



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – AGENDA

April 1, 2024 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. City Council Meeting Minutes of March 18, 2024
 - B. City Council Executive Session Minutes of March 18, 2024
 - C. City Council Town Hall Meeting Minutes of March 19, 2024
 - D. City Council Special Called Meeting Minutes of March 27, 2024
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. Ordinance O2024-04.A – Amendment to the Pooler Code of Ordinances, Utility Location Requirements
(First Reading; Public Hearing, Action)
- VIII. OUTSTANDING BUSINESS
 - A. Westside Commerce Center Native Development Group Request for Consideration
- IX. NEW BUSINESS
 - A. Conditional Use Request for a Warehouse at 385 Morgan Lakes Boulevard
(Public Hearing, Action)
 - B. PUD Amendment for Savannah Quarters Phase 8 and Phase 16
(Public Hearing, Action)
 - C. Revised Preliminary Subdivision Plans for Harmony Phase 8
 - i. Revised Plans for Phase 8A

ii. Revised Plans for Phase 8B

D. Preliminary Subdivision Plans for Providence at Pooler
(f/k/a Davis Group Development)

E. Reapproval for Walk-On's/Vet Center at 105 Half Moon Way

F. OMI/Ecosorb Proposal for Wastewater Treatment Plant Odor Control
Three-Year Supply

X. PUBLIC COMMENT

XI. EXECUTIVE SESSION

XII. ADJOURNMENT



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – MINUTES

March 18, 2024 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor
Wesley Bashlor, Councilmember
Michael Carpenter, Councilmember
Aaron Higgins, Mayor Pro Tem
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Matthew Saxon, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 4:01 p.m.

III. INVOCATION

Rabbi Robert Haas of Congregation Mickve Israel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Rabbi Robert Haas led the pledge.

V. ANNOUNCEMENTS

Mayor Karen Williams reminded those present of the City’s upcoming “Partner with Pooler to Plant a Tree for Free” event to be held Saturday, March 23 from 9:00 a.m.–12:00 p.m. at the Pooler Recreation Complex. She also announced the upcoming Town Hall Meeting for the discussion of Short-Term Rentals scheduled for Tuesday, March 19 at 6:00 p.m.

Police Chief Ashley Brown recognized presented awards to the following members of the Police Department: Supervisor of the Year - Sgt. M. Lanier, Officer of the Year - APO A. Lafeuillee, and Rookie of the Year - Officer G. Ballard.

VI. CONSENT AGENDA

A. City Council Meeting Minutes of March 4, 2024

B. City Council Executive Session Minutes of March 4, 2024

C. New Alcoholic Beverage License Application for Poach Egg Café, LLC at 810 Towne Center Boulevard, Suite 108

D. Special Event Permit Application (No Alcohol) for Celebrating Georgia Families: Be the Village on April 27, 2024

E. Special Event Permit Application (No Alcohol) for Wingstock on May 11, 2024

F. Department Reports

1. Public Works
2. Finance
3. Fire
4. Police
5. Recreation
6. Planning & Development

City Manager Matthew Saxon presented the Consent Agenda for consideration. Councilmember Tom Hutcherson moved to approve the Consent Agenda.

Motion to Approve; PASSED (6-0-0)

MOVER: Hutcherson

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. Ordinance O2024-03.A – Short-Term Rental Requirements (*First Reading; Public Hearing, Action*)

City Manager Matthew Saxon presented the first reading for consideration and Mayor Karen Williams opened the public hearing. There being no public comment, Mayor Karen Williams closed the public hearing. Councilmember Michael Carpenter moved to approve the first reading of Ordinance O2024-03.A – Short-Term Rental Requirements.

Motion to Approve; PASSED (6-0-0)

MOVER: Carpenter

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

B. Resolution R2024-03.A - Moratorium on Short-Term Rentals

City Manager Matthew Saxon presented the resolution for consideration. Citizens Caleb Hawley and Don Moffett commented. Mayor Pro Tem Aaron Higgins moved to approve Resolution R2024-03.A - Moratorium on Short-Term Rentals.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins
SECONDER: Hutcherson
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
NAYS:

VIII. OUTSTANDING BUSINESS

A. Site Plan for 780 Pooler Parkway

City Manager Matthew Saxon presented the site plan for consideration. Alec Metzger was present on behalf of the petitioner to answer questions. Councilmember Tom Hutcherson, upon review of the criteria, moved to approve the Site Plan for 780 Pooler Parkway.

Motion to Approve; PASSED (5-1-0)
MOVER: Hutcherson
SECONDER: Wilcher
AYES: Bashlor, Higgins, Hutcherson, Valim, Wilcher
NAYS: Carpenter

IX. NEW BUSINESS

A. Zoning Map Amendment for 224 East US Highway 80 (Public Hearing, Action)

City Manager Matthew Saxon presented the site plan for consideration. Mayor Karen Williams opened the public hearing. Citizens Michelle Lightning, Karen Morgan, Tonya Munn, Emerson Holland, Veronica Wiesner, and Don Moffett commented. Mayor Karen Williams closed the public hearing and Mayor Pro Tem Aaron Higgins, upon review of the criteria, moved to approve the Zoning Map Amendment for 224 East US Highway 80 with allowance for C-2 auto repair and car rental uses specifically, as well as all uses currently allowed in C-1.

Motion to Approve with Stipulations; PASSED (5-1-0)
MOVER: Higgins
SECONDER: Valim
AYES: Bashlor, Higgins, Hutcherson, Valim, Wilcher
NAYS: Carpenter

B. Policy for Rules of Council and Public Participation for Regular and Special Meetings

City Manager Matthew Saxon presented the policy for consideration. Mayor Pro Tem Aaron Higgins moved to approve the Policy for Rules of Council and Public Participation for Regular and Special Meetings.

Motion to Approve; PASSED (6-0-0)
MOVER: Higgins
SECONDER: Carpenter
AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
NAYS:

C. Supplemental Agreement to the Moffatt & Nichol Pooler Parkway/Quacco Road Widening Master Services Agreement

City Manager Matthew Saxon presented the agreement for consideration. Leon Davenport was present to answer questions. Mayor Pro Tem Aaron Higgins moved to approve the Supplemental Agreement to the Moffatt & Nichol Pooler Parkway/Quacco Road Widening Master Services Agreement including special studies and not to exceed \$274,389.60.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

D. Extension to the Moffatt & Nichol Pooler Parkway/Quacco Road Widening Master Services Agreement

City Manager Matthew Saxon presented the agreement for consideration. Leon Davenport was present to answer questions, and citizen Pete Chaison commented. Councilmember Wesley Bashlor moved to approve the January 21, 2025 Extension to the Moffatt & Nichol Pooler Parkway/Quacco Road Widening Master Services Agreement.

Motion to Approve; PASSED (6-0-0)

MOVER: Bashlor

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

X. PUBLIC COMMENT

Citizens Tonya Munn and Michelle Lightning commented on a neighboring property with a fence and signage potentially in violation of the Code of Ordinances.

XI. EXECUTIVE SESSION

With no further public business to conduct, Mayor Pro Tem Aaron Higgins moved to enter Executive Session. Mayor and Council entered at 5:39 p.m.

Motion to Enter; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Bashlor

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

Mayor Karen Williams called the meeting back to order at 5:45 p.m.

XII. ADJOURNMENT

Mayor Pro Tem Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Bashlor

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

The meeting adjourned at 5:45 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
--- GEORGIA ---

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

AFFIDAVIT

O.C.G.A. § 50-14-4(b) – Procedure When Meeting Closed/Executive Session

Before an officer duly authorized to administer oaths appeared Mayor Karen L. Williams who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 18th day of March, 2024. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was

_____.
 - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
 - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

- D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).
- E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).
- F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).
- G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).
- H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was

Update on City Manager position applications.

- I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).
- J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting this

18th day of March, 2024

CITY OF POOLER, GEORGIA

Karen L. Williams
 Karen L. Williams, Mayor

Sworn to and subscribed before me this

18TH day of MARCH, 2024.

NOTARY PUBLIC



[Signature]



CITY of POOLER
— GEORGIA —

TOWN HALL MEETING – MINUTES

March 19, 2024 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor
Wesley Bashlor, Councilmember
Michael Carpenter, Councilmember
Aaron Higgins, Mayor Pro Tem
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Matthew Saxon, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 6:01 p.m.

III. PLEDGE OF ALLEGIANCE

Mayor Karen Williams led the pledge.

IV. INTRODUCTION

Mayor Karen Williams reminded those present of the guidelines for public comment.

V. PUBLIC COMMENT

35 citizens came forward to share opinions, concerns, and ask questions on the topics of Ordinance O2024-03.A – Short-Term Rental Requirements, Resolution R2024-03.A - Moratorium on Short-Term Rentals, and short-term rentals in general.

VI. ADJOURNMENT

No action was taken by Council. Mayor Karen Williams adjourned the meeting at 7:48 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
— GEORGIA —

CITY COUNCIL SPECIAL CALLED MEETING – MINUTES

March 27, 2024 at 9:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen L. Williams, Mayor
Wesley Bashlor, Councilmember *early exit*
Michael Carpenter, Councilmember *via teleconference*
Aaron Higgins, Mayor Pro Tem
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Matthew Saxon, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 9:00 a.m.

III. INVOCATION

City Manager Matthew Saxon gave the invocation.

IV. PLEDGE OF ALLEGIANCE

City Manager Matthew Saxon led the pledge.

V. ANNOUNCEMENTS

Mayor Karen Williams reminded those present of the Council Workshop planned for April 15, 2024 at 5:00 p.m. She then read aloud a message from the Georgia Municipal Association regarding a State Senate bill amendment aimed at preempting local governments from regulating short-term rental properties.

VI. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

**A. Ordinance O2024-03.A – Short-Term Rental Requirements
(*Second Reading*)**

City Manager Matthew Saxon presented the second reading for consideration and Planning & Development Director Nicole Dixon was present to answer questions. Twelve citizens provided public comment on the draft ordinance. Mayor Pro Tem Aaron Higgins moved to postpone action on the second reading of Ordinance O2024-03.A – Short-Term Rental Requirements until such time that Council has

held a workshop and accounted for the public feedback received to date.

Motion to Postpone; PASSED (5-0-0)

MOVER: Higgins

SECONDER: Valim

AYES: Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

VII. ADJOURNMENT

Mayor Pro Tem Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (5-0-0)

MOVER: Higgins

SECONDER: Wilcher

AYES: Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

The meeting adjourned at 10:11 a.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
)
COUNTY OF CHATHAM }

ORDINANCE O2024-04.A
Utility Requirements

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES CHAPTER 86 – UTILITIES, ARTICLE 1. IN GENERAL, SECTION 86-1. INTERFERENCE WITH PROPERTY OF PUBLIC UTILITIES TO PROVIDE REQUIREMENTS FOR PRIVATE UTILITIES; TO REPEAL ALL ORDINANCES IN CONFLICT HEREWITH; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That CHAPTER 86 - UTILITIES, ARTICLE 1. IN GENERAL, Section 86.1 – Interference with Property of Public Utilities be amended by adding the underlined text as follows:

Sec. 86-1. - Interference with property of public utilities.

- (a) *Unlawful.* All private utilities and planted trees shall be at least 10 feet away from any public utility. Any person who intentionally and without authority injures or destroys any meters, pipes, conduits, wire, posts, lamps or other apparatus belonging to a company engaged in the manufacture or sale of public services, light, power, water or communications, or such apparatus belonging to the city, or intentionally and without authority prevents a meter from duly registering the quantity of services supplied, or in any way interferes with the proper action or just registration, or without the consent of such company or city intentionally diverts any services of such company or city, or otherwise intentionally and without authority uses or causes to be used without the consent of such company or city any services manufactured or distributed by such company or city shall be punished as for a misdemeanor.
- (b) *Responsibility.* Where there is no evidence to the contrary, the person receiving the benefit of services without proper charge as a result of tampering with a meter, or such diversion of services, shall be presumed to be responsible for such acts of tampering or diversion.
- (c) *Penalty.* Any person violating any of the provisions of this section shall be deemed guilty of an offense and upon conviction thereof shall be punished as provided in section 1-12.

II

All ordinances or parts of ordinances in conflict with the ordinance are hereby repealed.

