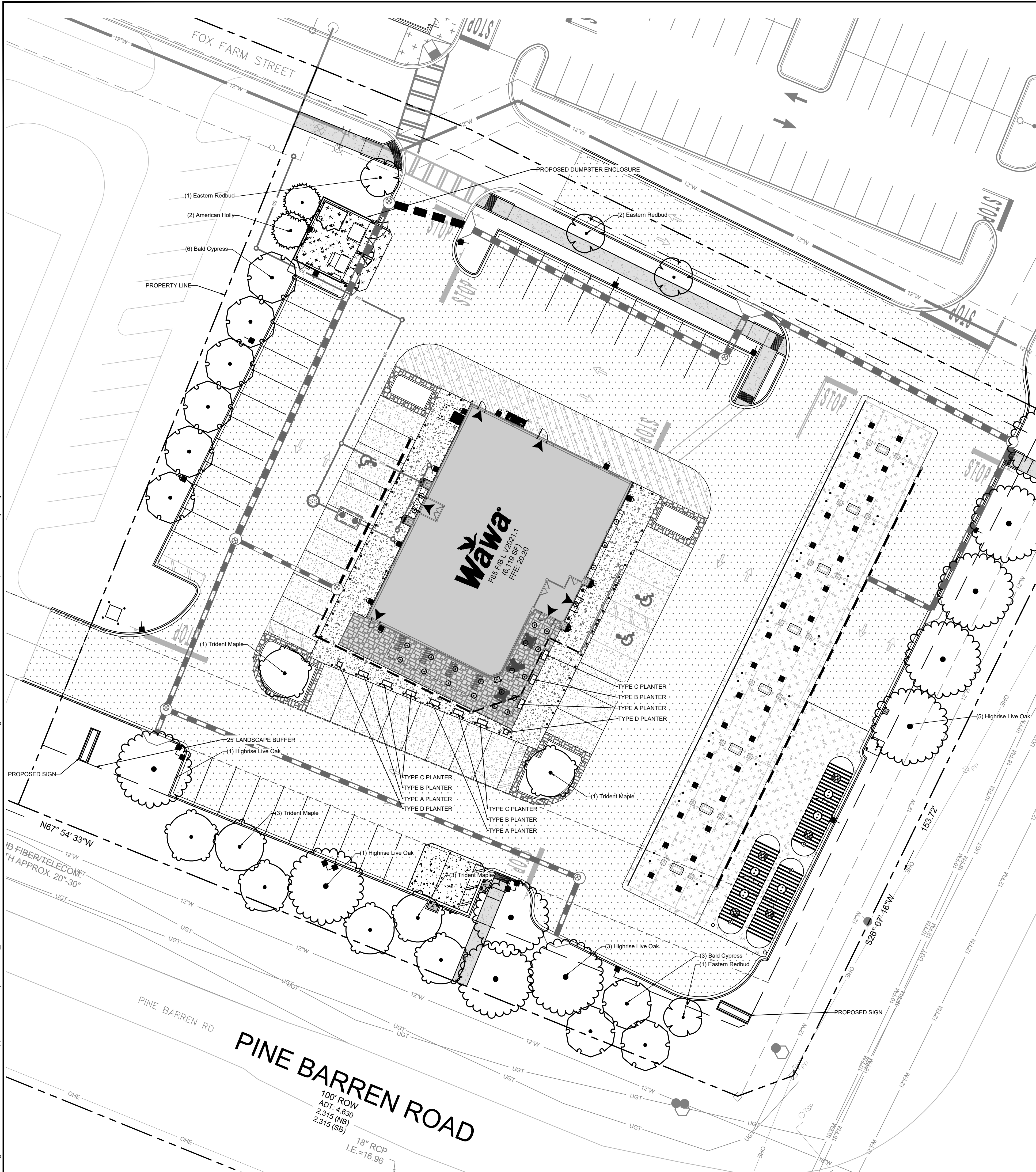
UTILITY PLAN
 SHEET NUMBER
C4-00

GEORGIA811
 Utilities Protection Center, Inc.
 Know what's below.
 Call before you dig.

GRAPHIC SCALE IN FEET
 0 10 20 40

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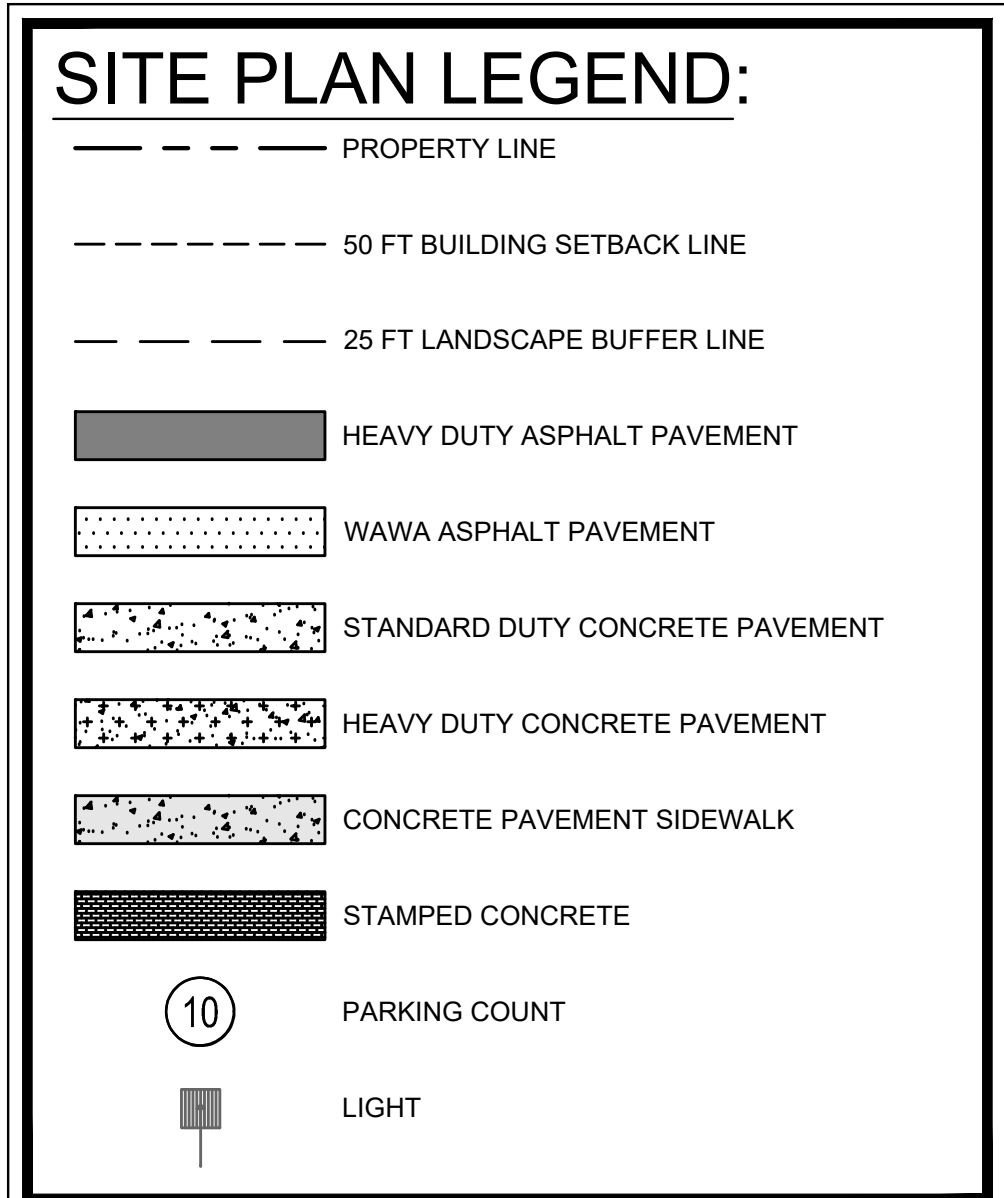
Drawing name: C:\Users\FREJA-1\CAR\AppData\LocalTemp\AcPublish_20484\1-00_TREE PROTECTION AND REPLACEMENT PLAN.dwg L1-00 TREE PROTECTION PLAN Dec 18, 2023 10:29am by: Freja Carlson



LANDSCAPE REQUIREMENTS

PER CITY OF POOLER CODE:

- FIFTEEN (15) TREES OF PREFERRED SPECIES TO BE PLANTED PER 1 ACRE OF DISTURBED LAND IF EXISTING TREE REQUIREMENT CANNOT BE MET
 DISTURBED LAND: 2.27 AC
 NON-PLANTABLE ACREAGE: 0.12
 PLANTABLE DEVELOPABLE ACREAGE: 2.27-0.11 = 2.16 AC
 REQUIRED TREES: 15 X 2.16 = 32.25 TREES OF PREFERRED SPECIES
 PROVIDED TREES: 33 TREES OF PREFERRED SPECIES
REQUIREMENT MET
- FOR ALL SITES, NO MORE THAN 30% OF TREES PLANTED SHALL BE THE SAME SPECIES IN ORDER TO INCREASE SPECIES DIVERSITY. **REQUIREMENT MET**
- ONE (1) LARGE OR MEDIUM TREES IS REQUIRED FOR EVERY TWELVE (12) PARKING SPACES
 60 PARKING SPACES / 12 = 5 TREES REQUIRED
REQUIREMENT MET
- PER 6-20-23 MEETING WITH CITY OF POOLER, (1) LARGE CANOPY TREES PER 500 SF OR (1) MEDIUM CANOPY TREE PER 300 SF
- TREES SHALL NOT BE PLATED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN

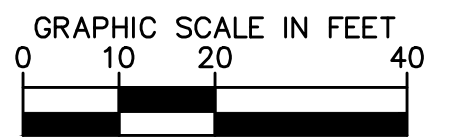
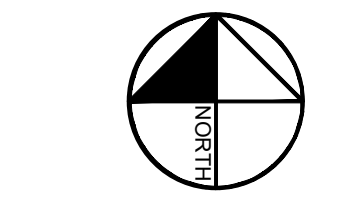


PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CAL.	HT.	CONT.	PERCENTAGE
	8	TRIDENT MAPLE ACER BUERGERIANUM	2.5" CAL.	12' - 14' HT.	B&B	24.24%
	4	EASTERN REDBUD CERCIS CANADENSIS	2.5" CAL.	12' - 14' HT.	B&B	12.12%
	2	AMERICAN HOLLY ILEX OPACA	2" CAL.	8' HT. MIN.	B&B OR CONTAINER	6.06%
	10	HIGHRISE LIVE OAK QUERCUS VIRGINIANA 'QV7IA'	2.5" CAL.	12' - 14' HT.	B&B	30.30%
	9	BALD CYPRESS TAXODIUM DISTICHUM	2.5" CAL.	12' - 14' HT.	B&B	27.27%

TOTAL CODE REQUIRED TREES: 33

POOLER PARKWAY
 230' ROW
 ADT: 20,000
 10,000 (NB)
 10,000 (SB)



PREPARED BY: **Kimley»Horn**

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 25 BULL STREET, SUITE 400
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Wawa, INC.
 RED ROOF 260 W. BALTIMORE PIKE
 WAWA, PENNSYLVANIA 19063
 PHONE: 610-358-8000

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

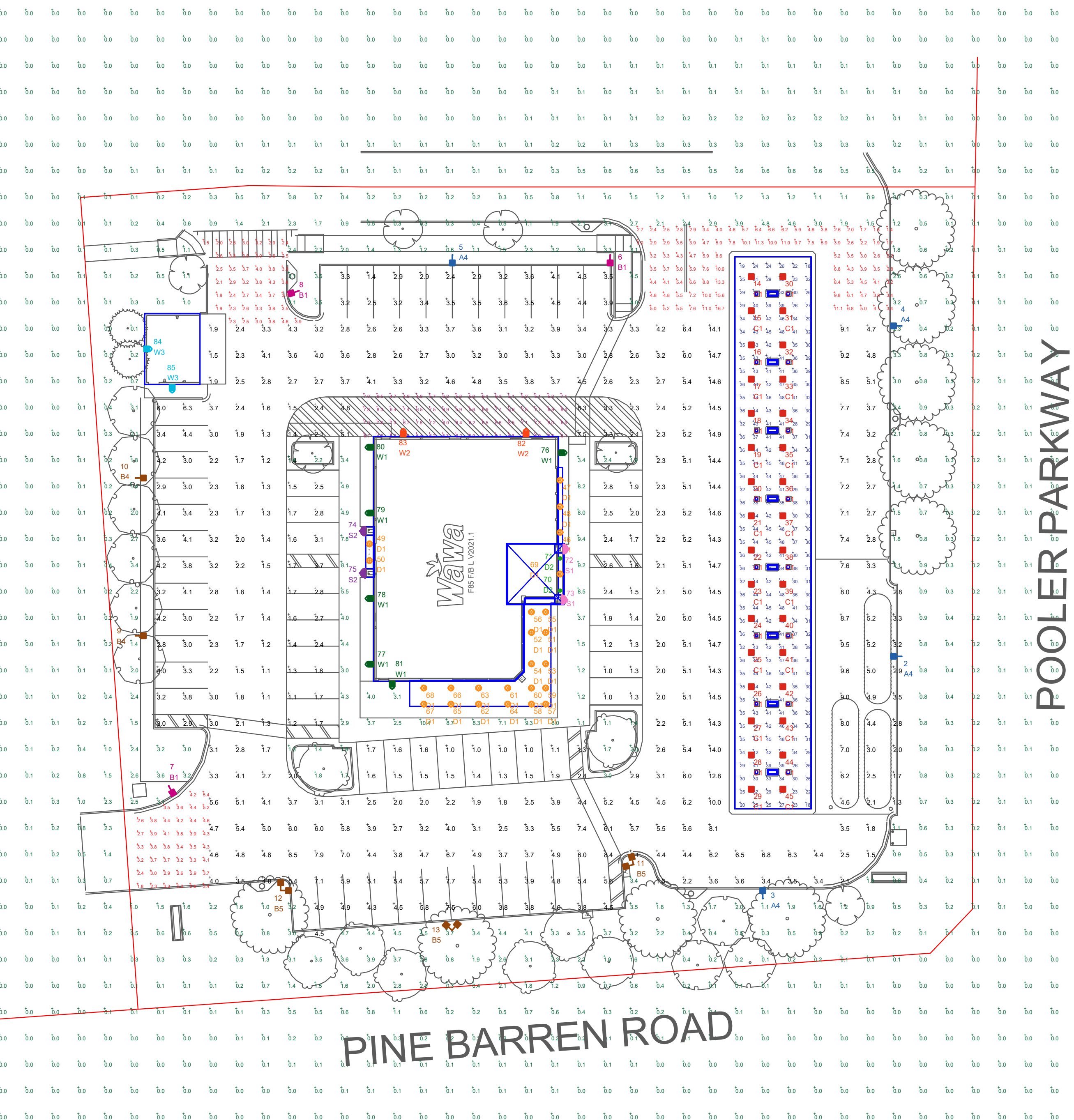
WAWA - POOLER PARKWAY
 POOLER PARKWAY AT PINE BARREN ROAD POOLER, GA 31322
 1ST DISTRICT
 PARCEL ID: 51011-01027

GSWCC NO. (LEVEL II)	
DRAWN BY	MF
DESIGNED BY	DDS
REVIEWED BY	JNG
DATE	12/01/2023
PROJECT NO.	013488002
TITLE	TREE PROTECTION PLAN
SHEET NUMBER	L1-00

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THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
2	A4	20.5	44	C1	16.21
3	A4	20.5	45	C1	16.21
4	A4	20.5	46	D1	9
5	A4	20.5	47	D1	9
6	B1	20.5	48	D1	9
7	B1	20.5	49	D1	9
8	B1	20.5	50	D1	9
9	B4	20.5	51	D1	9
10	B4	20.5	52	D1	9
11	B5	20.5	53	D1	9
12	B5	20.5	54	D1	9
13	B5	20.5	55	D1	9
14	C1	18.21	56	D1	9
15	C1	18.21	57	D1	9
16	C1	18.21	58	D1	9
17	C1	18.21	59	D1	9
18	C1	18.21	60	D1	9
19	C1	18.21	61	D1	9
20	C1	18.21	62	D1	9
21	C1	18.21	63	D1	9
22	C1	18.21	64	D1	9
23	C1	18.21	65	D1	9
24	C1	18.21	66	D1	9
25	C1	18.21	67	D1	9
26	C1	18.21	68	D1	9
27	C1	18.21	69	D1	9
28	C1	18.21	70	D2	9
29	C1	18.21	71	D2	9
30	C1	16.21	72	S1	9
31	C1	16.21	73	S1	9
32	C1	16.21	74	S2	8.5
33	C1	16.21	75	S2	8.5
34	C1	16.21	76	W1	15
35	C1	16.21	77	W1	15
36	C1	16.21	78	W1	15
37	C1	16.21	79	W1	15
38	C1	16.21	80	W1	15
39	C1	16.21	81	W1	15
40	C1	16.21	82	W2	15
41	C1	16.21	83	W2	15
42	C1	16.21	84	W3	8
43	C1	16.21	85	W3	8



