



**CITY of POOLER**  
— GEORGIA —

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**CITY COUNCIL REGULAR MEETING – AGENDA**

March 4, 2024 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
  - II. CALL TO ORDER
  - III. INVOCATION
  - IV. PLEDGE OF ALLEGIANCE
  - V. ANNOUNCEMENTS
  - VI. CONSENT AGENDA
    - A. City Council Meeting Minutes of February 20, 2024
    - B. City Council Executive Session Minutes of February 20, 2024
    - C. New Alcoholic Beverage License Application for Modish Nails & Spa at 111 South Godley Station Boulevard
    - D. New Alcoholic Beverage License Application for Sapporo Japanese Restaurant, LLC at 120 Towne Center Boulevard
    - E. Special Event Permit Application (No Alcohol) for the Coastal Boating Center Boat Show on March 22, 2024
    - F. Special Event Permit Application (No Alcohol) for the Community Car Show Benefit for Jeremy Batyias on March 30, 2024
    - G. Special Event Permit Application (No Alcohol) for the Super Duper Easter Egg Hunt on March 23, 2024
  - VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
    - A. Ordinance O2024-02.B – Zoning Text Amendment to Appendix A, Articles II and III to Provide Provisions Related to Multi-Use Development (*Second Reading*)
    - B. Proclamation for National Multiple Sclerosis Education and Awareness Month
  - VIII. NEW BUSINESS
    - A. Site Plan for a Warehouse Expansion at 125 Coleman Boulevard
-

B. Site Plan for Mana Nutrition at 5212 Old Louisville Road

- IX. PUBLIC COMMENT
- X. EXECUTIVE SESSION
- XI. ADJOURNMENT



**CITY of POOLER**  
— GEORGIA —

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**CITY COUNCIL REGULAR MEETING – MINUTES**

February 20, 2024 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

**I. ROLL CALL**

Present: Karen Williams, Mayor  
Wesley Bashlor, Councilmember  
Michael Carpenter, Councilmember  
Aaron Higgins, Mayor Pro Tem  
Tom Hutcherson, Councilmember  
Shannon Valim, Councilmember  
John Wilcher, Councilmember *via teleconference*  
Matthew Saxon, Assistant City Manager  
Craig Call, City Attorney  
Chris Lightle, Finance Officer  
Kiley Fusco, Clerk of Council

Absent:

**II. CALL TO ORDER**

Mayor Karen Williams called the meeting to order at 4:01 p.m.

**III. INVOCATION**

Executive Pastor Shirlinia Daniel gave the invocation.

**IV. PLEDGE OF ALLEGIANCE**

Executive Pastor Shirlinia Daniel led the pledge.

**V. ANNOUNCEMENTS**

Scot Turner, Eternal Vigilance Action, Inc. Executive Director, presented on ranked choice voting (RCV), also known as instant-runoff voting.

**VI. CONSENT AGENDA**

**A. City Council Meeting Minutes of February 5, 2024**

**B. City Council Executive Session Minutes of February 5, 2024**

**C. Special Event Permit Application (No Alcohol) for the Love & Soul Family Festival on June 1, 2024**

**D. Special Event Permit Application (No Alcohol) for the 5K Friendship Fun Run on July 27, 2024**

**E. Department Reports**

- 1. Public Works**
- 2. Finance**
- 3. Fire-Rescue Services**
- 4. Police**
- 5. Parks & Recreation**
- 6. Planning & Development**

City Manager Matthew Saxon presented the Consent Agenda for consideration. Councilmember Tom Hutcherson moved to approve the Consent Agenda.

Motion to Approve; PASSED (6-0-0)

MOVER: Hutcherson

SECONDER: Higgins

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

**VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS**

**A. Ordinance O2024-02.A – Council Meeting Start Time (*Second Reading*)**

City Manager Matthew Saxon presented the second reading for consideration. Mayor Pro Tem Aaron Higgins moved to approve the second reading of Ordinance O2024-02.A – Council Meeting Start Time.

Motion to Approve; PASSED (5-1-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim

NAYS: Wilcher

**B. Ordinance O2024-02.B – Zoning Text Amendment to Appendix A, Articles II and III to Provide Provisions Related to Multi-Use Development (*First Reading; Public Hearing, Action*)**

City Manager Matthew Saxon presented the first reading for consideration and Planning & Development Director Nicole Dixon reported on the proposed amendment. Mayor Karen Williams opened and closed the public hearing without comment. Mayor Pro Tem Aaron Higgins moved to approve the first reading of Ordinance O2024-02.B – Zoning Text Amendment to Appendix A, Articles II and III to Provide Provisions Related to Multi-Use Development.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

**C. Resolution R2024-02.A – Amendment to the 2024 Schedule of Fees**



City Manager Matthew Saxon presented the resolution for consideration and Finance Officer Chris Lightle reported on the proposed amendment. Councilmember Tom Hutcherson moved to approve Resolution R2024-02.A – Amendment to the 2024 Schedule of Fees.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

## **VIII. NEW BUSINESS**

### **A. Zoning Map Amendment for Property on Clear Lake Way from C-2 to R-3 (*Public Hearing, Action*)**

City Manager Matthew Saxon presented the amendment for consideration. Attorney Harold Yellin was present on behalf of the petitioner. Mayor Karen Williams opened the public hearing. Citizen Beverly Waters inquired as to the location, citizen Pat Bench expressed concerns regarding traffic, and citizen Preston Carpenter inquired about sidewalks. Mayor Karen Williams closed the public hearing and Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to approve the Zoning Map Amendment for Property on Clear Lake Way from C-2 to R-3.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Valim

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

### **B. Zoning Map Amendment for the Warnell Tract at Demott Drive from PUD to I-2 (*Public Hearing, Action*)**

City Manager Matthew Saxon presented the amendment for consideration. Attorney Robert McCorkle was present on behalf of the petitioner to answer questions. Mayor Karen Williams opened and closed the public hearing without comment. Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to approve the Zoning Map Amendment for the Warnell Tract at Demott Drive from PUD to I-2 subject to the following conditions: that permitted uses be limited to Items 42 (Wholesale Trade, Scrap Yards), 493 (Warehousing and Storage, Container Storage Yard), 484 (Truck Transportation) and all uses allowed by right in I-1.

Motion to Approve with Stipulations; PASSED (5-1-0)

MOVER: Higgins

SECONDER: Valim

AYES: Bashlor, Higgins, Hutcherson, Valim, Wilcher

NAYS: Carpenter

### **C. Conditional Use Request for a Place of Worship at 1324 South Rogers Street (*Public Hearing, Action*)**

City Manager Matthew Saxon presented the request for consideration. The petitioner was not present. Mayor Karen Williams opened the public hearing.

Citizens Ron Tyran, Jim Gerard (representing Donny Tuten and Lisa Robinson), Sarah Howard, Nora White, Tricia Brown, Patsy Baker, and Rambhai Patel spoke against the request. Mayor Karen Williams closed the public hearing, and Councilmember Michael Carpenter, upon review of the criteria, moved to deny the Conditional Use Request for a Place of Worship at 1324 South Rogers Street.

Motion to Deny; PASSED (6-0-0)

MOVER: Carpenter

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

**D. Conditional Use Request for a Warehouse Expansion at 125 Coleman Boulevard (*Public Hearing, Action*)**

City Manager Matthew Saxon presented the request for consideration. Lauren Davenport was present on behalf of the petitioner. Mayor Karen Williams opened the public hearing. Citizen Tricia Brown expressed her concerns. Mayor Karen Williams closed the public hearing, and Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to approve the Conditional Use Request for a Warehouse Expansion at 125 Coleman Boulevard.

Motion to Approve; PASSED (5-1-0)

MOVER: Higgins

SECONDER: Bashlor

AYES: Bashlor, Carpenter, Higgins, Valim, Wilcher

NAYS: Hutcherson

**E. Conditional Use Request for an Auto Body Repair at 800 Clear Lake Way (*Public Hearing, Action*)**

City Manager Matthew Saxon presented the request for consideration. Bret Flory was present on behalf of the petitioner. Mayor Karen Williams opened the public hearing. Citizens Michael Maher and Hal Lynch spoke against the item. Citizen Christian Carpenter inquired as to the number of jobs created. Mayor Karen Williams closed the public hearing, and Councilmember Michael Carpenter, upon review of the criteria, moved to deny the Conditional Use Request for an Auto Body Repair at 800 Clear Lake Way.

Motion to Deny; PASSED (6-0-0)

MOVER: Carpenter

SECONDER: Higgins

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

**F. Site Plan for 212 East Highway 80**

City Manager Matthew Saxon presented the site plan for consideration. Dr. Toni Sylvester, petitioner, was present. Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to approve the Site Plan for 212 East Highway 80.

Motion to Approve; PASSED (6-0-0)  
MOVER: Higgins  
SECONDER: Carpenter  
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher  
NAYS:

### **G. Site Plan for Wawa at 1480 Pooler Parkway**

City Manager Matthew Saxon presented the site plan for consideration. David Smith, Sergio Martinez, and Brent Davis were present on behalf of the petitioner; C.J. Chance was present on behalf of the Master Developer. Citizens Michael Maher, Tricia Brown, Stacey Knofczynski, Barbara Sherrand, Hal Lynch, Christian Carpenter, and Greg Knofczynski spoke against the item. Shirlinia Daniel, Planning & Zoning Commissioner, spoke in favor of the item. Mayor Pro Tem Aaron Higgins moved to postpone action on the Site Plan for Wawa at 1480 Pooler Parkway for six (6) months.

Motion to Postpone; PASSED (4-1-1)  
MOVER: Higgins  
SECONDER: Hutcherson  
AYES: Carpenter, Higgins, Hutcherson, Wilcher  
NAYS: Bashlor  
ABSTENTIONS: Valim

Councilmember Wesley Bashlor then moved to reconsider the prior motion to postpone action on the Site Plan for Wawa at 1480 Pooler Parkway for six (6) months.

Motion to Reconsider; PASSED (4-3-0)  
MOVER: Bashlor  
SECONDER: Valim  
AYES: Bashlor, Valim, Wilcher, Williams  
NAYS: Carpenter, Higgins, Hutcherson

Councilmember Wesley Bashlor, upon review of the criteria, moved to approve the Site Plan for Wawa at 1480 Pooler Parkway.

Motion to Approve; PASSED (4-3-0)  
MOVER: Bashlor  
SECONDER: Valim  
AYES: Bashlor, Valim, Wilcher, Williams  
NAYS: Carpenter, Higgins, Hutcherson

### **H. Site Plan for 780 Pooler Parkway**

City Manager Matthew Saxon presented the site plan for consideration. Alec Metzger was present on behalf of the petitioner. Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to deny the Site Plan for 780 Pooler Parkway based upon concerns regarding loading access, trash, and lighting in the floodway.

Motion to Deny; PASSED (5-1-0)  
MOVER: Higgins  
SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim  
NAYS: Wilcher

**I. Site Plan for TTRES at 2300 Pooler Parkway**

City Manager Matthew Saxon presented the site plan for consideration. Austin Mann and Rusty Windsor were present on behalf of the petitioner. Citizen John Hayden spoke against the item. Councilmember Shannon Valim, upon review of the criteria, moved to approve the Site Plan for TTRES at 2300 Pooler Parkway.

Motion to Approve; PASSED (4-3-0)  
MOVER: Valim  
SECONDER: Bashlor  
AYES: Bashlor, Valim, Wilcher, Williams  
NAYS: Carpenter, Higgins, Hutcherson

**J. Westside Commerce Center/Native Development Group Request for Consideration**

City Manager Matthew Saxon presented the request for consideration. C.J. Chance was present on behalf of the petitioner to answer questions. Mayor Pro Tem Aaron Higgins moved to postpone action on the item until such time that the City Attorney is able to confer with the petitioner/parties involved to generate a resolution.

Motion to Postpone; PASSED (6-0-0)  
MOVER: Higgins  
SECONDER: Hutcherson  
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher  
NAYS:

**K. Disciplinary Hearing for Owner of Asian River/Miyah Buffet**

Mayor Karen Williams reported that the item had been withdrawn. No action was taken.

**IX. PUBLIC COMMENT**

There were no comments from the public.

**X. EXECUTIVE SESSION**

With no further public business to conduct, Mayor Pro Tem Aaron Higgins moved to enter Executive Session. Mayor and Council entered at 7:45 p.m.

Motion to Enter; PASSED (6-0-0)  
MOVER: Higgins  
SECONDER: Bashlor  
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher  
NAYS:

Mayor Karen Williams called the meeting back to order at 8:20 p.m.

**XI. ADJOURNMENT**

Mayor Pro Tem Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

The meeting adjourned at 8:20 p.m.

The foregoing minutes are true and correct and are approved on this

\_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

CITY OF POOLER, GEORGIA

\_\_\_\_\_  
Karen L. Williams, Mayor

ATTEST:

\_\_\_\_\_  
Kiley Fusco, Clerk of Council



CITY of POOLER  
— GEORGIA —

STATE OF GEORGIA     }  
                                  }  
COUNTY OF CHATHAM   }

**AFFIDAVIT**

O.C.G.A. § 50-14-4(b) – Procedure When Meeting Closed/Executive Session

Before an officer duly authorized to administer oaths appeared KAREN L. WILLIAMS, who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 20TH day of FEBRUARY, 2024. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
  - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was  
  
\_\_\_\_\_.
  - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
  - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

- D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).
- E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).
- F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).
- G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).
- H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was

Update on current litigation by representing attorney, update on city manager position

- I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).
- J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting this

20TH day of FEBRUARY, 2024.

CITY OF POOLER, GEORGIA

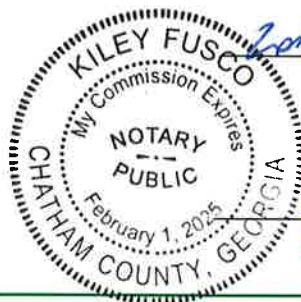
Karen L. Williams

Karen L. Williams, Mayor

Sworn to and subscribed before me this

20TH day of FEB., 2024.

NOTARY PUBLIC



[Signature]





# NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

Finance Department 100 US Hwy 80 SW, Pooler, GA 31322 P: 912-748-7261

This application must be filled out for processing. Please answer all questions in black or blue ink. Do not enter "Same", "N/A", "See below" or use white-out on this application.

Type of Business (please select appropriate one):

- Restaurant
- Bar/Lounge
- Hotel/Motel
- Caterer
- Event Venue
- Convenience/Gas/Drug Store
- Manufacturer/Distillery/Brewery
- Super Market/Grocery
- Wholesale/Distributor
- Package/Liquor Store
- Specialty Shop

BUSINESS INFORMATION			
LEGAL STRUCTURE OF ENTITY: <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> LLC <input type="checkbox"/> Partnership			
LEGAL BUSINESS NAME: <i>Modish Nails &amp; Spa</i>		DOING BUSINESS AS (DBA) NAME (if applicable)	
FEDERAL EMPLOYMENT ID NUMBER (FEIN):		GEORGIA SALES TAX ID NUMBER (STIN):	
BUSINESS ADDRESS (Physical Location):			
<i>111 South Godley Station Blvd</i>		CITY: <i>Pooler</i>	STATE: <i>GA</i>
		ZIP CODE: <i>31322</i>	
APPLICANT INFORMATION			
APPLICANT FULL LEGAL NAME (Last, First, Middle): <i>Minh Nguyen</i>			ISSUING STATE/DRIVER LICENSE NUMBER:
SOCIAL SECURITY NUMBER:		DATE OF BIRTH (mm/dd/yyyy):	PLACE OF BIRTH (City, State, Country):
RACE: <i>A</i>	SEX:	HEIGHT:	WEIGHT:
PHYSICAL HOME ADDRESS: <i>503 Forest Lakes Dr</i>		CITY: <i>Pooler</i>	STATE: <i>GA</i>
MAILING ADDRESS: (if different)		CITY:	STATE:    ZIP CODE: <i>31322</i>
HOME PHONE NUMBER:	MOBILE NUMBER: <i>912 508 7271</i>	EMAIL ADDRESS: <i>Monn81@ICloud.com</i>	
OWNER INFORMATION (if other than applicant)			
OWNER FULL LEGAL NAME (Last, First, Middle):			ISSUING STATE/DRIVER LICENSE NUMBER:
SOCIAL SECURITY NUMBER:		DATE OF BIRTH (mm/dd/yyyy):	PLACE OF BIRTH (City, State, Country):
PHYSICAL HOME ADDRESS:			
		CITY:	STATE:    ZIP CODE:
MAILING ADDRESS: (if different)			
		CITY:	STATE:    ZIP CODE:
HOME PHONE NUMBER:	MOBILE NUMBER:	EMAIL ADDRESS:	
ADDITIONAL OWNERS' INFORMATION <i>Please list all owners, if more than one, who have an ownership interest of 10% or more in the business. Use additional paper if needed.</i>			
BUSINESS OWNER NAME:		BUSINESS OWNER'S ADDRESS:	BUSINESS OWNER'S TELEPHONE NUMBER:
<i>Yenouah Pham</i>		<i>503 Forest Lakes Dr Pooler</i>	<i>912 508 7127</i>





# NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CLASSIFICATIONS					
RETAIL <small>(new applications received after July 1<sup>st</sup> rates are prorated to 50% off)</small>					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	
B	Consumption On-Premises	<input checked="" type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days and 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input checked="" type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input type="checkbox"/> \$750		
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES		GRAND TOTAL <small>(add all above selections and application fees)</small>		
A1 - H & L	<input checked="" type="checkbox"/> \$290		Paid \$270		
I, J & K	<input checked="" type="checkbox"/> \$20				

<b>FOR OFFICE USE ONLY:</b>				
Rcvd: 2/13/24	By: CPB	Amt Paid: \$20	Lic# 6803	Issued:



# Alcoholic Beverage License Application (New)

Page 6 of 6

Updated **SEPT 2023**

## PLANNING & DEVELOPMENT USE ONLY

The Planning & Development Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:

PIN: 50012A 01035 Zoning: PUD

Approved  Denied Reviewed by: BC Date: 2/20/24

Comments: The Godley Station PUD references C-2 and therefore would be applicable to the license type

## POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approved  Denied Reviewed by: Osley Brown Date: 2/20/2024

Comments: \_\_\_\_\_

## MAYOR & COUNCIL USE ONLY

Approved  Denied Mayor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_



# AFFIDAVIT TO DISPENSE ALCOHOLIC BEVERAGES ON SUNDAY

The City of Pooler permits eating establishments (restaurants) holding a license to dispense alcoholic beverages for consumption on the premises under certain conditions.