III

If any section, clause, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

IV

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Karen Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



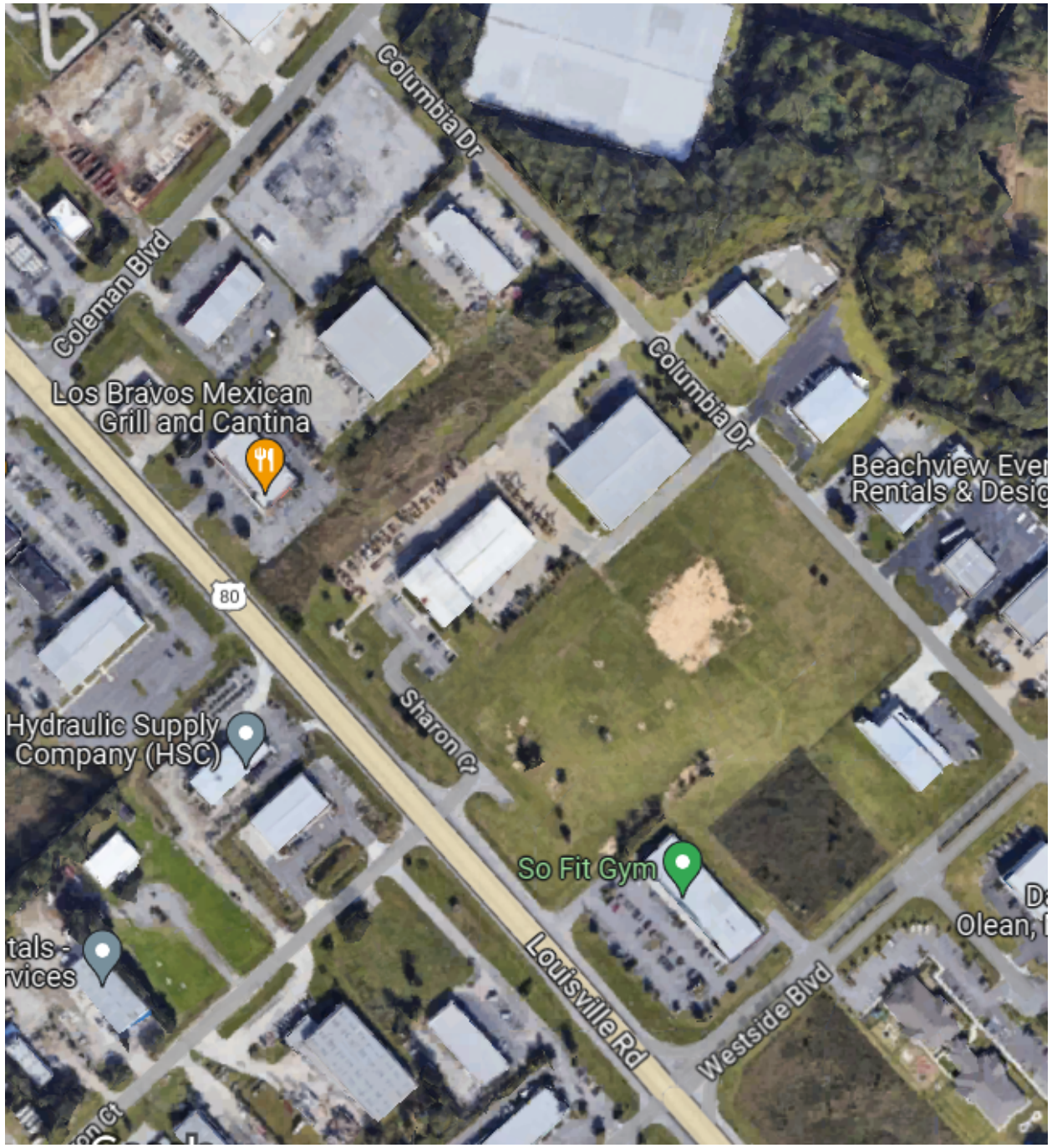
Native Development Group - Westside Commerce Center

On March 21, 2022, a rezoning request was approved by the City of Pooler Council for four (4) adjoining parcels within Westside Business Park to I-1, Industrial, light district. A condition was placed on the rezoning that the applicant (Native Development Group) be required to obtain a permit from an outside agency (GDOT) to install a traffic signal on US Hwy 80 (SR26) at Westside Boulevard. The condition stated that a Certificate of Occupancy would not be issued for the proposed building until said signal was installed and operational.

A warrant study was submitted to GDOT District 5 in July 2021. Through multiple iterations, the warrant study was passed on to the Traffic Office in Atlanta for approval in February 2022. Again, through multiple iterations and assistance from the City of Pooler, the warrant was approved by GDOT on March 21, 2022. At this point design of the signal improvements commenced.

On February 27, 2023, design plans for the signal were submitted to District 5. After multiple iterations of review and revisions, District 5 approval was obtained. The District 5 GDOT representatives then forwarded the plans to the Atlanta Transportation Management Center (TMC) on September 15, 2023 for their review and approval. The TMC provided no response on these plans for weeks/months, and finally responding by questioning in mid-December, 2023 the already approved warrant assessment. Most recently, we have been notified in January, 2024 that the Department does intend to issue the permit for the signal. However, as of this date, February 12, 2024 no notification has been received as to the formal acceptance of the signal which has delayed response to final GDOT comments, final design, bidding and awarding of the signal cost and infrastructure.

The developer has diligently pursued the permits from GDOT. At this time, even if the permit was issued today, the signal could not be installed in time for the final inspection and CO issuance for the building which is tracking for May 31, 2024. The developer instead offers to place a bond in the amount of \$900,000 (current project cost estimate-support available upon request) with the City of Pooler for up to two years as support for its commitment to complete the signal and required infrastructure (road work etc.). In the meantime, traffic from the project will be able to use the access provided by Columbia Drive and its new signal improvements as well as the existing right in right out (for autos only) on Highway 80 until such signal is installed.



329 Commercial Drive • Savannah, Georgia 31406 • 912.354.4626 • husseygaybell.com

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CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Warehouse at 385 Morgan Lakes Industrial Blvd

Project:	#A24-0009
P&Z Meeting Date:	March 25, 2024
Public Hearing Date:	April 1, 2024
Applicant and Authorized Agent:	Greg Coleman / Coleman Company (Agent)
Location (Address):	385 Morgan Lakes Industrial Blvd
Parcel (PIN):	51015 01102
Existing Zoning:	I-1 (Light Industrial)
Zoning Action:	Conditional Use
Request:	Request to establish a warehouse.
Application Filed:	February 2, 2024
Legal Notice Published:	March 17, 2024
Sign Posted:	March 15, 2024
Letters Mailed:	March 14, 2024
Staff Recommendation:	Approval
<i>Planning & Zoning Commission:</i>	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 18 acres and is accessed from Morgan Lakes Industrial Blvd. The site is currently undeveloped.

The general area includes other warehouses and similar industrial uses.

The applicant is requesting to establish a 234,300 sf warehouse at the site, along with associated infrastructure.

A previous request was made before City Council in December of 2023 but was withdrawn in order to address concerns from nearby residents. Landscaping and a berm are proposed to the rear of the warehouse and parking areas relocated to the front and sides of the warehouse per discussion with the nearby HOA. The berm is proposed as 8' with planting on the top and at the base of the berm.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with surrounding uses, which includes other warehouses and similar uses. The proposed use would be consistent with the purpose of the ordinance for industrial development.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas. The proposed use is an allowed use within the I-1 District and would be similar to the other warehousing and industrial uses abutting the property and nearby.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the*

proposed use is similar and compatible with existing uses.

5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is of sufficient size to satisfy all site design requirements for the use.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed concept layout satisfies the various development requirements for the proposed use.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments: A. Vicinity Map
B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA

A great place to Live, Work and Play

385 Morgan Lakes Industrial Blvd

12/06/2023







Rec.
26 24/2/2

1-24 file #
0009

ATTACHMENT B

Conditional Use Application

Applicant Information	Applicant <u>Coleman Company, Inc - Greg Coleman</u> Mailing address <u>1480 Chatham Parkway, Suite 100</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31405</u> Telephone () _____ Fax () _____
Property Ownership	Property Owner(s) <u>North Point Industrial, LLC - Wrenn Blalock</u> Mailing address <u>113 Houston Street</u> City <u>Savannah</u> State <u>Georgia</u> Zip <u>31401</u> Telephone () _____ Fax () _____
Contact Person	Contact Person(s) <u>Coleman Company, Inc - Greg Coleman</u> Telephone _____ Fax () _____ E-mail _____ <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>Morgan Lakes Industrial Blvd.</u> Current Zoning <u>I-1</u> Present use <u>Vacant Cleared Lot</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Proposed Use: Warehousing and trailer storage with small office space inside the warehouse</u> <u>The proposed plan meets or exceeds all items noted in Appendix A - Article V - Section 7</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>As shown on the site plan we are asking for conditional use for 234,300 sf warehouse, 108 trailer parks, as well as office and parking to support the 17.956 acre site use.</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>As we are near the end of the permitting process, construction would begin in April 2024 and with a construction period of 12 months operation would begin April 2025.</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <ul style="list-style-type: none"> ▪ The property area is at minimum 300' from any residentially or commercially zoned property, all access will be from Morgan Lakes Industrial Blvd from Jimmy Deloach Pkwy ▪ The amended site plan has included an 8' Berm and Plantings for the adjacent neighborhood. The plan changes in this applications have been coordinated, discussed and agreed upon with the HOA of The Farm. Other considerations have also been agreed to outside of what is shown on the plan that can be discussed with City Officials at Planning and Zoning and City Council. ▪ All buffer, setback, and screening requirements are met as well as review criteria in Appendix A, Article V, Section 7

Conditional Use Application (CONT.)

* This application will not be processed until ALL of the following items are submitted *

Filing Requirements

- Filing fee (see scheduled fees). Make checks payable to the City of Pooler.
- A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)
- A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities.
- Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Signed and dated Campaign Contributions and acceptance of conditional standards.
- Authorization of property owner signed, dated and notarized. (page 3)

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary.

(Required)

Morgan Lakes Property LLC 1007 N. Patterson Street, Valdosta, GA 31501

Savannah Economic Development Authority 906 Drayton Street, Savannah, GA 31501

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- * No. I have not made campaign contributions to any Pooler City Official(s). (Please sign below at the *)
- * Yes. I have made campaign contributions to one or more Pooler City Official(s). (Please sign below at the *)

City Official	Title	Dollar Value	Description of gift

* Signature: _____ Date: _____

If more space is needed for campaign contributions attach another copy of this form.

Signature & Date

I attest that all the information provided is true to fact: _____

(Applicants Signature)

Date: ___ / ___ / ___

Attest: _____

(Zoning Administrator or Agent thereof)

This portion to be completed by Zoning Administrator

- Hearing date has been set for: _____
- Notice published in newspaper on: _____ (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: _____
- This action was approved _____ or denied _____ (copy of minutes disposing of this action attached)
- Notification of the results of this action mailed to applicant on: _____
- Sign Posted: _____



City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Justin Palmer / Colerian Company

Address: _____

City & State: Savannah, GA Zip 31405

Telephone number: _____

Signature of owner

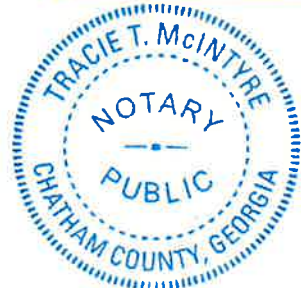
Personally appeared before me Wren Blalock

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

Tracie T. McIntyre
Notary Public

TRACIE T. MCINTYRE
NOTARY PUBLIC
Chatham County
State of Georgia
My Comm. Expires February 23, 2027

11-3-2023
Date





Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

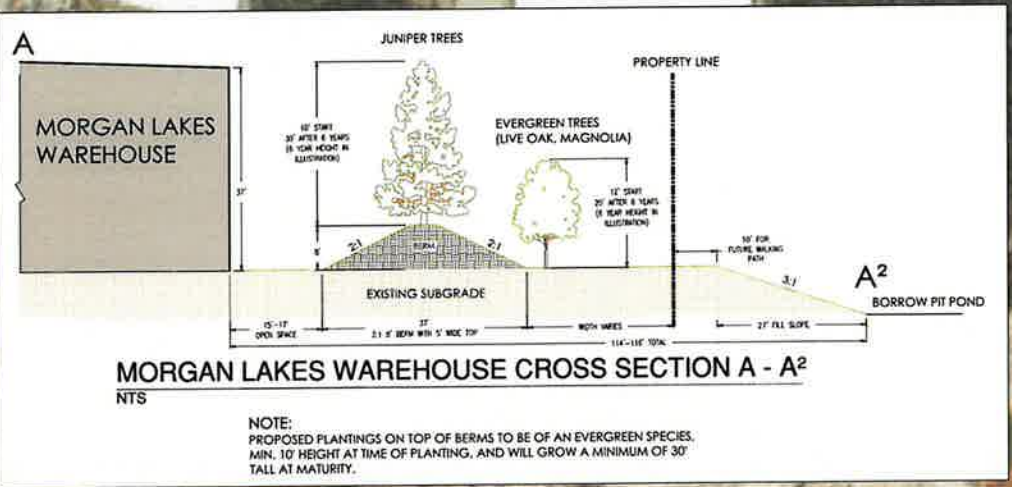
Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov.

GC

Applicant/Owner initial as received



© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 1/31/24 8:54 AM BY: Patrick Warner DRAWING PATH: C:\Users\pwarner\OneDrive\Documents\22-643\24-1\24-1.dwg

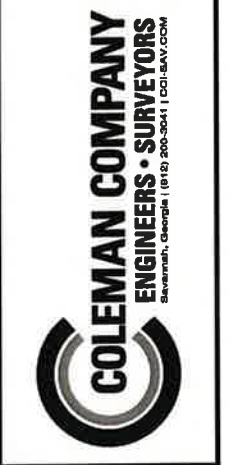
PARRALEL PARKING TO SHIFT STORAGE FROM FRONTING RESIDENTIAL TO FRONTING EXISTING INDUSTRIAL



SCALE: 1"=120'
0' 60' 120' 240'



Know what's below.
Call before you dig.