NOTES:
- ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	36.42	48	18	2.02	2.67
DELIVERY AREA	6.31	8.5	4.5	1.40	1.89
ENTRANCE & EXIT DRIVES	4.42	16.7	1.4	3.16	11.93
PARKING & INTERIOR DRIVE AISLES	4.05	14.9	1.0	4.05	14.90
UNDEFINED	0.60	10.4	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol]	4	A4	SINGLE	8891	1.010	B1-U0-G2	134	536	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-XX-700-57K
[Symbol]	3	B1	SINGLE	12678	1.010	B3-U0-G2	134	402	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
[Symbol]	2	B4	SINGLE	9549	1.010	B1-U0-G2	134	268	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-57K
[Symbol]	3	B5	2 @ 90 degrees	9549	1.010	B1-U0-G2	134	804	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-57K
[Symbol]	32	C1	SINGLE	10912	1.010	B3-U0-G1	101	3232	CREE, INC.	CAN-304-SL-RD-06-E-UL-XX-525-57K
[Symbol]	24	D1	SINGLE	1970	1.010	B2-U0-G0	24	576	Cree Lighting	KR6R-20L-935-12-XX + KR6T-SSGC-FF
[Symbol]	2	D2	SINGLE	1000	1.010	B1-U0-G0	13	26	Cree Lighting	KR4R-9L-935-12-XX + KR4T-SSGC-FF
[Symbol]	2	S1	SINGLE	2659	1.000	B0-U5-G2	20	40	FC/SSL Lighting	FCWS7170-XXX-35K-2500-CR185-XX-D
[Symbol]	2	S2	SINGLE	2542	1.000	B0-U4-G2	20	40	FC/SSL Lighting	FCWS7168-UNV-35K-2500-CR185-XX-D
[Symbol]	6	W1	SINGLE	2859	1.010	B0-U0-G1	50	300	CREE INC.	SEC-EDG-4MB-WM-02-E-UL-XX-700-57K
[Symbol]	2	W2	SINGLE	8480	1.010	B1-U0-G2	134	268	CREE INC.	SEC-EDG-4MB-WM-06-E-UL-XX-700-57K
[Symbol]	2	W3	SINGLE	1557	1.010	B0-U0-G1	25	50	CREE, INC.	SEC-EDG-3MB-WM-02-E-UL-XX-350-57K

REV.	BY	DATE	DESCRIPTION

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SCALE: 1" = 30'
DWG SIZE: D
LAYOUT BY: LMP
DATE: 10/26/23

PROJECT NAME:
WAWA #6309
POOLER, GA
DRAWING NUMBER:
RL-9263-S1





January 24th, 2024

Jamie N. Gwaltney, P.E.
Kimley Horn
25 Bull St, Suite 400
Savannah, GA 31401

Dear Mr. Gwaltney,

I am pleased to provide you with a recommendation for Approval of the site development plans for Wawa, which is provided below.

<u>Submittal Documents:</u>	Site Development Plans	<i>Jan. 2024</i>
	GSWCC Approval	<i>Dec. 2023</i>
	Stormwater Management Report	<i>Nov. 2023</i>
	Water Distribution & Hydrant Flow Test	<i>Nov. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits and approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the required testing results, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Trevor Shoemaker
Project Manager
EOM



EOM Operations
Your solution to a better tomorrow

OPERATIONS

CC: Nicole Dixon; Director of Planning and Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for 780 Pooler Parkway

Project:	#210748
P&Z Meeting Date:	February 12, 2024
City Council Meeting Date:	February 20, 2024
Applicant and Authorized Agent:	Alec Metzger (EMC Engineering)
Location (Address):	780 Pooler Parkway
Parcel (PIN):	51011 01027
Acreage:	1.62 total – 1.42 disturbed
Zoning:	PUD [Godley Station]
Proposed Use:	Commercial retail center
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.<ul style="list-style-type: none">The site plan complies with the provisions for access and circulation per the Godley Station PUD; Sec. 11 of App.

A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.

3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Godley Station PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public serves to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Project #210748 - 780 Pooler Parkway

02/08/2024

Parcels



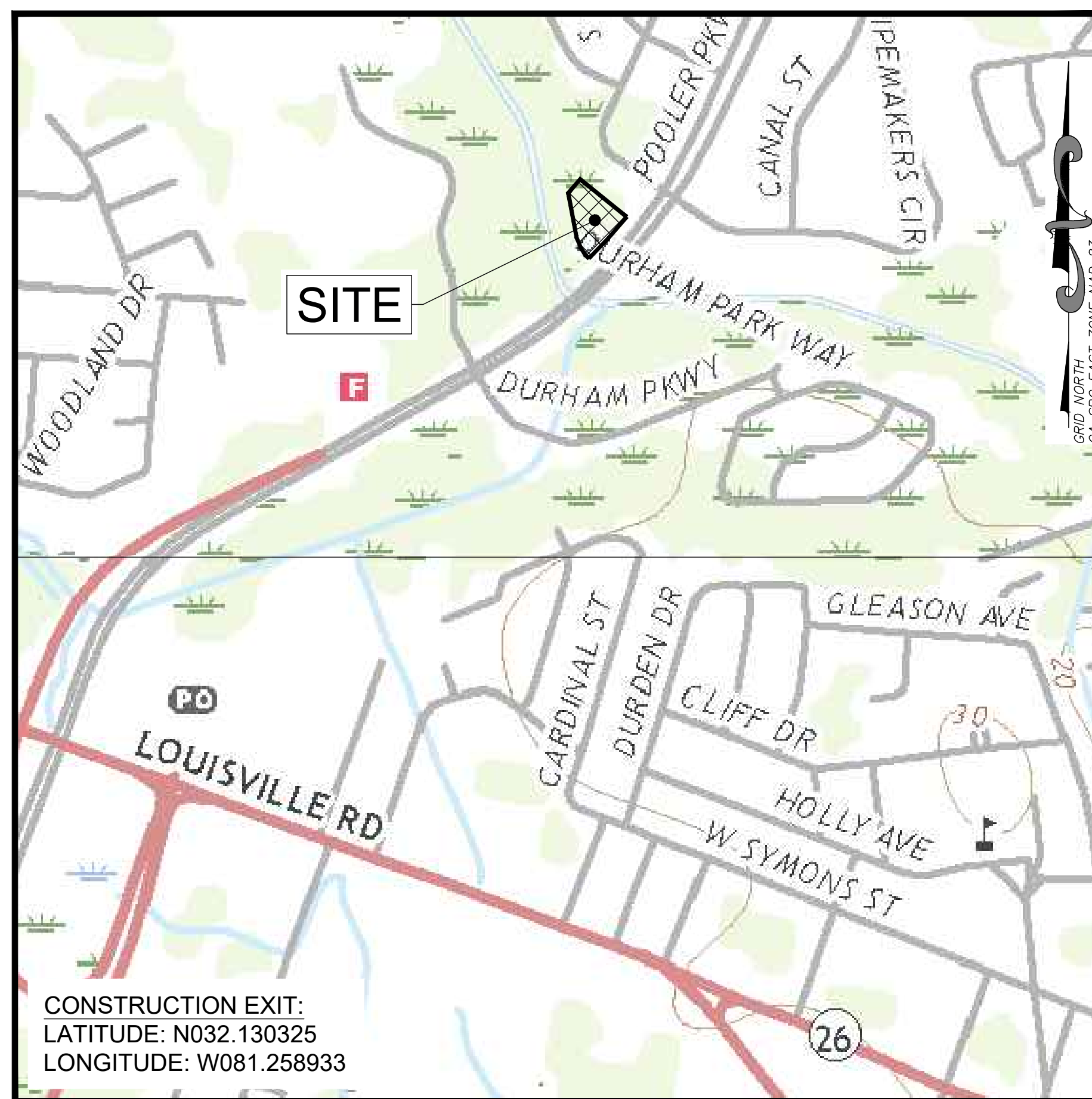


SITE DEVELOPMENT PLANS FOR COMMERCIAL SPACE POOLER, CHATHAM COUNTY, GEORGIA

Prepared for
COMBAT VETERANS, LLC

PROJECT DATA

OWNER/DEVELOPER:	COMBAT VETERANS, LLC 107 GODLEY WAY POOLER, GEORGIA, 31322
24HR CONTACT:	ALEC B. METZGER (912) 644-3223
TAX MAP & PARCEL NUMBER:	50017A01040
PARCEL AREA:	1.62 AC
ZONING CLASSIFICATION:	PUD - PLANNED UNIT DEVELOPMENT
PROPOSED USE:	COMMERCIAL / RETAIL
IMPERVIOUS AREA:	0.81 AC
DISTURBED AREA:	1.42 AC
TOTAL BUILDING AREA:	9,070 SF
PARKING SPACES REQUIRED:	37
PARKING SPACES PROVIDED:	58



VICINITY MAP
NOT TO SCALE

CONSTRUCTION EXIT:
LATITUDE: N032.130325
LONGITUDE: W081.258933

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	STAKING PLAN
5	UTILITY PLAN
6	PAVING, GRADING, & DRAINAGE PLAN
7	LANDSCAPE PLAN
8	INITIAL EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN
9	INTERMEDIATE EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN
10	FINAL EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN
11-12	EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES
13-16	CONSTRUCTION DETAILS

THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

SIGNATURE:

THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

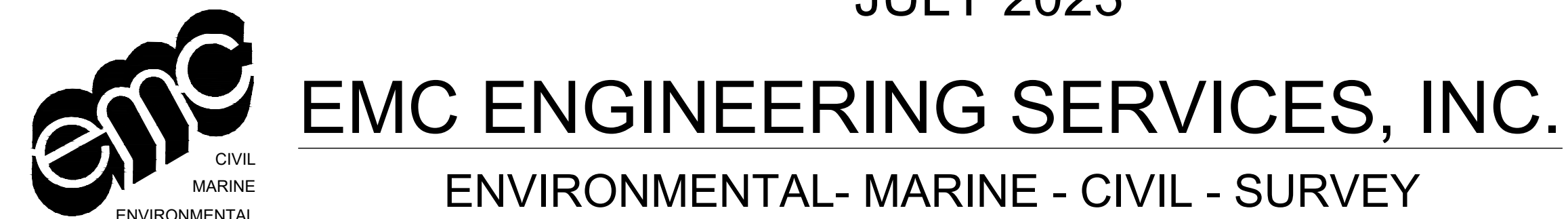
SIGNATURE:

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



PROJECT LOCATION:
780 POOLER PARKWAY
POOLER, CHATHAM COUNTY, GEORGIA
EMC PROJECT# 20-0130
JULY 2023



REVISION	DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER - INITIAL SUBMITTAL DATE 7/1/2021 - REVISIONS RECEIVED 7/21/2021	9/1/2021
2	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 9/1/2021 - REVISIONS RECEIVED 10/6/2021	10/26/2021
3	REVISIONS PER CITY OF POOLER - RESUBMITTAL DATE 10/26/2021 - REVISIONS RECEIVED 11/4/2021	11/1/2021
4	REVISIONS PER CITY OF POOLER - FINAL COMMENTS	8/1/2023
-	-	-
-	-	-
-	-	-

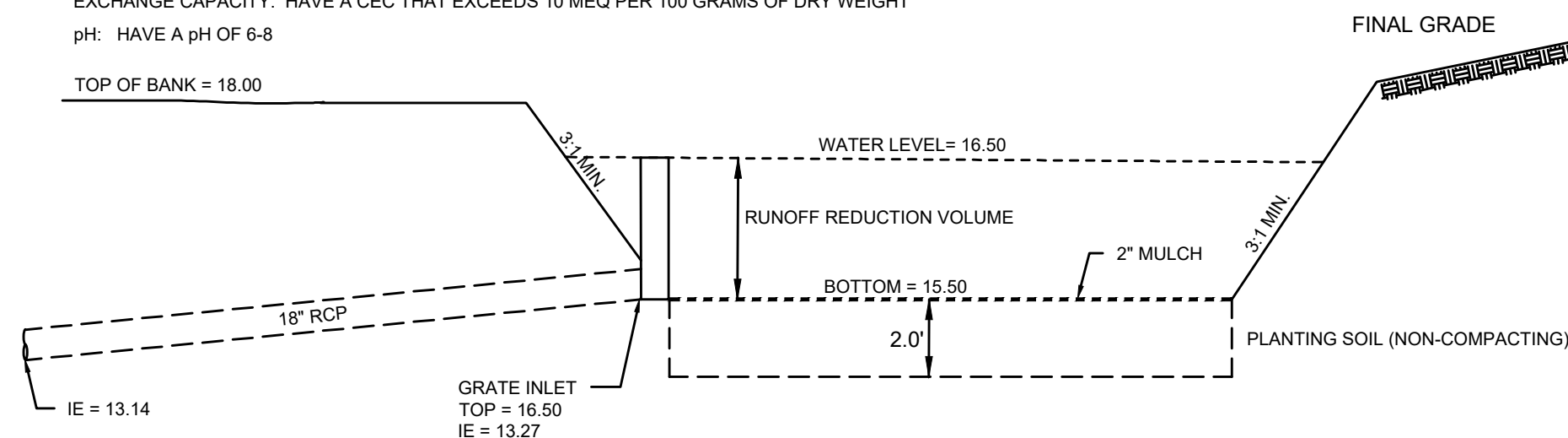


EMC ENGINEERING SERVICES, INC.
10 CHATHAM CENTER SOUTH, SUITE 100
SAVANNAH, GEORGIA 31405
PHONE: (912) 232-6533
FAX: (912) 233-4580
savannah@emc-eng.com
www.emc-eng.com

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS • SAVANNAH
STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

PLANTING SOIL MIX SPECIFICATIONS:
 TEXTURE: SANDY LOAM OR LOAMY SAND
 SAND CONTENT: CONTAIN 85%-88% CLEAN, WASHED SAND
 TOPSOIL CONTENT: CONTAIN 8% - 12% TOPSOIL
 ORGANIC MATTER CONTENT: CONTAIN 3% - 5% ORGANIC MATTER
 INFILTRATION RATE: HAVE A RATE OF AT LEAST 0.25 IN/HR
 PHOSPHOROUS INDEX: HAVE A P-INDEX OF LESS THAN 30
 EXCHANGE CAPACITY: HAVE A CEC THAT EXCEEDS 10 MEQ PER 100 GRAMS OF DRY WEIGHT
 pH: HAVE A pH OF 6-8