To be authorized to dispense alcoholic beverages for consumption on Sunday, your establishment must:

- (1.) Be licensed by the City of Pooler to sell alcoholic beverages by drink for consumption on the premises; and
- (2.) Be a licensed establishment that derives at least 50 percent of its annual gross income from the rental of rooms for overnight lodging or
- (3.) Be an eating establishment whose primary business is the sale of prepared meals, Derive at least 50 percent of its total annual gross food and beverage sales from the sale of prepared meals or food.
- (4.) Have its primary floor area specifically designed, set aside, set up, and operating to serve meals and food on the premises and shall have a fully equipped commercial kitchen to include an appropriate stove, refrigerator, food preparation area, sink, and other items required by the county health department and city inspections department for the preparation of food; and
- (5.) Have a printed or posted menu from which selections of prepared meals can be made; and
- (6.) Provide full food service to the public during its entire operating hours, including Sunday; and
- (7.) Complete the below affidavit and submit it along with the required Sunday Sales permit fee of \$1000.00.

Modish Nails & Spa  
Name of Business

111 South Galley Station Blvd Pooler 912-376-7240  
Location Telephone Number

I certify that the establishment named above: (1) is a bona fide public eating establishment that will actually and regularly prepare and serve food on the premises; (2) fully intends to derive at least 50% of its total annual gross food and beverage sales from the sale of prepared meals or food; and (3) will provide full food service along with a printed or posted menu to the public during operating hours. Further, I understand that I must submit a certified affidavit from my certified public accountant (CPA) or registered public accountant (RPA) upon my request for renewal each year if Sunday Sales of alcoholic beverages are to be continued.

Executed this Feb day of 13, 2024.

[Signature]  
Signature  
Minh Nguyen  
Printed Name



SUBSCRIBED AND SWORN BEFORE ME ON THIS 13th DAY OF Feb., 2024.

[Signature]  
Notary Public/Seal

My Commission Expires: Jan. 22, 2028



**PRIVATE EMPLOYER  
AFFIDAVIT  
PURSUANT TO  
O.C.G.A. § 36-60-6(d)**

By executing this affidavit under oath, the undersigned private employer verifies one of the following with respect to its application for an Occupational Tax Certificate required to operate a business as referenced in O.C.G.A. § 36-60-6(d):

Modish Nails & Spa  
Name of Private Employer

**Please check only one:**

On January 1<sup>st</sup> of the below-signed year, the individual, firm or corporation employed more than ten (10) employees.

The employer has registered with and utilizes the federal work authorization program (E-Verify) in accordance with the applicable provisions and deadlines established in O.C.G.A. § 36-60-6. The undersigned private employer also attests that its federal work authorization (E-Verify) user identification number and date of authorization are as follows:

\_\_\_\_\_ Federal Work Authorization (E-Verify) User Identification Number      Date of Authorization

On January 1<sup>st</sup> of the below-signed year, the individual, firm or corporation employed less than ten (10) employees.

I hereby declare under penalty of perjury that the foregoing is true and correct. Executed this \_\_\_\_\_ day of

Feb 13, 2024.

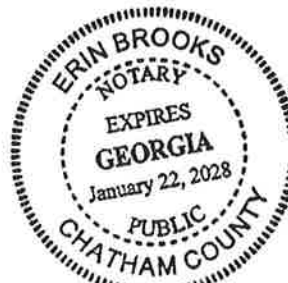
[Signature]  
Signature of Authorized Officer or Agent

Modish Nguyen  
Printed Name of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME ON  
THIS 13<sup>th</sup> DAY OF Feb, 2024.

[Signature]  
NOTARY PUBLIC/SEAL

My Commission Expires: Jan 22, 2028







# AFFIDAVIT VERIFYING STATUS FOR CITY PUBLIC BENEFIT APPLICATION

By executing this affidavit under oath, as an applicant for an Occupational Tax Certificate (type of public benefit), as referenced in O.C.G.A. § 50-36-1, from the City of Pooler, Georgia, the undersigned applicant verifies one of the following with respect to my application for public benefit.

1.) X I am a United States citizen.

OR

2.) \_\_\_\_\_ I am a legal permanent resident.

OR

3.) \_\_\_\_\_ I am qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency.

If you chose #2 or #3, my alien number issued by the Department of Homeland Security or other federal immigration agency is:

Minh Nguyen

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit.

The secure and verifiable document provided with this affidavit can be best classified as:

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Minh Nguyen 2/13/24  
Signature of Applicant Date

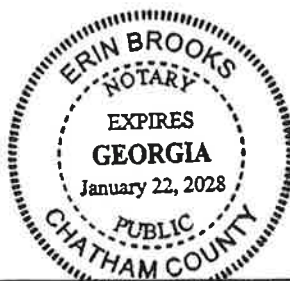
Minh Nguyen  
Printed Name of Applicant

Modish Nails & Spa  
Name of Business

SUBSCRIBED AND SWORN BEFORE ME ON THIS 13<sup>th</sup> DAY OF Feb, 2024.

[Signature]  
Notary Public/Seal

My Commission Expires: Jan 29, 2028





# NEW ALCOHOLIC BEVERAGE LICENSE APPLICATION

CRIMINAL HISTORY		
<b>WARNING - Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license.</b>		
Has the applicant or any person connected with or having an interest in said business:		
a. Ever been convicted of any criminal violation or city ordinance violation? <i>(Other than a traffic violation)</i>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
b. Ever served time in prison or other correctional institution?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
c. Ever had an alcoholic beverage license suspended or revoked at any time in any locality? <i>If yes, list details on separate sheet of paper.</i>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
d. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? <i>(If yes see question f, if no skip question f)</i>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
e. If yes to question d, were there any violations of any law, regulation or ordinance relating to such business?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
NOTE: If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, describe circumstances in detail for each person. Please provide and attach a written explanation.		

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

Executed this Feb day of 13, 2024.

[Signature]  
Applicant's Signature

Mish Nguyen  
Applicant's Printed Name

SUBSCRIBED AND SWORN BEFORE ME ON THIS 13th DAY OF Feb, 2024.

[Signature]  
Notary Public/Seal

My Commission Expires: Jan 22, 2028



**NOTICE:** The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership or other legal entity, the applicant must be a substantial and major stockholder, or the applicant may be the General Manager charged with the regular operation of said business on the premises for which the license is issued. Applicant for an alcoholic beverage license, as well as every owner having 10% or more ownership, must submit to fingerprinting by using the GAPS system prior to submitting the application. Instructions for fingerprinting are attached.



# Alcoholic Beverage License Application (New)

Page 1 of 6

Updated SEPT 2023

## NOTICE TO APPLICANT

The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership, or other legal entity, the applicant must be a substantial and major stockholder or the General Manager charged with the regular operation of said business on the premises for which the license is issued. License applicants, as well as every owner having 10% or more ownership, must submit to fingerprinting prior to submitting the application. Instructions are attached.

- Complete the Application.** The application must be completed in its entirety including the Private Employer Affidavit, Affidavit Verifying Status, and, if applicable, the Sunday Sales Affidavit, including notarization. Notary services are available in our office if needed; an appointment is required. Do not enter "same", "N/A", "see below" or use white-out on this application.
- Complete the Background Check.** Applicants must register for criminal background fingerprints using the Georgia Applicant Processing Service (GAPS) through the Fieldprint website. Once registered, contact the Business Registration Office at [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov) to request approval of your registration. Provide your Registration ID# \_\_\_\_\_ and date of fingerprinting: \_\_\_\_\_.
- Provide Identification.** Attach a copy of at least one (1) secure and verifiable document (driver's license, passport, or I-551 permanent resident card). See the link for a complete list of acceptable forms of identification: <https://law.ga.gov/immigration-reports>.
- State of Georgia Registration.** Every new application (except wholesalers and manufacturers) must also apply through the Georgia Department of Revenue website. Please visit <https://dor.georgia.gov/alcohol-tobacco/alcohol-licenses-permits/apply-alcohol-permit> to apply for your state license. **No sales are allowed until the business has obtained both a state and local license.**
- Submit the Application.** You have the option of emailing your application to [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov) or calling (912) 748-7261 to schedule an appointment to submit your application in person.
- Make Payment.** Application payment can be made in person, via mail, or over the phone with a debit/credit card. Please refer to the fee schedule page to determine the amount due. If applying after July 1 of any calendar year, note that the retail fees only are prorated for the remainder of the year.
- Await Review.** Once the application is submitted and fee is paid, your application will be reviewed by the Planning & Development Department and your criminal history report will be forwarded to the Chief of Police. Both departments will review the application and provide recommendations for approval or denial. Applicants will receive an email with their recommendations.
- Await Approval.** The application will be placed on the upcoming council agenda. You will be notified of the meeting via email so a representative can be present. Final approval is given by Mayor and Council only. Upon approval, all licenses will be emailed to the applicant's email provided in the application, a copy uploaded to the state's website, and a mailed copy will also be sent out to the mailing address on file. Please allow at least 3-5 business days for processing.

### OFFICE USE ONLY

Date Received: 1/29/24 Received by: CB Fee Paid: \$ 3440  
License: 6756 Date Issued: \_\_\_\_\_



# Alcoholic Beverage License Application (New)

Page 2 of 6

Updated SEPT 2023

## Business Information

Business Type (select one):

- Restaurant  
  Bar/Lounge  
  Hotel/Motel  
  Caterer  
  Event Venue  
  Specialty Shop  
 Convenience/Gas/Drug Store  
 Manufacturer/Distillery/Brewery  
 Supermarket/Grocery  
 Wholesale/Distributor  
 Package/Liquor Store  
 Temp/Special Event (Dispensing Alcohol) Permit

Legal Structure of Entity:  Sole Proprietor    Corporation    LLC    Partnership

Sapporo Japanese Restaurant LLC

Miya Buffet

Legal Business Name

DBA (if applicable)

FEIN

GA Tax ID Number (STIN)

## Applicant Information

Anlin Ruan

Applicant Full Legal Name

Driver's License & State

Date of Birth & Place of Birth (City, State, Country)

SSN

120 Towne Center Dr. Pooler GA 31322

anlinruan@yahoo.com

Business Mailing Address (if different)

Business Email

Race

Sex

Height

Weight

Hair Color

Eye Color

11 shore rd. Savannah GA 31419

Physical Home Address

NAICS

11 shore rd Savannah GA 31419

Mailing Address (if different)

anlinruan@yahoo.com

Email

912508-1222

Home Phone

912508-1222

Mobile Phone

## Owner Information (if other than applicant)

Anlin Ruan

Owner Full Legal Name

Driver's License & State





# Alcoholic Beverage License Application (New)

Page 3 of 6

Updated SEPT 2023

---

Date of Birth & Place of Birth (City, State, Country) SSN

---

Physical Home Address NAICS

---

Mailing Address (if different)

---

Email Home Phone Mobile Phone

## Additional Owner Information

List all owners, if greater than one, who have an ownership interest of 10% or more in the business. Use additional paper if needed.

---

Owner Name Address Phone

---

Owner Name Address Phone

---

Owner Name Address Phone

---

Owner Name Address Phone

## Criminal History

**Warning:** Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license. If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, attach a written explanation describing the circumstances in detail for each person.

Has the applicant or any person with or having an interest in said business:

1. Ever been convicted of any criminal violation or city ordinance violation other than a traffic violation?  
 No  Yes
2. Ever served time in prison or other correctional institution?  
 No  Yes
3. Ever had an alcoholic beverage license suspended or revoked at any time in any locality?  
 No  Yes



# Alcoholic Beverage License Application (New)

Page 4 of 6

Updated SEPT 2023

4. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? (If yes, complete question 5. If no, skip question 5.)

No  Yes

5. If yes to question 4, were there any violations of any law, regulation or ordinance relating to such business?

No  Yes

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

Artis Ruan  
Applicant Name

[Signature]  
Applicant Signature

1-29-24  
Date

## Notary Public

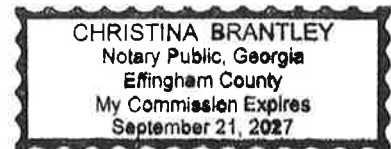
January 29, 2024  
Subscribed and Sworn This Day Of

Christina Brantley  
Notary Name

[Signature]  
Notary Signature

9/21/27  
Commission Expiration

Seal





# Alcoholic Beverage License Application (New)

Page 5 of 6

Updated SEPT 2023

## Classifications

RETAIL (new applications received after July 1 <sup>st</sup> rates are prorated to 50% off)					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	
B	Consumption On-Premises	<input checked="" type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input checked="" type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days an 6 days per annum)	<input type="checkbox"/> \$100/day	<b>OUT-OF-CITY CATERERS</b> <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input type="checkbox"/> \$750		
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input checked="" type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES	GRAND TOTAL (add all above selections and application fees)			
A1 - H & L	<input checked="" type="checkbox"/> \$290	<b>\$3440</b>			
I, J & K	<input type="checkbox"/> \$20				



# Alcoholic Beverage License Application (New)

Page 6 of 6

Updated **SEPT 2023**

## PLANNING & DEVELOPMENT USE ONLY

The Planning & Development Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:

PIN: 560174 020 26 Zoning: PUD

Approved  Denied Reviewed by: BC Date: 2/24/24

Comments: \_\_\_\_\_

## POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approved  Denied Reviewed by: Colley Buehn Date: 2/26/2024

Comments: \_\_\_\_\_

## MAYOR & COUNCIL USE ONLY

Approved  Denied Mayor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_



# Private Employer Affidavit Pursuant to O.C.G.A. § 36-60-G(d) (E-Verify)

Updated SEPT 2023

## Affidavit

By executing this affidavit under oath, the undersigned private employer verifies one of the following with respect to its application for an Alcohol License required to operate a business as referenced in O.C.G.A. § 36-60-6(d).

Name of Private Employer \_\_\_\_\_

Check One:  On January 1<sup>st</sup> of the below-signed year, the individual, firm, or corporation employed **greater than ten** (10) employees.

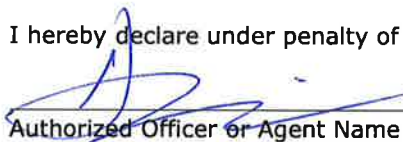
The employer has registered with an utilizes the federal work authorization program (E-Verify) in accordance with the applicable provisions and deadlines established in O.C.G.A. § 36-60-6. The undersigned private employer also attests that its federal work authorization (E-Verify) user identification number and date of authorization are as follows

\_\_\_\_\_ Federal Work Authorization User Identification Number

\_\_\_\_\_ Authorization Date

On January 1<sup>st</sup> of the below-signed year, the individual, firm, or corporation employed **fewer than ten** (10) employees.

I hereby declare under penalty of perjury that the foregoing is true and correct.

  
Authorized Officer or Agent Name

  
Applicant Signature

1-29-24  
Date of Execution

## Notary Public

January 29, 2024  
Subscribed and Sworn This Day Of

Christina Brantley  
Notary Name

  
Notary Signature

9/21/27  
Commission Expiration

Seal







# Affidavit Verifying Status for City Public Benefit Application (SAVE)

Updated SEPT 2023

## Affidavit

By executing this affidavit under oath, as an applicant for an Alcohol License (type of public benefit), as referenced in O.C.G.A. § 50-36-1, from the City of Pooler, Georgia, the undersigned applicant verifies one of the following with respect to my application for public benefit.