NOT FOR CONSTRUCTION

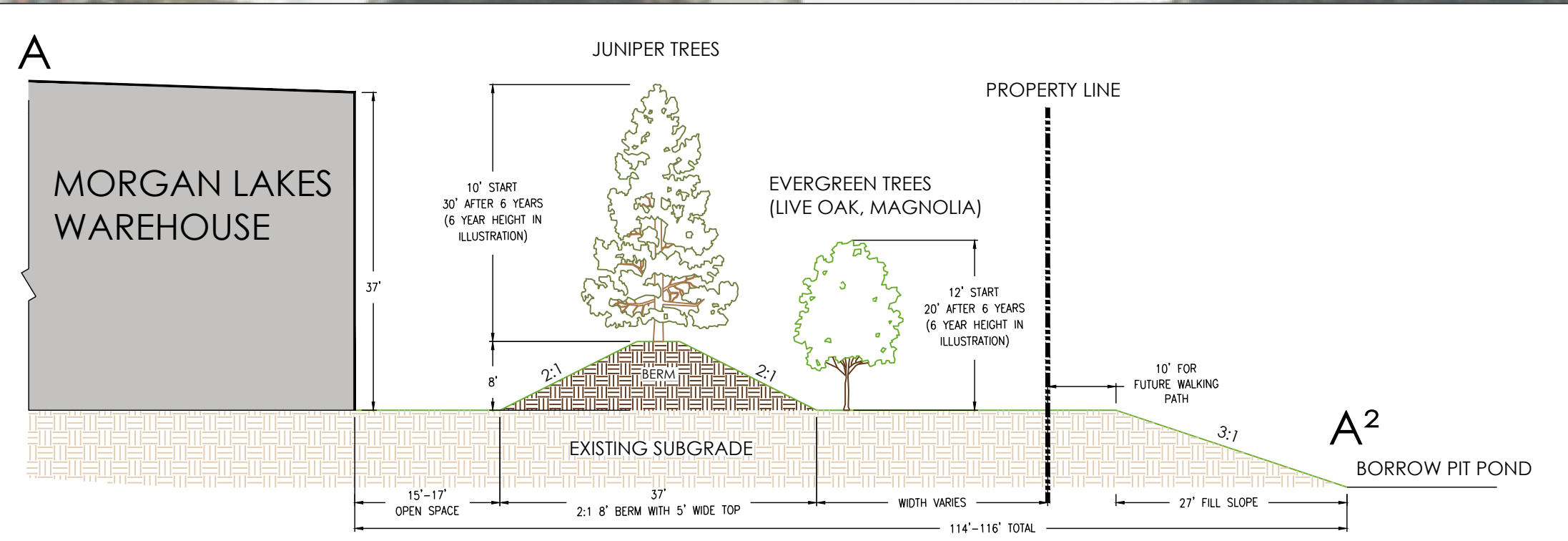
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER: 22-643
DATE: 1/31/24
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

EXHIBIT B

SHEET:
EXH



MORGAN LAKES WAREHOUSE CROSS SECTION A - A²
NTS

NOTE:
PROPOSED PLANTINGS ON TOP OF BERMS TO BE OF AN EVERGREEN SPECIES,
MIN. 10' HEIGHT AT TIME OF PLANTING, AND WILL GROW A MINIMUM OF 30'
TALL AT MATURITY.

PROPOSED PONDS

8' HIGH BERM
W/ 5' TOP WITH
JUNIPER/PINE
TREE SCREENING

SECURITY FENCE

FILL SLOPE
PROPOSED:
1 ROW EVERGREENS 10'
ON CENTER ALONG
BASE OF BERM



PARRALEL PARKING TO SHIFT STORAGE
FROM FRONTING RESIDENTIAL TO
FRONTING EXISTING INDUSTRIAL

COLEMAN COMPANY
ENGINEERS • SURVEYORS
Savannah, Georgia | (912) 906-3041 | CCI.SAV.GA.COM

NOT FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
MORGAN LAKES INDUSTRIAL PARK
PHASE 1
LOCATED IN POOLER, GEORGIA
PREPARED FOR MAHANY CONSTRUCTION CO.

JOB NUMBER:	22-643
DATE:	1/31/24
DRAWN BY:	CLM
CHECKED BY:	PJW
SCALE:	AS NOTED

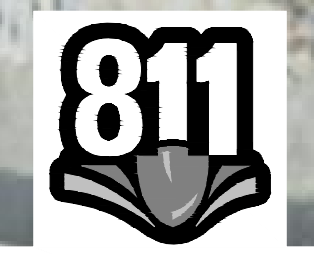
EXHIBIT B

SHEET:
EXH

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/27/2024 8:54 AM BY: Prichard Wynn DRAWING PATH: C:\2023\22-643\000\DWG\CH032-643-STAK (cch032) (b) (dws)



SCALE: 1"=120'
0' 60' 120' 240'



Know what's below.
Call before you dig.

The Farm at Morgan Lakes Homeowners Association, Inc.

P. O. Box 13310
Savannah, GA 31416
Office (912) 236-7575

19 March 2024

City Council Members

City of Pooler, GA

100 US Highway 80 SW, Pooler, GA 31322

Subject: Resolution of Concerns Regarding December 18, 2023 City Council Meeting
Agenda Items IV.C. and IV.H

Dear City Council Members of Pooler, GA,

I trust this letter finds you well. I'm reaching out to provide an update on the concerns discussed during the City Council Meeting on December 18, 2023, regarding agenda items IV.C. and IV.H. concerning 385 Morgan Lakes Industrial Boulevard.

Following productive meetings with representatives from Coleman Engineering and Baker Constructors, on March 4, 2024, we reached a resolution in addressing the issues outlined in our previous communications. Below is a summary of the key points discussed and the resolutions reached, this is also depicted on EXHIBIT B Plan sheet:

Fence Agreement:

- A security fence will be installed, featuring slats on the north side of the building.
- Additionally, a formal agreement is underway for additional fencing installation.

Building Height/Noise:

- The building's maximum height will be 37 feet, with the corner at 34 feet due to roof slope. To mitigate this, a berm will be constructed along with new tree planting on the north side.
- The berms will be 8 feet tall and 5 feet wide, with proposed plantings of evergreen species on top, such as Junipers at 10' when planted, maintaining the area's aesthetic appeal.

Parking Lot:

- The size of the north parking lot has been appropriately reduced to address community concerns.

The Farm at Morgan Lakes Homeowners Association, Inc.

P. O. Box 13310
Savannah, GA 31416
Office (912) 236-7575

Water Management:

- The pond will discharge into the lake, passing through the necessary water quality measures mandated by the state, thus ensuring the lake's integrity and water quality.

Lighting:

- Final lighting plans will be determined upon presentation of architectural plans, aiming to minimize light pollution and community impact.
- Downward facing lights will be installed at all exit doors, and wall pack units will replace power poles as per the original plan, mitigating concerns about exterior lighting.

Construction Timeline:

- Construction will commence upon receipt of permits, with the start date dependent on plan approval to adhere to procedural requirements.

We believe these resolutions effectively address the concerns raised by The Farm at Morgan Lakes Homeowners Association, Inc., and the broader community. We are grateful for the City Council's dedication in helping facilitate addressing these matters with our community.

I'm thankful for the opportunity to speak during the public comments section of the upcoming City Council Meeting, to further discuss these resolutions and address any questions that may arise.



Jonathan Dunn

President, Board of Directors

The Farm at Morgan Lakes Homeowners Association, Inc.

cc: Janice Rossiter, Property Manager



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
PUD Amendment for Savannah Quarters Phases 8 & 16

Project:	#A24-0021
P&Z Meeting Date:	March 25, 2024
Public Hearing Date:	April 1, 2024
Applicant and Authorized Agent:	Stature Investments/Bouhan Falligant (Agent)
Location (Address):	1765 Quacco Rd
Parcel (PIN):	51009 01037
Existing Zoning:	PUD (Savannah Quarters, Phase 8)
Zoning Action:	PUD Amendment
Request:	Request to reclassify approximately 22.12 acres from Phase 8 to Phase 16 and amend standards related to Phase 16.
Application Filed:	March 1, 2024
Legal Notice Published:	March 17, 2024
Sign Posted:	March 14, 2024
Letters Mailed:	March 6, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z disagreed with staff and recommends disapproval .
Recommended Motion:	<i>"After review of the criteria, move for approval of the request."</i>

Background:

The subject site is an approximately 22.12 acre tract within Phase 8 of the Savannah Quarters PUD. Phase 8 of the PUD is designated for places of worship only. The existing site is the previous location for Christ Presbyterian Church. The Church is no longer operating out of this location and the building is unoccupied.

The applicant desires to establish a mixed-use development upon the site consisting of a mix of retail commercial and multi-family residential. This would entail both residential mixed-use buildings as well as stand-alone multi-family buildings. The existing non-residential structure is being considered for a variety of potential community and event-oriented uses.

The applicant is proposing to transfer the property from Phase 8 of the PUD into Phase 16, which would allow for the type of development sought. Phase 16 was most recently amended on November 7, 2022 to allow for multi-family residential uses. A previous request similar to the proposed was withdrawn in October of 2023.

The applicant has also provided a letter of approval from the Westbrook HOA in support of the petition.

The Pooler 2040 Comprehensive Plan identifies this area within the PUD/Mixed-Use character area. The FLUM designates this site as Residential.

Relevant Ordinances:

Savannah Quarters PUD

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *Yes, the requested zoning would be a logical extension of a zoning boundary and would improve the pattern of uses in the general area. The proposed use would allow for a variety of uses in context and character with the surrounding area and would allow for activation of the site where potential usage is otherwise limited.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, the request is not considered spot zoning. The adjacent phase across the street is included in Phase 16 and would fit within the overall Savannah Quarters PUD.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established

single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?

- *It is possible that with the increased development additional traffic could be created; however, any new development would require meeting the traffic impact provisions related to a site plan to mitigate any impacts. Likewise, the proposed development would not traverse through any residential areas and would generally be accessible from a signalized intersection onto a collector road and from a major thoroughfare.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
- *No, the request would not place irreversible limitations on the area or the future plans for it. The surrounding properties are all zoned within the Savannah Quarters PUD and the request is consistent with the recommendations of the Comprehensive Plan.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- *Yes, the property as presently zoned has limited usage due to the requirements of Phase 8. The current owner is specifically seeking to sell the vacant property to the applicant for the proposed use.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- *No, the proposed development would be consistent with that of the general area. The property would allow for similar uses such as those across, and further up, Pooler Parkway in Blakely Commons, which are part of Phase 16 and Phase 2. The proposed uses for this site would be compatible with those planned or otherwise allowed. The proposed uses at this site would not substantially conflict with the adjacent Risen Savior Lutheran Church and Academy. Likewise, the closest single-family residence is approximately 300 feet from any proposed development and is buffered by existing wetland.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- *It is unlikely that additional requests would be made which would generate or accelerate land use changes in the area. The only potential property that could see changes such as this would be the adjacent property*

within Phase 8, which is still currently being used as a place of worship and school.

8. Will the action adversely impact adjacent or nearby properties in terms of:
- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *No, the request should not adversely impact the nearby properties as it relates to environmental quality, livability, or cause incompatible development. The proposed development area is approximately 300 feet from the nearest residential property to the rear off of Spanton Crescent.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*
9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?
- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility*

of the developer and would not place a burden on the City.

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation
- D. Letter of Support
- E. Letter of Opposition



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Savannah Quarters Phase 16 & 8

Parcels



CITY OF POOLER
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A great place to Live, Work and Play

Savannah Quarters PUD Amendment

-  Parcels
-  Business/Commercial
-  Industrial
-  PUD
-  Residential
-  Main Street Boundary



City of Pooler

Zoning Map Amendment Application

Date: _____

File #: _____

Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

1. Name of owner/authorized agent: Pooler One Investments, LLC, c/o Bouhan Falligant
2. Address of owner/authorized agent: One West Park Avenue, Savannah, GA 31401; Attn: John D. Northup III, Esq.
3. Telephone number of owner/agent: _____
4. Have any previous applications been made for a text or map amendment affecting these same premises? Yes *or* No
5. If yes, give file number, date and action taken: See Attachment Exhibit A
(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

Information Required:

1. General location of property (the area) street number and location with respect to nearby public roads in common use: 1765 Quacco Road, Pooler, GA 31322
2. Legal description of property (name of subdivision, block and lot number): See attachment Ex A Parcel 6-A (as shown on Plat 29S/50), 22.12 ac. @ NW corner of Quacco Rd and Spanton Crescent
3. PIN #: 51009 01037
4. Zone Classification: Present PUD Requested: PUD
5. Owner of property: (If same as applicant, leave blank) _____
6. Address of owner: c/o Bouhan Falligant LLP, One West Park Avenue, Savannah, GA 31401
7. Telephone number of owner: _____
8. Total area of property: (acres or approximate sq. feet) 22.12 acres
9. Existing land use (specify such as grocery store, single-family residence, vacant land, etc.) See Attachment Exhibit B
10. Desire land use (specify such as residence, grocery store, mobile home park, etc.) _____
See Attachment Exhibit C

Reasons and Certifications

(Required for all amendments)

- Reasons for requesting change of zoning map which would support the purposes of the zoning program: See Attachment Exhibit D

City of Pooler

Zoning Map Amendment Application

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way.

Risen Savior Lutheran Church of Savannah, Ga, Inc
1755 Quacco Road, Pooler, GA 31322

Southwest Quadrant Development Company, LLC
P.O. Box 2309, Pawleys Island, SC 29585-2309

MND-SQ, LLC
100 Blue Moon Crossing, Ste 114
Pooler, GA 31322

Westbrook at Savannah Quarters Community Association, Inc.
1040 William Hilton Pkwy, Ste 200
Hilton Head, SC 29928

- (Please list additional names on separate sheet)


Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- No**, I have not made campaign contributions to any Pooler City Official(s).
- Yes**, I have made campaign contributions to one or more Pooler City (Official(s)).

City Official	Title	Dollar Value	Description of Gift

I attest that all the information provided is true to fact


 (Applicant's signature)

Date: 2.27.24

City of Pooler

Zoning Map Amendment Application

Filing Requirements

Applicant must submit the following information 30 days prior to the regularly scheduled meeting on the second and fourth Monday of each month. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission.