SPECIAL NOTE:
 REFER TO LANDSCAPE PLAN FOR SPECIFIC PLANTINGS

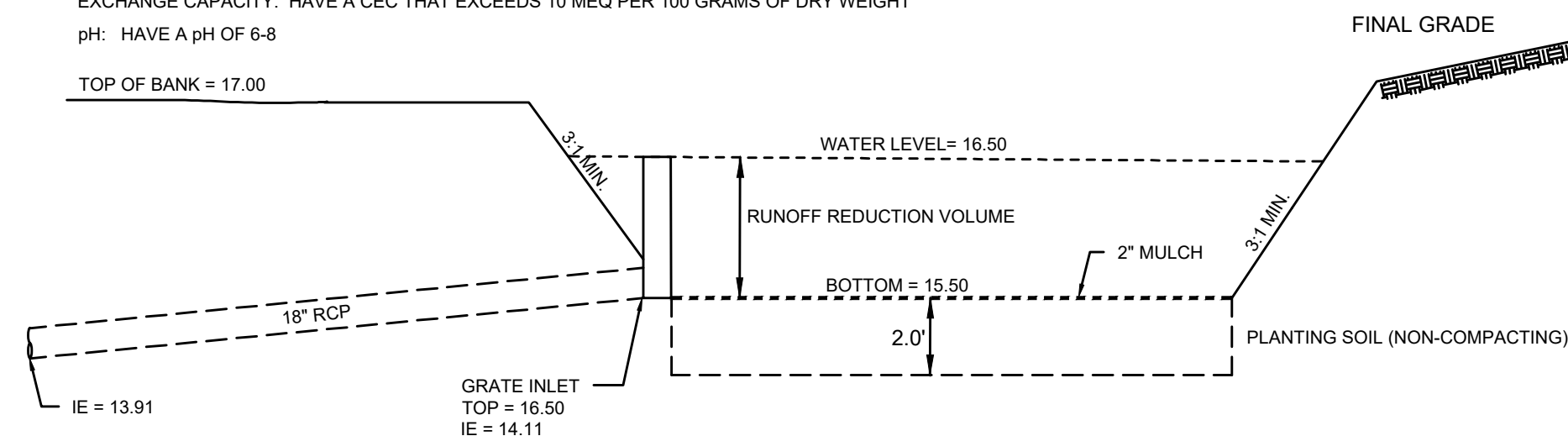


BIO-RETENTION AREA 01 CROSS SECTION

NOT TO SCALE

PLANTING SOIL MIX SPECIFICATIONS:
 TEXTURE: SANDY LOAM OR LOAMY SAND
 SAND CONTENT: CONTAIN 85%-88% CLEAN, WASHED SAND
 TOPSOIL CONTENT: CONTAIN 8% - 12% TOPSOIL
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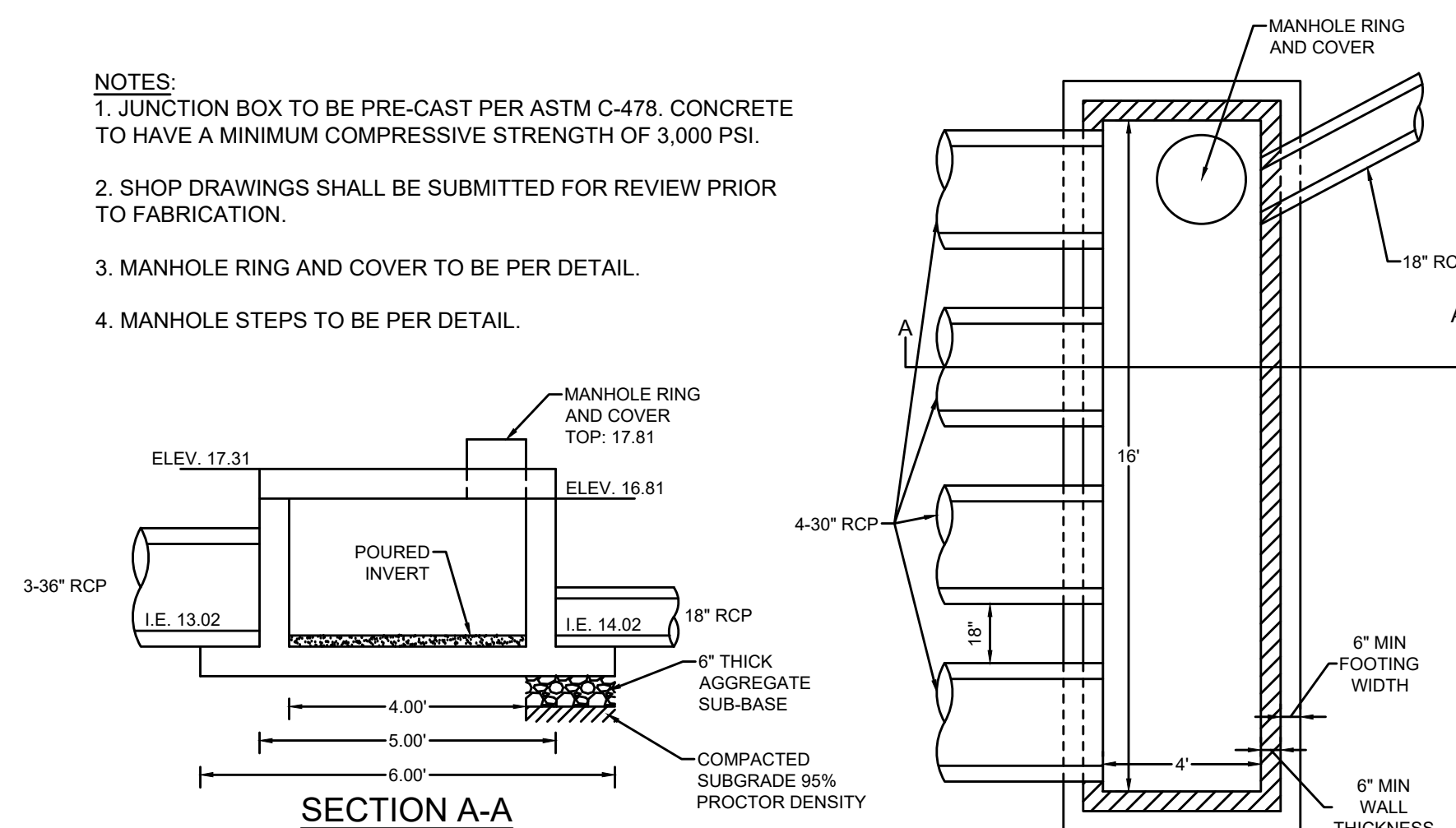
SPECIAL NOTE:
 REFER TO LANDSCAPE PLAN FOR SPECIFIC PLANTINGS



BIO-RETENTION AREA 02 CROSS SECTION

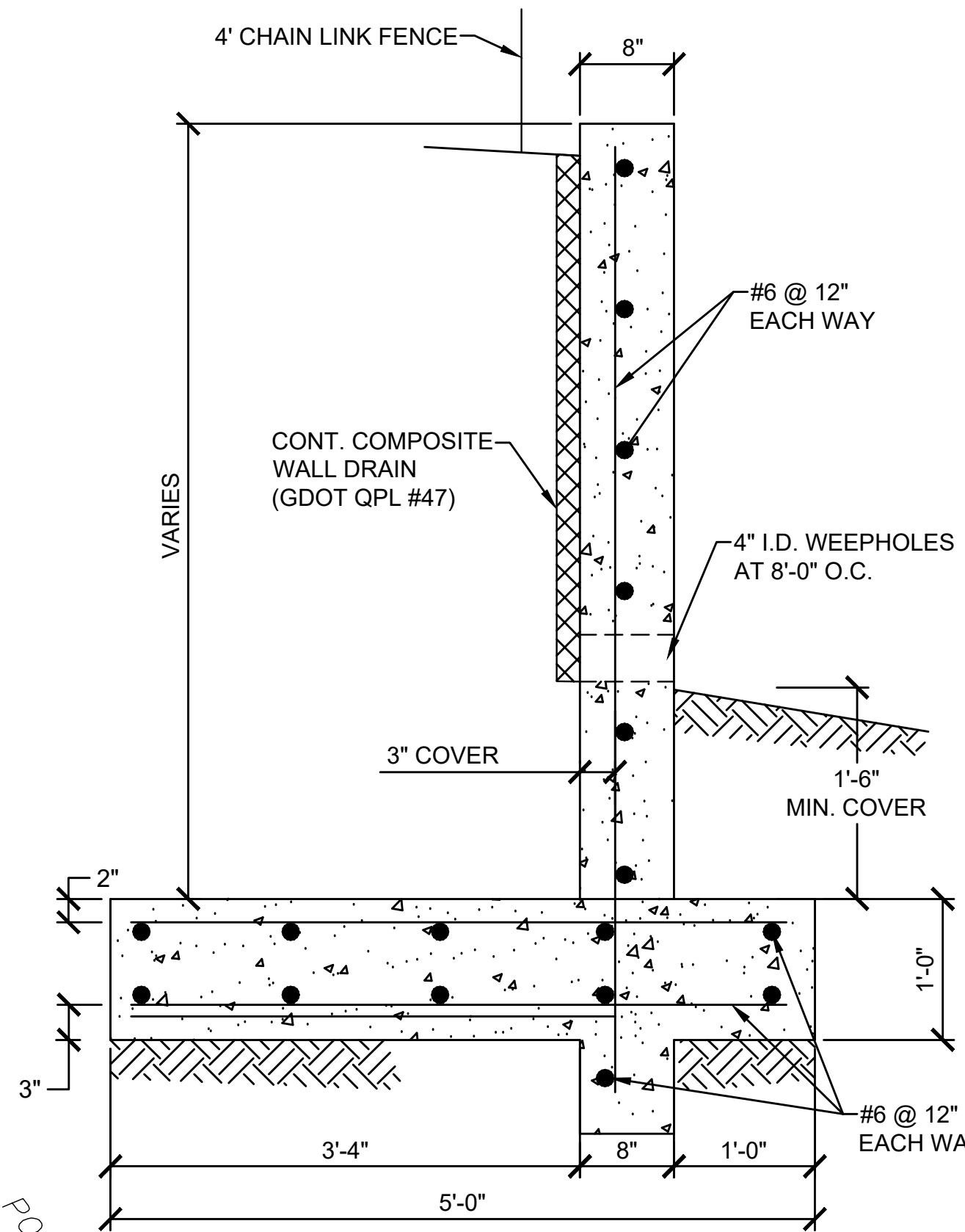
NOT TO SCALE

- NOTES:**
1. JUNCTION BOX TO BE PRE-CAST PER ASTM C-478. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 2. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
 3. MANHOLE RING AND COVER TO BE PER DETAIL.
 4. MANHOLE STEPS TO BE PER DETAIL.



JUNCTION BOX DETAIL

NOT TO SCALE



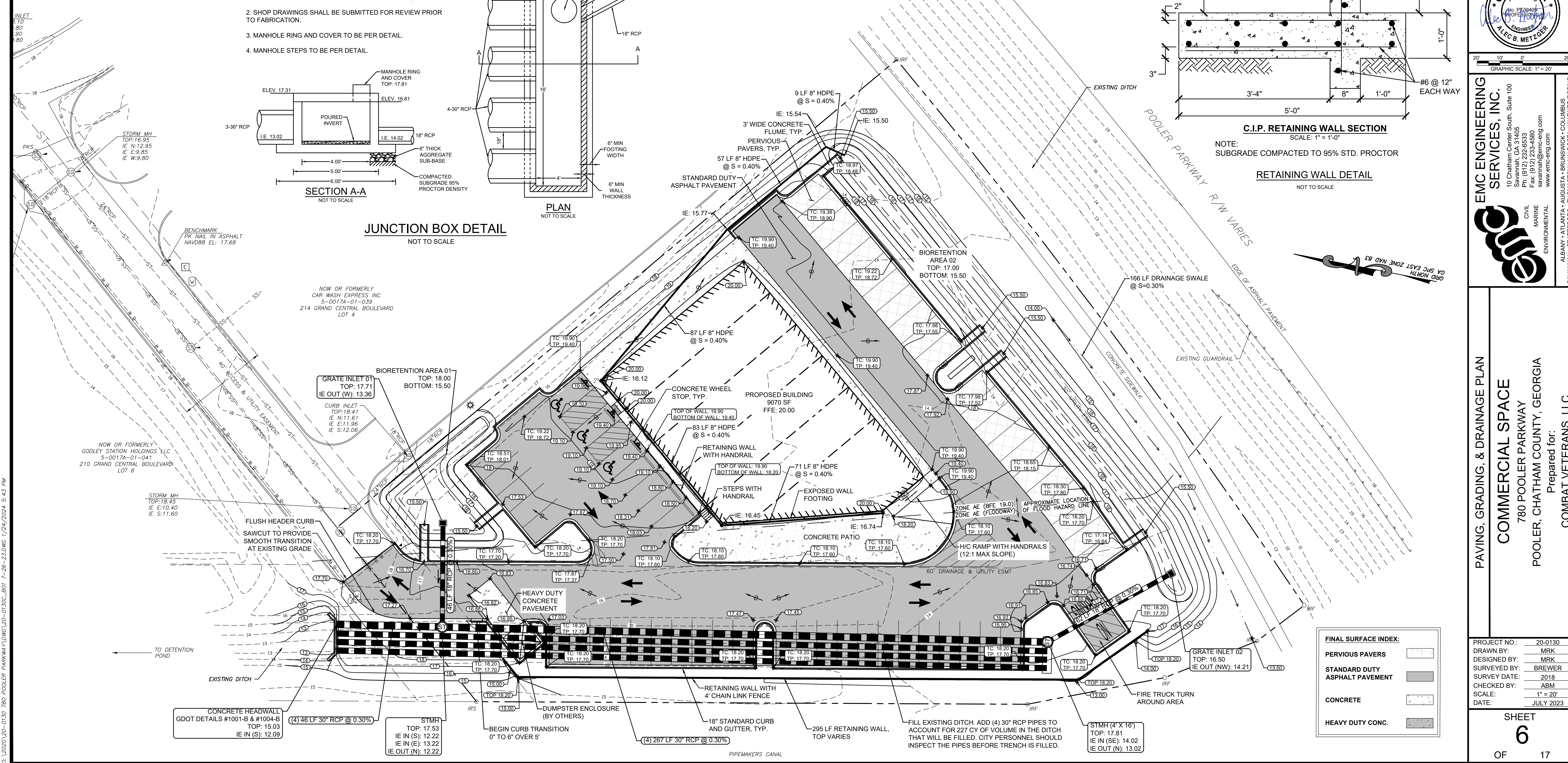
C.I.P. RETAINING WALL SECTION

SCALE: 1" = 1'-0"

NOTE: SUBGRADE COMPACTED TO 95% STD. PROCTOR

RETAINING WALL DETAIL

NOT TO SCALE



FINAL SURFACE INDEX:

PERVIOUS PAVERS	[Symbol]
STANDARD DUTY ASPHALT PAVEMENT	[Symbol]
CONCRETE	[Symbol]
HEAVY DUTY CONC.	[Symbol]

NO.	REVISION DESCRIPTION	DATE
1	REVISIONS PER CITY OF POOLER	9/10/2021
2	REVISIONS PER CITY OF POOLER	10/26/2021
3	REVISIONS PER CITY OF POOLER	11/1/2021
4	REVISIONS PER CITY OF POOLER	8/10/2023



EMC ENGINEERING SERVICES, INC.
 10 Chatham Center South, Suite 100
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 savannah@emc-eng.com
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PAVING, GRADING, & DRAINAGE PLAN

COMMERCIAL SPACE
 780 POOLER PARKWAY
 POOLER, CHATHAM COUNTY, GEORGIA

Prepared for:
COMBAT VETERANS, LLC

PROJECT NO.: 20-0130
 DRAWN BY: MRK
 DESIGNED BY: MRK
 SURVEYED BY: BREWER
 SURVEY DATE: 2018
 CHECKED BY: ABM
 SCALE: 1" = 20'
 DATE: JULY 2023

SHEET
6
 OF 17

G:\2020\20-0130_780 POOLER PARKWAY\DWG\20-0130C_BOT 7-26-23.DWG 1/24/2024 5:43 PM



January 29th, 2024

Alec B. Metzger, P.E.
EMC Engineering Services
27 Chatham Center South, Suite A
Savannah, GA 31405

Dear Mr. Metzger,

I am pleased to provide you with a recommendation for Approval of the site plans for 780 Pooler Pkwy, which is provided below.

Site Plan Review

Submittal Documents: Site Development Plans.....*Jan. 2024*

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All required permits, documentation, and 3rd party approvals pursuant to land disturbing activity and land development shall be provided and found acceptable to the City of Pooler. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker
Project Manager
EOM



EOM Operations
Your solution to a better tomorrow

OPERATIONS

CC: Nicole Dixon; Director of Planning & Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for TTRES at 2300 Pooler Parkway

Project:	#231157
P&Z Meeting Date:	February 12, 2024
City Council Meeting Date:	February 20, 2024
Applicant and Authorized Agent:	Rusty Windsor (Kimley-Horn)
Location (Address):	2300 Pooler Parkway
Parcel (PIN):	51009 01041
Acreage:	24.89 total – 21.77 disturbed
Zoning:	PUD [Savannah Quarters, Ph. 16]
Proposed Use:	Multi-family residential development [360 units, 10 buildings]
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none"> 1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. <ul style="list-style-type: none"> ○ The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area. 2. Whether the site plan provides for adequate pedestrian and traffic access. <ul style="list-style-type: none"> ○ The site plan complies with the provisions for access and circulation per the Savannah Quarters PUD; Sec. 11 of

App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.