Check One:  I am a United States citizen.

I am a legal permanent resident.

\_\_\_\_\_  
Alien Number Issued by the Department of Homeland Security or Other Federal Agency

I am qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency.

\_\_\_\_\_  
Alien Number Issued by the Department of Homeland Security or Other Federal Agency

The undersigned applicant also hereby verifies that they are 18 years of age or older and have provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. The secure and verifiable document provided with this affidavit can be best classified as:

\_\_\_\_\_  
Type of Document

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

Ankin Purn  
Authorized Officer or Agent Name

[Signature]  
Applicant Signature

1-29-24  
Date of Execution

\_\_\_\_\_  
Name of Business

## Notary Public



January 29, 2024  
Subscribed and Sworn This Day Of

Christina Brantley  
Notary Name

[Signature]  
Notary Signature

9/21/27  
Commission Expiration

Seal



# Sunday Sales Affidavit (New)

Page 1 of 1

Updated SEPT 2023

## NOTICE TO APPLICANT

The City of Pooler permits eating establishment (restaurants) and hotels holding a license to dispense alcoholic beverages for consumption on the premises under certain conditions. To be authorized to dispense alcoholic beverages for consumption on Sunday, an establishment must:

- A. Be licensed by the City to sell alcoholic beverages by the drink for consumption on the premises;
- B. Be a licensed establishment that derives at least 50 percent of its annual gross income from the rental of rooms for overnight lodging; or
- C. Be an eating establishment whose primary business is the sale of prepared meals, Derive at least 50 percent of its total annual gross food and beverage sales from the sale of prepared meals or food;
- D. Have its primary floor area specifically designed, set aside, set up and operating to serve meals and food on the premises and shall have a fully equipped commercial kitchen to include inappropriate stove, refrigerator, food preparation area, sink and other items required by the county health department and city inspections department for the preparation of food;
- E. Have a printed or posted menu from which selections of prepared meals can be made;
- F. Provide full food service to the public during its entire operating hours, including Sunday; and
- G. Include the following certified affidavit from your certified public accountant (CPA) or Registered public accountant (RPA) and submit it along with the required Sunday sales renewal payment.

## ACCOUNTANT'S CERTIFICATION OF REVENUES

I hereby certify that I have reviewed and attest to the accuracy of the financial records supplied to me from the food serving establishment described above; and further attest that the establishment derived at least 50 percent of its gross revenues for the last 12 months of business under present or previous ownership, from the sale of prepared meals.

Public Accounting: \_\_\_\_\_ Firm Date: \_\_\_\_\_

Accountant Printed Name: \_\_\_\_\_ Certifying Signature: \_\_\_\_\_

License Number: \_\_\_\_\_ Notary Public: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 202\_

## Business Information

Sapporo Japanese Restaurant LLC  
Business Name

120 Town Center Dr. Pooler 31322 912 348-3988  
Business Location Business Phone



# Special Event Permit Application (No Alcohol)

Page 1 of 3

Updated SEPT 2023

#6820

## NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov) and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. **If food vendors are not indicated on the application, they will not be allowed at the event.** (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- If approved, the permit will be emailed and mailed to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov).

## OFFICE USE ONLY

Date Received: 2/21/24 Received by: CB Fee Paid: \$ 300 <sup>paid</sup>

Approved  Denied Special Stipulations: \_\_\_\_\_

Meeting Date: \_\_\_\_\_ Mayor's Signature: \_\_\_\_\_

## Applicant Information

Coastal Boating Center  
Applicant Name

boatingr@gmail.com  
Applicant Email





# Special Event Permit Application (No Alcohol)

Page 2 of 3

Updated SEPT 2023

5020 Ogeechee Road

Applicant Home Address

912) 844-0060

Applicant Phone

Richard Starling

Contact/Agent Name

912) 844-0060

Contact/Agent Phone

Non-Profit Name (if applicable)

IRS Status (if applicable)

Fee Waiver Requested?  Yes  No

## Event Information

Coastal Boating Center Boat Show Tanger Outlet - Pooler

Name of Event

Event Location

Entry Fee (if applicable)

March 22, 2024

Event Date

12:00 pm - 6:00 pm

Event Start Time

March 24, 2024 5:00 pm

Event End Time

Boat Show

Description of Event

300 per day

Estimated Participants

Will food be sold or given away?  No  Yes Food truck

Will alcohol be served?  No  Yes (If yes, STOP, you have the wrong form.)

## Affidavit

I solemnly affirm and declare that the information provided in this application is true, complete, and accurate to the best of my knowledge and belief. I understand that any false statements or omissions may result in the denial of this application or the revocation of any permit issued based on this application.

I further acknowledge my responsibility to comply with all applicable local, state, and federal laws, regulations, and ordinances related to the event for which this permit is sought. I agree to assume all liability for any damages, injuries, or losses arising from or related to the event, and I will obtain any necessary insurance coverage as required by the local government. I also agree to promptly notify the local government of any material changes to the information provided in this application.

Richard Starling

Applicant Name

Richard Starling

Applicant Signature

2/21/24

Date



# Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

### POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/26/2024 Reviewed by: Coleley Brewer

Comments/Concerns: IF food trucks are on site then off-duty officers will be required. Also, if overnight security is going to be requested, it needs to be well in advance. CB

### FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/22/24 Reviewed by: G. WADE SIMMONS

Comments/Concerns: NO ADDITIONAL NEEDED. PARTICIPANTS NEEDS TO BE CORRECTED TO ANTICIPATED # OF VISITORS. THEY NEED TO ACKNOWLEDGE, NO FOOD TRUCKS. IF FOOD TRUCKS ARE INCLUDED, WE WILL REQUIRE OFF-DUTY PERSONNEL.

### PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Coastal Boating Center Boat Show



March 22-24, 2024

Tanger Outlets  
Pooler, GA



featuring  
Great  
DEALS ON



# Coastal Boating Center



featuring  
Great

DEALS ON



ROBALO

KW

KEY WEST

LEARN MORE >>

March 22-24, 2024

Tanger Outlets

Pooler, GA

BEST-

Product and Pricing in the

Low Country

[www.coastalboatingcenterinc.com](http://www.coastalboatingcenterinc.com)





# Special Event Permit Application (No Alcohol)

Page 1 of 3

#6812

Updated SEPT 2023

## NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov) and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. **If food vendors are not indicated on the application, they will not be allowed at the event.** (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- If approved, the permit will be emailed and mailed to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov).

## OFFICE USE ONLY

Date Received: 2/15/24 Received by: CB Fee Paid: \$ WAIVER REQUESTED

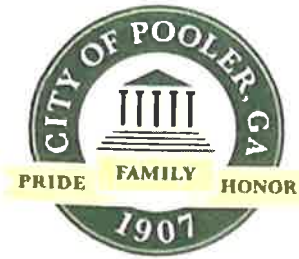
Approved  Denied Special Stipulations: \_\_\_\_\_

Meeting Date: 3/4/24 Mayor's Signature: \_\_\_\_\_

## Applicant Information

LORNE STREETS & MIKE GREEN  
Applicant Name

streetsandsonsauto@gmail.com  
Applicant Email  
mgreen@pooler-ga.gov



# Special Event Permit Application (No Alcohol)

Page 2 of 3

Updated SEPT 2023

285 Park Ave #3105 Pooler, GA 31322 912-412-6299  
 Applicant Home Address Applicant Phone

LORNE STREETS / M. GREEN 843-368-0905  
 Contact/Agent Name Contact/Agent Phone

FIREFIGHTER WELLNESS FUND 501(c)(3) Fee Waiver Requested?  Yes  No  
 Non-Profit Name (if applicable) IRS Status (if applicable)

### Event Information

Benefit for Jeremy Batjias - Community Car Show POOLER REC COMPLEX \$  
 Name of Event Event Location Entry Fee (if applicable)

Event Date Event Start Time Event End Time  
 March ~~29th~~ 30th, 2024 1:00 pm 4:00 pm

Description of Event Estimated Participants  
 100

Will food be sold or given away?  No  Yes

Will alcohol be served?  No  Yes (if yes, STOP, you have the wrong form.)

### Affidavit

I solemnly affirm and declare that the information provided in this application is true, complete, and accurate to the best of my knowledge and belief. I understand that any false statements or omissions may result in the denial of this application or the revocation of any permit issued based on this application.

I further acknowledge my responsibility to comply with all applicable local, state, and federal laws, regulations, and ordinances related to the event for which this permit is sought. I agree to assume all liability for any damages, injuries, or losses arising from or related to the event, and I will obtain any necessary insurance coverage as required by the local government. I also agree to promptly notify the local government of any material changes to the information provided in this application.

 Lorne R. Streets 2/15/24  
 Applicant Name Applicant Signature Date



# Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

## POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval    Denial   Date: 2/16/2024   Reviewed by: J WACO

Comments/Concerns: THE EVENT COORDINATOR NEEDS TO MEET  
THE LAW ENFORCEMENT PERSONNEL REQUIREMENTS OF THE  
SAFETY PLAN PUT IN PLACE BY CAPTAIN CRAIG BOGDEN.

## FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval    Denial   Date: \_\_\_\_\_   Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval    Denial   Date: \_\_\_\_\_   Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Special Event Permit Application (No Alcohol)

Page 3 of 3

CAR SHOW 3/9/24

Updated SEPT 2023

### POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

### FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/15/24 Reviewed by: G.W. Simmons

Comments/Concerns: NO REQUIREMENTS - G.W.

\_\_\_\_\_

\_\_\_\_\_

### PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





# Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

### POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

### FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

### PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/21/24 Reviewed by: [Signature]

Comments/Concerns: \_\_\_\_\_

N/A  
\_\_\_\_\_  
\_\_\_\_\_



HELP POOLER FIRE  
**LIEUTENANT**  
JEREMY BATAYIAS  
FIGHT CANCER!



**SATURDAY, MARCH 30TH**  
**1:00-4:00PM**

ALL DONATIONS WILL BE MADE  
TO HELP JEREMY WITH HIS  
BATTLE WITH CANCER.

200 PRESTON STOKES DRIVE POOLER, GA 31322



Department of the Treasury  
Internal Revenue Service  
Tax Exempt and Government Entities  
P.O. Box 2508  
Cincinnati, OH 45201

FIREFIGHTER WELLNESS FUND INC  
C/O MICHAEL MAYNE  
11 STERLING WOODS DRIVE  
RICHMOND HILL, GA 31324

Date: 12/21/2023  
Employer ID number: 93-4581497  
Person to contact: Name: Customer Service  
ID number: 31954  
Telephone: 877-829-5500  
Accounting period ending: December 31  
Public charity status: 170(b)(1)(A)(vi)  
Form 990 / 990-EZ / 990-N required: Yes  
Effective date of exemption: November 13, 2023  
Contribution deductibility: Yes  
Addendum applies: No  
DLN: 26053747001143

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.

If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to [www.irs.gov/charities](http://www.irs.gov/charities). Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Sincerely,

*Stephen A. Martin*

Stephen A. Martin  
Director, Exempt Organizations  
Rulings and Agreements

## Kiley Fusco

---

**From:** Michael Green  
**Sent:** Thursday, February 15, 2024 4:58 PM  
**To:** Kiley Fusco  
**Subject:** Re: Car Show | Benefit for Jeremy Batyias

Hey Kiley,

Here is our IRS paperwork. Let me know if you need anything else.

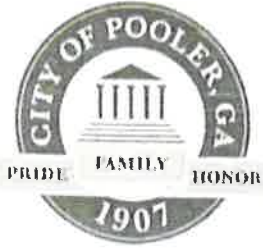
Thanks,

**Michael Green**  
**Captain**  
**Truck 61/C-Shift**  
**City of Pooler**  
**Department of Fire-Rescue Services**  
[1093 South Rogers Street](#)  
[POOLER, GEORGIA 31322](#)  
[\(912\)748-7012](#)

The information contained in this e-mail message and any attachments may be privileged and confidential. If the reader of this message is not the intended recipient or an agent responsible for delivering it to the intended recipient, you are hereby notified that any review, dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify the sender immediately by replying to this e-mail and delete the message and any attachments from your computer.







# Special Event Permit Application (No Alcohol)

Page 1 of 3

Updated SEPT 2023

#6825

## NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov) and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. **If food vendors are not indicated on the application, they will not be allowed at the event.** (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- If approved, the permit will be emailed and mailed to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact [finance@pooler-ga.gov](mailto:finance@pooler-ga.gov).

## OFFICE USE ONLY

Date Received: 2/23/24 Received by: CP Fee Paid: \$ Seeking waiver

Approved  Denied Special Stipulations: \_\_\_\_\_

Meeting Date: \_\_\_\_\_ Mayor's Signature: \_\_\_\_\_

## Applicant Information

William Toulson

[wrtoulson@ft.newyorklife.com](mailto:wrtoulson@ft.newyorklife.com)

Applicant Name

Applicant Email



# Special Event Permit Application (No Alcohol)

Page 2 of 3

Updated SEPT 2023

1 N Godley Station Blvd Unit A105 Pooler, Ga 31322	571-455-4588	
Applicant Home Address	Applicant Phone	
Whitney Gilliard	571-455-4588	
Contact/Agent Name	Contact/Agent Phone	
Gilliard and Company	Active	Fee Waiver Requested? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Non-Profit Name (if applicable)	IRS Status (if applicable)	

### Event Information

The Super Duper Easter Egg Hunt	305 W Collins St. Pooler Ga 31322	n/a
Name of Event	Event Location	Entry Fee (if applicable)
March 23, 2024	10:00 am	12:00 Pm
Event Date	Event Start Time	Event End Time
Easter Egg Hunt, Outdoor Activities.	<i>Food trucks available for attendees on site</i>	100
Description of Event		Estimated Participants

Will food be sold or given away?  No  Yes

Will alcohol be served?  No  Yes (If yes, STOP, you have the wrong form.)

### Affidavit

I solemnly affirm and declare that the information provided in this application is true, complete, and accurate to the best of my knowledge and belief. I understand that any false statements or omissions may result in the denial of this application or the revocation of any permit issued based on this application.

I further acknowledge my responsibility to comply with all applicable local, state, and federal laws, regulations, and ordinances related to the event for which this permit is sought. I agree to assume all liability for any damages, injuries, or losses arising from or related to the event, and I will obtain any necessary insurance coverage as required by the local government. I also agree to promptly notify the local government of any material changes to the information provided in this application.

Whitney Gilliard

02-23-2024

Applicant Name

Applicant Signature

Date





# Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

### POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/26/2024 Reviewed by: Cashley Brown

Comments/Concerns: No food trucks on Collins St No blocking of Collins St One off-duty officer required to assist with pedestrian traffic. JB

### FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_

See next page

### PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_



# Special Event Permit Application (No Alcohol)

Page 3 of 3

Updated SEPT 2023

### POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### FIRE-RESCUE SERVICES USE ONLY

Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: 2/26/24 Reviewed by: G. WADE SIMMONS

Comments/Concerns: see attached comments. -GWS  
\_\_\_\_\_  
\_\_\_\_\_

### PARKS & RECREATION USE ONLY

Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approval  Denial Date: \_\_\_\_\_ Reviewed by: \_\_\_\_\_

Comments/Concerns: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# City of Pooler Fire-Rescue Services

*A Department of the City of Pooler Municipal Government*

100 SW Hwy. 80, Pooler, Georgia 31322  
Office: (912) 748-7012 Fax: (912) 450-2292  
[www.pooler-ga.us/fire.php](http://www.pooler-ga.us/fire.php)

26 Feb 2024

To whom it may concern;

I have some concerns that need to be addressed with this event. The event itself will be excellent and I believe the organizer is significantly underestimating the amount of people that will show up. We are lacking in children-oriented events within the city and I believe this will have a large draw at a small location. I am providing a conditional approval depending on if my concerns are adequately addressed.

The event as well as the addition of food trucks, and outdoor activities is going to place a strain on the available space for the event as well as ALL surrounding properties due to a lack of suitable parking. Parking will be used all over the surrounding neighborhood as well as City Hall. This will create an access issue for residents as well as emergency vehicles and the additional pedestrian traffic will create a safety issue along Highway 80.

I am requiring one Firefighter/EMT off duty for coverage as well as ensuring a traffic plan is submitted addressing parking concerns and how we will keep access open to all surrounding neighbors for emergency access. Please contact Deputy Chief Scott Cribbs (912) 748-7012 or [scribbs@pooler-ga.gov](mailto:scribbs@pooler-ga.gov) to schedule off duty personnel.

Respectfully,

A handwritten signature in blue ink that reads "G. Wade Simmons".