- Filing fee (see schedule of fees). Make checks payable to the City of Pooler.
- For Power Point presentation, please e-mail PDF file on project to *kclassen@pooler-ga.gov*
- A scaled plat showing dimensions, acreage, location of the tract(s) and utility easements prepared by a licensed architect/surveyor. Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Legal description of property.
- Complete Campaign Contributions and Acknowledge receipt of Zoning Standards for Map Amendment.
- If Agent, Authorization of property owner, signed, dated and notarized.
- Copy of current tax bill showing payment or a certification from the City of Pooler Tax Office stating taxes were paid.

40 I acknowledge receipt of Zoning Standards for a Map Amendment. I understand the standards and any other
initial factors relevant to promoting the public health, safety, and general welfare of the City of Pooler against unrestricted use of property will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision.

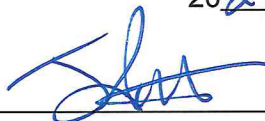
I have received and understand the "checklist" of actions needed to amend the City of Pooler Zoning Map.

I hereby certify that the above stated facts are true to the best of my knowledge and I am the owner or authorized agent for the owner of subject property.

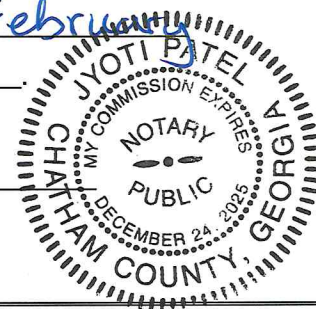
Sworn to and subscribed before me on this 28th day of February 2024.



Owner's or authorized agent's signature



Notary Public



Application Status

This portion to be completed by Zoning Administrator

- Hearing date has been set for: _____
- Notice published in newspaper on: _____ (15 days prior to hearing date)
- Letters of notification mailed to adjacent property owners on: _____
- This action was approved _____ or denied _____ (copy of minutes disposing of this action are attached).
- Notification of the results of this action mailed to the applicant on: _____
- Sign posted: _____

EXHIBIT A
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

Previous Applications

An affiliate of the petitioner – Stature Investments, LLC (“Stature”) – previously filed two different applications for map amendments regarding the subject parcel. The first was application #231155, which was withdrawn before it would have been heard by Pooler City Council at its regular meeting on October 2, 2023. The second application was filed on or about January 19, 2024, but was subsequently withdrawn by Stature in the first few days after it was filed (before the application received an official file number), due to an internal oversight regarding the petitioner’s authority to file such application.

Legal Description

All that certain lot, tract or parcel of land situate, lying and being in the 7th G.M. District, Chatham County, Georgia, and shown as Parcel “6-A” on that Plat titled “Minor Subdivision, Tract 8 and a Portion of Tract 6, Being Lands of Southwest Quadrant Development Company, LLC, Seventh G.M. District, City of Pooler, Chatham County, Georgia, for Southwest Development Company, LLC”, prepared by James M. Sims, Georgia Registered Land Surveyor No. 2280, dated November 25, 2003, and recorded in Subdivision Map Book 29S, Page 50, Chatham County, Georgia records, said plat being incorporated herein and made a part hereof by this reference.

EXHIBIT B
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

Existing Land Use

The subject parcel currently contains only a church building, which was the previous location for Christ Presbyterian Church. Christ Presbyterian Church is no longer operating out of this location, so the building is unoccupied.

EXHIBIT C
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

Desired Land Use

The desired land use for the subject parcel is a mix of multifamily residential and retail/commercial use. The petitioner's proposed mixed-use development comprises mixed use buildings with multifamily over commercial uses, as well as standalone multifamily buildings in the rear of the property. The existing church building at the front corner of the property may also be developed as an event space, convention center or other community center.

EXHIBIT D
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

Reasons and Certifications

This application for a zoning map amendment proposes to re-classify approximately 22.12 acres (13.72 upland acres) within the Savannah Quarters PUD from Phase Eight (Church only) to Phase Sixteen (Mixed Use), in connection with a proposed mixed-use development on the northwest corner of Quacco Road and Spanton Crescent. Petitioner Pooler One Investments, LLC purchased the subject parcel from its previous owner, Savannah Presbytery, Inc., on February 15, 2024. Pooler One Investments' proposed mixed-use development, as shown on the preliminary Concept Plan attached hereto as **Appendix A**, anticipates the following uses:

- 1) Three true mixed-use buildings on the outparcels bordering Spanton Crescent, with multifamily uses above retail or commercial uses on the ground level.
- 2) Six 3-story multifamily buildings are spread along the rear of the property, set back from both Spanton Crescent and Pooler Parkway / Quacco Road.
- 3) A two-story amenities center is centrally located on the property between the multifamily buildings and mixed use buildings, as well as four pickleball courts.
- 4) The former church building is planned to be converted into a 10,000 square foot event center or convention center.
- 5) The northern portion of the property is planned for a 2,500 square foot community event space.

The preliminary Concept Plan further anticipates the development having three points of ingress/egress one which provides access to Pooler Parkway / Quacco Road at the northernmost point of the property – this will provide access for trucks to/from Pooler Parkway at the farthest point away from Pooler Parkway's intersection with Spanton Crescent. The second and third access points will provide access to/from Spanton Crescent, and correlate with breaks in the median along Spanton Crescent.

The subject parcel, as well as the parcel directly across Spanton Crescent from the subject parcel, are the only two parcels within the Savannah Quarters PUD that are in "Phase Eight" of the PUD (see the current Savannah Quarters Master Plan attached hereto as **Appendix B**). Phase Eight was created in January 2005, in order to allow two churches to be constructed on the two parcels on the western corners of Quacco Road and Spanton Crescent. The parcel to the south of Spanton Crescent is currently owned by Risen Savior Lutheran Church of Savannah, Inc., and the Risen Savior Lutheran Church operates out of the church building located there.

The subject parcel currently contains only a church building, which was the previous location for Christ Presbyterian Church. Christ Presbyterian Church is no longer operating out of this location, so the building is unoccupied. The subject parcel is within Phase Eight, whose primary permitted use is a church.

The petitioner intends a mixed-use development for the site. In order to allow for such a development, the petitioner intends to seek a map amendment to reclassify the subject parcel from Phase Eight to Phase Sixteen. Phase Sixteen (Mixed Use) is a phase of the Savannah Quarters PUD that currently comprises three parcels, all of which are located along Pooler Parkway (or Quacco Road) – the first is directly across Quacco Road from the subject parcel, the second and third are the next two upland parcels to the north, on the same side of Pooler Parkway as the subject parcel. Phase Sixteen allows a variety of uses, including multifamily residential, commercial and medical uses. Given its similar location to the three existing parcels within Phase Sixteen, the reclassification of the subject parcel from Phase Eight to Phase Sixteen is consistent with the development patterns within the Savannah Quarters PUD, and the greater Pooler Parkway / Quacco Road corridor.

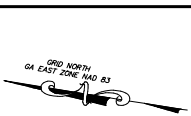
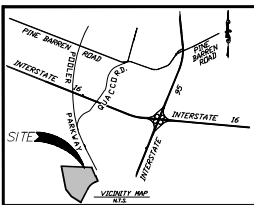
To accomplish the transfer of the subject parcel from Phase Eight to Phase Sixteen, the petitioner proposes to amend the Master Plan for both phases. The Master Plan for Phase Eight will be amended solely to remove the subject parcel from Phase Eight to allow it to be added to Phase Sixteen. The Master Plan for Phase Sixteen will be amended to (i) add the subject parcel to Phase Sixteen, and (ii) impose additional restrictions on the uses permitted within commercial sections of Phase Sixteen, but only as they pertain to the subject parcel. The proposed amended and restated Master Plan for Phase Sixteen is attached hereto as **Appendix C**, and the proposed amended and restated Master Plan for Phase Eight is attached hereto as **Appendix D**.

The proposed updated version of the Savannah Quarters Master Plan (reflecting the transfer of the subject parcel from Phase Eight to Phase Sixteen) is attached hereto as **Appendix E**.

APPENDIX A

PRELIMINARY CONCEPT PLAN

[attached]



POOLER PARKWAY R/W VARIES

NUMBER	DIRECTION	DISTANCE
L1	N66°30'00" E	118.46'
L2	S66°30'00" W	123.15'
L3	S26°34'21" W	143.69'
L4	S26°34'21" W	87.03'
L5	N66°30'00" E	103.75'
L6	S23°30'41" E	36.00'

NUMBER	DELTA ANGLE	RADIUS	TANGENT ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	
C1	202°10'00"	8680.40	26.47	52.39	N23°23'50" W	
C2	60°15'00"	5200.71	168.52	350.83	N46°42'19" E	
C3	40°15'00"	400.71	146.89	280.58	N46°42'19" E	
C4	230°15'00"	14498.16	303.50	606.85	606.78	S24°12'24" E

TRACT 8
HIGH GROUND (INCLUDES BUFFER) 7.08 AC.
WETLAND 1.07 ACRES TOTAL 8.15 AC.

PARCEL 6-A
UPLAND AREA
13.72 AC.

NUMBER	DIRECTION	DISTANCE
B1	N26°34'21" E	37.46'
B2	N17°32'50" W	33.88'
B3	N77°34'19" E	34.72'
B4	N29°52'56" W	33.03'
B5	N77°34'19" E	42.85'
B6	N62°47'57" W	46.72'
B7	N60°27'30" W	23.94'
B8	N29°52'56" W	33.88'
B9	N20°48'42" W	81.37'
B10	N60°27'30" W	23.94'
B11	N46°58'12" W	25.84'
B12	N16°18'21" W	12.12'
B13	N22°24'17" E	101.17'
B14	S82°18'53" W	81.49'
B15	N29°52'56" W	33.88'
B16	N25°07'25" W	72.42'
B17	N29°52'56" W	33.88'
B18	N28°58'28" E	32.82'
B19	N79°32'26" E	32.39'
B20	N29°52'56" E	33.88'
B21	S82°22'56" W	53.60'
B22	N76°28'02" W	61.68'
B23	S43°44'48" W	41.15'
B24	S89°23'32" W	48.48'
B25	N21°50'00" E	50.00'
B26	N64°33'22" E	29.36'
B27	N79°32'26" E	60.00'
B28	N40°43'50" E	74.17'
B29	N19°21'12" E	24.81'
B30	S89°24'42" W	50.54'
B31	N39°41'24" E	37.87'
B32	N46°58'12" W	25.84'
B33	N26°34'21" E	25.14'
B34	N25°07'25" W	22.02'
B35	S66°07'50" W	63.80'
B36	N66°07'20" W	22.84'
B37	N79°32'26" E	24.74'
B38	N37°07'12" W	80.35'
B39	N77°34'19" E	34.72'
B40	S79°11'00" W	26.58'
B41	S69°24'24" W	22.02'
B42	N25°07'25" W	22.02'
B43	N29°52'56" W	33.88'
B44	N29°52'56" W	33.88'
B45	N25°07'25" W	22.02'
B46	N25°07'25" W	22.02'

NOTES:

- PROPERTY ADDRESS: PARCEL 6-A POOLER, GEORGIA 31322
- TOTAL AREA: 22.12 AC.
UPLAND AREA: 13.72 AC.
WETLAND AREA: 8.40 AC.
- PARKING:
MULTI-FAMILY (0.75 SPACES/UNIT)
COMMERCIAL/RETAIL (4.5 SPACES/1,000 S.F.)
CONVENTION CENTER (0.18 SPACES/1,000 S.F.)
TOTAL SPACES REQUIRED: 417 SPACES
TOTAL PROVIDED: 462 SPACES
GOLF CART SPACES: 3 SPACES PROVIDED (NOT COUNTED IN THE REQUIRED PARKING)
- HANDICAP SPACES REQUIRED: 401 = 500 SPACES + 9 TOTAL REQ. (INCLUDING 1 VAN SPACE)
26 SPACES PROVIDED (INCL. 16 VAN ACCESSIBLE PROVIDED)
- ZONING = PUD
- HORIZONTAL DATUM IS BASED ON GRID NORTH
- BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, 1303020190 EFFECTIVE DATE: 08/16/2018
- PARCEL IDENTIFICATION NUMBER: 51009 01037
- STORMWATER: THIS DEVELOPMENT WILL NOT INCREASE STORMWATER RUNOFF BY WAY OF ON-SITE STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES IN THE PROPOSED DETENTION POND.
- GREEN SPACE = 6.34 AC (48.2%)
PROPOSED PAVEMENT AREA = 1.94 AC
PROPOSED SIDEWALK AREA = 0.48 AC
PROPOSED BIKEWAY CORRIDOR = 0.35 AC
PROPOSED IMPERVIOUS = 7.92 AC
EXISTING IMPERVIOUS = 0.65 AC
- STATE WATERS EXIST ON THIS SITE.