3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Savannah Quarters PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



CITY OF POOLER
GEORGIA
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Project #231157 - 2300 Pooler Parkway

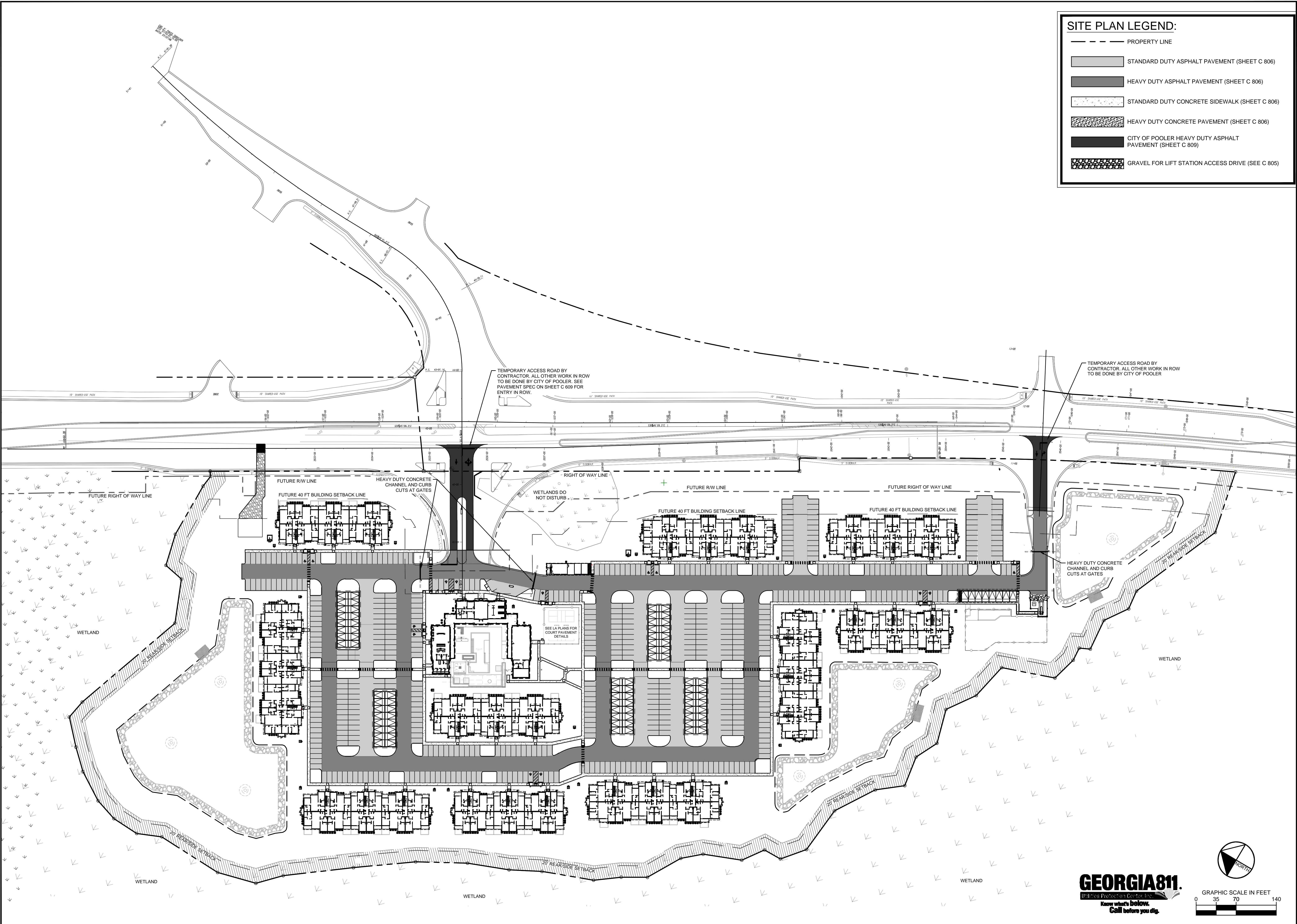
02/08/2024

Parcels





Drawing name: K:\S\K_C\1013205013_TTRES @ Pooler\CAD\Plansheets\C 410 - SITE PLAN.dwg C 410 PAVEMENT DELINEATION PLAN Feb 09, 2024 12:17pm by: mike.fitz



SITE PLAN LEGEND:

- PROPERTY LINE
- [Hatched Pattern] STANDARD DUTY ASPHALT PAVEMENT (SHEET C 806)
- [Hatched Pattern] HEAVY DUTY ASPHALT PAVEMENT (SHEET C 806)
- [Dotted Pattern] STANDARD DUTY CONCRETE SIDEWALK (SHEET C 806)
- [Cross-hatched Pattern] HEAVY DUTY CONCRETE PAVEMENT (SHEET C 806)
- [Solid Black] CITY OF POOLER HEAVY DUTY ASPHALT PAVEMENT (SHEET C 809)
- [Grid Pattern] GRAVEL FOR LIFT STATION ACCESS DRIVE (SEE C 805)

Kimley»Horn

THOMPSON THRIFT RESIDENTIAL
 111 MONUMENT CIRCLE, SUITE 1500
 INDIANAPOLIS, IN 46204
 PHONE: 463.237.3269

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

TTRES POOLER
 POOLER PARKWAY @ OLD QUACCO ROAD
 INTERSECTION, POOLER GA 31322
 PARCEL ID: 51009 01041

PRELIMINARY
 NOT FOR CONSTRUCTION
 02/09/24

GSWCC NO. (LEVEL II) 0000073900
 DRAWN BY BC
 DESIGNED BY BC
 REVIEWED BY JW
 DATE 12/15/2023
 PROJECT NO. 013205013

TITLE **PAVEMENT DELINEATION PLAN**

SHEET NUMBER **C 410**

GEORGIA811
 Utilities Protection Center, Inc.
 Know what's below. Call before you dig.

GRAPHIC SCALE IN FEET
 0 35 70 140

NORTH

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ADA ACCESSIBILITY LEGEND:

— ADA ACCESSIBILITY PATH

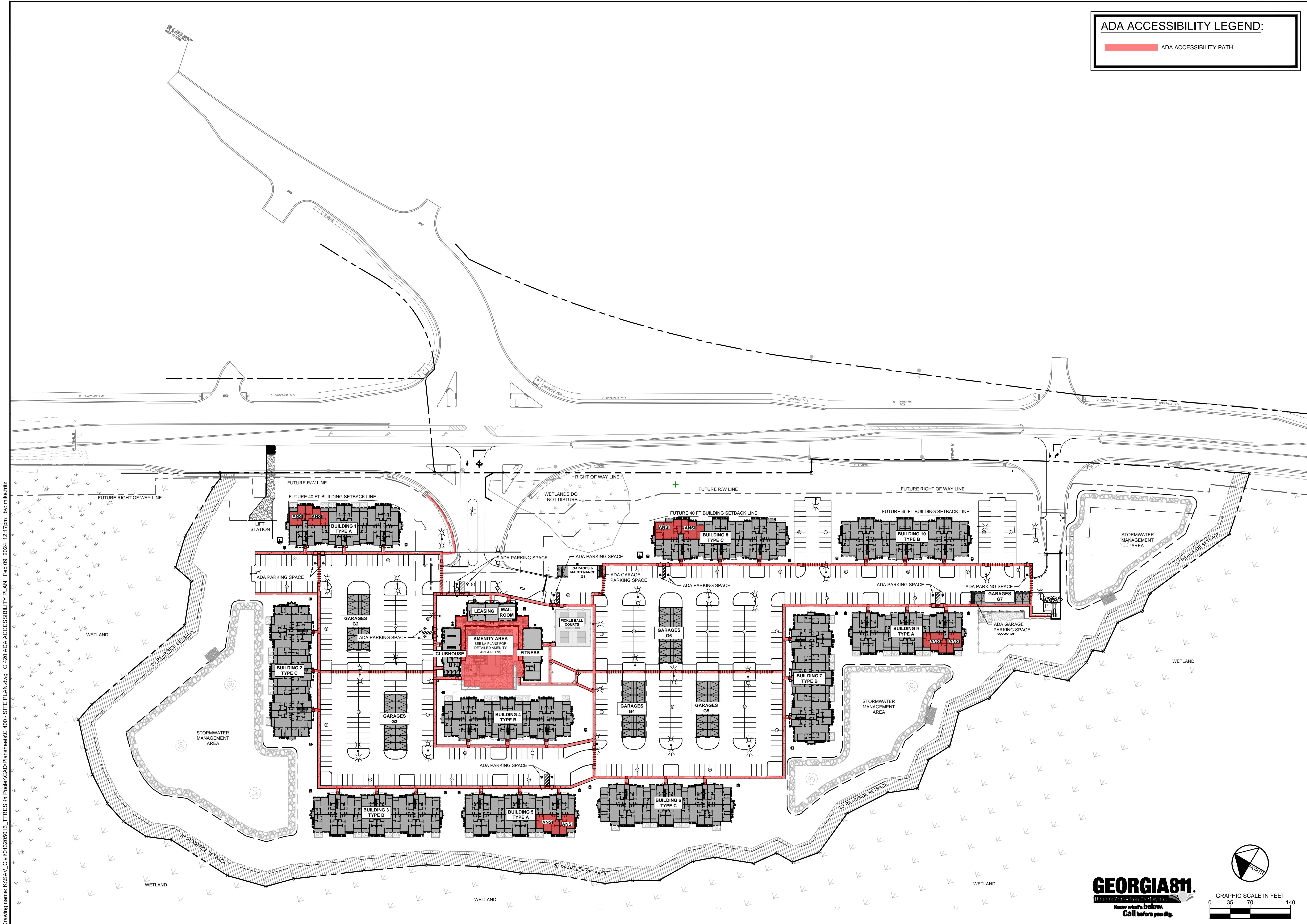
NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

TRES POOLER
POOLER PARKWAY @ OLD QUACCO ROAD
INTERSECTION, POOLER GA 31322
PARCEL ID: 51009 01041

PRELIMINARY
NOT FOR CONSTRUCTION
02/23/2024

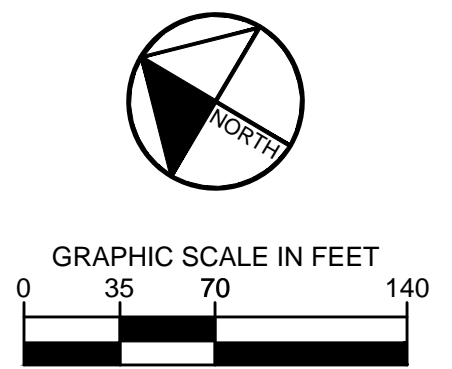
GSWCC NO. 0000073900
(LEVEL II)
DRAWN BY BC
DESIGNED BY BC
REVIEWED BY JW
DATE 12/15/2023
PROJECT NO. 013205013

TITLE
**ADA
ACCESSIBILITY
PLAN**
SHEET NUMBER
C 420







Drawing name: K:\S\K_C\01013205013_TRES @ Pooler\CAD\Plansheets\C 400 - SITE PLAN.dwg C 420 ADA ACCESSIBILITY PLAN Feb 09, 2024 12:17pm by: mike.fitz

GEORGIA811
Utilities Protection Center, Inc.
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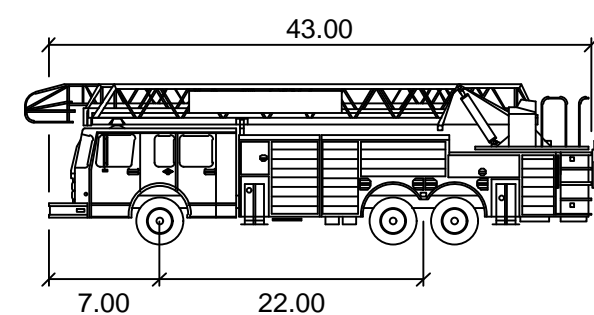


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SITE PLAN LEGEND:

-  FIRE HYDRANT
-  FDC, WALL MOUNTED
-  400 FT MAX HOSE LAY
-  PIV

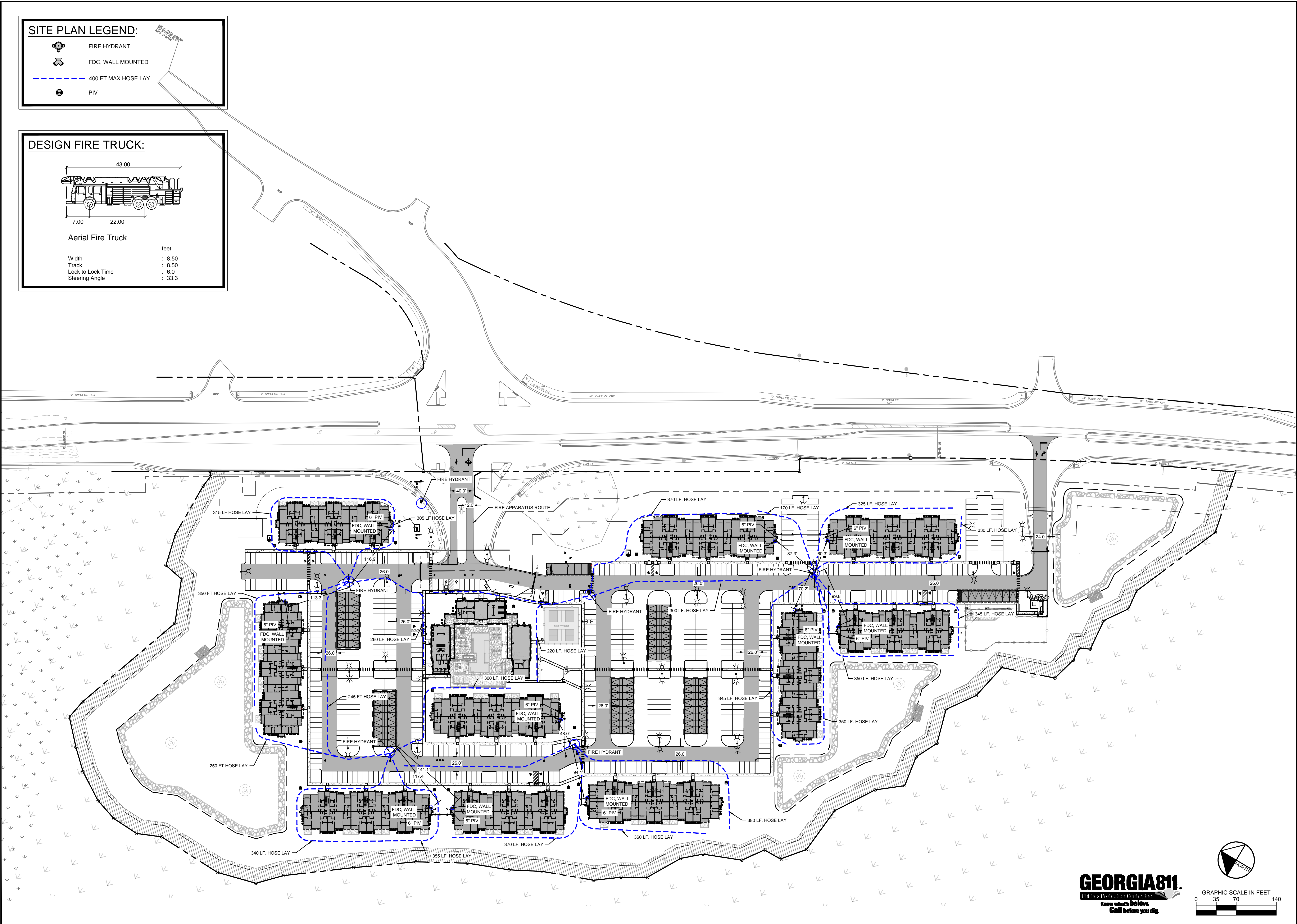
DESIGN FIRE TRUCK:



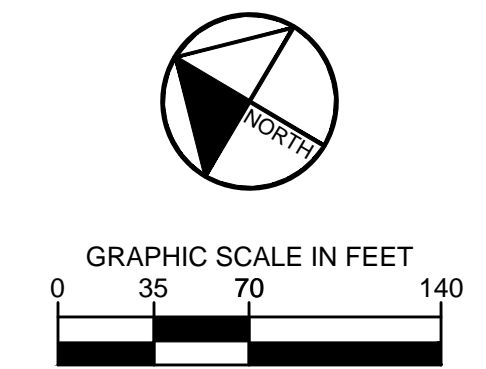
Aerial Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

Drawing name: K:\SAV_Civil\13205013_TTRES @ Pooler\CAD\Plansheets\C400 - SITE PLAN.dwg C:\30 FIRE PROTECTION PLAN Feb 08, 2024 12:17pm by mikelfitz



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Kimley»Horn

PREPARED FOR
**THOMPSON THRIFT
 RESIDENTIAL**
 111 MONUMENT CIRCLE, SUITE 1500
 INDIANAPOLIS, IN 46204
 PHONE: 463.237.3269

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT
TTRES POOLER
 POOLER PARKWAY @ OLD QUACCO ROAD
 INTERSECTION, POOLER GA 31322
 PARCEL ID: 51009 01041

PRELIMINARY
 NOT FOR CONSTRUCTION
 02/09/24

GSWCC NO. (LEVEL II)	0000073900
DRAWN BY	BC
DESIGNED BY	BC
REVIEWED BY	JW
DATE	12/15/2023
PROJECT NO.	013205013
TITLE	FIRE PROTECTION PLAN
SHEET NUMBER	C 430