G. Wade Simmons

Fire Chief

BROUGHT TO YOU BY:



# The Super-Duper Easter Egg Hunt

**Fun Outdoor Activities, Food  
Trucks, and More!**

MARCH 23RD, 2024  
10AM - 12PM

**Pooler Chamber of Commerce**  
305 W Collins St. Pooler GA 31322



**CITY of POOLER**  
— GEORGIA —

---

STATE OF GEORGIA        }  
                                      }  
COUNTY OF CHATHAM    }

**ORDINANCE O2024-02.B**

**AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES APPENDIX A – ZONING, ARTICLE II – DEFINITIONS AND ARTICLE III – GENERAL PROVISIONS BY ADDING SECTION 32 – MULTI-USE DEVELOPMENT AND AMENDING TABLE 4.1 – ALLOWED USES BY ZONING DISTRICT TO PROVIDE PROVISIONS RELATED TO MULTI-USE DEVELOPMENT; TO REPEAL ALL ORDINANCES IN CONFLICT HERewith; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES**

**NOW THEREFORE, BE IT ORDAINED** by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

**I**

That APPENDIX A – ZONING, Article II. DEFINITIONS be amended by adding the following language:

*Multi-use development.* A development site consisting of multiple detached buildings with differing land uses including both residential and non-residential components.

*Mixed-use development.* A development site consisting of one or more multi-story buildings that include both residential and non-residential principal uses. Mixed-use development typically has non-residential uses on the first floor with upper story residential uses.

**II**

That APPENDIX A – ZONING, Article III. GENERAL PROVISIONS be amended by adding the following:

Section 32. – Multi-use development.

(A) *Applicability.*

- (1) The provisions of this section shall apply to any new multi-use development as defined in this ordinance.
- (2) Any new multi-use development shall only be allowed as part of an approved site plan.
- (3) Any multi-use development existing prior to the adoption of this ordinance shall be allowed to continue to exist without express compliance with these requirements. Any redevelopment, alteration, expansion, or extension of at least 50 percent of an existing multi-use development shall be required to comply with these requirements.



(B) *Definitions.*

- (1) *Non-residential component.* The minimum required non-residential use portion related to a multi-use development.
- (2) *Open space set-aside.* Portion of the site that is not occupied by buildings, structures, impermeable areas, or driveways, which are intended for the use and enjoyment of the development's residents, employees, and users and is at least 500 sq feet in size and consisting of primarily pervious or semi-pervious surfaces. Open space set-aside is meant to serve as an amenity and includes features such as:
  - a. Natural features, such as groupings of trees and areas of preserved vegetation;
  - b. Recreation areas, such as gazebo and picnic areas, playgrounds or courts, parks, or other like features;
  - c. Any vegetation, tree plantings, or landscape areas not part of parking lots or other hardscapes (unless part of another identified open space set-aside); or,
  - d. Squares, forecourts, or plazas, which are framed and oriented by buildings or streets to provide gathering spaces that are not ancillary or allocated to a residential or non-residential use component, i.e., outdoor dining area or hang-out pad, unless accessible to all users of the site.
- (3) *Phasing plan.* A general development plan that identifies the sequence or phases in which the development is proposed to be accomplished, including the timing of construction of residential and non-residential components, along with all infrastructure, open space, amenities, or other proposed features associated with such.
- (4) *Residential component.* The minimum required residential use portion related to a multi-use development. The residential component shall include apartments, condominiums, or townhouses.

(C) *General Requirements.* Where permitted, any multi-use development shall comply with the following requirements:

- (1) A minimum size requirement of at least 5 acres and a maximum size requirement of no more than 50 acres.
- (2) At least 15 percent of the development shall be designated as open space set-aside as defined in this section. Open space set-aside shall be parceled out and labeled as open space on the plat.
- (3) A phasing plan shall be submitted as part of any application for the development. A Certificate of Occupancy for at least one non-residential building shall be required prior to or simultaneously with the issuance of any Certificate of Occupancy for a residential building.
- (4) A minimum of three distinct use categories shall be required for the development, with at least one comprising the residential component and two comprising the non-residential component. Staff shall review and determine if

the proposed uses within each component are satisfied during a pre-application meeting, prior to site plan submittal.

- (5) No use component shall exceed 75 percent of the uses by acreage within the development.
  - (6) No use category, except for residential, shall exceed 65 percent of the total acreage of the site.
  - (7) Each use category shall comprise at least 10 percent of the gross floor area of all uses.
  - (8) Any use proposed for inclusion within the development shall comply with all use permissions and use requirements related to such use for the zoning district.
  - (9) The development may receive a reduction in the minimum number of required parking spaces by submitting a parking demand study demonstrating that there is reasonable probability the number of parking spaces needed to serve the development is less than what would otherwise be required because of the location, nature, and mixture of uses. An alternative parking or shared parking plan shall be provided with the parking demand study.
  - (10) The land comprising the site shall not be subdivided into separate, individual parcels, except through a horizontal property regime, condominium, land or ground lease, HOA or POA, or other similar property framework.
- (D) *Violations.* Any violation of the requirements of this section shall be subject to the provisions set forth within Article V, Section 12 of Appendix A, along with any and all applicable enforcement procedures, including Section 1-12 of the City of Pooler Code of Ordinances.

### **III**

That APPENDIX A, ARTICLE IV. ZONING DISTRICTS, Table 4.1 *Allowed Uses by Zoning District* be amended to include "Multi-Use Development" as a conditional use in the C-1, Light Commercial, C-2, Heavy Commercial, C-P, Commercial Professional, I-1, Light Industrial, and I-2, Heavy Industrial, districts:

P	Permitted by Right
C	Permitted with Conditional Use Approval
	Prohibited

**Table 4.1 Allowed Uses by Zoning District**

Uses with NAICS Codes are found within the NAICS Manual : <https://www.census.gov/eos/www/naics/>

Uses in R-1A, R-1B, R-1C are listed in this table under R-1  
 Uses in R-2A, R-2B, R-2C are listed in this table under R-2  
 Uses in R-3A, R-3B, R-3C are listed in this table under R-3

\*Uses in a PUD are determined case-by-case by the Board

NAICS Code	Use	R-1	R-2	R-3	R-4	MH-1	MH-2	MH-3	C-1	C-2	C-P	I-1	I-2	R-A	RA-1	RA-2	PUD*
Principal Uses																	
Principal Residential Uses																	
	Single Family Detached: Site-Built	P	P	P		P	P							P	P	P	
	Single Family Detached: Modular	P	P	P		P	P										
	Single Family Detached: Manufactured Home					P	P	P						P			
	Two Family Dwelling: Duplex		P	P										P	P	P	
	Two Family Dwelling: Modular		P	P													
	Multi Family Dwelling: Townhomes			P	P												
	Multi Family Dwelling: Apartment/Condominium			P	P				C								
	Manufactured Home Park							P									
	Residential Mixed-Use Building								P	P							
	Multi-use Development								C	C	C	C	C				
	Retreat	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C

**IV**

All ordinances or parts of ordinances in conflict with the ordinance are hereby repealed.

**V**

If any section, clause, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

**VI**

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

SECOND READING: \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

ADOPTED: \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

CITY OF POOLER, GEORGIA

\_\_\_\_\_  
 Mayor

ATTEST:

\_\_\_\_\_  
 Clerk of Council



# CITY of POOLER

— GEORGIA —

## PROCLAMATION

### *National Multiple Sclerosis Education and Awareness Month*

**WHEREAS,** National Multiple Sclerosis Education and Awareness Month, observed each March, provides a crucial opportunity to raise public awareness of MS, celebrate the resilience of those living with the disease, and encourage support for ongoing research efforts; and

**WHEREAS,** Multiple Sclerosis (MS) is a chronic, often-debilitating disease of the central nervous system affecting nearly one million people in the United States and greater than 350 individuals in the Savannah-Chatham County area; and

**WHEREAS,** Every hour, someone new receives an MS diagnosis, highlighting the ongoing need for research, support, and understanding; and

**WHEREAS,** Focusing on increased awareness helps ensure that families affected by this unpredictable disease receive support from the National MS Society and from their communities;

**NOW, THEREFORE,** We, the Mayor and Council, do hereby proclaim March 2024 as National Multiple Sclerosis Education and Awareness Month in the City of Pooler. We encourage citizens to wear orange the week of March 10-16, to learn more about MS, to show compassion and support for those affected by the disease, and to join the ongoing fight for a cure.

**IN WITNESS WHEREOF** I have hereunto set my hand and caused the seal of the City of Pooler to be affixed this 4th day of March, 2024.



---

**Karen L. Williams, Mayor**

**ATTEST:**

---

**Kiley Fusco, Clerk of Council**



**CITY of POOLER**  
— GEORGIA —

---

**PLANNING & ZONING STAFF REPORT**

Site Plan for 125 Coleman Blvd

Project:	#231340
P&Z Meeting Date:	February 12, 2024
City Council Meeting Date:	March 4, 2024
Applicant and Authorized Agent:	Lauren Davenport (Thomas & Hutton)
Location (Address):	125 Coleman Blvd
Parcel (PIN):	50985 04075
Acreage:	7.21 total – 3.25 disturbed
Zoning:	I-1 (Light Industrial)
Proposed Use:	Warehouse expansion
Staff Recommendation:	Approval subject to \$19,950 being paid into the City Tree Fund <ul style="list-style-type: none"><li>The following items are needed for scheduling a pre-construction meeting: City of Savannah ROW Permit.</li></ul>
Planning & Zoning Commission:	<i>P&amp;Z <u>agreed</u> with staff and recommends <u>approval</u>, subject to \$19,950 being paid into the tree fund and the City of Savannah ROW permit being obtained prior to scheduling the pre-construction meeting.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request subject to \$19,950 being paid into the City Tree Fund and the City of Savannah ROW permit being obtain prior to scheduling the pre-construction meeting."</i>
Zoning Action Standards:	1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.



- The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.
2. Whether the site plan provides for adequate pedestrian and traffic access.
    - The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
  3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
    - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
  4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
    - The site plan complies with the provisions related to development standards for industrial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
  5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
    - The site plan complies with the provisions related to the location of uses/development areas, development standards for industrial development, and buffer standards.
  6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
    - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
  7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
    - The site is adequately served by any other public services for current or projected needs.
  8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.

- The site plan complies with the provisions related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

- Attachments:
- A. Vicinity Map
  - B. Application and Submittal Documentation
  - C. Approval Letter



**CITY OF POOLER**  
GEORGIA  
*A great place to Live, Work and Play*

## Project #231340 - 125 Coleman Blvd

02/07/2024

Parcels







Z:\27940\27940.DWG\UNREGISTERED\CONSTRUCTION\PLAN\27940.DWG - COVER SHEET.DWG - 01/25/24 1:54 AM

# SITE DEVELOPMENT PLANS OF 125 COLEMAN BLVD. BUILDING EXPANSION

POOLER, GEORGIA

PREPARED FOR:  
**STEPHEN GREEN PROPERTIES**  
111 BARNARD STREET, SUITE 301  
P.O. BOX 10143  
SAVANNAH, GA 31401

TM# 5-0985-04-075

SEPTEMBER 8, 2023

REVISED: 1-25-24

J-27940.0001

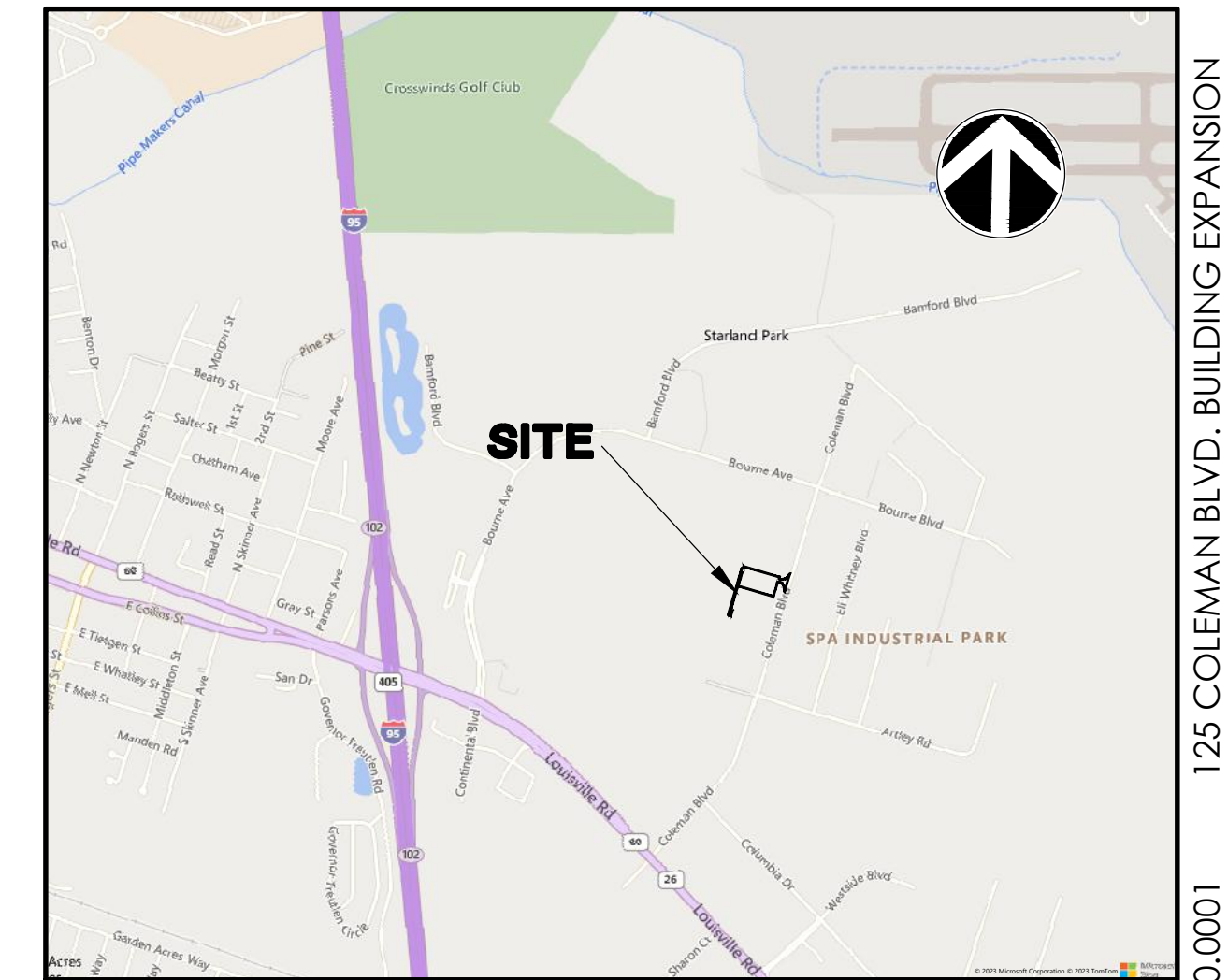
PREPARED BY:



JASON O. CHAMBLESS  
GSWCC LEVEL II  
DESIGN PROFESSIONAL  
CERTIFICATION  
#0000055539  
EXPIRATION DATE:  
9/12/2026



PERMIT SET - FOR REVIEW PURPOSES ONLY



VICINITY MAP  
SCALE: 1" = 2000'

J-27940.0001  
1-25-24

### Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
G0.1	GENERAL NOTES AND INDEX
EX1.1	EXISTING CONDITIONS PLAN
EC0.1	EROSION CONTROL NOTES
EC0.2	EROSION CONTROL NOTES
EC0.3	EROSION CONTROL NOTES
EC1.1	EROSION CONTROL - INITIAL
EC2.1	EROSION CONTROL - INTERMEDIATE
EC3.1	EROSION CONTROL - FINAL
EC4.1	EROSION CONTROL DETAILS
EC4.2	EROSION CONTROL DETAILS
C1.1	SITE LAYOUT PLAN
C2.1	PAVING, GRADING, AND DRAINAGE
C2.3	SITE DETAILS
C2.4	SITE DETAILS
L1.1	TREE PERMIT PLAN
L1.2	PLANTING DETAILS AND NOTES
L1.3	LANDSCAPING SPECIFICATIONS

### REVISION HISTORY

REV. NO.	REVISION	BY	DATE
3	REVISED TO ADD TREES AND PLANTING INFORMATION PER CITY OF POOLER REQUIREMENTS - PAGE L1.1	RPT	01-25-24
2	REVISED PER CITY OF POOLER COMMENTS	WEW	12-12-23
1	REVISED PER GSWCC COMMENTS	WEW	10-20-23