P.O. BOX 13091
SAVANNAH, GA 31416-0991
PH: (912) 228-2282
james@fretus.com



LEVEL II CERTIFIED DESIGN
PROFESSIONAL #8750



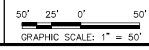
No.	Revision/Issue	Date
1		
2		
3		
4		
5		

WETLAND BUFFER LINE TABLE

NUMBER	DIRECTION	DISTANCE
B1	N26°34'21" E	37.46'
B2	N17°32'50" W	33.88'
B3	N77°34'19" E	34.72'
B4	N29°52'56" W	33.03'
B5	N77°34'19" E	42.85'
B6	N62°47'57" W	46.72'
B7	N60°27'30" W	23.94'
B8	N29°52'56" W	33.88'
B9	N20°48'42" W	81.37'
B10	N60°27'30" W	23.94'
B11	N46°58'12" W	25.84'
B12	N16°18'21" W	12.12'
B13	N22°24'17" E	101.17'
B14	S82°18'53" W	81.49'
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B17	N29°52'56" W	33.88'
B18	N28°58'28" E	32.82'
B19	N79°32'26" E	32.39'
B20	N29°52'56" E	33.88'
B21	S82°22'56" W	53.60'
B22	N76°28'02" W	61.68'
B23	S43°44'48" W	41.15'
B24	S89°23'32" W	48.48'
B25	N21°50'00" E	50.00'
B26	N64°33'22" E	29.36'
B27	N79°32'26" E	60.00'
B28	N40°43'50" E	74.17'
B29	N19°21'12" E	24.81'
B30	S89°24'42" W	50.54'
B31	N39°41'24" E	37.87'
B32	N46°58'12" W	25.84'
B33	N26°34'21" E	25.14'
B34	N25°07'25" W	22.02'
B35	S66°07'50" W	63.80'
B36	N66°07'20" W	22.84'
B37	N79°32'26" E	24.74'
B38	N37°07'12" W	80.35'
B39	N77°34'19" E	34.72'
B40	S79°11'00" W	26.58'
B41	S69°24'24" W	22.02'
B42	N25°07'25" W	22.02'
B43	N29°52'56" W	33.88'
B44	N29°52'56" W	33.88'
B45	N25°07'25" W	22.02'
B46	N25°07'25" W	22.02'

PROJECT FILED
QUACCO ROAD AND SPANTON CRESCENT MIXED-USE DEVELOPMENT
OWNER: MR. YASHI DESAI
STATE REGISTERED SURVEYOR
PREPARED FOR: STATE REGISTERED SURVEYOR
MR. YASHI DESAI
QUACCO ROAD AND SPANTON CRESCENT
POOLER, GEORGIA 31322
SHEET TITLE:
CONCEPT PLAN

SCALE: 1" = 30'
PROJECT NO.: 062-001
DATE: 07/03/23
DRAWN BY: JFW
CHECKED BY: JFW
SHEET 1 of 1



APPENDIX B

CURRENT MASTER PLAN (2022)

SAVANNAH QUARTERS PUD

[attached]

RECEIVED
 JUL 15 2022
 ZONING DEPARTMENT

FINAL P.U.D.
 MASTER PLAN



SAVANNAH QUARTERS

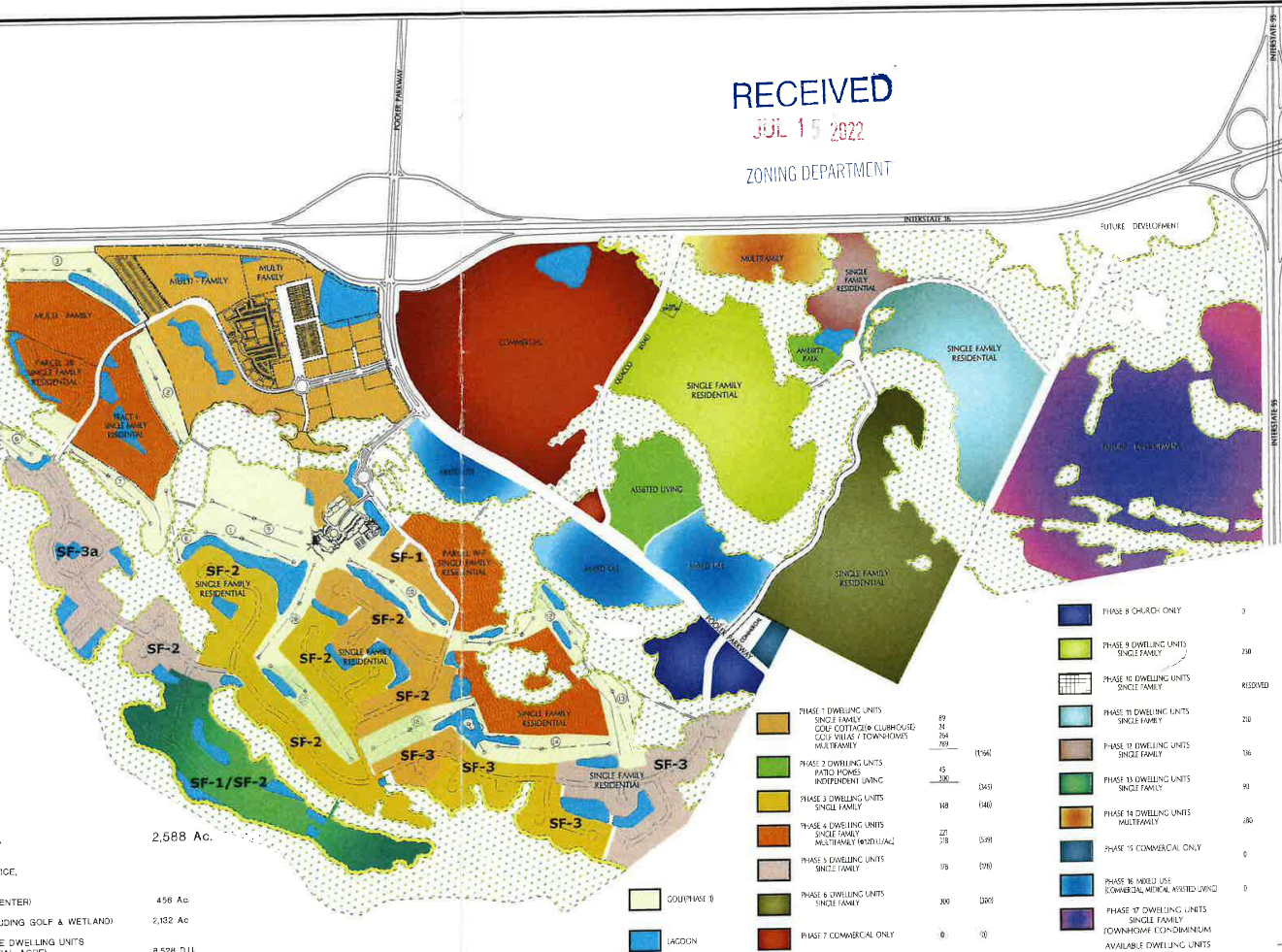
PREPARED FOR:
 Hall Development Company

PREPARED BY:
 Haden-Stanziale
 Planning & Consulting, LLC

HUSSEY GAY BELL
 Established 1958

FINAL PUD PHASE ONE NOVEMBER 3, 1992 DC#000042,005	FINAL PUD PHASE TWO MARCH 24, 1998	FINAL PUD PHASE THREE AUGUST 30, 1995
FINAL PUD PHASE FOUR OCTOBER 12, 1993 DC#10,206	FINAL PUD PHASE FIVE MAY 23, 2002 DC#20488,000	FINAL PUD PHASE SIX JUNE 14, 2004
FINAL PUD PHASE SEVEN AUGUST 16, 2004	FINAL PUD PHASE EIGHT NOVEMBER 22, 2004	FINAL PUD PHASE NINE DECEMBER 18, 2004
FINAL PUD PHASE TEN RESERVED	FINAL PUD PHASE ELEVEN NOVEMBER 2, 2005 DC#20488,000	FINAL PUD PHASE TWELVE MARCH 10, 2009
FINAL PUD PHASE THIRTEEN SEPTEMBER 22, 2008	FINAL PUD PHASE FOURTEEN DECEMBER 9, 2009	FINAL PUD PHASE FIFTEEN FEBRUARY 18, 2011
FINAL PUD PHASE SIXTEEN JULY 21, 2014	FINAL PUD PHASE SEVENTEEN AUGUST 1, 2017	

TOTAL AREA	2,588 Ac.
NON-RESIDENTIAL (COMMERCIAL, OFFICE, MEDICAL, HOTEL, CHURCH, URBAN ENTERTAINMENT CENTER)	458 Ac.
RESIDENTIAL (INCLUDING GOLF & WETLAND)	2,132 Ac.
TOTAL ALLOWABLE DWELLING UNITS (@ 4 D.U./RESIDENTIAL ACRE)	8,528 D.U.



PHASE 1 DWELLING UNITS SINGLE FAMILY COOP. CO-TOWNHOMES/CLUBHOUSE COOP. PHASE 7 TOWNHOMES MULTIFAMILY	89 24 264 757	(1,94)	PHASE 8 CHURCH ONLY	0	00
PHASE 2 DWELLING UNITS PARTI HOMES INDEPENDENT LIVING	45 306	(343)	PHASE 9 DWELLING UNITS SINGLE FAMILY	248	(230)
PHASE 3 DWELLING UNITS SINGLE FAMILY	148	(140)	PHASE 10 DWELLING UNITS SINGLE FAMILY	RESERVED	
PHASE 4 DWELLING UNITS SINGLE FAMILY MULTIFAMILY (RESIDENTIAL)	27 278	(305)	PHASE 11 DWELLING UNITS SINGLE FAMILY	210	(210)
PHASE 5 DWELLING UNITS SINGLE FAMILY	178	(170)	PHASE 12 DWELLING UNITS MULTIFAMILY	156	(150)
PHASE 6 DWELLING UNITS SINGLE FAMILY	300	(300)	PHASE 13 COMMERCIAL ONLY	0	00
PHASE 7 COMMERCIAL ONLY	0	(0)	PHASE 14 HOTEL USE COMMERCIAL, MEDICAL, ASSISTED LIVING	0	00
			PHASE 15 DWELLING UNITS SINGLE FAMILY TOWNHOMES, CONDOMINIUM AVAILABLE DWELLING UNITS IN FUTURE PHASES		(1,800)
					3,778 D.U.

APPENDIX C

AMENDED AND RESTATED

SOUTHWEST QUADRANT PHASE SIXTEEN MASTER PLAN

SAVANNAH QUARTERS PUD

[attached]

SOUTHWEST QUADRANT PHASE SIXTEEN
FINAL P.U.D. MASTER PLAN

I. GENERAL

The project consists of a mixed-use master-planned community on approximately 2,588 acres located at the southwest quadrant of the I-95/1-16 interchange. Anticipated uses include single-family and multi-family residential, golf club, commercial, churches, medical services, offices, senior residential, hotels and urban entertainment. Planned Unit Development zoning for this property was approved by City Council on December 7, 1998, based on the Conceptual Master Plan dated September 15, 1998 prepared by EDSA.

The current application is for Final P.U.D. Approval for Phase 16 and associated development standards in accordance with requirements of the City of Pooler PUD Zoning Ordinance.

II. PHASE SIXTEEN FINAL PUD PLAN

Phase Sixteen consists of three parcels of approximately 67 upland acres. These parcels are known as Parcels 6-B and 6-C located on the west side of Pooler Parkway, and the remainder portion of Parcel 13 on the east side of Pooler Parkway. **Parcel 6-A is a nearby parcel on the west side of Pooler Parkway which consists of approximately 22.12 gross acres / 13.72 upland acres, and is located within Phase Eight of the Savannah Quarters PUD. This PUD revision, which is being sought concurrently with a PUD revision of Phase Eight of the PUD, proposes to add Parcel 6-A to Phase Sixteen of the PUD. Upon approval of this PUD revision (i.e., switching Parcel 6-A from Phase Eight to Phase Sixteen), Phase Sixteen will consist of four parcels totaling approximately 81 upland acres.** Proposed uses and development standards are as follows:

A. Use Standards:

Multi-Family Residential

The following uses will be allowed in the multi-family areas of Phase Sixteen:

- multi-family attached residential apartments, condominiums, villas and townhomes
- leasing and operations offices
- community recreation facilities for parcel residents and guests; including but not limited to pools, tennis courts, parks, playgrounds, ball fields, trails, indoor recreation, meeting/banquet/hobby areas, laundry facilities
- maintenance and storage facilities for upkeep of common property and amenities
- storage of vehicles, boats, recreational vehicles (if separate from resident parking)

March 28, 2014
August, 2022
October, 2022
February, 2024

- temporary construction office/storage trailer

Commercial

As allowed in Pooler zoning districts C-1, C-2 or C-P, including:

- nursing and residential care facilities
- continuing care retirement communities with on-site nursing care facilities
- assisted-living facilities and other homes for the elderly without on-site nursing care facilities
- outdoor recreation
- grocery and retail
- restaurants with outdoor seating and/or live entertainment
- office and professional
- parking structures
- theater/assembly buildings
- bars or nightclubs
- family entertainment center (conforming to required noise limits)
- hotels

The following uses are not permitted:

- used auto sales and service
- mini-warehouses
- truck service centers
- mobile home sales
- stand-alone garages, automobile repair and service

Medical

- medical offices, surgery centers and clinics
- congregate or attached living facilities including independent senior units, assisted living, alzheimer/memory care, and skilled nursing care facilities
- exercise, spa, fitness and swimming facilities
- dining, meeting and resident maintenance facilities

B. Development Standards:

Multi-Family Residential

The multifamily uses allowed in Phase 16 will follow the provisions of the R-3C zoning district as specified in Article III, Section 6, *Schedule of development regulations* from the City of Pooler Code of Ordinances adopted August 18, 2021.

Commercial and Medical

Minimum front yard building setback: 15' to parcel boundary

March 28, 2014
August, 2022
October, 2022
February, 2024

	30' from road centerline
Minimum side or rear yard building setback:	10' to parcel boundary 20' to road centerline 20' to adjacent building (except 15' to a detached garage)
Maximum building height:	125 feet
Off-Street Parking:	Per City of Pooler Regulations Up to 15% of required spaces may be compact spaces (8' x 16' minimum)

C. Buffers:

Buffer requirements will conform to Article III, Section 11 of the City of Pooler Zoning Ordinance.

D. Road Standards:

- Right-of-way widths for public streets shall be 60 feet (minimum). Private streets shall be located in easements of minimum 50-foot width.
- Road construction standards shall be in accordance with City of Pooler Subdivision Regulations, except that all roads may have 12-foot lanes. Private street standards shall be subject to City of Pooler approval.