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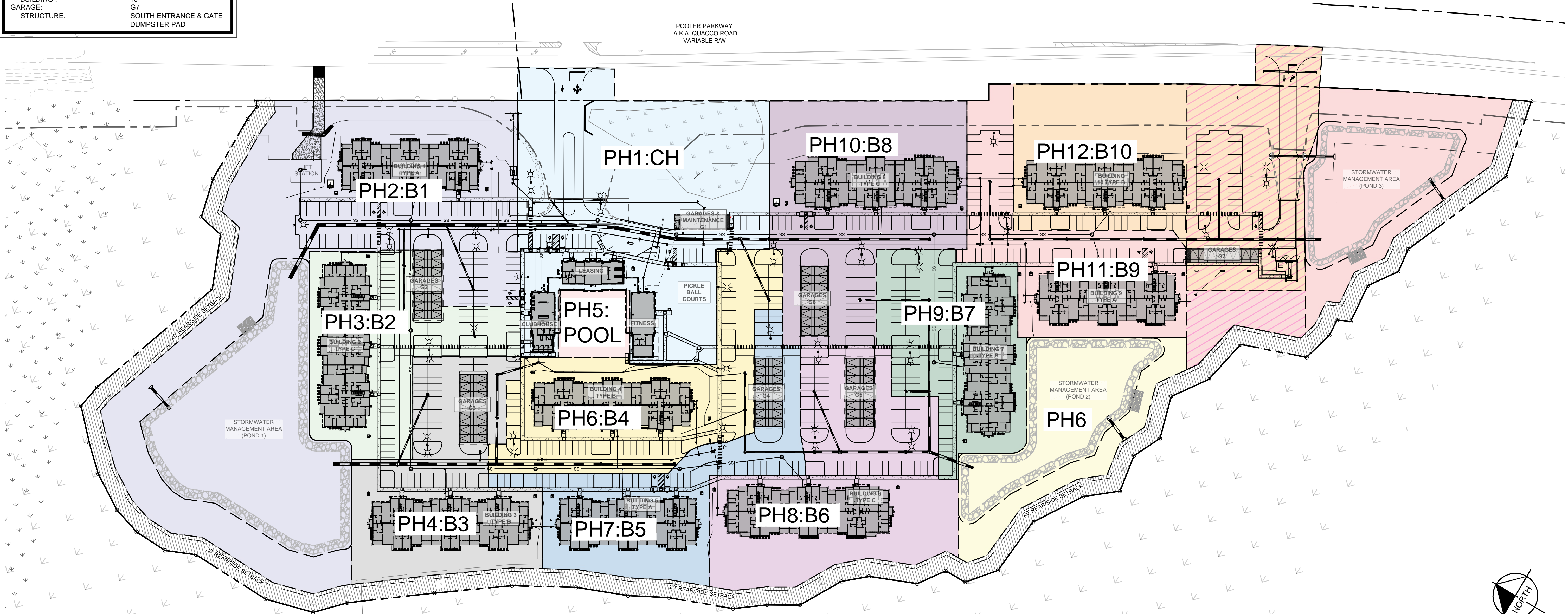
PHASE SUMMARY:

PHASE 1: GARAGE: STRUCTURES:	G1 MAIN ENTRANCE & GATE CLUB HOUSE LEASING FITNESS CENTER PICKLE BALL COURT
PHASE 2: BUILDING: STORMWATER: STRUCTURE:	1 POND 1 SANITARY LIFT STATION
PHASE 3: BUILDING: GARAGE:	2 G2
PHASE 4: BUILDING: GARAGE:	3 G3
PHASE 5: STRUCTURES:	POOL
PHASE 6: BUILDING: STORMWATER:	4 POND 2
PHASE 7: BUILDING: GARAGE:	5 G4
PHASE 8: BUILDING: GARAGE:	6 G5
PHASE 9: BUILDING:	7
PHASE 10: BUILDING: GARAGE:	8 G6
PHASE 11: BUILDING: STORMWATER:	9 POND 3
PHASE 12: BUILDING: GARAGE: STRUCTURE:	10 G7 SOUTH ENTRANCE & GATE DUMPSTER PAD

PHASING NOTES:

- PHASING WILL BE COMPLETED IN NUMERICAL ORDER 1 THROUGH 12.
- CONTRACTOR TO COORDINATE WITH OWNER AND ENGINEER COMMENCING OF EACH PHASES OF THE CONSTRUCTION.
- PHASE 1 WILL COMPLETE AMENITIES, MAIN ENTRANCE & GATE FIRST.
- ALL ASSOCIATED UTILITIES FOR EACH BUILDINGS IN THE PHASE IS TO BE CONSTRUCTED AT SAME PHASE.
- FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION.
- PER CITY OF POOLER REQUIREMENTS, THE FOLLOWING MUST BE COMPLETED/PROVIDED TO RECEIVE BUILDINGS COO'S IN EACH PHASE:
 - PARKING PROVIDED
 - STORM INFRASTRUCTURE COMPLETE
 - LANDSCAPE INSTALLED

Drawing name: K:\SAV_Civil\13205013_TTRES @ Pooler\CAD\Plansheets\C 440 - PHASING PLAN.dwg C 440 PHASING SITE PLAN Feb 09, 2024 12:18pm by: mika frtiz



No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

TTRES POOLER
POOLER PARKWAY @ OLD QUACCO ROAD
INTERSECTION, POOLER GA 31322
PARCEL ID: 51009 01041

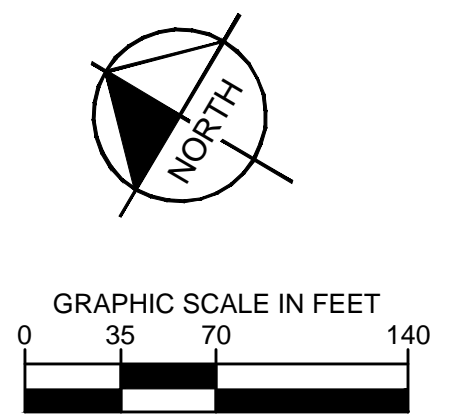
PRELIMINARY
NOT FOR CONSTRUCTION
02/09/2024

GSWCC NO. (LEVEL II)	0000073900
DRAWN BY	BC
DESIGNED BY	BC
REVIEWED BY	JW
DATE	12/15/2023
PROJECT NO.	013205013

TITLE
PHASING SITE PLAN

SHEET NUMBER
C 440

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GRADING LEGEND:

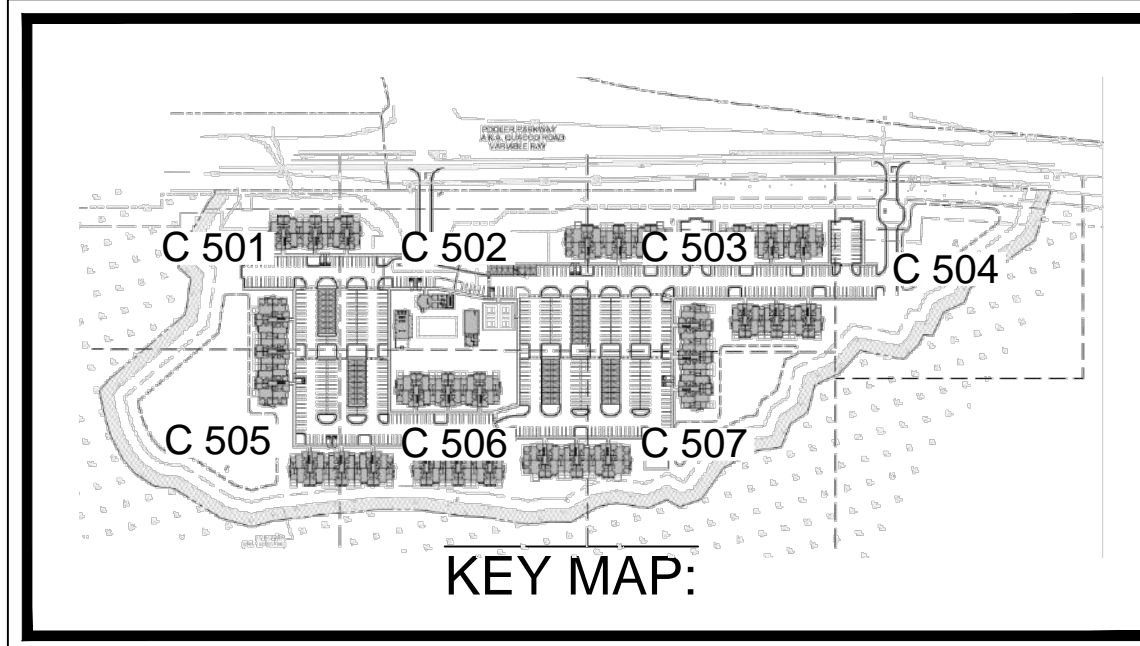
- 950 --- EXISTING MAJOR CONTOUR
- 948 --- EXISTING MINOR CONTOUR
- 945 — PROPOSED MAJOR CONTOUR
- 944 — PROPOSED MINOR CONTOUR
- × (945.00) PROPOSED SPOT GRADE
- × (TG:945.00) PROPOSED TOP GRADE AT WALL
- × (BG:945.00) PROPOSED BOTTOM GRADE AT WALL
- × (TS:945.00) PROPOSED TOP OF STAIR GRADE
- × (BS:945.00) PROPOSED BOTTOM OF STAIR GRADE
- × (HP:945.00) PROPOSED HIGH POINT GRADE
- × (LP:945.00) PROPOSED LOW POINT GRADE
- × (TC:945.00) PROPOSED TOP OF CURB GRADE
- × (BC:945.00) PROPOSED BOTTOM OF CURB GRADE
- DRAINAGE FLOW ARROW
- SWALE LINE

STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (POOLER DETAIL P-23)
- CI CURB INLET (POOLER DETAIL P-19)
- GI GRATE INLET (POOLER DETAIL P-21)
- SWCB SINGLE WING CATCH BASIN (GDOT 1033D)
- DWCB DOUBLE WING CATCH BASIN (GDOT 1034D)
- YD YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CO CLEAN OUT (SHEET C 310 OR COMPARABLE)
- OCS OUTLET CONTROL STRUCTURE (CAST-IN-PLACE)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE

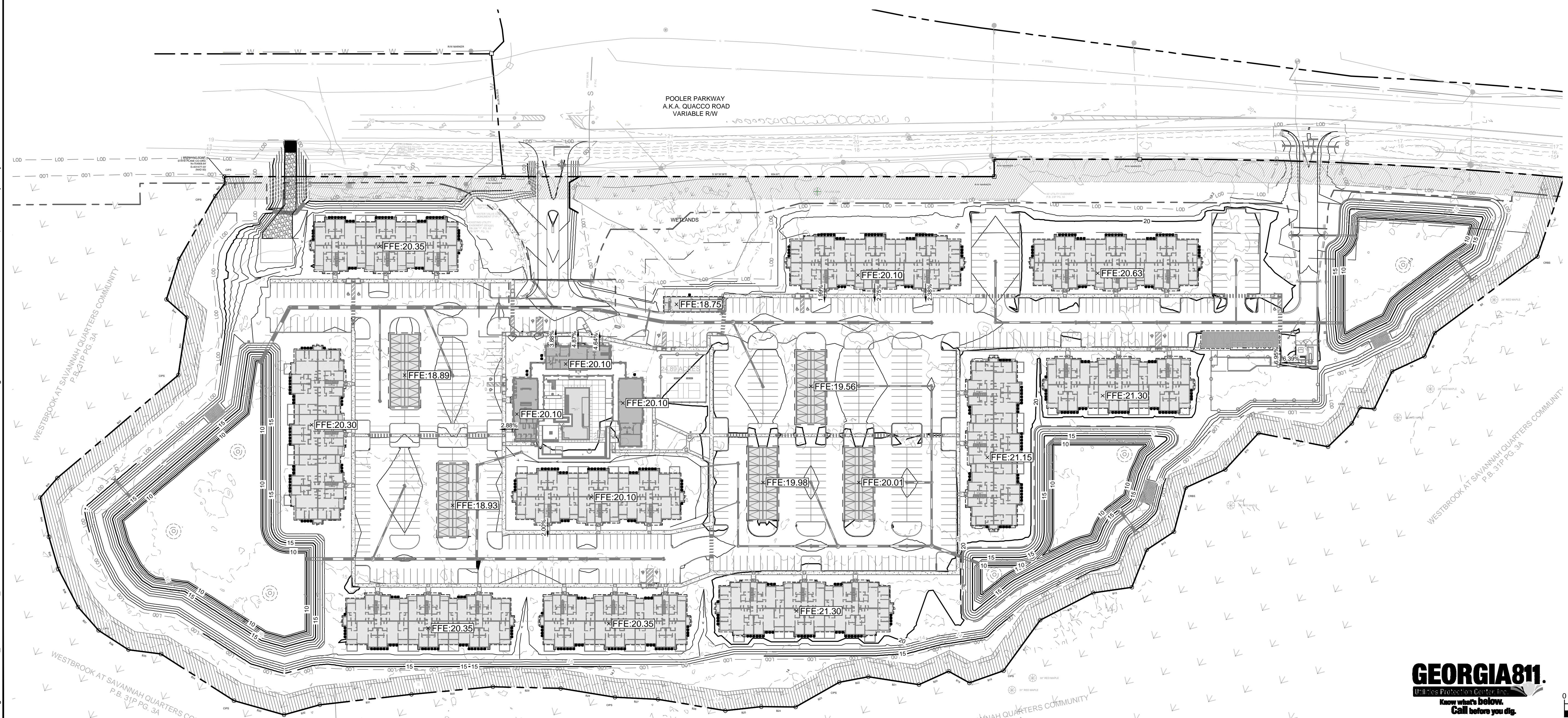
GRADING & DRAINAGE NOTES:

1. SITE AREA: 24.89 ACRES
DISTURBED AREA: 21.77 ACRES
2. CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
4. ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
5. ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
6. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
7. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 13051C0109G, DATED 08/16/2018.
8. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
9. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER AND STORM DRAINAGE SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
10. NO GRADED SLOPE SHALL EXCEED 2H:1V
11. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA.
12. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.
13. THE INFILTRATION FOR THE STORMWATER SYSTEM IS BASED ON IN-SITU TESTING BY GEOTECHNICAL ENGINEER. THE SYSTEM IS BASED ON OBTAINING INFILTRATION RATES SIMILAR TO THE TESTED VALUES PRE-CONSTRUCTION. AS SUCH, THE AREAS WHERE STORMWATER IS DIRECTED TO INFILTRATE ARE TO REMAIN RESIDUAL SOILS AND COMPACTION IS TO BE LIMITED TO ENSURE THE SOIL CHARACTERISTICS CONTINUE TO FUNCTION AS TESTED PRE-CONSTRUCTION. IF THESE AREAS ARE DISTURBED, COMPACTED, OR FILLED, THE ENGINEER IS TO BE NOTIFIED AS ADDITIONAL TESTING AND COORDINATION WOULD BE REQUIRED TO ENSURE THE PREVIOUSLY RECORDED INFILTRATION RATES CAN BE ACHIEVED.



GENERAL ADA NOTES:

1. THE RUNNING SLOPES ALONG ACCESSIBLE ROUTES TO ACCESSIBLE BUILDING ENTRANCES NOT TO EXCEED 5% MAX.
2. THE SURFACE SLOPES IN ALL DIRECTIONS IN THE SPACE REQUIRED FOR DOOR MANEUVERING CLEARANCES AT ACCESSIBLE BUILDING ENTRANCES NOT TO EXCEED 2% MAX.