### SUBMITTAL HISTORY

SUBMITTED TO	DATE



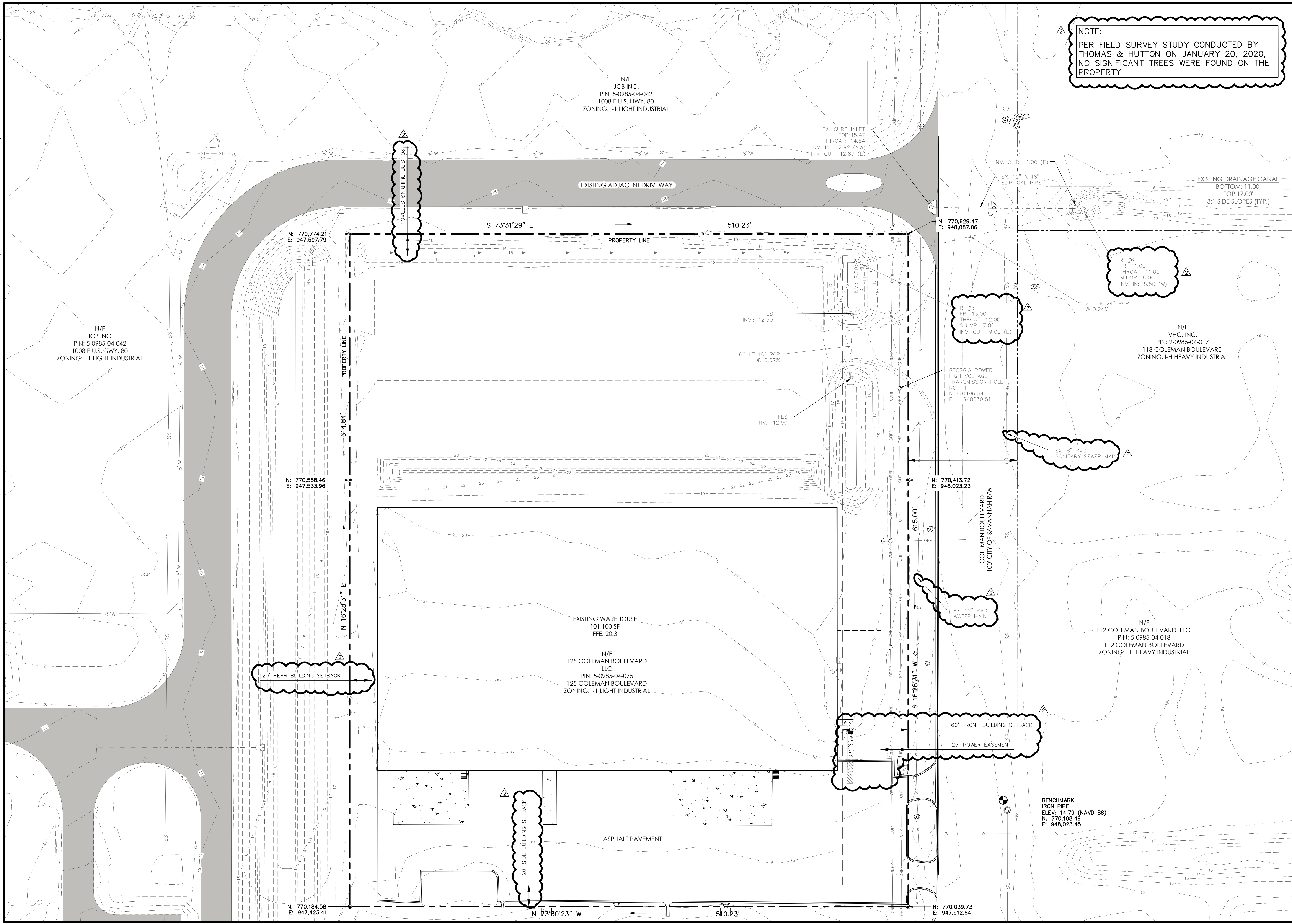
Know what's below.  
Call before you dig.



50 Park of Commerce Way  
Savannah, GA 31405  
p.912.234.5300  
www.thomasandhutton.com



2:2740(27940.000)\\S:\DRAWING\CONSTRUCTION PLANS\27940.000 - DRAINAGE CONDITIONS PLAN.DWG - Dec 12, 2023 - 10:51 AM



**NOTE:**  
PER FIELD SURVEY STUDY CONDUCTED BY THOMAS & HUTTON ON JANUARY 20, 2020, NO SIGNIFICANT TREES WERE FOUND ON THE PROPERTY

NO.	REVISIONS	BY	DATE
2	REVISED PER CITY OF POOLER COMMENTS	WEW	12-12-23



**THOMAS & HUTTON**

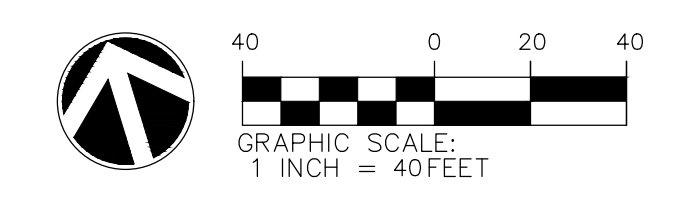
50 Park of Commerce Way  
Savannah, GA 31405 • 912.234.5300  
www.thomasandhutton.com

**EXISTING CONDITIONS PLAN**

**125 COLEMAN BLVD. BUILDING EXPANSION**

**PROJECT LOCATION:**  
POOLER, GEORGIA

**CLIENT/OWNER:**  
STEPHEN GREEN PROPERTIES  
111 BARNARD STREET, SUITE 301  
P.O. BOX 10143  
SAVANNAH, GA 31401



DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO: 27940.0001  
DATE: 9-8-23  
DRAWN: WEW  
DESIGNED: DSG  
REVIEWED: LAD  
APPROVED: JOC  
SCALE: 1" = 40'

**EX1.1**

PERMIT SET - FOR REVIEW PURPOSES ONLY





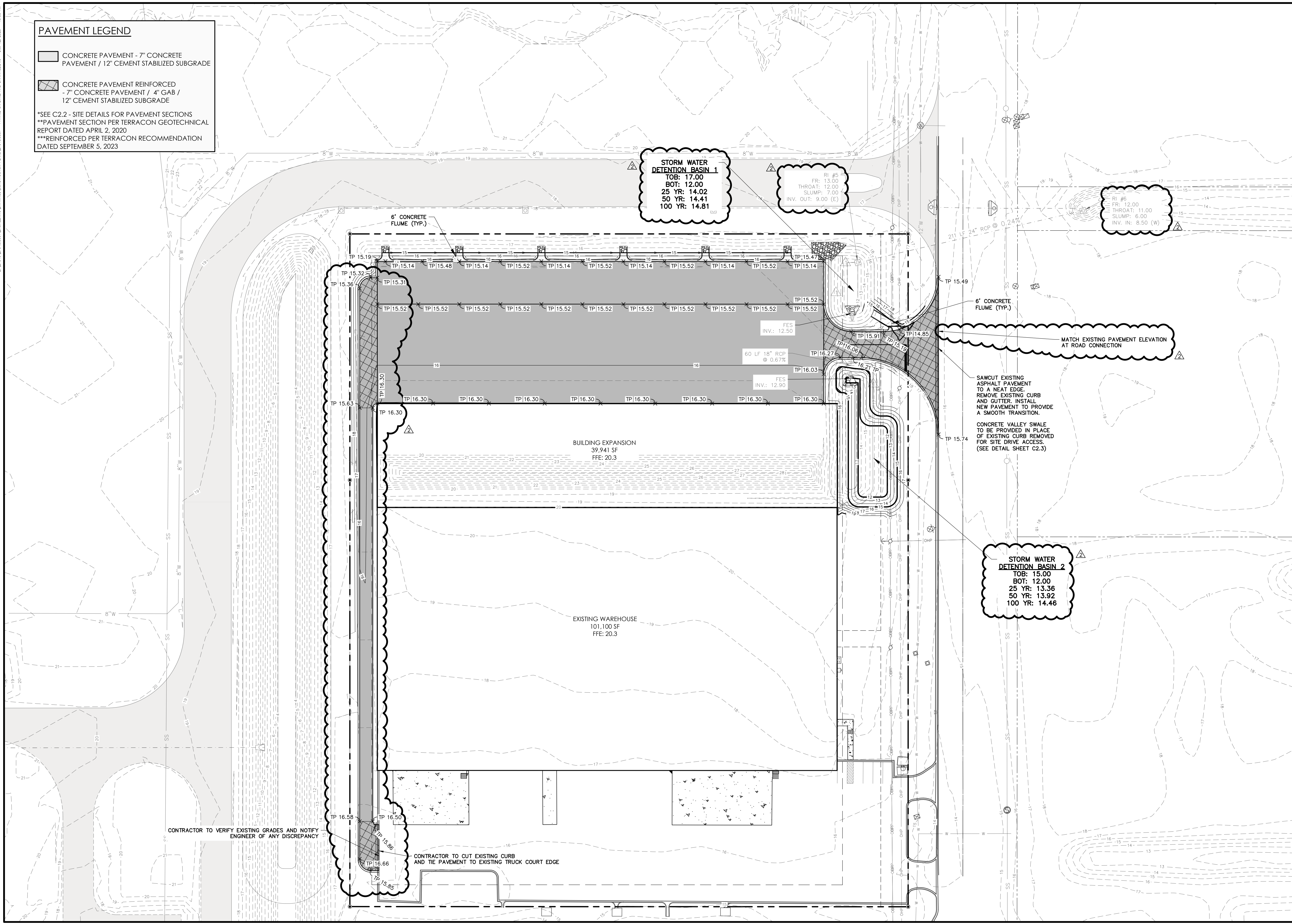


2:\27940\27940.000\ENGINEERING\DRAWINGS\CONSTRUCTION\LAND\27940.000 - PAVING, GRADING, AND DRAINAGE.DWG - Dec 12, 2023 - 10:53 AM

**PAVEMENT LEGEND**

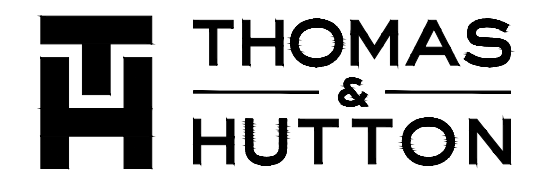
- CONCRETE PAVEMENT - 7" CONCRETE PAVEMENT / 12" CEMENT STABILIZED SUBGRADE
- CONCRETE PAVEMENT REINFORCED - 7" CONCRETE PAVEMENT / 4" GAB / 12" CEMENT STABILIZED SUBGRADE

\*SEE C2.2 - SITE DETAILS FOR PAVEMENT SECTIONS  
 \*\*PAVEMENT SECTION PER TERRACON GEOTECHNICAL REPORT DATED APRIL 2, 2020  
 \*\*\*REINFORCED PER TERRACON RECOMMENDATION DATED SEPTEMBER 5, 2023



NO.	REVISIONS	BY	DATE
2	REVISED PER CITY OF POOLER COMMENTS	WEW	12-12-23
1	REVISED PER GSWCC COMMENTS	WEW	10-12-23

NO.	REVISIONS	BY	DATE



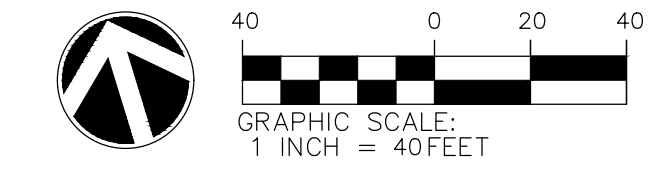
50 Park of Commerce Way  
 Savannah, GA 31405 • 912.234.5300  
[www.thomasandhutton.com](http://www.thomasandhutton.com)

**PAVING, GRADING, AND DRAINAGE**

**125 COLEMAN BLVD. BUILDING EXPANSION**

**PROJECT LOCATION:**  
 POOLER, GEORGIA

**CLIENT/OWNER:**  
 STEPHEN GREEN PROPERTIES  
 111 BARNARD STREET, SUITE 301  
 P.O. BOX 10143  
 SAVANNAH, GA 31401



DATUM: HORIZ.: NAD83      VERT.: NAVD88

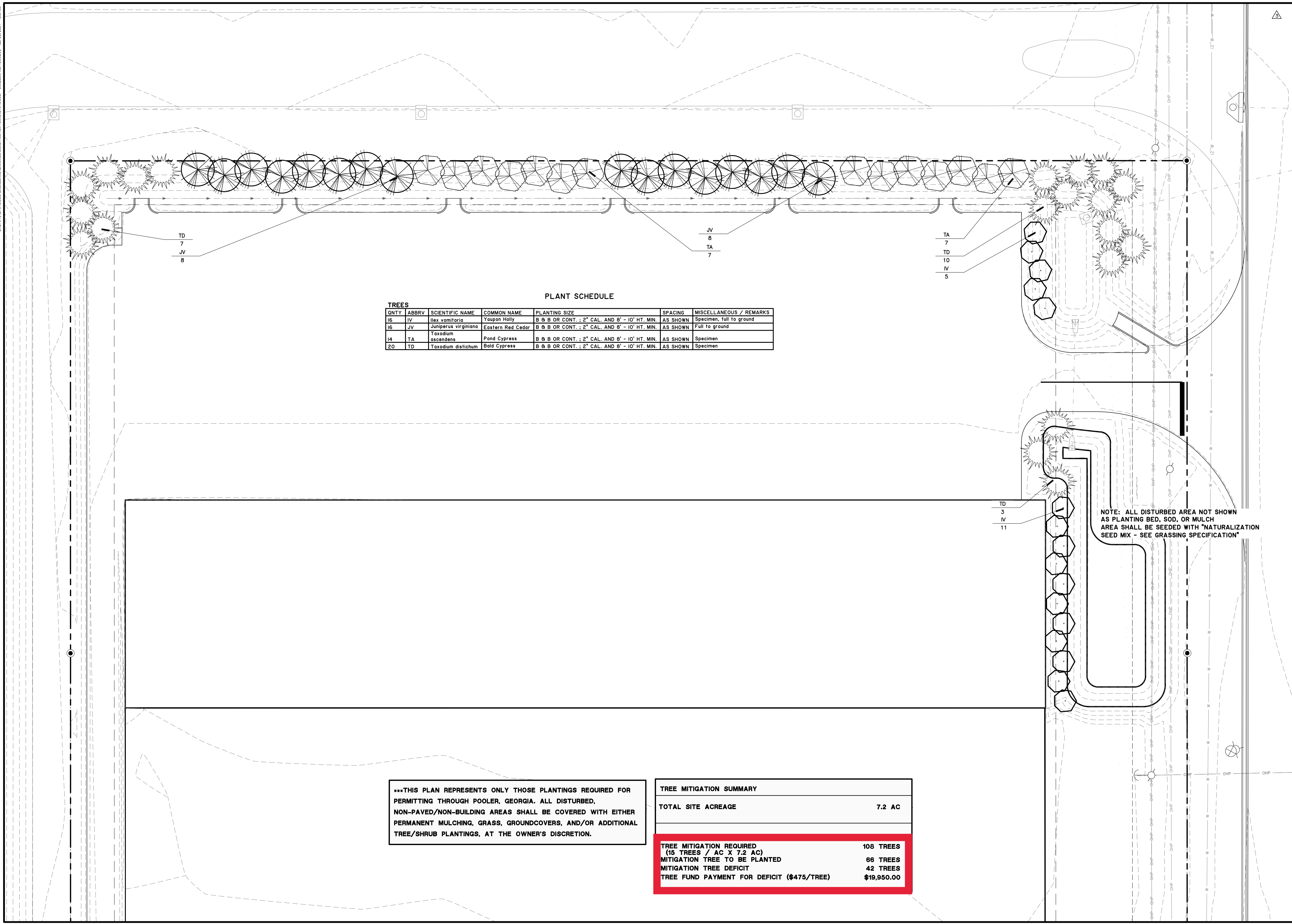
JOB NO: 27940.0001  
 DATE: 9-8-23  
 DRAWN: WEW  
 DESIGNED: DSG  
 REVIEWED: LAD  
 APPROVED: JOC  
 SCALE: 1" = 40'

C2.1

PERMIT SET - FOR REVIEW PURPOSES ONLY



23/7940.0001 ENGINEERING AND ARCHITECTURE PLANS AND SPECIFICATIONS - 01/25/24 - 10:58 AM



**PLANT SCHEDULE**

QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
16	IV	Ilex vomitoria	Yaupon Holly	B & B OR CONT. ; 2" CAL. AND 8' - 10' HT. MIN.	AS SHOWN	Specimen, full to ground
16	JV	Juniperus virginiana	Eastern Red Cedar	B & B OR CONT. ; 2" CAL. AND 8' - 10' HT. MIN.	AS SHOWN	Full to ground
14	TA	Toxodum ascendens	Pond Cypress	B & B OR CONT. ; 2" CAL. AND 8' - 10' HT. MIN.	AS SHOWN	Specimen
20	TD	Toxodum distichum	Bald Cypress	B & B OR CONT. ; 2" CAL. AND 8' - 10' HT. MIN.	AS SHOWN	Specimen

NOTE: ALL DISTURBED AREA NOT SHOWN AS PLANTING BED, SOD, OR MULCH AREA SHALL BE SEEDED WITH "NATURALIZATION SEED MIX - SEE GRASSING SPECIFICATION"

\*\*\*THIS PLAN REPRESENTS ONLY THOSE PLANTINGS REQUIRED FOR PERMITTING THROUGH POOLER, GEORGIA. ALL DISTURBED, NON-PAVED/NON-BUILDING AREAS SHALL BE COVERED WITH EITHER PERMANENT MULCHING, GRASS, GROUNDCOVERS, AND/OR ADDITIONAL TREE/SHRUB PLANTINGS, AT THE OWNER'S DISCRETION.