E. Project Identification / Entrance Features:

Entrances to the property from Pooler Parkway and Quacco Road may contain architectural and landscape/hardscape features to improve the aesthetics of the entrances and provide project identity for the development. These improvements may include, but are not limited to, features such as:

- masonry walls, pillars and architectural structures (open-air, non-habitable) not to exceed 35' in height from adjacent grade
- decorative metal fencing
- specialty lighting and lamp posts
- development name and icons
- fountains, park benches and similar hardscape features
- brick pavers or stamped and painted pavement
- landscaping and trees

The location of these improvements shall be outside of the right-of-way of Pooler Parkway and Quacco Road. The master developer may require review and approval of proposed features to be installed by developers of an individual parcel within the PUD.

March 28, 2014
August, 2022
October, 2022
February, 2024

APPENDIX D

AMENDED AND RESTATED

SOUTHWEST QUADRANT PHASE EIGHT MASTER PLAN

SAVANNAH QUARTERS PUD

[attached]

SOUTHWEST QUADRANT PHASE EIGHT
FINAL P.U.D. MASTER PLAN

I. GENERAL

The project consists of a mixed-use master-planned community on approximately 2,588 acres located at the southwest quadrant of the I-95/1-16 interchange. Anticipated uses include single-family and multi-family residential, golf club, commercial, churches, medical services, offices, senior residential, hotels, and urban entertainment. Planned Unit Development zoning for this property was approved by City Council on December 7, 1998, based on the Conceptual Master Plan dated September 15, 1998, prepared by EDSA.

The current application is for final P.U.D. approval for Phase 8 development and presents proposed development standards, in accordance with requirements of the City of Pooler PUD Zoning Ordinance.

II. PHASE EIGHT FINAL PUD PLAN

Phase Eight of the Savannah Quarters PUD consists of two church campuses on two parcels of approximately 20.8 upland acres total. **These parcels are located on the west side of Pooler Parkway – the parcel to the north of Spanton Crescent (containing 22.12 gross acres / 13.72 upland acres) is known as Parcel 6-A, while the parcel to the south of Spanton Crescent (containing 8.05 gross acres / 7.08 upland acres) is known as Tract 8. This PUD revision, which is being sought concurrently with a PUD revision of Phase Sixteen of the PUD, proposes to remove Parcel 6-A from Phase Eight, so that it can be added to Phase Sixteen of the PUD. This is intended to allow for a change in use of Parcel 6-A, from a church use to certain non-church uses that are not permitted uses in Phase Eight. Upon approval of this PUD revision, Phase Eight will consist of a single parcel (Tract 8) totaling 8.05 gross acres and 7.08 upland acres. Proposed uses and development standards are as follows:**

A. Development Standards

The following standards will be applied in Phase Eight:

Minimum front setback	(from Pooler Parkway R/W)	50 feet
	(from Spanton Crescent R/W)	35 feet
Minimum side setback	(from property line)	25 feet
Minimum rear setback	(from property line)	25 feet
Minimum building separation		20 feet
Maximum building height	(roof height, excludes steeple)	75 feet

November 22, 2004
February, 2024

Required parking: One space for each four (4) seats provided in the main assembly room. Additional parking for school use shall not be required.

Parking space dimensions Minimum 160 s.f., (min. width 9', min. length 18')

B. Use Standards

The following uses will be allowed in Phase Eight:

As allowed in Pooler zoning ordinance including:

- church and accessory uses
- private school and daycare
- outdoor recreation (private)
- temporary construction office/storage trailer

C. Buffers

Buffer requirements will conform to Article III, Section 11 of the City of Pooler Zoning Ordinance.

D. Road Standards

All travel ways shall be privately owned and maintained. Construction of access pavement in public rights-of-way shall meet requirements of the City of Pooler.

E. Project Identification/ Entrance Features

Entrances to the property from Pooler Parkway and Spanton Crescent may contain architectural and landscape/hardscape features to improve the aesthetics of the entrances and provide project identity for the parcels in this phase and adjacent development. These improvements may include, but are not limited to, features such as:

- masonry walls, pillars and architectural structures (open-air, non-habitable) not to exceed 35' in height from adjacent grade
- decorative metal fencing
- specialty lighting and lamp posts
- development name and icons
- fountains, park benches and similar hardscape features
- brick pavers or stamped and painted pavement
- landscaping and trees

The location of these improvements shall be outside of the right-of-way of Pooler Parkway and Spanton Crescent. The master developer may require review and approval of proposed features to be installed by developers of an individual parcel within this phase of the PUD.

November 22, 2004
February, 2024

APPENDIX E

PROPOSED UPDATED MASTER PLAN (2024)

SAVANNAH QUARTERS PUD

[attached]

FINAL P.U.D.
MASTER PLAN



SAVANNAH QUARTERS

PREPARED FOR:
Hall Development Company
Savannah, Georgia

PREPARED BY:
Haden-Stanziale
Planners, Architects, Engineers, Inc.
100 South Boulevard, Suite 200
Savannah, Georgia 31401
Tel: 912.233.4444, Fax: 912.233.4444
www.haden-stanziale.com
SEPTEMBER 3, 2009

HUSSEY GAY BELL
Established 1958

FINAL PUD PHASE ONE NOVEMBER 3, 1993 PH 1200000, 10, 200	FINAL PUD PHASE TWO MARCH 24, 2001	FINAL PUD PHASE THREE AUGUST 13, 2001	TOTAL AREA 2,588 Ac.
FINAL PUD PHASE FOUR DECEMBER 15, 2001 PH 1200000, 20, 200	FINAL PUD PHASE FIVE MAY 20, 2003 PH 1200000, 30, 200	FINAL PUD PHASE SIX JUNE 14, 2004	NON-RESIDENTIAL (COMMERCIAL, OFFICE, MEDICAL, HOTEL, CHURCH, URBAN ENTERTAINMENT CENTER) 468 Ac.
FINAL PUD PHASE SEVEN AUGUST 14, 2004	FINAL PUD PHASE EIGHT NOVEMBER 12, 2004	FINAL PUD PHASE NINE DECEMBER 10, 2004	RESIDENTIAL (INCLUDING GOLF & WETLAND) 2,122 Ac.
FINAL PUD PHASE TEN RESERVED	FINAL PUD PHASE ELEVEN NOVEMBER 1, 2005 PH 1200000, 10, 200	FINAL PUD PHASE TWELVE MARCH 14, 2006	TOTAL ALLOWABLE DWELLING UNITS (@ 4 D.U./RESIDENTIAL ACRE) 8,628 D.U.
FINAL PUD PHASE THIRTEEN SEPTEMBER 21, 2006	FINAL PUD PHASE FOURTEEN DECEMBER 14, 2006	FINAL PUD PHASE FIFTEEN FEBRUARY 14, 2011	
FINAL PUD PHASE SIXTEEN JULY 14, 2014	FINAL PUD PHASE SEVENTEEN AUGUST 1, 2017		

TOTAL AREA
2,588 Ac.

**NON-RESIDENTIAL
(COMMERCIAL, OFFICE,
MEDICAL, HOTEL,
CHURCH, URBAN
ENTERTAINMENT CENTER)**
468 Ac.

RESIDENTIAL (INCLUDING GOLF & WETLAND)
2,122 Ac.

**TOTAL ALLOWABLE DWELLING UNITS
(@ 4 D.U./RESIDENTIAL ACRE)**
8,628 D.U.

PHASE 1 DWELLING UNITS SINGLE FAMILY COLF VILLAGES / TOWNHOMES MULTIFAMILY	80 21 264 78	
PHASE 2 DWELLING UNITS PATIO HOMES INDEPENDENT LIVING	45 300	(150)
PHASE 3 DWELLING UNITS SINGLE FAMILY	148	(148)
PHASE 4 DWELLING UNITS SINGLE FAMILY MULTIFAMILY (BEDDING)	221 378	(630)
PHASE 5 DWELLING UNITS SINGLE FAMILY	176	(176)
PHASE 6 DWELLING UNITS SINGLE FAMILY	300	(300)
PHASE 7 COMMERCIAL ONLY	0	(0)

PHASE 8 CHURCH ONLY	0	(0)
PHASE 9 DWELLING UNITS SINGLE FAMILY	200	(200)
PHASE 10 DWELLING UNITS SINGLE FAMILY	RESERVED	
PHASE 11 DWELLING UNITS SINGLE FAMILY	220	(220)
PHASE 12 DWELLING UNITS SINGLE FAMILY	156	(156)
PHASE 13 DWELLING UNITS SINGLE FAMILY	90	(90)
PHASE 14 DWELLING UNITS MULTIFAMILY	300	(300)
PHASE 15 COMMERCIAL ONLY	0	(0)
PHASE 16 MIXED USE (COMMERCIAL, MEDICAL, ASSISTED LIVING)	0	(0)
PHASE 17 DWELLING UNITS SINGLE FAMILY TOWNHOME CONDOMINIUM		(1,000)
PHASE 18 DWELLING UNITS MULTIFAMILY TOWNHOMES		(1,000)
AVAILABLE DWELLING UNITS IN FUTURE PHASES		(1,000)

COUPHASE 0
LAGOON

WESTBROOK

at Savannah Quarters.
Community Association

westbrookatsavannahquarters.com

January 19, 2024

To whom it may concern;

The Voter Member board of Westbrook at Savannah Quarters met with Yash Desai on January 17, 2024, to discuss his plans for the parcel located at Pooler Parkway and Spanton Crescent.

During this meeting Mr. Desai presented his plans for the parcel and answered questions from the voter members. Ultimately, the Voter Members voted all in favor for the plans that were presented. The Voter members did not object to the rezoning of this parcel to accommodate the plans that they reviewed.

Please feel free to contact our office if you have any questions or concerns.

Sincerely,

Angie Germonprez, CAM
Westbrook Savannah Quarters

ATTACHMENT E

From: [Patrick Meehan](#)
To: [Nicole Dixon](#); bcrooks@poller-ga.gov; [Kimberly Dyer](#)
Cc: [Karen Williams](#)
Subject: **EXTERNAL EMAIL** Proposed Redevelopment of Church Property
Date: Friday, March 8, 2024 5:03:32 PM
Attachments: [Spanton Crescent Zoning issue.PNG](#)

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Good Afternoon Mayor Williams and Zoning and Planning Office,

It has come to my attention that there is a proposal in/or coming in regarding the church property located at the intersection of Pooler Highway and Spanton Crescent. As a resident of the City of Pooler first and a resident that lives on Spanton Crescent second, I would like to state my disbelief that the city would even listen to a plan like this. I have lived in Pooler for a short 2 years and all I have heard from Government and residents is the massive growth in the city without adequate infrastructure improvements. If the project plan that is attached is correct, this should be the publicity poster for how to cram 100 tons of buildings, cars and people into a 5 pound sack. This plan while appears to accommodate the needs of a developer, it clearly does not how an adequate means of entry and egress. A organization with this a type of layout is clearly being built with the intentions of having meetings and/or services with large groups. The massive parking lots are not to accommodate casual and extended entry and exit onto the property. The chaos that will be created pulling 500+ vehicles into this property at one time and then exiting in a similar manner.

The traffic on Pooler Highway between I-16 and the I-95 overpass is always congested. Add to this the construction already under way with hotels, additional apartments and businesses along this roadway without substantial infrastructure improvements is unacceptable. I would like to ask you to please use common sense and deny this request.

Respectfully,

Patrick & Maryann Meehan



CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

April 1, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Revised Preliminary Subdivision Plans for Harmony Phase 8

MEETING DATE: April 1, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: None



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Preliminary Construction Plans for Harmony Phase 8A [*Revisions*]

Project:	#230537
P&Z Meeting Date:	March 25, 2024
City Council Meeting Date:	April 1, 2024
Applicant and Authorized Agent:	Coleman Company
Location (Address):	Andante Way
Parcel (PIN):	51010 01046
Acreage:	32.91 total – 16.22 disturbed
Zoning:	PUD (Jabot) w/ conditions [June 21, 2021] <ul style="list-style-type: none">• Begin Phase 8 engineering and development;• New amenity construction must begin by 50% completion of Phase 8;• COs for the remaining 50% of the phase will not be issued until the new amenity construction is complete;• Existing amenities must be kept until the new amenity construction is complete; and,• A meeting of the developer and the HOA must be held within 60 days.
Proposed Use:	Residential Subdivision, Single-family Detached (44 lots)
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>

Zoning Action Standards:

1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.
 - The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.
2. Whether the site plan provides for adequate pedestrian and traffic access.
 - The site plan complies with the provisions of the Jabot PUD for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Jabot PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions of the Jabot PUD related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions of the Jabot PUD related to the PUD master plan for location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public serves to account for current or projected needs.

- The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
- The site plan complies with the provisions of the Jabot PUD related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- The site plan complies with the provisions of the Jabot PUD and Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. City Council Minutes
- B. Vicinity Map
- C. Application and Submittal Documentation
- D. Approval Letter



CITY of POOLER
GEORGIA

CITY COUNCIL REGULAR MEETING – MINUTES

September 18, 2023 at 1:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Rebecca C. Benton, Mayor
Tom Hutcherson, Mayor Pro Tem
Shannon Black, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
John Wilcher, Councilmember
Karen Williams, Councilmember
Matthew Saxon, Assistant City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent: Robert Byrd, City Manager

II. CALL TO ORDER

Mayor Rebecca C. Benton called the meeting to order at 1:00 p.m.