Drawing name: K:\SAV_Civil\13205013_TTRES @ Pooler\CAD\Plansheets\C 500 - GRADING PLAN.dwg C 500 OVERALL GRADING PLAN Feb 09, 2024 12:16pm by: mika.friz

**THOMPSON THRIFT
RESIDENTIAL**
111 MONUMENT CIRCLE, SUITE 1500
INDIANAPOLIS, IN 46204
PHONE: 463.237.3269

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

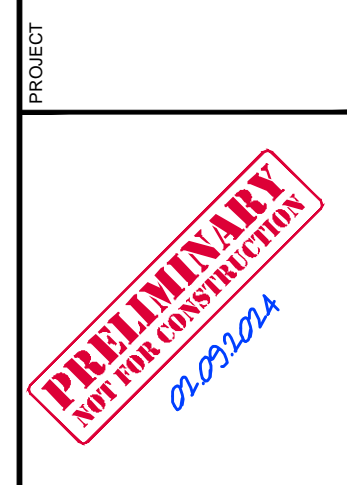
TTRES POOLER
POOLER PARKWAY @ OLD QUACCO ROAD
INTERSECTION, POOLER GA 31322
PARCEL ID: 51009 01041

GSWCC NO. (LEVEL II)	0000073900
DRAWN BY	BC
DESIGNED BY	BC
REVIEWED BY	JW
DATE	12/15/2023
PROJECT NO.	013205013
TITLE	OVERALL GRADING PLAN
SHEET NUMBER	C 500

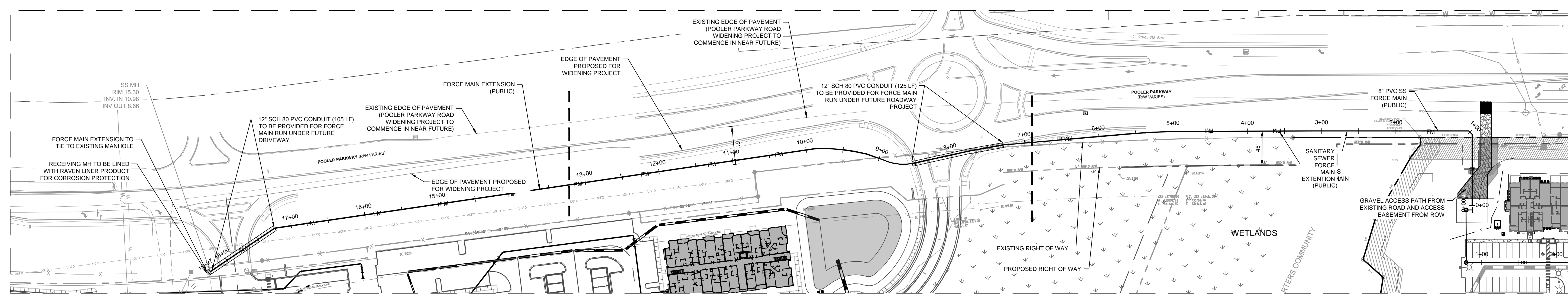
GRAPHIC SCALE IN FEET
0 35 70 140

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

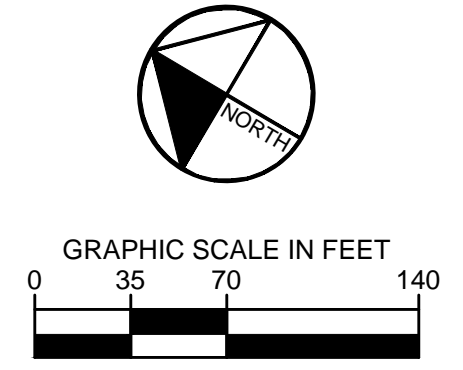
No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY



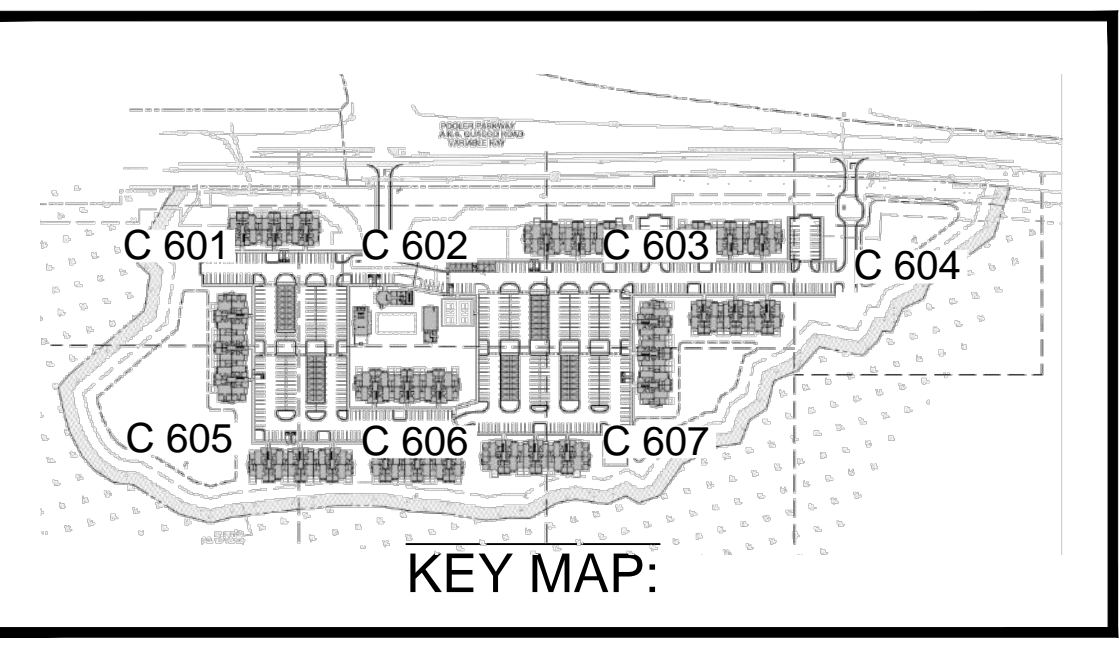
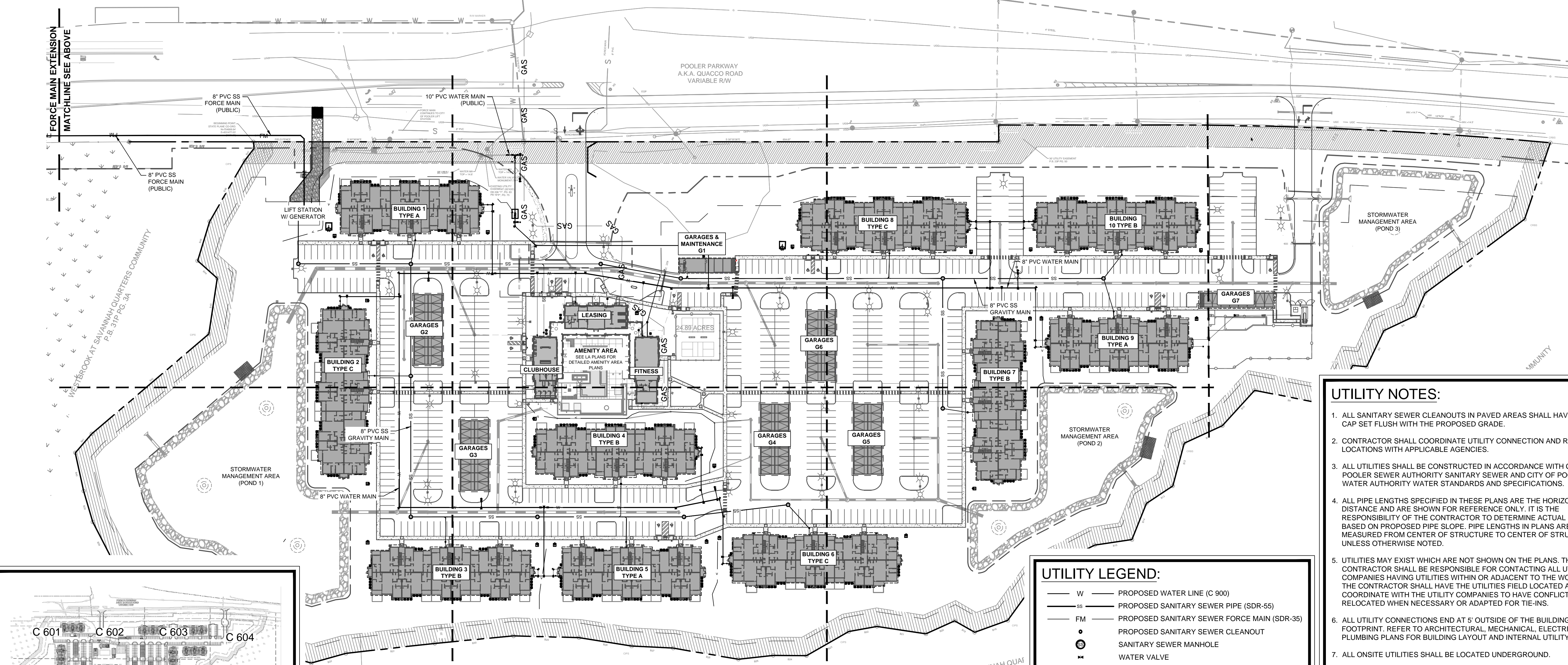
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DESIGNED BY	BC
REVIEWED BY	JW
DATE	12/15/2023
PROJECT NO.	013205013
TITLE	OVERALL UTILITY PLAN
SHEET NUMBER	C 600



FORCE MAIN EXTENSION



GEORGIA811
Know what's below.
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UTILITY LEGEND:

— W —	PROPOSED WATER LINE (C 900)
— SS —	PROPOSED SANITARY SEWER PIPE (SDR-55)
— FM —	PROPOSED SANITARY SEWER FORCE MAIN (SDR-35)
○	PROPOSED SANITARY SEWER CLEANOUT
⊙	SANITARY SEWER MANHOLE
⊕	WATER VALVE
⊕	FIRE DEPARTMENT CONNECTION (FDC)
⊕	FIRE HYDRANT
⊕	POST INDICATOR VALVE (PIV)
⊕	WATER MAIN TAPPING SLEEVE
⊕	WATER CONNECTIONS AND BENDS

- UTILITY NOTES:**
- ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
 - CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF POOLER SEWER AUTHORITY SANITARY SEWER AND CITY OF POOLER WATER AUTHORITY WATER STANDARDS AND SPECIFICATIONS.
 - ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
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 - ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
 - ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
 - CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
 - ALL PROPOSED WATER LINES PASSED THE CONNECTION TO THE EXISTING PUBLIC WATER MAIN WILL BE PRIVATE AND NOT MAINTAINED BY THE CITY OF POOLER.

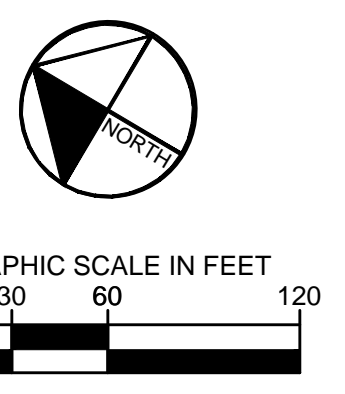
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NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

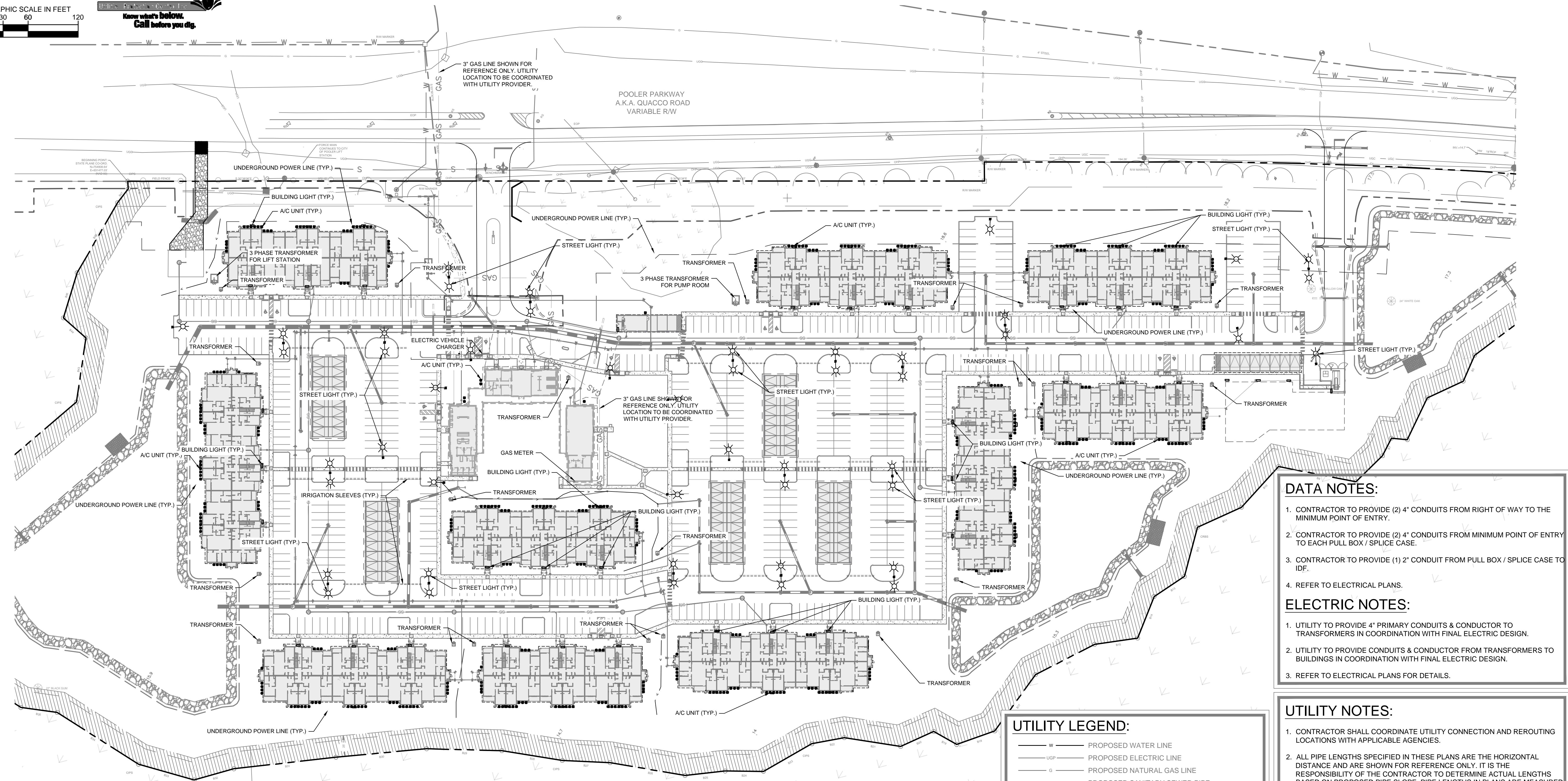
TRES POOLER
POOLER PARKWAY @ OLD QUACCO ROAD
INTERSECTION, POOLER, GA 31322
PARCEL ID: 51009 01041

PRELIMINARY
NOT FOR CONSTRUCTION
02/23/2024

GSWCC NO. (LEVEL II) 0000073900
DRAWN BY BC
DESIGNED BY BC
REVIEWED BY JW
DATE 12/15/2023
PROJECT NO. 013205013
TITLE
DRY UTILITY PLAN
SHEET NUMBER
C 630



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DATA NOTES:

- CONTRACTOR TO PROVIDE (2) 4" CONDUITS FROM RIGHT OF WAY TO THE MINIMUM POINT OF ENTRY.
- CONTRACTOR TO PROVIDE (2) 4" CONDUITS FROM MINIMUM POINT OF ENTRY TO EACH PULL BOX / SPLICE CASE.
- CONTRACTOR TO PROVIDE (1) 2" CONDUIT FROM PULL BOX / SPLICE CASE TO IDF.
- REFER TO ELECTRICAL PLANS.

ELECTRIC NOTES:

- UTILITY TO PROVIDE 4" PRIMARY CONDUITS & CONDUCTOR TO TRANSFORMERS IN COORDINATION WITH FINAL ELECTRIC DESIGN.
- UTILITY TO PROVIDE CONDUITS & CONDUCTOR FROM TRANSFORMERS TO BUILDINGS IN COORDINATION WITH FINAL ELECTRIC DESIGN.
- REFER TO ELECTRICAL PLANS FOR DETAILS.