TREE MITIGATION SUMMARY	
TOTAL SITE ACREAGE	7.2 AC
TREE MITIGATION REQUIRED (15 TREES / AC X 7.2 AC)	<b>108 TREES</b>
MITIGATION TREE TO BE PLANTED	<b>66 TREES</b>
MITIGATION TREE DEFICIT	<b>42 TREES</b>
TREE FUND PAYMENT FOR DEFICIT (\$475/TREE)	<b>\$19,950.00</b>


3	REVISED TO ADD TREES AND PAYMENT INFORMATION PER CITY OF POOLER REQUIREMENTS	RPT	01-25-24
2	REVISED PER CITY OF POOLER COMMENTS	WEW	12-12-23
NO.	REVISIONS	BY	DATE



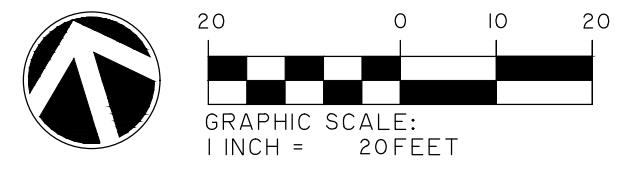
**THOMAS & HUTTON**  
 50 Park of Commerce Way  
 Savannah, GA 31405 • 912.234.5300  
 www.thomasandhutton.com

**TREE PERMIT PLAN**

**125 COLEMAN BLVD.  
 BUILDING EXPANSION**

**PROJECT LOCATION:**  
 POOLER, GEORGIA

**CLIENT/OWNER:**  
 STEPHEN GREEN PROPERTIES  
 III BARNARD STREET, SUITE 301  
 P.O. BOX 10143  
 SAVANNAH, GA 31401



DATUM: HORIZ: NAD83      VERT: NAVD86

JOB NO:	27940.0001
DATE:	9-8-23
DRAWN:	CT
DESIGNED:	CT
REVIEWED:	RPT
APPROVED:	RPT
SCALE:	1" = 20'

L1.1

PERMIT SET - FOR REVIEW PURPOSES ONLY













January 30<sup>th</sup>, 2024

Jason O. Chambless, P.E.  
Thomas & Hutton  
50 Park of Commerce Way  
Savannah, GA 31405

Dear Mr. Chambless,

I am pleased to provide you with a recommendation for Approval of the site development plans for 125 Coleman Blvd Building Expansion, which is provided below.

**Site Plan Review**

<u>Submittal Documents:</u>	Site Plan.....	<i>Jan. 2023</i>
	Stormwater Management Report.....	<i>Dec. 2023</i>
	Traffic Memo.....	<i>Dec. 2023</i>
	GSWCC Approval Letter.....	<i>Dec. 2023</i>
	Stormwater Maintenance Agreement.....	<i>Dec. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits, documentation, and 3<sup>rd</sup> party approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the required testing data and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



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*Your solution to a better tomorrow*

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at [tshoemaker@eomworx.com](mailto:tshoemaker@eomworx.com) or (912) 445-0050 ext. 4400.

Sincerely,

*Trevor Shoemaker*

**Trevor Shoemaker**

Project Manager

EOM

CC: Nicole Dixon; Director of Planning & Development – City of Pooler  
Brian Crooks; City Planner - City of Pooler  
Liberto Chacon, P.E.; Sr. Vice President – EOM



480 Edsel Drive, Ste 100  
Richmond Hill, GA 31324



[www.eomworx.com](http://www.eomworx.com)



Ph: 912.445.0050  
F: 912.756.5882



**CITY of POOLER**  
— GEORGIA —

**PLANNING & ZONING STAFF REPORT**

Site Plan for Mana Nutrition at 5212 Old Louisville Rd

Project:	#231786
P&Z Meeting Date:	February 12, 2024
City Council Meeting Date:	March 4, 2024
Applicant and Authorized Agent:	Nick Skrobola (Applicant) / Coleman Company (Engineer)
Location (Address):	5212 Old Louisville Rd
Parcel (PIN):	50987 01041
Acreage:	19.74 total – 0.43 disturbed
Zoning:	I-1 (Light Industrial)
Proposed Use:	Food manufacturing (Up-fit of an existing warehouse)
Staff Recommendation:	Approval
Planning & Zoning Commission:	<i>P&amp;Z <u>agreed</u> with staff and recommends <u>approval</u>.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none"> <li>1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.                             <ul style="list-style-type: none"> <li>○ The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.</li> </ul> </li> <li>2. Whether the site plan provides for adequate pedestrian and traffic access.</li> </ol>

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
    - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
  4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
    - The site plan complies with the provisions related to development standards for industrial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
  5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
    - The site plan complies with the provisions related to the location of uses/development areas, development standards for industrial development, and buffer standards.
  6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
    - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
  7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
    - The site is adequately served by any other public services for current or projected needs.
  8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
    - The site plan complies with the provisions related to buffer and screening standards.
  9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

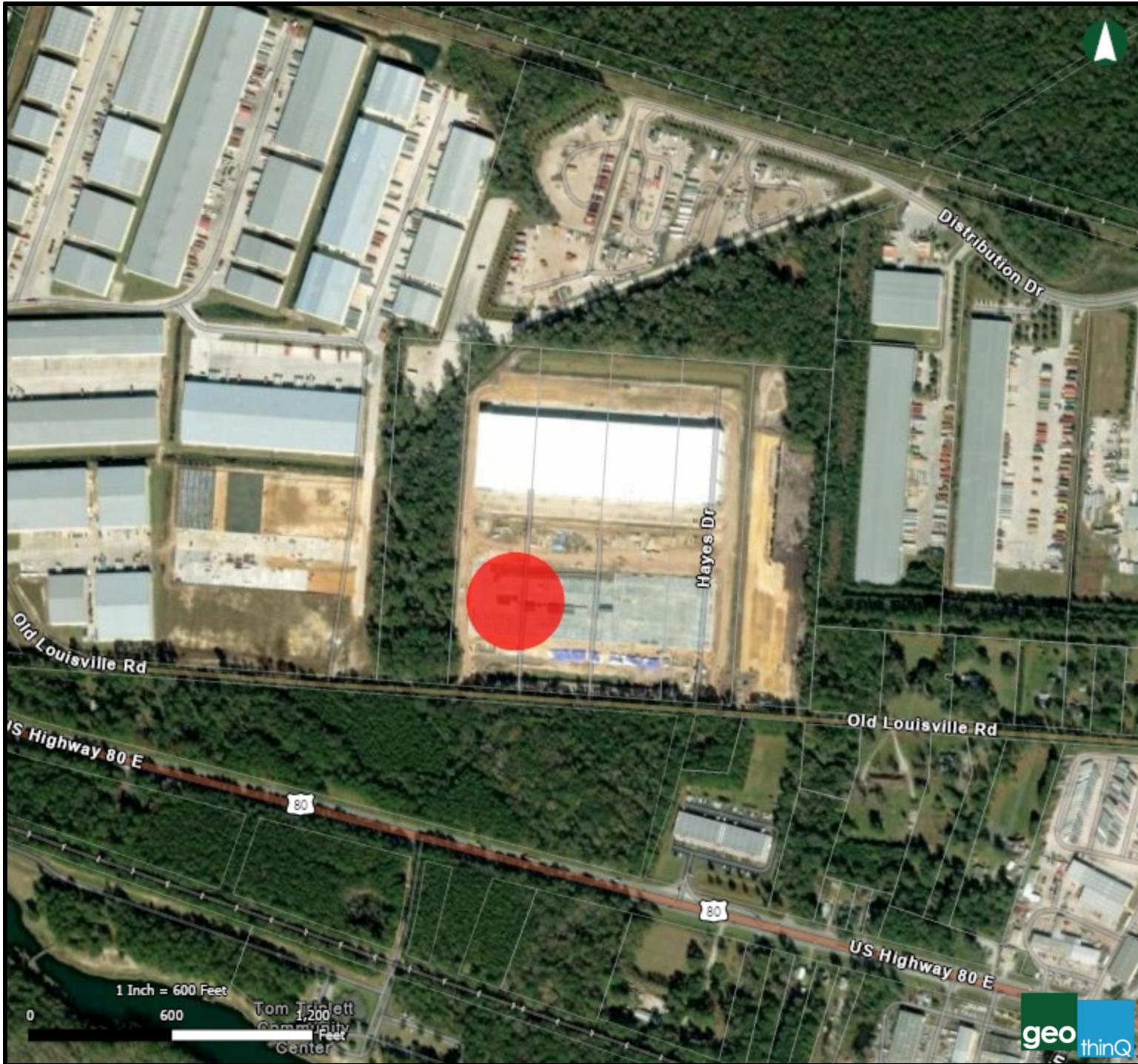
- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

**Conclusion:** The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

**Attachments:**

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter





**CITY OF POOLER**  
GEORGIA  
*A great place to Live, Work and Play*

## 5212 Old Louisville Rd

02/22/2024







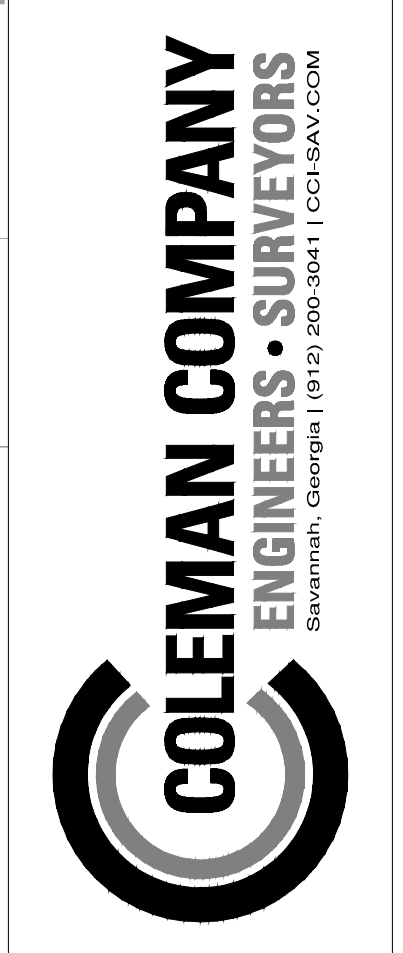


1610 East Morehead  
Suite 200  
Charlotte, NC 28207  
704.265.2100 telephone  
704.265.3101 facsimile  
www.amkinggroup.com

JOHN KOURY, ARCHITECT  
100.00012.2@amking.com

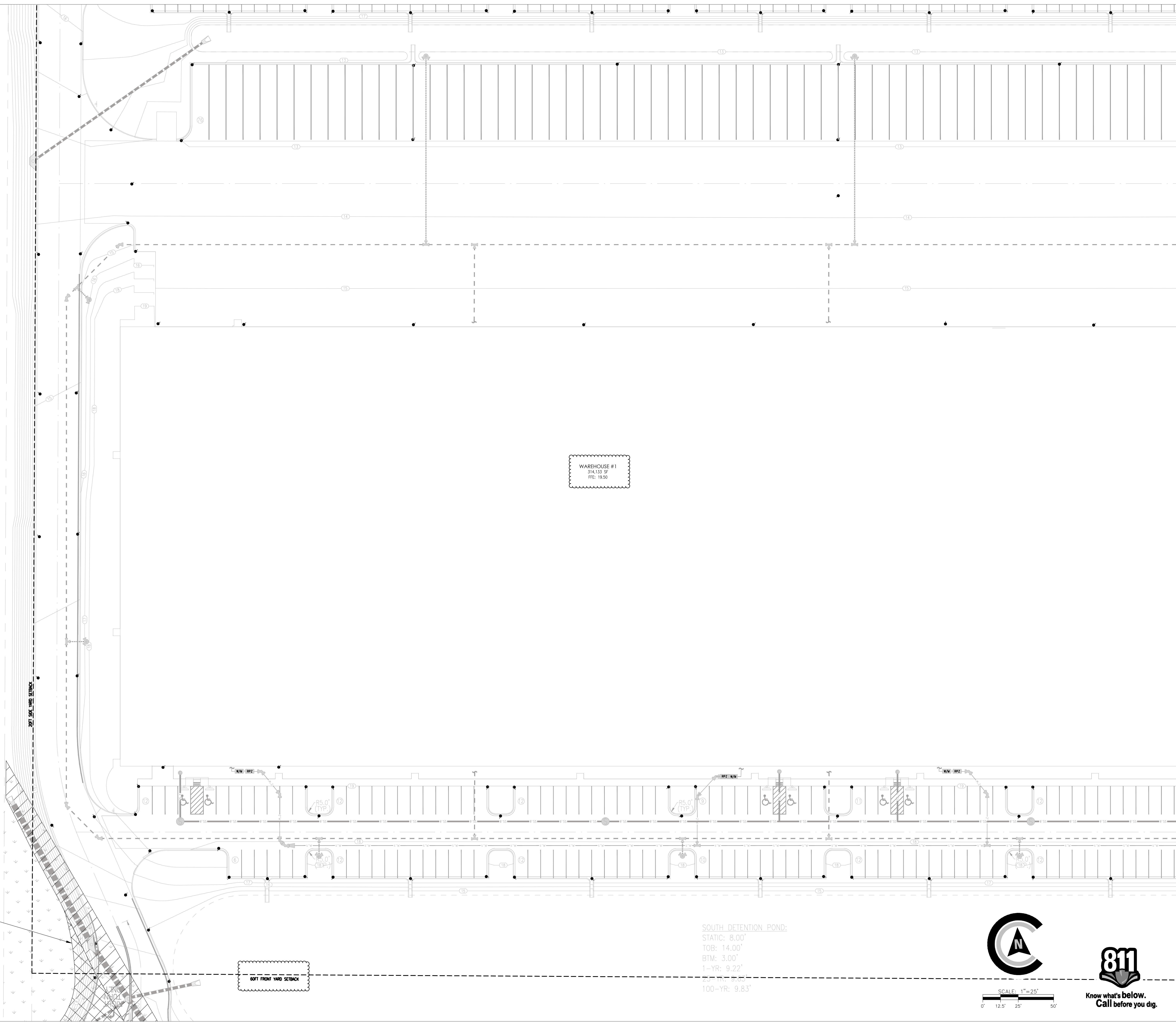


Project Issue Date: 01.31.2024



PROJECT PHASE: FOR PERMIT  
ISSUED: 12.20.2023

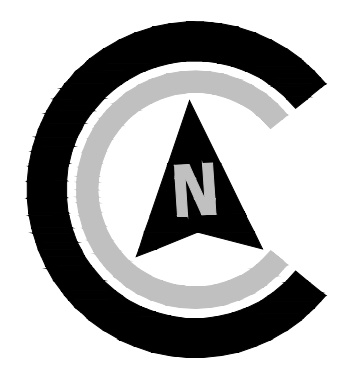
REVISIONS	NO.	DATE	DESCRIPTION
	01	01-31-24	CIVIL PLAN COMMENT REV.



WETLAND IMPACT  
USACE PERMIT NO: SAS-2020-00589

60' FRONT YARD SETBACK

SOUTH DETENTION POND:  
STATIC: 8.00'  
TOB: 14.00'  
BTM: 3.00'  
1-YR: 9.22'  
100-YR: 9.83'



SCALE: 1"=25'  
0' 12.5' 25' 50'



Know what's below.  
Call before you dig.