III. INVOCATION

Pastor Darren Thomas of The Church at Godley Station gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Pastor Darren Thomas of The Church at Godley Station led the pledge

V. CONSENT AGENDA

A. City Council Meeting Minutes of August 21, 2023

B. New Alcoholic Beverage License Application for Sero Box Korean Cuisine, LLC at 1009 Town Center Boulevard, Suite 1107

C. New Alcoholic Beverage License Application for Seoul Soontofu, LLC at 155 Traders Way, Suite 150

D. Special Event Permit Application for the Greater Pooler Area Chamber of Commerce on December 2, 2023 (Waiver Requested)

E. Department Reports

1. Public Works
2. Finance
3. Fire-Rescue Services
4. Police
5. Recreation
6. Planning & Development

Councilmember Karen Williams moved to approve the Consent Agenda.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Wilcher

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

VI. ORDINANCES, PROCLAMATIONS, & RESOLUTIONS

A. Ordinance O2023-08.A - Amendment to Chapter 82. Traffic and Vehicles, Article IV. Speed Zones (*Second Reading*)

Assistant City Manager Matthew Saxon presented the ordinance for consideration. Councilmember Aaron Higgins moved to approve the second reading of Ordinance O2023-08.A - Amendment to Chapter 82. Traffic and Vehicles, Article IV. Speed Zones.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Black

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

B. Resolution R2023-09.A - Appointment of a Director to the City of Pooler Development Authority

Assistant City Manager Matthew Saxon presented the resolution for consideration. Councilmember Karen Williams moved to approve Resolution R2023-09.A - Appointment of a Director to the City of Pooler Development Authority (Kevin Smith).

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Wilcher

AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams

NAYS:

VII. NEW BUSINESS

A. Preliminary Subdivision Plans for Harmony Phase 8A

Assistant City Manager Matthew Saxon presented the item for consideration.

Neil McKenzie was present on behalf of the petitioner to answer questions. Mayor Pro Tem Tom Hutcherson, upon review of the criteria, moved to approve the Preliminary Subdivision Plans for Harmony Phase 8A.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Hutcherson
SECONDER: Higgins
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

**B. Zoning Map Amendment for Collins Street Properties from R-1-A to C-1
(Public Hearing, Action)**

Assistant City Manager Matthew Saxon presented the item for consideration. Nicole Dixon, Director of Planning & Development, was present to answer questions. Mayor Rebecca Benton opened and closed the public hearing with no comment. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Zoning Map Amendment for Collins Street Properties from R-1-A to C-1.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

**C. Zoning Map Amendment for 1720 Quacco Road from R-A to C-2
(Public Hearing, Action)**

Assistant City Manager Matthew Saxon reported that the item had been withdrawn by the petitioner. Mayor Rebecca Benton opened and closed the public hearing with no comment. No action was taken.

**D. Zoning Map Amendment for Yancey Bros Dublin Road Properties from
RA-2 to I-1 (Public Hearing, Action)**

Assistant City Manager Matthew Saxon presented the item for consideration. Harold Yellin was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened and closed the public hearing with no comment. Councilmember Karen Williams, upon review of the criteria, moved to approve the Zoning Map Amendment for Yancey Bros Dublin Road Properties from RA-2 to I-1.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Black
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

**E. Conditional Use Request for 605 US Highway 80 West for a Daycare
Center and Tutoring Center (Public Hearing, Action)**

Assistant City Manager Matthew Saxon presented the item for consideration. Scotti Moore and Lori Lewis were present to answer questions. Mayor Rebecca Benton opened the public hearing. Residents Oscar Lewis and Dave Legasse

spoke in favor of the use. Mayor Rebecca Benton closed the public hearing. City Attorney Craig Call noted that having an open/approved conditional use at one property would not preclude a petitioner from requesting one at a second property, and that if unused, conditional use approvals expire after one year. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Conditional Use Request for 605 US Highway 80 West for a Daycare Center and Tutoring Center.

Motion to Approve; PASSED (5-1)
MOVER: Higgins
SECONDER: Williams
AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS: Wall

**F. Variance Request for 5158 Old Louisville Road for 80' Buffer Reduction
(Public Hearing, Action)**

Assistant City Manager Matthew Saxon presented the item for consideration. Doug Faircloth was present on behalf of the petitioner to answer questions. Mayor Rebecca Benton opened and closed the public hearing without comment. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Variance Request for 5158 Old Louisville Road for 80' Buffer Reduction subject to the remaining twenty-foot (20') buffer being heavily planted with understory trees and/or shrubs.

Motion to Approve with Stipulations; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS:

G. Site Plan for Blakely Commons Multifamily

Assistant City Manager Matthew Saxon presented the item for consideration. Rusty Windsor was present on behalf of the petitioner to answer questions. Resident John Hayden inquired as to the point at which the new development would access Pooler Parkway. Councilmember Karen Williams, upon review of the criteria, moved to approve the Site Plan for Blakely Commons Multifamily.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS:

H. Site Plan for Mosaic Gardens

Assistant City Manager Matthew Saxon presented the item for consideration and noted that the petitioner was not present. Councilmember John Wilcher moved to postpone the item until the next City Council Meeting scheduled for October 2, 2023.

Motion to Postpone; PASSED (UNANIMOUS)
MOVER: Wilcher
SECONDER: Wall

AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS:

I. Site Plan for High Avenue Extension (a/k/a 1-16 Mixed Use Access Road)

Assistant City Manager Matthew Saxon presented the item for consideration and noted that the petitioner was not present. Councilmember Aaron Higgins moved to postpone the item until the next City Council Meeting scheduled for October 2, 2023.

Motion to Postpone; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS:

J. Site Plan for Transportation Logistics Terminal 2A

Assistant City Manager Matthew Saxon presented the item for consideration. Lamar Mercer was present on behalf of the petitioner to answer questions. Councilmember Karen Williams, upon review of the criteria, moved to approve the Site Plan for Transportation Logistics Terminal 2A.

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Hutcherson
AYES: Black, Higgins, Hutcherson, Wilcher, Williams
NAYS:

VIII. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Aaron Higgins moved to enter Executive Session. Council entered Executive Session at 1:36 p.m.

Motion to Enter; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

Mayor Rebecca C. Benton called the meeting back to order at 1:45 p.m.

IX. ADJOURNMENT

Councilmember Aaron Higgins moved to adjourn.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Wilcher
AYES: Black, Higgins, Hutcherson, Wall, Wilcher, Williams
NAYS:

The meeting adjourned at 1:45 p.m.

The foregoing minutes are true and correct and are approved on this

2nd day of October, 2023.

CITY OF POOLER, GEORGIA

Rebecca Benton
Rebecca Benton, Mayor

ATTEST:

Kiley Fusco
Kiley Fusco, Clerk of Council





CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Harmony Phase 8





CIVIL CONSTRUCTION PLANS FOR

HARMONY SUBDIVISION

PHASE 8A 44 LOTS

PREPARED FOR HARMONY PARTNERS, LLC

SUMMARY OF REVISIONS:
 1. REDUCED LOT WIDTH (WHERE POSSIBLE) TO 55' MINIMUM ALLOWABLE IN JABOT PUD. 7000 SQUARE FOOT LOT AREA TO BE MAINTAINED.
 2. SHALLOWED SEWER MAIN DEPTH WHERE POSSIBLE.

I CERTIFY THAT ALL LAND DISTURBING ACTIVITIES AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

Edie Clumith
 OWNER

I CERTIFY THAT THIS DESIGN (INCLUDING THE STORMWATER MANAGEMENT SYSTEM) MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

ENGINEER OF RECORD *Nery*

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): NEIL P. MCKENZIE, PE
 GEORGIA PE NUMBER: PE036652
 GSWCC LEVEL III CERTIFICATION NUMBER: 44944



RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
 PHASE 8A**
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR HARMONY PARTNERS, LLC

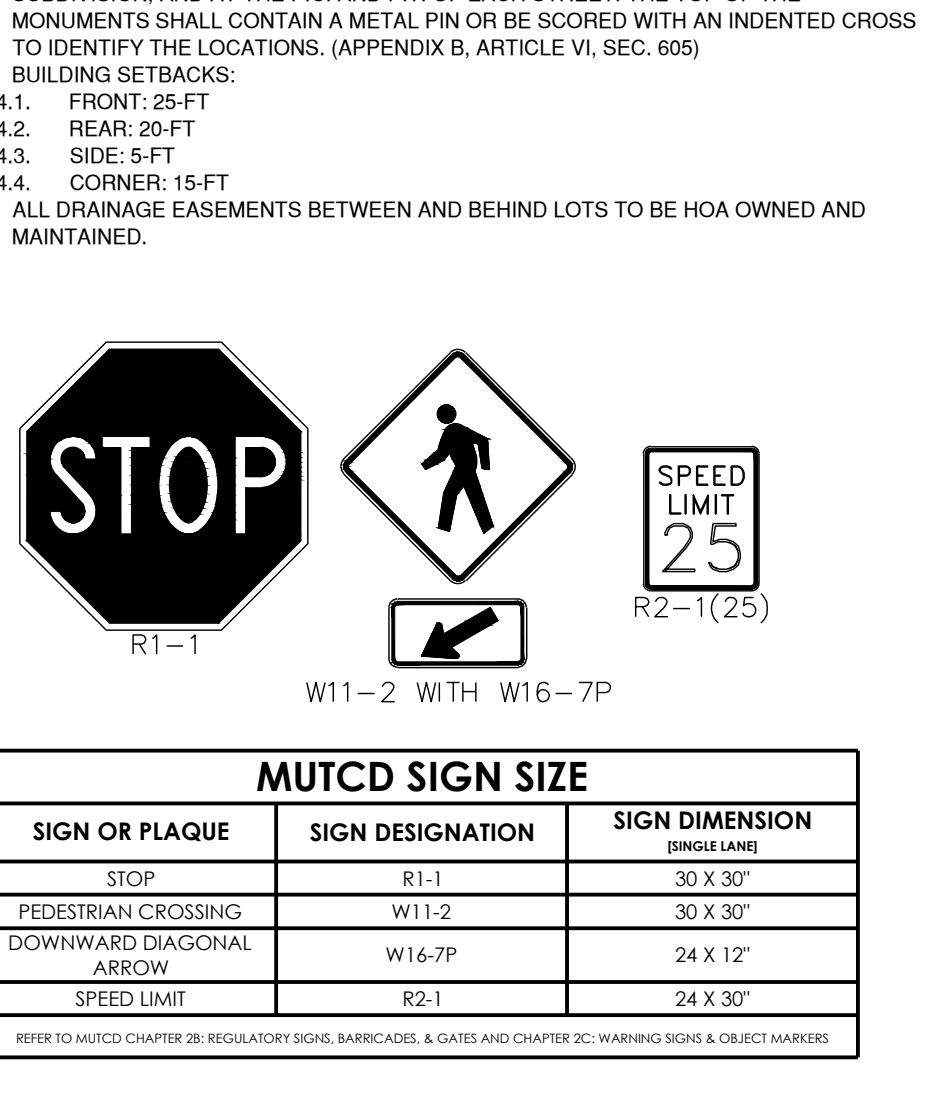
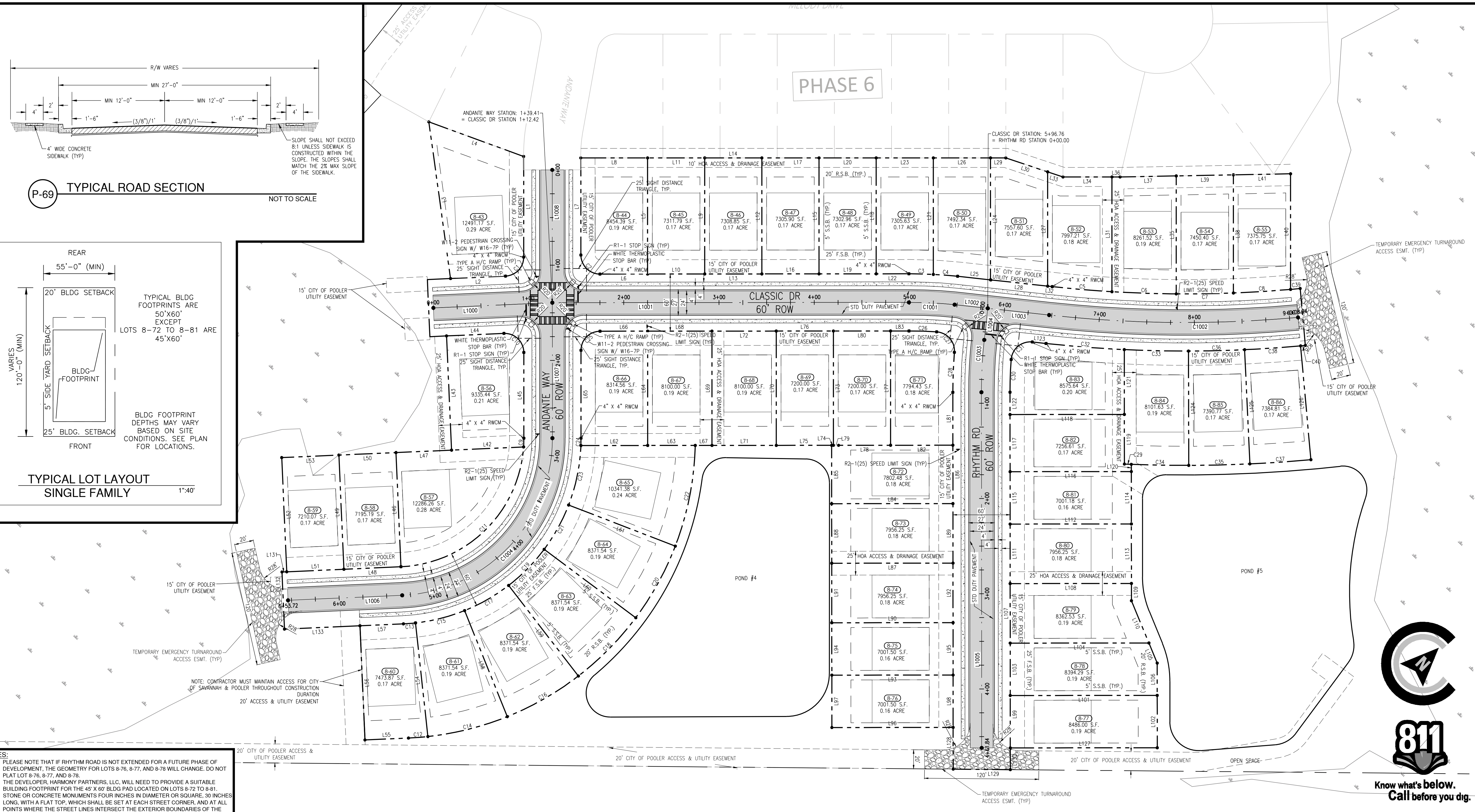
JOB NUMBER: 22-870.000
 DATE: 11/28/2023
 DRAWN BY: RCC
 CHECKED BY: NPM
 SCALE: AS NOTED