UTILITY LEGEND:

— W —	PROPOSED WATER LINE
— UGP —	PROPOSED ELECTRIC LINE
— G —	PROPOSED NATURAL GAS LINE
— SS —	PROPOSED SANITARY SEWER PIPE
—	PROPOSED SANITARY SEWER CLEANOUT
⊙	SANITARY SEWER MANHOLE
⊕	WATER VALVE
⊕	FIRE DEPARTMENT CONNECTION (FDC)
⊕	FIRE HYDRANT
⊕	POST INDICATOR VALVE (PIV)
⊕	WATER MAIN TAPPING SLEEVE
⊕	WATER CONNECTIONS AND BENDS
⊕	WATER CONNECTIONS AND BENDS

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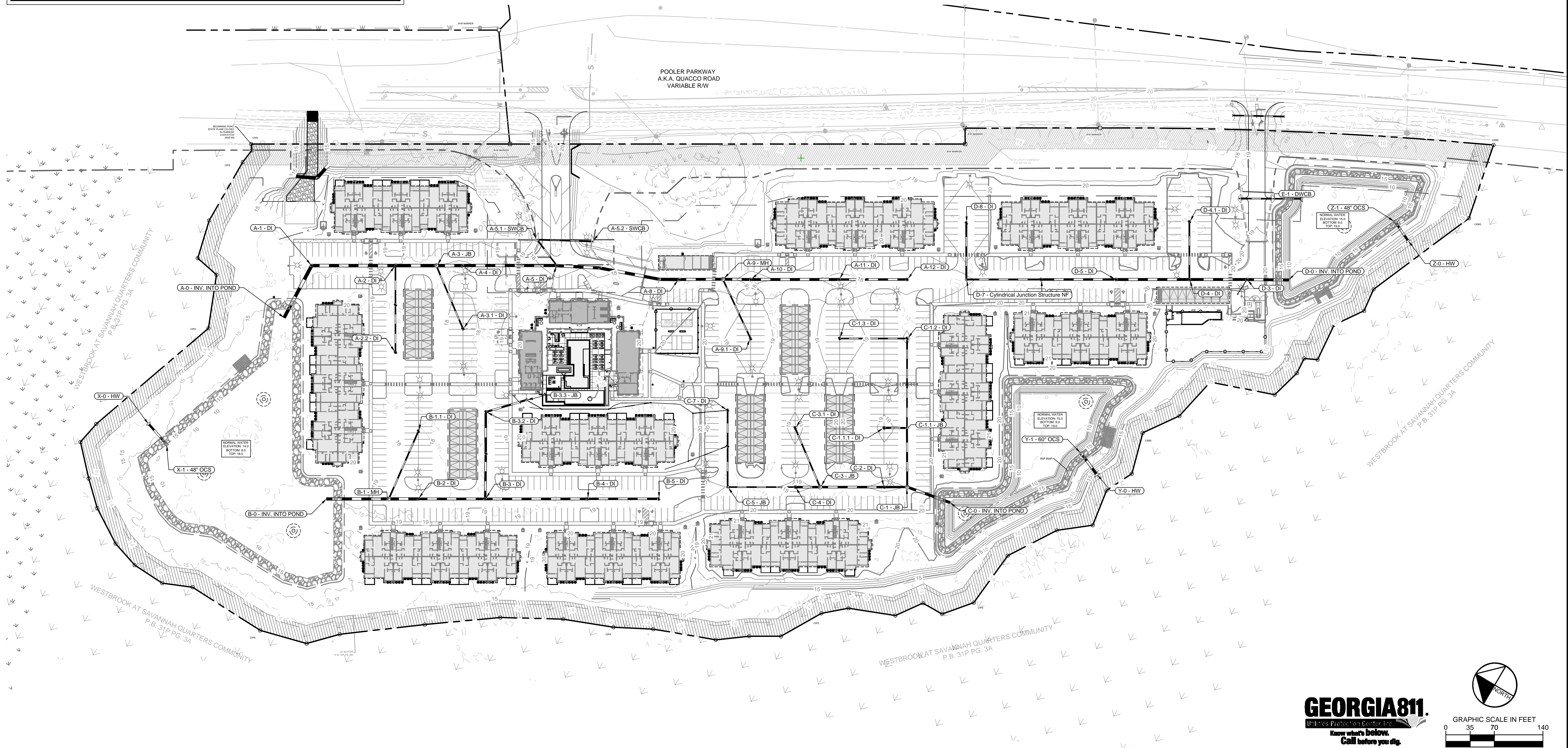
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GRADING & DRAINAGE NOTES:

- SITE AREA: 24.89 ACRES
DISTURBED AREA: 21.77 ACRES
- CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.
- ALL ROOF DRAIN PIPING SHALL BE PVC UNLESS OTHERWISE NOTED.
- ALL ROOF DRAIN CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE.
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- ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL. REFERENCE LANDSCAPE PLANS FOR DETAILS.

STORM DRAINAGE LEGEND:

- JB JUNCTION BOX (POOLER DETAIL P-23)
- CI CURB INLET (POOLER DETAIL P-19)
- GI GRATE INLET (POOLER DETAIL P-21)
- SWCB SINGLE WING CATCH BASIN (GDOT 1033D)
- DWCB DOUBLE WING CATCH BASIN (GDOT 1034D)
- YD YARD DRAIN (NDS CATCH BASIN OR COMPARABLE)
- CO CLEAN OUT (SHEET C 310 OR COMPARABLE)
- OCS OUTLET CONTROL STRUCTURE (CAST-IN-PLACE)
- PROPOSED ROOF DRAIN PIPE
- PROPOSED STORM PIPE



LANDSCAPE REQUIREMENTS & CALCULATIONS

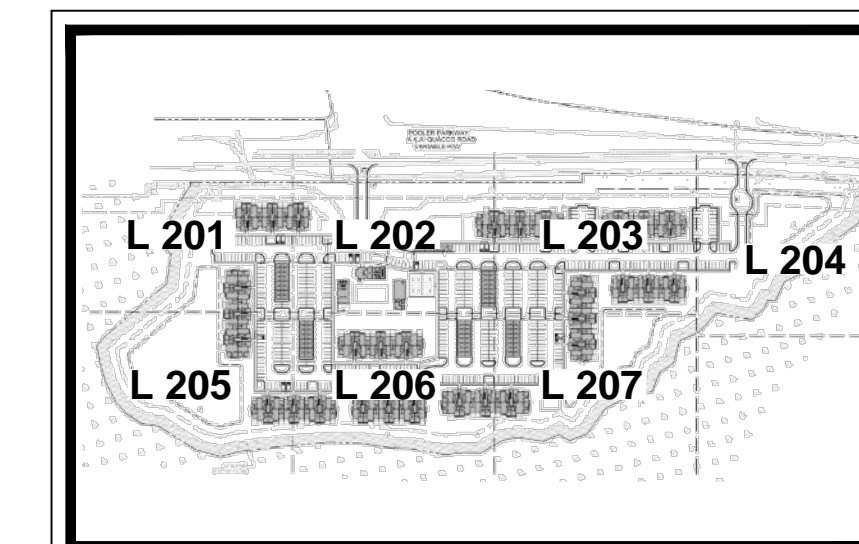
LANDSCAPE REQUIREMENTS						
AREA	CODE REQUIREMENT	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	NOTES	SECTION
TREE REPLACEMENT	(15) PREFERRED SPECIES TREES PLANTED PER 1 ACRE OF DISTURBED LAND IF EXISTING TREE REQUIREMENT CANNOT BE MET	20.31	20.31 ACRES X 15 = 320 TREES	329 TREES OF PREFERRED SPECIES PROPOSED	TREES TO BE PLANTED AT MINIMUM OF 2" CALIPER & 8' IN HEIGHT PER SECTION REQUIREMENTS	SECTION 42-199
TREE MITIGATION	WHEN A SIGNIFICANT TREE IS REMOVED, PLANTING OF SAME SPECIES, OR PREFERRED SPECIES TOTALING THE SAME NUMBER OF INCHES REMOVED IS REQUIRED WITH REPLACEMENT TREES HAVING A MINIMUM OF A 6" CALIPER	60' TO BE REPLACED	60' / 6" = 10 TREES AT A 6" CALIPER TO BE PLANTED	(10) 6" CALIPER TREES OF PREFERRED SPECIES REQUIRED (7) 6" TREES OF PREFERRED SPECIES PROVIDED EXISTING TREE TO REMAIN TO ACCOUNT FOR THE (3) THREE ADDITIONAL TREES REQUIRED	PREFERRED SPECIES PROVIDED INSTEAD OF SAME SPECIES DUE TO TREES TO BE REMOVED ARE NOT ON THE PREFERRED SPECIES LIST	SECTION 42-198
TREE SPECIES DIVERSITY	FOR ALL SITES, NO MORE THAN 30% OF TREES PLANTED SHALL BE THE SAME SPECIES IN ORDER TO INCREASE SPECIES DIVERSITY	329 TREES	329 X 3 = 99 TREES PER SPECIES MAXIMUM (4 SPECIES MINIMUM)	10 SPECIES PROVIDED	NO SPECIES EXCEEDS 30% OF TOTAL WHICH MEETS DIVERSITY REQUIREMENTS	SECTION 42-199
PARKING LOT REQUIREMENTS	PER 6-20-23 MEETING WITH CITY OF POOLER, (1) LARGE CANOPY TREES PER 500 SF OR (1) MEDIUM CANOPY TREE PER 300 SF	---	---	---	---	SECTION 42-200 AND BY AGREEMENT

TREES TO BE REMOVED

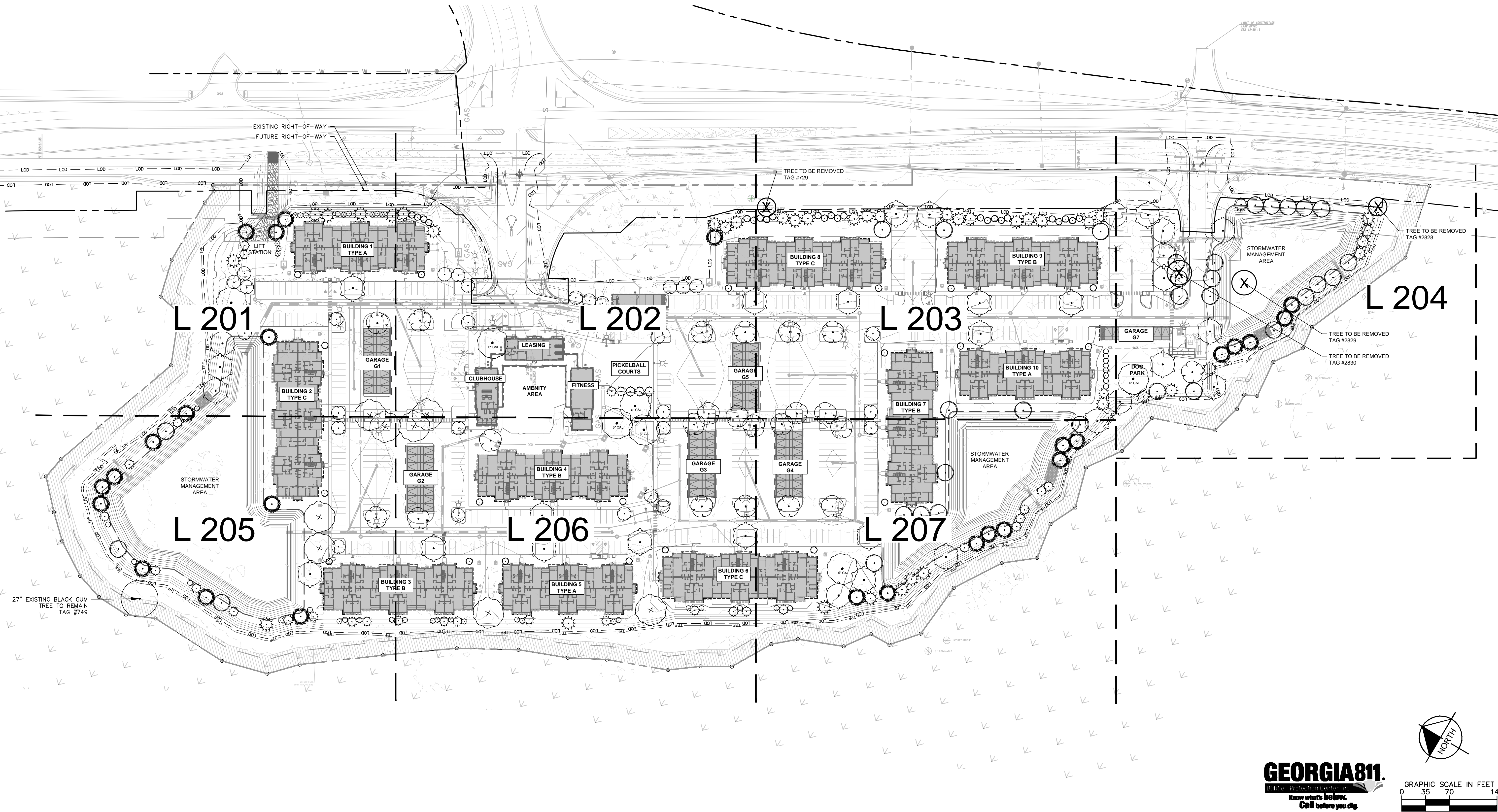
TAG	SIZE	BOTANICAL NAME	COMMON NAME	STATUS	REPLACEMENT DBH
2830	24" CAL.	QUERCUS PHELLOS	WILLOW OAK	DISEASED-PHYTOPTORA CANKER AND PROMINENT LEAN	0"
2829	24"	QUERCUS ALBLA	WHITE OAK	HEALTHY	24"
2828	18"	QUERCUS VIRGINIANA	LIVE OAK	HEALTHY	18"
729	18"	QUERCUS VIRGINIANA	LIVE OAK	HEALTHY	18"
TOTAL		60" TO BE REMOVED			60" TO BE REPLACED

TREES TO REMAIN

TAG	SIZE	BOTANICAL NAME	COMMON NAME	STATUS
749	27"	NYSSA SYLVATICA	BLACKGUM	HEALTHY
TOTAL		27" TO REMAIN		



KEY MAP



Drawing name: K:\SAV_Civil\13205013_TTRES @ Pooler\CAD\Plansheets\L-00 - TREE PROTECTION AND REPLACEMENT PLAN.dwg L 200 OVERALL PLAN AND TREE PROTECTION PLAN Feb 09, 2024 12:32pm by: mlhe.ltz

Kimley»Horn

PREPARED FOR
**THOMPSON THRIFT
RESIDENTIAL**
111 MONUMENT CIRCLE, SUITE 1500
INDIANAPOLIS, IN 46204
PHONE: 463.237.3269

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

TTRES POOLER
POOLER PARKWAY @ OLD QUACCO ROAD
INTERSECTION, POOLER GA 31322
PARCEL ID: 51009 01041

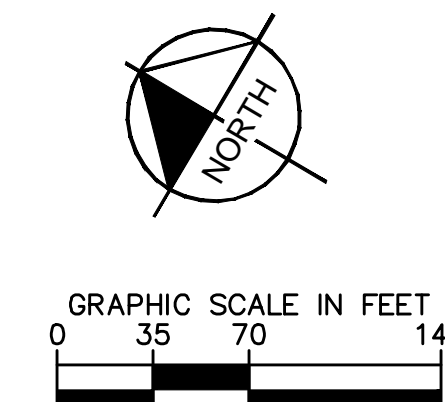
PRELIMINARY
NOT FOR CONSTRUCTION

GSWCC NO. (LEVEL II)	0000073900
DRAWN BY	FC
DESIGNED BY	FC
REVIEWED BY	LB
DATE	10/19/2023
PROJECT NO.	013205013

TITLE
**OVERALL PLAN
AND TREE
PROTECTION PLAN**

SHEET NUMBER
L 200

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Utility Protection Center, Inc.
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EOM Operations
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February 9th, 2024

Rusty Windsor, P.E.
Kimley Horn
554 E Gordon St
Savannah, GA 31401

Dear Mr. Windsor,

I am pleased to provide you with a recommendation for Approval of the site development plans for Thompson Thrift Residential, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Feb. 2024</i>
	Lift Station Calculations.....	<i>Feb. 2024</i>
	Stormwater Management Report.....	<i>Nov. 2023</i>
	Water System Report.....	<i>Nov. 2023</i>
	Technical Traffic Memorandum.....	<i>Sep. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All required permits and 3rd party approvals pursuant to land disturbing activity and land development shall be provided and found acceptable to the City of Pooler. All the required testing data, permits, and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.





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OPERATIONS

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Dixon; Director of Planning & Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



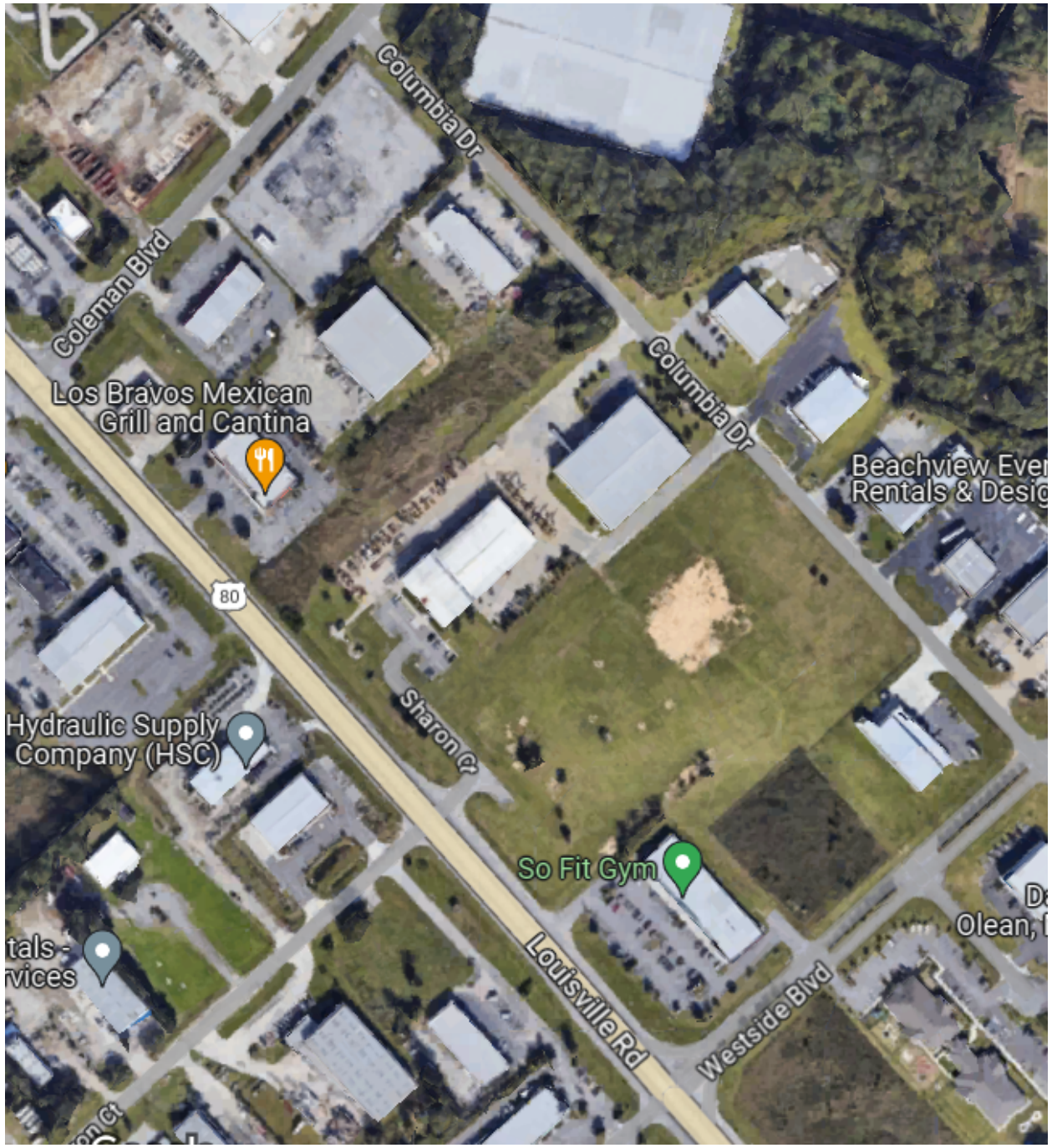
Native Development Group - Westside Commerce Center

On March 21, 2022, a rezoning request was approved by the City of Pooler Council for four (4) adjoining parcels within Westside Business Park to I-1, Industrial, light district. A condition was placed on the rezoning that the applicant (Native Development Group) be required to obtain a permit from an outside agency (GDOT) to install a traffic signal on US Hwy 80 (SR26) at Westside Boulevard. The condition stated that a Certificate of Occupancy would not be issued for the proposed building until said signal was installed and operational.