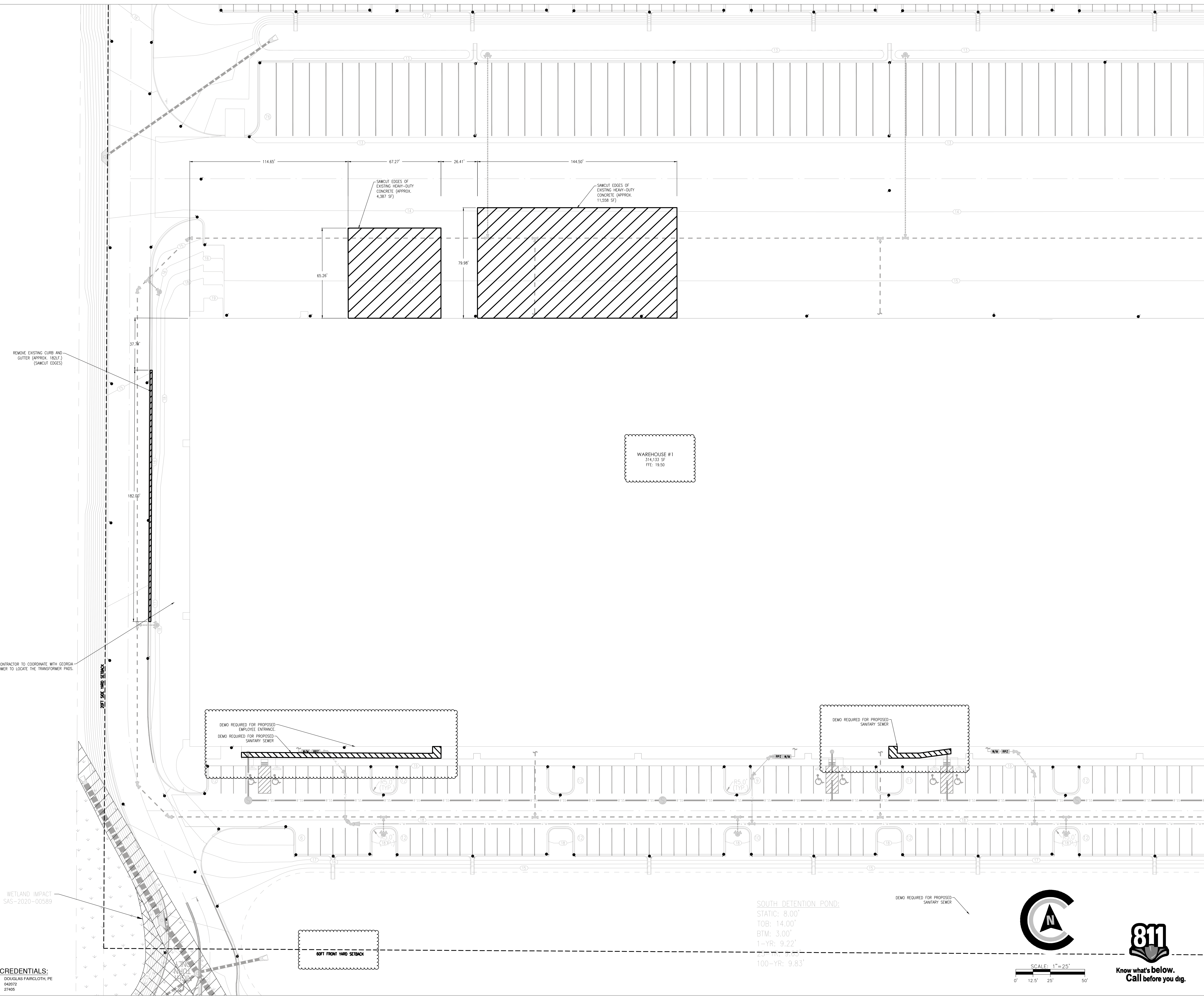
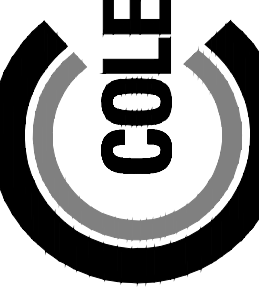
DESIGN PROFESSIONAL'S CREDENTIALS:  
ENGINEER'S NAME (PRINTED): DOUGLAS FAIRCLOTH, PE  
GEORGIA PE NUMBER: 042072  
GSWCC LEVEL II CERTIFICATION NUMBER: 27405

PREPARED FOR MANA NUTRITION  
MANA NUTRITION - PROJECT HYPERDRIVE  
LOCATED IN POOLER, GEORGIA

EXISTING  
CONDITIONS

C2.0





REMOVE EXISTING CURB AND GUTTER (APPROX. 182LF.) (SAWCUT EDGES)

CONTRACTOR TO COORDINATE WITH GEORGIA POWER TO LOCATE THE TRANSFORMER PADS.

WETLAND IMPACT  
USACE PERMIT NO: SAS-2020-00589

SAWCUT EDGES OF EXISTING HEAVY-DUTY CONCRETE (APPROX. 4,387 SF)

SAWCUT EDGES OF EXISTING HEAVY-DUTY CONCRETE (APPROX. 11,508 SF)

WAREHOUSE #1  
314,133 SF  
FFE: 19.50

DEMO REQUIRED FOR PROPOSED EMPLOYEE ENTRANCE

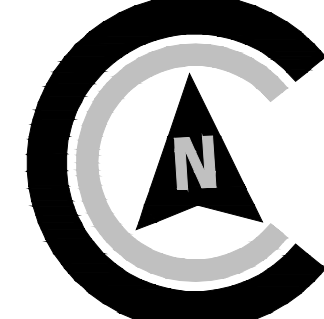
DEMO REQUIRED FOR PROPOSED SANITARY SEWER

DEMO REQUIRED FOR PROPOSED SANITARY SEWER

**SOUTH DETENTION POND:**  
STATIC: 8.00'  
TOB: 14.00'  
BTM: 3.00'  
1-YR: 9.22'  
100-YR: 9.83'

DEMO REQUIRED FOR PROPOSED SANITARY SEWER

60FT FRONT YARD SETBACK

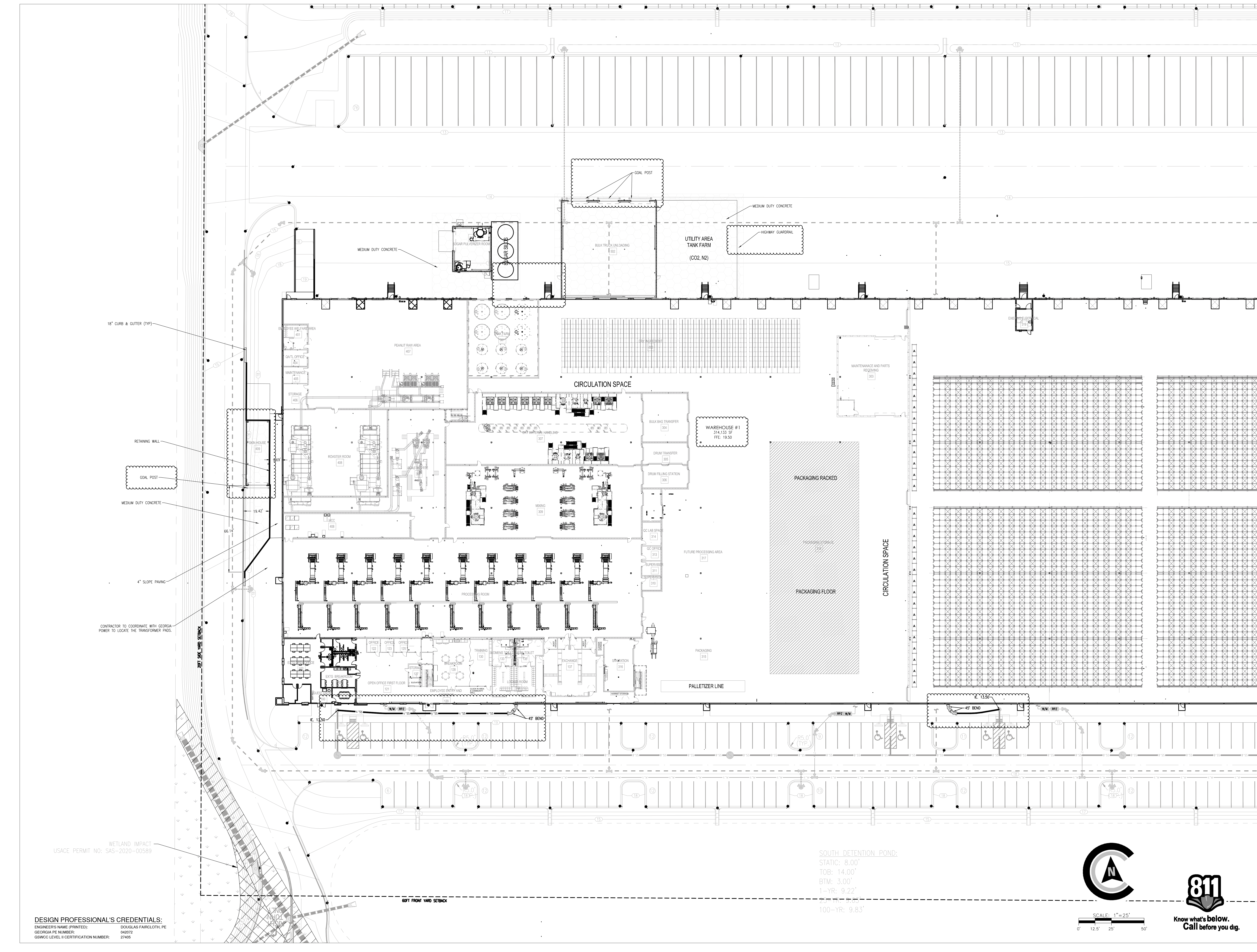


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0' 12.5' 25' 50'

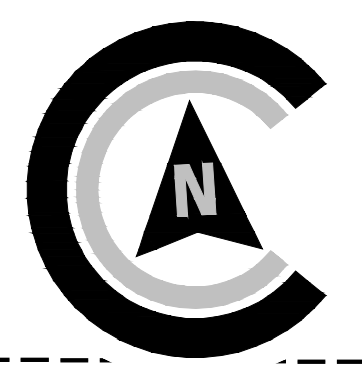


Know what's below.  
Call before you dig.





**SOUTH DETENTION POND:**  
 STATIC: 8.00'  
 TOB: 14.00'  
 BTM: 3.00'  
 1-YR: 9.22'  
 2-YR: 9.63'  
 100-YR: 9.83'



SCALE: 1"=25'  
 0' 12.5' 25' 50'



Know what's below.  
Call before you dig.

**DESIGN PROFESSIONAL'S CREDENTIALS:**  
 ENGINEER'S NAME (PRINTED): DOUGLAS FAIRCLOTH, PE  
 GEORGIA PE NUMBER: 042072  
 CSIWCC LEVEL II CERTIFICATION NUMBER: 27405

18" CURB & GUTTER (TYP)

RETAINING WALL

GOAL POST

MEDIUM DUTY CONCRETE

4" SLOPE PAVING

CONTRACTOR TO COORDINATE WITH GEORGIA POWER TO LOCATE THE TRANSFORMER PADS.

DPT SKI AND STRUCK

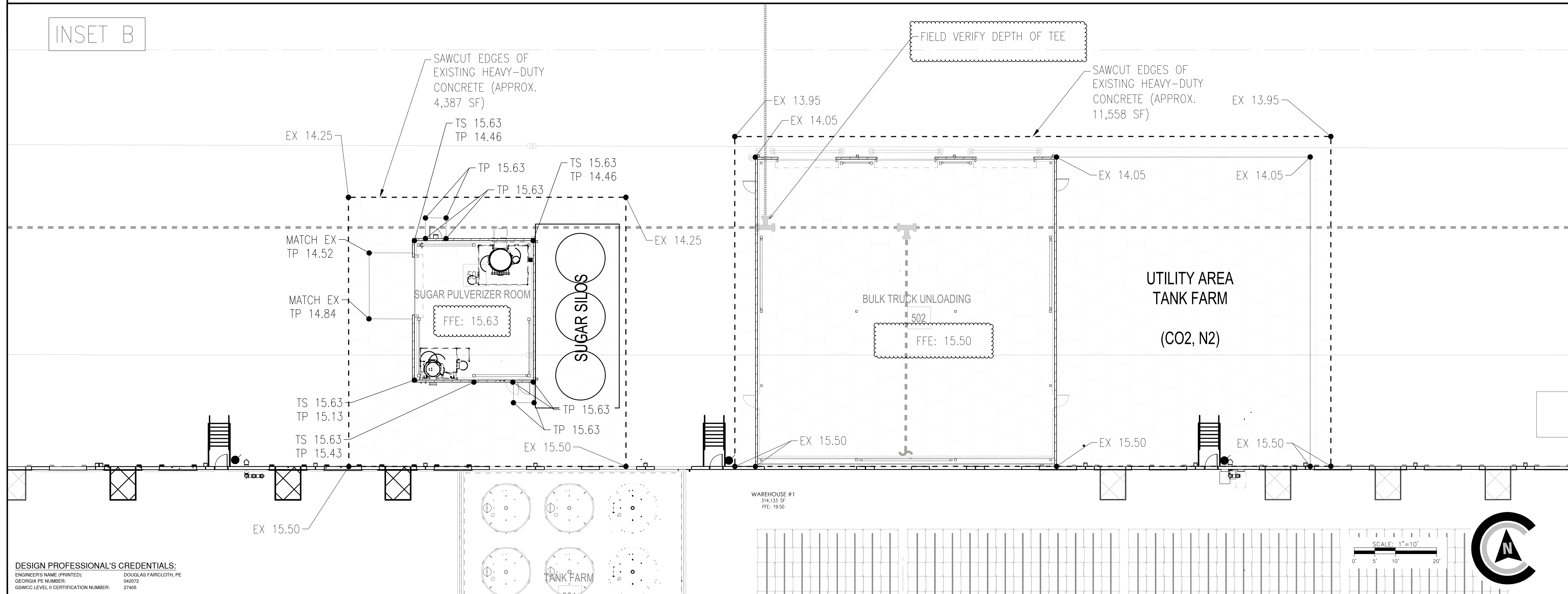
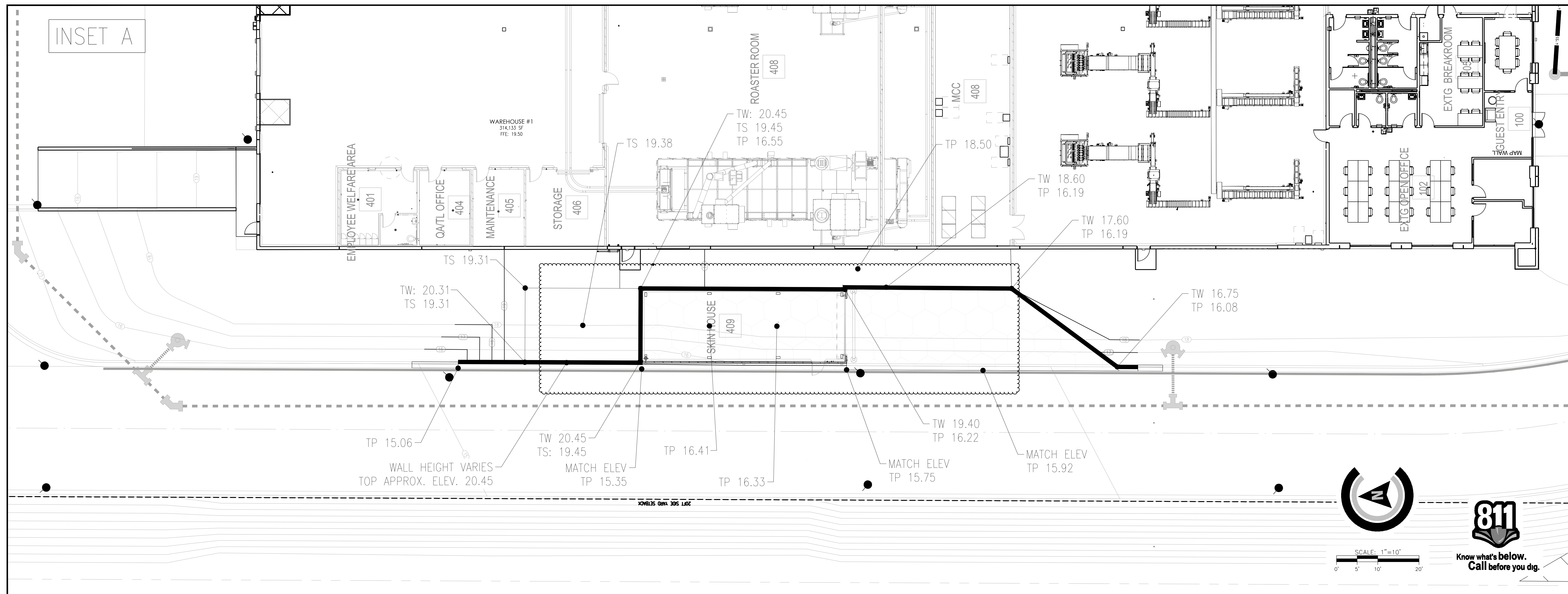
WETLAND IMPACT  
USACE PERMIT NO: SAS-2020-00589

60FT FROM WAD SETBACK









DESIGN PROFESSIONAL'S CREDENTIALS:  
 ENGINEER'S NAME (PRINTED): DOUGLAS FAIRCLOTH, PE  
 GEORGIA PE NUMBER: 042072  
 GSBC LEVEL 1 CERTIFICATION NUMBER: 27405

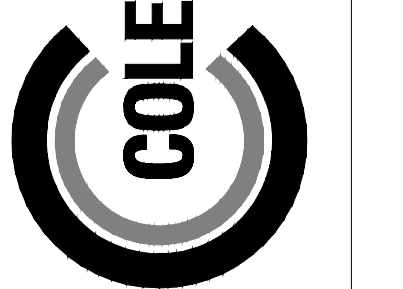
**A-M-KING**  
 1610 East Morehead  
 Suite 200  
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 704.365.2100 Telephone  
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 www.amkinggroup.com

JOHN KOURY, ARCHITECT  
 1000112121@outlook.com



Project Issue Date: 01.31.2024

**COLEMAN COMPANY**  
 ENGINEERS • SURVEYORS  
 Savannah, Georgia | (912) 200-3841 | COC@SVA.COM



PROJECT PHASE: FOR PERMIT  
 ISSUED: 12.20.2023

REVISIONS:  
 NO. DATE DESCRIPTION  
 01 01-31-24 CIVIL PLAN COMMENT REV.