A warrant study was submitted to GDOT District 5 in July 2021. Through multiple iterations, the warrant study was passed on to the Traffic Office in Atlanta for approval in February 2022. Again, through multiple iterations and assistance from the City of Pooler, the warrant was approved by GDOT on March 21, 2022. At this point design of the signal improvements commenced.

On February 27, 2023, design plans for the signal were submitted to District 5. After multiple iterations of review and revisions, District 5 approval was obtained. The District 5 GDOT representatives then forwarded the plans to the Atlanta Transportation Management Center (TMC) on September 15, 2023 for their review and approval. The TMC provided no response on these plans for weeks/months, and finally responding by questioning in mid-December, 2023 the already approved warrant assessment. Most recently, we have been notified in January, 2024 that the Department does intend to issue the permit for the signal. However, as of this date, February 12, 2024 no notification has been received as to the formal acceptance of the signal which has delayed response to final GDOT comments, final design, bidding and awarding of the signal cost and infrastructure.

The developer has diligently pursued the permits from GDOT. At this time, even if the permit was issued today, the signal could not be installed in time for the final inspection and CO issuance for the building which is tracking for May 31, 2024. The developer instead offers to place a bond in the amount of \$900,000 (current project cost estimate-support available upon request) with the City of Pooler for up to two years as support for its commitment to complete the signal and required infrastructure (road work etc.). In the meantime, traffic from the project will be able to use the access provided by Columbia Drive and its new signal improvements as well as the existing right in right out (for autos only) on Highway 80 until such signal is installed.



329 Commercial Drive • Savannah, Georgia 31406 • 912.354.4626 • husseygaybell.com

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MAYOR
Karen L. Williams

CITY ATTORNEY
Craig Call



CITY of POOLER
— GEORGIA —

CITY COUNCIL
Wesley Bashlor
Michael Carpenter
Aaron C. Higgins
Thomas Hutcherson
M. Shannon Valim
John M. Wilcher

Summary of Asian River/Miyah Buffet

- 7/21/23 Code Enforcement delivered Liquor by the drink excise tax delinquent letter, owed May, June, and July.
- Oct 2023-Changed their name to Miya Buffet on their sign, never notified City of Pooler- The owner claims that he is still doing business under the same Federal tax id. We have requested that the owner provide a legal document from the state with the new DBA name for our records, but have not received anything to date (2/8/24)
- 12/5/23, Code Enforcement delivered delinquent letter. Owed Aug, Sept and Oct. Gave them until 12/15 to remit past due taxes or Disciplinary hearing might follow.
- 12/27/23, Lt. Schmitt delivered City Council disciplinary meeting notice, (Owed Aug, Sept, Oct, and Nov, - 4 months past due)
- 12/29/23, the manager came in and paid the liquor by the drink excise taxes for Aug and Sept after disciplinary council notice, but did not pay Oct and Nov.
- 12/29/23, paid their Alcohol license renewal, but the check was returned due to NSF which now means that they do not have a current license to sell and must reapply for the license- He also owes a \$35 return check fee.
- 1/17/24, Lt. Schmitt delivered a stop and cease selling alcohol and notified the owner that he must re-apply for an alcohol license.
- 1/29/24, The owner came in to re-apply for an alcohol license but has yet to submit the proper paperwork and pay the appropriate license fee of \$3440.00
- As of 1/1/2024 their 2023 Business license expired. Our policy states that they have until March 31 to pay, and then late fees will be assessed.
- As of 2/8/2024 Oct, Nov, and Dec liquor by the drink excise taxes are still past due. Jan will be due on Feb 20, (this should only be for the first two weeks of Jan. prior to the cease sales order on 1/17/24)

- The balance that this business now owes is based on what their alcohol sales for Oct, Nov, Dec, and Jan were, plus the \$100.00 late fee for each month that is past due, the \$35.00 return check fee and \$3440.00 for the alcohol license renewal. The legal document from the state of Georgia with the new business name.
- This business must remit all outstanding liquor by the drink excise tax balances before their 2024 alcohol license can be approved.
- The finance department would also like to request that this business provide a report on their alcohol sales with the excise tax return each month going forward.

History of Liquor by the Drink reported sales, days late and payments

Year 2022							
Month	Due on	Paid on	Days late	Reported Sales	Tax due	Late Fees	Total paid
Dec-21	20-Jan	20-Jan		\$800.00	\$24.00		\$24.00
Jan-22	20-Feb	16-Feb		\$850.00	\$24.73		\$24.73
Feb-22	20-Mar	14-Mar		\$900.00	\$27.00		\$27.00
Mar-22	20-Apr	15-Apr		\$800.00	\$23.28		\$23.28
Apr-22	20-May	2-May		\$900.00	\$27.00		\$27.00
May-22	20-Jun	24-Jun	4	\$900.00	\$27.00		\$27.00
Jun-22	20-Jul	21-Jul	1	\$800.00	\$24.00		\$24.00
Jul-22	20-Aug	22-Aug	2	\$850.00	\$24.73		\$24.73
Aug-22	20-Sep	23-Sep	3	\$900.00	\$27.00		\$27.00
Sep-22	20-Oct	19-Oct		\$800.00	\$24.00		\$24.00
Oct-22	20-Nov	22-Nov	2	\$750.00	\$22.50		\$22.50
Nov-22	20-Dec	20-Dec		\$700.00	\$21.00		\$21.00
Year 2023							
Month	Due on	Paid on	Days late	Reported Sales	Tax due	Late Fees	Total paid
Dec-22	20-Jan	18-Jan		\$750.00	\$21.82		\$21.82
Jan-23	20-Feb	21-Feb	1	\$900.00	\$27.00		\$27.00
Feb-23	20-Mar	21-Mar	1	\$750.00	\$22.50		\$22.50
Mar-23	20-Apr	24-Apr	4	\$700.00	\$21.00		\$21.00
Apr-23	20-May	28-Jul	68	\$400.00	\$12.00	\$100.00	\$112.28
May-23	20-Jun	28-Jul	38	\$400.00	\$12.00	\$100.00	\$112.28
Jun-23	20-Jul	28-Jul	8	\$400.00	\$12.00	\$100.00	\$112.28
Jul-23	20-Aug	17-Aug		\$400.00	\$11.64		\$11.64
Aug-23	20-Sep	29-Dec	100	\$400.00	\$11.64	\$100.00	\$112.52
Sep-23	20-Oct	29-Dec	70	\$300.00	\$8.73	\$100.00	\$109.30
Oct-23	20-Nov					\$100.00	
Nov-23	20-Dec					\$100.00	
Dec-23	20-Jan					\$100.00	
Jan-24	20-Feb						

MAYOR
Karen Williams
CITY MANAGER
CITY ATTORNEY
Craig Call



CITY COUNCIL
M. Shannon Black
Aaron C. Higgins
Thomas Hutcherson
Michael Carpenter
John M. Wilcher
Wesley Bashlor

January 17th, 2024

Re: 2024 Alcoholic Beverage License
ASIAN RIVER RESTAURANT & BAR/SAPPORO JAPANESE REST

EXPIRED ALCOHOL LICENSE – CEASE SALES AND REAPPLY NOTIFICATION

Attn: Anlin Ruan

As of the date of this letter, your renewal payment was returned by your financial institution as "Non-Sufficient Funds", therefore your Alcohol License has not been renewed. Per our ordinance below, you are to **cease all sales and distribution of alcoholic beverages immediately.**

Sec. 6-25. - Expiration, renewals, late renewals, and transfers.

(a) All licenses granted under this article shall expire at midnight on December 31st of each license year. A licensee who desires to renew the license shall file an application, together with the requisite fee, on the form provided for renewal of the license for the ensuing year. Application for renewal shall be filed on or before November 1 of each year.

(b) Any license renewal application filed after December 13 of the license year shall be considered late and may be subject to a late fee of 25 percent of the value of the fee.

(c) Any license for which a renewal application has not been filed by the close of business of City of Pooler offices on the final business day of December will be deemed to have expired at midnight on December 31 and will be treated as a new license application, subject to publication of notice of the application as for new applicants, and a fee as for a new license with a work-up including background checks, location approval and all items and regulations as prescribed in this chapter for new applicants. During this period, the applicant may not sell, distribute, or offer alcoholic beverages for on or off-premises consumption.

(d) The licensee's obligation to apply timely for renewal is not contingent upon any notice from the City of Pooler, which shall not be required to send renewal notices to any licensee.

To remove the suspension on your license a new application will be required. Therefore, I have enclosed the New Alcoholic Beverage License application. Please make sure to register for a background check and fingerprinting, then contact us to schedule an appointment to come into our office to pay and submit your documents.

Respectfully,
Business Registration Office

MAYOR
Rebecca C. Benton

CITY MANAGER
Robert H. Byrd, Jr.

CITY ATTORNEY
Craig Call



CITY of POOLER
GEORGIA

CITY COUNCIL
M. Shannon Black
Shirlenia Daniel
Aaron C. Higgins
Stevie E. Wall
John M. Wilcher
Karen L. Williams

December 20, 2023

Mr. Anlin Ruan
Asian River
120 Towne Center Dr.
Pooler, Georgia 31322

Mr. Anlin Ruan/Asian River,

This letter is to notify you pursuant to Chapter 6, Article II, Sections 6-29(a) and 6-29.2 (a) and (b) that the Pooler City Council will conduct a disciplinary hearing on Tuesday, February 20, 2024 on the third floor of City Hall at 100 SW US Highway 80, Pooler, Georgia beginning at 4:00pm during the regular City Council meeting. The disciplinary hearing will be for Asian River, a licensed business in the City of Pooler, which you own, control, or have an interest in.

Sec. 6-29. - Disciplinary hearings.

- (a) Each license issued pursuant to this article is granted as a mere privilege and not a right. *Upon violation of any provision of this chapter or of any law or regulation of the state relating to alcoholic beverages, malt beverages and wine, the council, at a regular or special called meeting, after reasonable written notice of the pending violations to the licensee and after the licensee has been afforded an opportunity to be heard as to the proposed grounds for revocation, may revoke or suspend the license, or in lieu of revocation or suspension may impose conditions or probation upon continued operations under the license. When a license is revoked or suspended, no portion of the license fee shall be refundable.*

Sec. 6-29.2. - Revocation of license.

- (a) (1) In addition to any criminal penalty that may be imposed by section 6-28, the city council shall have the right to deny, suspend or cancel any license under this chapter if:
- a. The license application is not filed in good faith or is filed by some person as a subterfuge for any other person.
 - b. *Any applicant for a license or any licensee under this chapter willfully fails to comply with any provisions of this chapter.*
 - c. Any person to whom a license has been issued under this chapter is no longer engaged in the dealing of alcoholic beverages or no longer qualifies as a licensee under this chapter.

(2) Before any denial, suspension or cancellation of a license granted under this chapter, the applicant or licensee shall be afforded notice and a hearing as follows:

- a. The notice shall be served personally or by certified mail, not less than 20 days before the hearing. The notice shall include a:
 1. Statement of the time, place and nature of the hearing;
 2. Statement of the legal authority under which the hearing is to be held;
 3. Reference to the sections of ordinances and statutes involved;
 4. Short and plain statement of the matters asserted;
 5. Statement as to the right of any party to representation by legal counsel at the hearing; the right of any party to present evidence on all issues; and the right of any party to subpoena witnesses and documentary evidence.

(b) At the hearing, all parties may be represented by legal counsel, and may respond to and present evidence on all issues involved. The city council, as the hearing agency, shall have the right to exercise the powers provided in O.C.G.A. § 50-13-13, and to promulgate such other rules for the orderly disposition of the hearing as it deems appropriate.

The disciplinary hearing will address willful noncompliance of Chapter 6, Article II, Section 6-35(a) and 6-35(b) of the City Ordinances which read as follows:

Sec. 6-35. - Payment; returns, collection fees; penalties and interest for late payments.

- (a) All amounts of such *taxes shall be due and payable monthly* to the city manager's office of the City of Pooler *on or before the 20th day of the next succeeding respective monthly period.*
- (b) *The remittance of the taxes collected should be on a return* which shall include gross receipts from the sale of distilled spirits by the drink, amount of tax collected or due for the related period, and such information as may be required by the city manager.

Asian River has not paid mixed drink excise taxes collected in August, September, October, and November 2023, or filed required returns reporting that no mixed drink excise taxes were collected during that period.

Asian River may be represented by legal counsel and may respond to and present evidence on all issues involved.

Respectfully,



Chris Lightle
Chief Finance Officer
City of Pooler, Georgia

MAYOR
Rebecca C. Benton

CITY MANAGER
Robert H. Byrd, Jr.

CITY ATTORNEY
Craig Call



CITY of POOLER
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CITY COUNCIL
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Shirlenia Daniel
Aaron C. Higgins
Stevie E. Wall
John M. Wilcher
Karen L. Williams

*New name -
Mya Buffet*

December 4, 2023

Asian River
120 Town Center
Pooler, GA 31322

Re: Liquor by the Drink Excise Tax-past due

Asian River,

This letter serves as notice that we have not received your LIQUOR BY THE DRINK Tax Return for the months of August, September, and October 2023. Please remit your tax return immediately so that further legal action is not required. Be sure to add the penalty and interest lines because of delinquency.

If we have not received the past due payments by December 15 at 5:00, we may issue a court subpoena or a disciplinary hearing before the City Council will be required.

If you have any questions, please contact me at 912-748-7261 ext. 117 or dcoleman@pooler-ga.gov.

Thank you,

Demeshia Coleman

Demeshia Coleman
Finance Coordinator
City of Pooler
100 SW Hwy 80
Pooler, GA 31322

12/5/23 el

I HAVE RECEIVED THIS NOTICE ON *Demeshia Coleman (manager)*

SIGNATURE

TITLE

MAYOR
Rebecca C. Benton

CITY MANAGER
Robert H. Byrd, Jr.

CITY ATTORNEY
Craig Call



CITY of POOLER
— GEORGIA —

CITY COUNCIL
M. Shannon Black
Aaron C. Higgins
Thomas Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

July 19, 2023

Asian River
120 Town Center Dr.
Pooler, GA 31322

Re: Liquor by the Drink Excise Taxes

Asian River,

This letter serves as notice that we have not received your LIQUOR BY THE DRINK Tax Return for the months of April, May, and June 2023. Please remit your tax return immediately so that further legal action is not required. Be sure to add the penalty and interest lines because of delinquency.

If we have not received the past due payments by July 28th at 5:00 a court subpoena will be issued.

If you have any questions, please contact me at 912-748-7261 ext. 117 or dcoleman@pooler-ga.gov.

Thank you,

Demeshia Coleman
Finance Coordinator
City of Pooler
100 SW Hwy 80
Pooler, GA 31322

I HAVE RECEIVED THIS NOTICE ON July 21, 2023
SIGNATURE Jameika Greer
PRINT Jameika Greer TITLE Manager