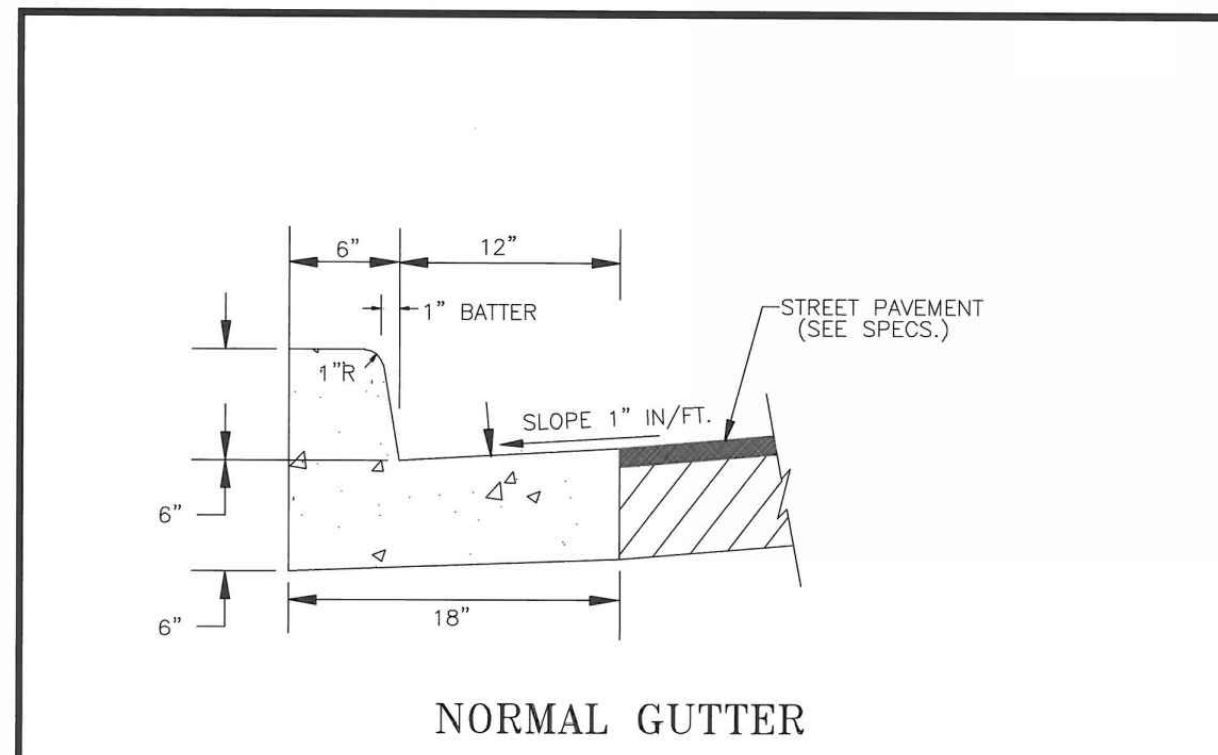
PREPARED FOR MANA NUTRITION  
**MANA NUTRITION - PROJECT HYPERDRIVE**  
 LOCATED IN POOLER, GEORGIA

GRADING PLAN  
 30X42 (1)

**C4.1**

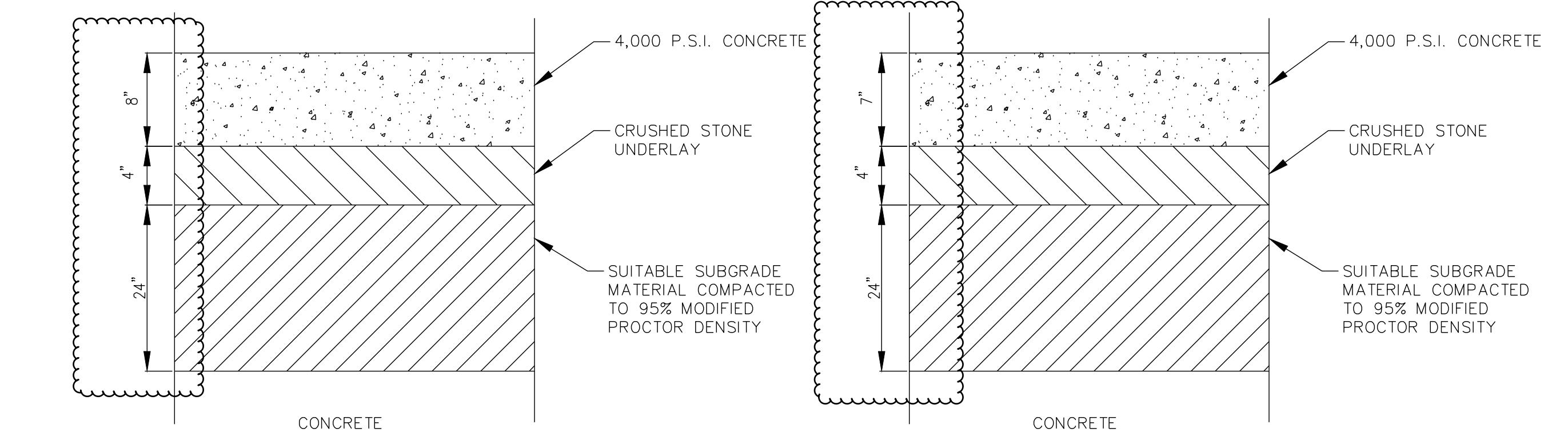
© Copyright 2023, John N. Koury, Architect. All rights reserved. JOHN KOURY ARCHITECT P.L.L.C., 539 MAMOTH OAKS CHARLOTTE, NC 28270





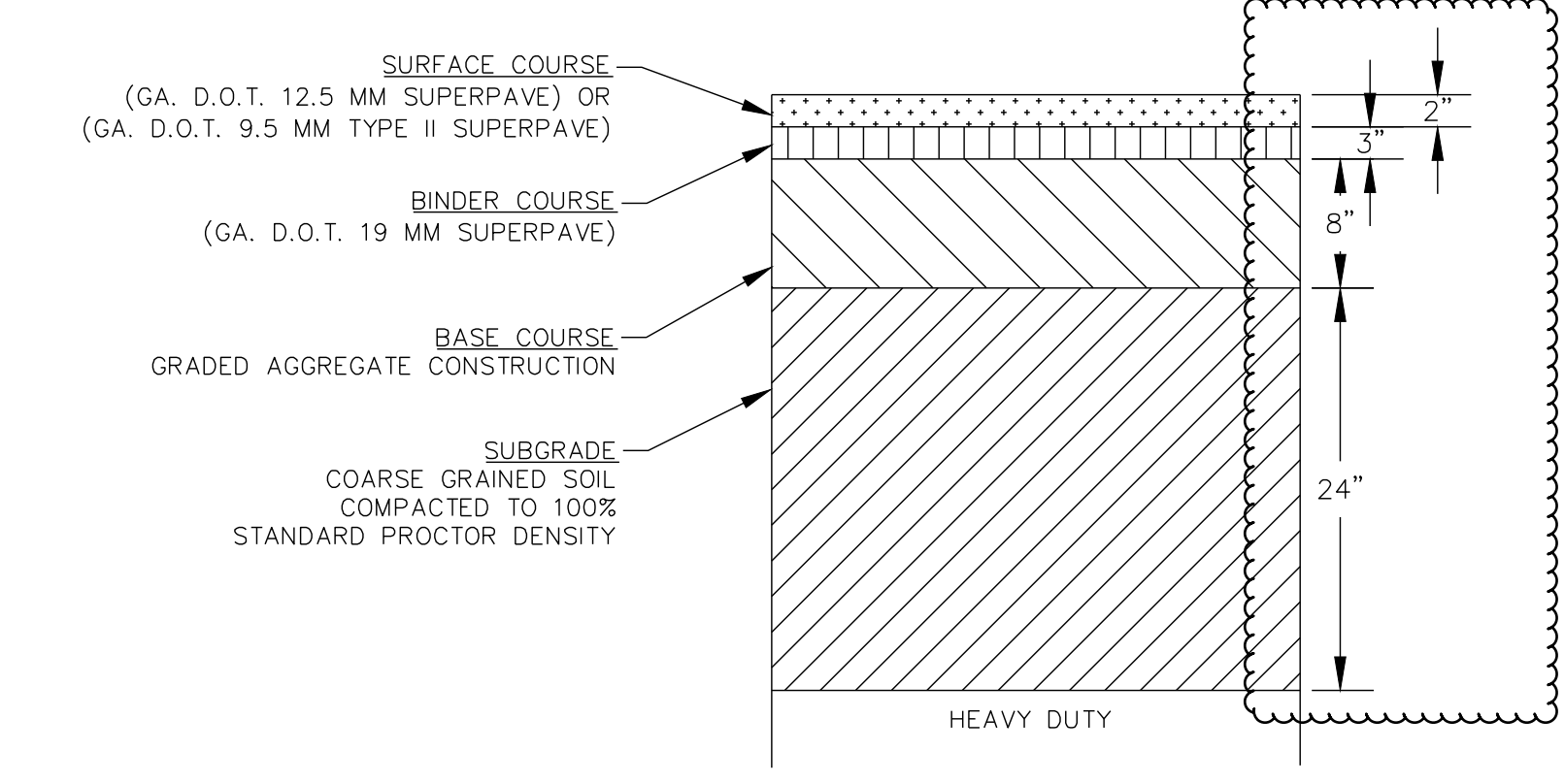
NORMAL GUTTER

CITY OF POOLER 2011 STANDARD DETAIL	18" CURB & GUTTER	REV. R.T.S. January 2009	P-03
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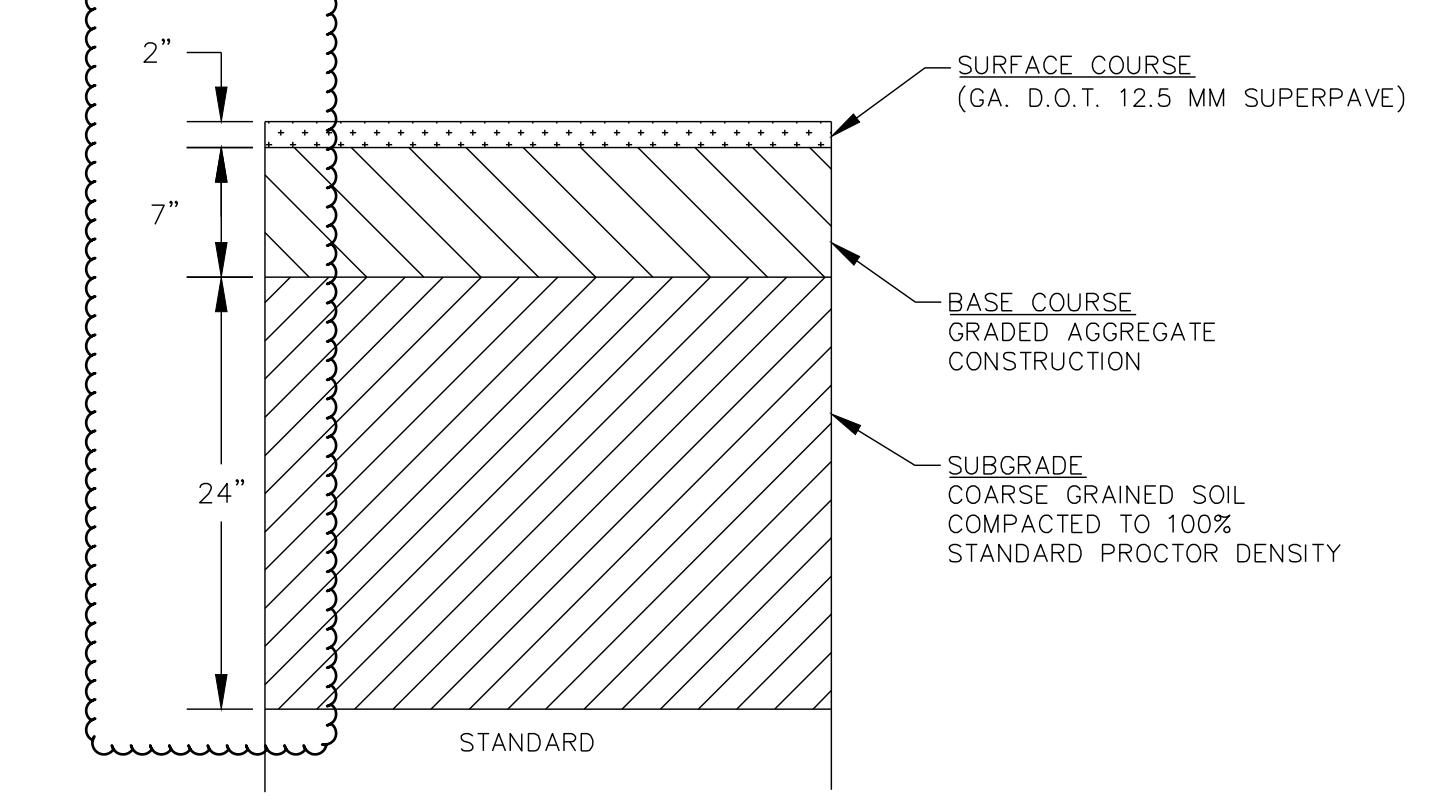
**P-22** HEAVY DUTY CONCRETE PAVEMENT SECTION  
Coleman Company, Inc.

**P-21** MEDIUM DUTY CONCRETE PAVEMENT SECTION  
Coleman Company, Inc.



- NOTES:
- BITUMINOUS PRIME AND TACK COATS WILL BE APPLIED AS LISTED BELOW.
    - PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLON PER SQUARE YARD TO THE SURFACE OF ALL GRANITE BASE COURSES.
    - TACK COAT SHALL BE APPLIED AT AT RATE OF 0.05 GALLONS PER SQUARE YARD TO THE SURFACE OF THE BINDER COURSE BEFORE PLACEMENT OF SURFACE COURSE.
  - REFER TO PAVING PLAN FOR LOCATION OF STANDARD AND HEAVY DUTY PAVEMENTS.

**P-14** HEAVY-DUTY ASPHALT PAVEMENT SECTION  
Coleman Company, Inc.



- NOTES:
- BITUMINOUS PRIME AND TACK COATS WILL BE APPLIED AS LISTED BELOW.
    - PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLON PER SQUARE YARD TO THE SURFACE OF ALL GRANITE BASE COURSES.
    - TACK COAT SHALL BE APPLIED AT AT RATE OF 0.05 GALLONS PER SQUARE YARD TO THE SURFACE OF THE BINDER COURSE BEFORE PLACEMENT OF SURFACE COURSE.

**P-11** LIGHT-DUTY ASPHALT PAVEMENT SECTION  
Coleman Company, Inc.

PAVING LEGEND	
[Pattern]	LIGHT DUTY ASPHALT
[Pattern]	MEDIUM DUTY ASPHALT
[Pattern]	HEAVY DUTY ASPHALT
[Pattern]	EXTRA HEAVY DUTY ASPHALT
[Pattern]	LIGHT DUTY CONCRETE
[Pattern]	MEDIUM DUTY CONCRETE
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	EXTRA HEAVY DUTY CONCRETE

**\*NOTE\*:** PAVEMENT SECTIONS, EXCLUDING THE HEAVY DUTY ASPHALT PAVEMENT SECTION ARE BASED UPON SOILS REPORT ES205205 BY TERRACON.

DESIGN PROFESSIONAL'S CREDENTIALS:  
ENGINEERS NAME (PRINTED): DOUGLAS FAIRCLOTH, PE  
GEORGIA PE NUMBER: 042072  
GSWCC LEVEL II CERTIFICATION NUMBER: 27405



February 16<sup>th</sup>, 2024

Douglas L Faircloth, P.E.  
Coleman Company  
1480 Chatham Pkwy  
Savannah, GA 31405

Dear Mr. Faircloth,

I am pleased to provide you with a recommendation for Approval of the site development plans for Mana Nutrition, which is provided below.

**Site Plan Review**

<u>Submittal Documents:</u>	Site Development Plans.....	<i>Feb. 2024</i>
	Lift Station Report.....	<i>Feb. 2024</i>
	Product Information.....	<i>Feb. 2024</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits and approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



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OPERATIONS

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at [tshoemaker@eomworx.com](mailto:tshoemaker@eomworx.com) or (912) 445-0050 ext. 4400.

Sincerely,

*Trevor Shoemaker*

**Trevor Shoemaker**

Project Manager

EOM

CC: Nicole Dixon; Director of Development Services – City of Pooler  
Brian Crooks; City Planner - City of Pooler  
Liberto Chacon, P.E.; Sr. Vice President – EOM



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Richmond Hill, GA 31324



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