COVER

SHEET:
COV

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/28/2024 2:19 PM BY: Ryan Gullen DRAWING PATH: C:\2023\23-070\000\DWG\CON\PHASE 8A\32-870\000_Harmony Phase 8A_Cover_Notes_Detail.dwg

VICINITY MAP (N.T.S.)		REVISIONS	PROJECT SITE DATA	SHEET INDEX				
	1	11/28/2023 VALUE ENGINEERING	PROJECT ADDRESS:	HARMONY SUBDIVISION	Sheet Number	Sheet Title	Sheet Number	Sheet Title
	2	1/22/2024 COMMENTS FROM CITY OF POOLER	PROJECT CITY, STATE:	POOLER, GEORGIA	COV	COVER	CE3.0	FINAL ES&PC PLAN
	3	2/20/2024 COMMENTS FROM CITY OF POOLER	OWNER/REPRESENTATIVE:	HARMONY PARTNERS, LLC	C1.0	CONSTRUCTION NOTES	CE4.0	EROSION CONTROL DETAILS
			PROPERTY AREA:	±16.22 AC	C2.0	EXISTING CONDITIONS	CE4.1	EROSION CONTROL DETAILS
			DISTURBED AREA:	±16.22 AC	C3.0	STAKING PLAN	CE5.0	NPDES PERMIT NOTES
			ZONING:	PUD-C	C4.0	PAVING, GRADING, & DRAINAGE	CE5.1	NPDES PERMIT NOTES
			VERTICAL DATUM:	NAVD 88	C5.0	NEIGHBORHOOD GRADING PLAN	L1.0	EXISTING CONDITIONS
			HORIZONTAL DATUM:	NAD 83	C6.0	UTILITY PLAN	L2.0	LANDSCAPE PLAN
			FLOOD ZONE:	AE-12, X	C7.0	ROAD PROFILES	L3.0	LANDSCAPE DETAILS
			WATER & SEWER PROVIDER:	CITY OF POOLER	C7.1	STORM PROFILES	1 OF 1	LIGHTING PLAN
			PINS:	51010-01046	C7.2	SEWER PROFILES		
			SURVEY PREPARED BY:	COLEMAN COMPANY, INC.	C7.3	WATER PROFILES		
			GEOTECHNICAL BY:	----	C8.0	CONSTRUCTION DETAILS		
			ARCHITECT:	----	C8.1	CONSTRUCTION DETAILS		
			CONSTRUCTION EXIT LOCATION:	N: 032.07904, W: 081.24943	C8.2	CONSTRUCTION DETAILS		
					COV	ES&PC COVER		
					CE0.0	OVERALL ES&PC		
					CE1.0	INITIAL ES&PC PLAN		
					CE2.0	INTERM ES&PC PLAN		



NOTES:

- PLEASE NOTE THAT IF RHYTHM ROAD IS NOT EXTENDED FOR A FUTURE PHASE OF DEVELOPMENT, THE GEOMETRY FOR LOTS 8-76, 8-77, AND 8-78 WILL CHANGE. DO NOT PLAT LOT 8-76, 8-77, AND 8-78.
- THE DEVELOPER, HARMONY PARTNERS, LLC, WILL NEED TO PROVIDE A SUITABLE BUILDING FOOTPRINT FOR THE 45' X 60' BLDG PAD LOCATED ON LOTS 8-72 TO 8-81.
- STONE OR CONCRETE MONUMENTS FOUR INCHES IN DIAMETER OR SQUARE, 30 INCHES LONG, WITH A FLAT TOP, WHICH SHALL BE SET AT EACH STREET CORNER, AND AT ALL POINTS WHERE THE STREET LINES INTERSECT THE EXTERIOR BOUNDARIES OF THE SUBDIVISION, AND AT THE P.C. AND P.T. OF EACH STREET. THE TOP OF THE MONUMENTS SHALL CONTAIN A METAL PIN OR BE SCORED WITH AN INDENTED CROSS TO IDENTIFY THE LOCATIONS. (APPENDIX B, ARTICLE VI, SEC. 605)
- BUILDING SETBACKS:
 - FRONT: 25-FT
 - REAR: 20-FT
 - SIDE: 5-FT
 - CORNER: 15-FT
- ALL DRAINAGE EASEMENTS BETWEEN AND BEHIND LOTS TO BE HOA OWNED AND MAINTAINED.

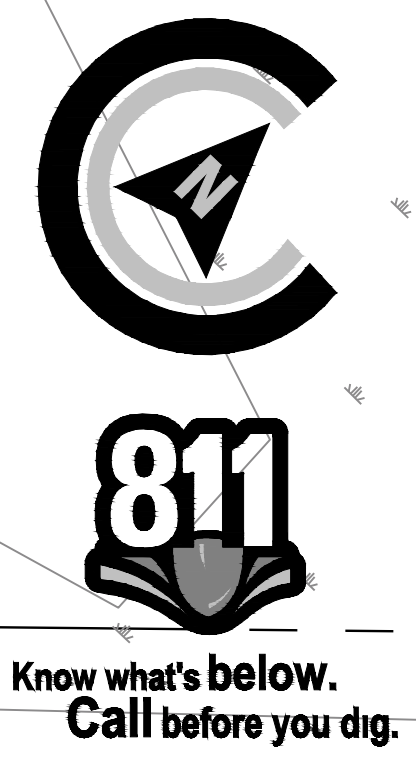
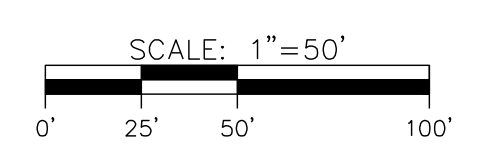
LINE #	LENGTH	DIRECTION
L1	105.642	N43° 09' 08.03"W
L2	57.772	N44° 22' 28.10"E
L3	166.086	S50° 59' 15.19"E
L4	105.953	S66° 57' 08.17"W
L5	121.888	N43° 06' 19.32"W
L6	50.000	N46° 50' 51.97"E
L7	101.945	S43° 09' 08.03"E
L8	70.100	S46° 53' 40.68"W
L9	121.839	N43° 06' 19.32"W
L10	60.000	N46° 50' 51.97"E
L11	60.000	S46° 53' 40.68"W
L12	121.790	N43° 06' 19.32"W
L13	60.000	N46° 50' 51.97"E
L14	60.000	S46° 53' 40.68"W
L15	121.741	N43° 06' 19.32"W
L16	60.000	N46° 50' 51.97"E
L17	60.000	S46° 53' 40.68"W
L18	121.692	N43° 06' 19.32"W
L19	60.000	N46° 50' 51.97"E
L20	60.000	S46° 53' 40.68"W

LINE #	LENGTH	DIRECTION
L21	122.300	N43° 06' 19.32"W
L22	34.366	N46° 50' 51.97"E
L23	60.000	S46° 53' 40.68"W
L24	128.030	S43° 06' 19.32"E
L25	34.706	N53° 09' 33.57"E
L26	60.000	S46° 53' 40.68"W
L27	119.970	N43° 06' 19.32"W
L28	59.984	N53° 09' 33.57"E
L29	16.058	S46° 53' 40.68"W
L30	46.319	S65° 19' 46.49"W
L31	120.473	N43° 06' 19.32"W
L32	4.842	N53° 09' 33.58"E
L33	16.927	S65° 19' 46.49"W
L34	51.442	S46° 53' 40.68"W
L35	123.858	N43° 06' 19.32"W
L36	8.558	S46° 53' 40.68"W
L37	58.952	S45° 49' 48.95"W
L38	124.021	S43° 06' 19.32"E
L39	60.010	S45° 49' 48.95"W
L40	121.367	N43° 06' 19.32"W

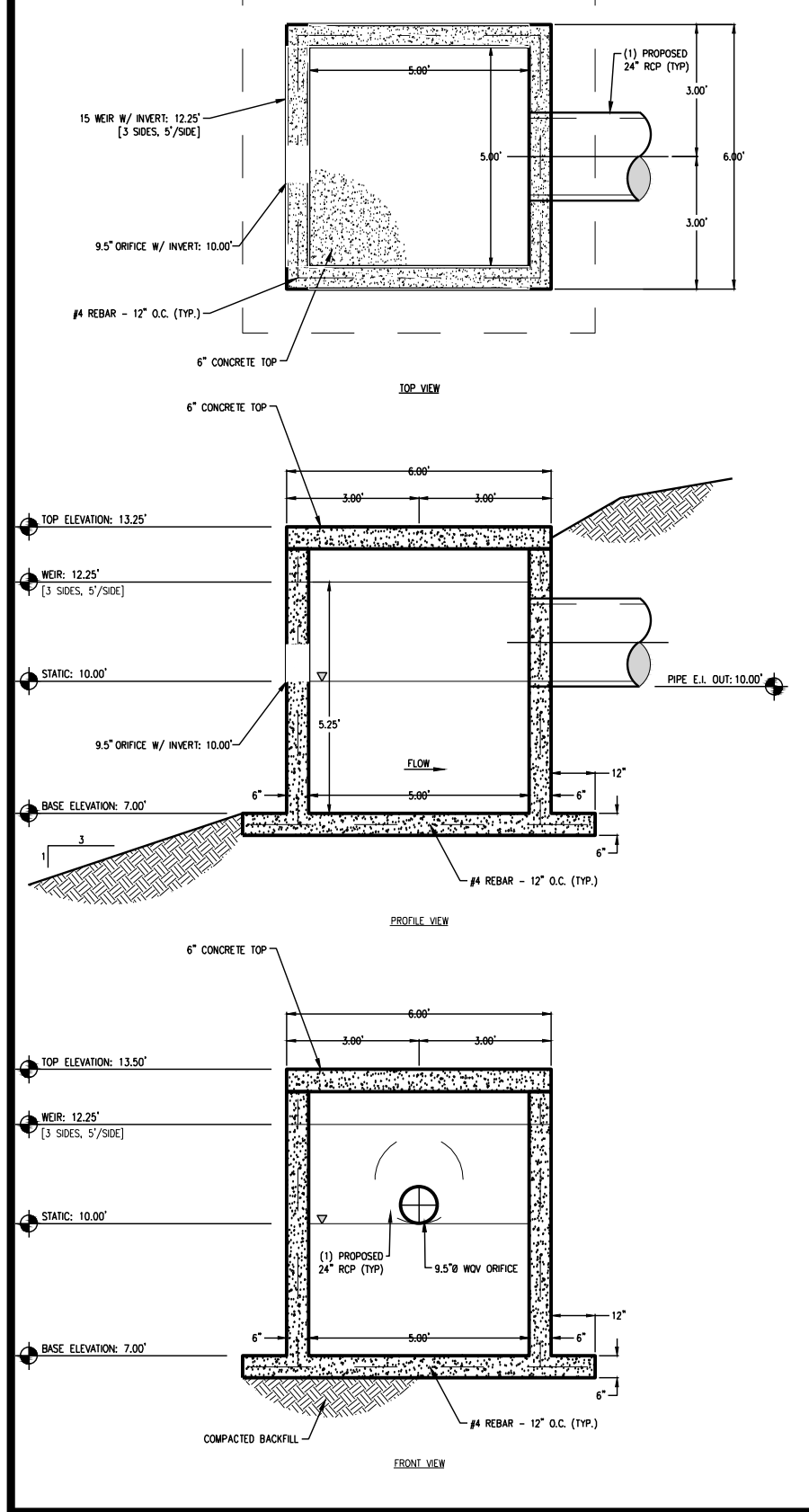
LINE #	LENGTH	DIRECTION
L41	60.010	S45° 49' 48.95"W
L42	75.888	N44° 22' 28.10"E
L43	120.000	S45° 37' 31.90"E
L44	60.303	S44° 22' 28.10"W
L45	90.047	N43° 09' 08.03"W
L46	120.000	N45° 35' 14.11"W
L47	58.396	S44° 22' 28.10"W
L48	59.920	N44° 22' 28.10"E
L49	120.000	N45° 37' 31.90"E
L50	60.000	S44° 22' 28.10"W
L51	60.084	N44° 22' 28.10"E
L52	120.000	S45° 37' 31.90"E
L53	60.084	S44° 22' 28.10"W
L54	1.927	N49° 20' 53.15"W
L55	45.715	N44° 22' 28.10"E
L56	120.000	S45° 37' 31.90"E
L57	45.715	S44° 22' 28.10"W
L58	120.000	N65° 01' 23.00"W
L59	120.000	N80° 41' 52.86"W
L60	120.000	S83° 37' 37.29"W

LINE #	LENGTH	DIRECTION
L61	120.000	S67° 57' 07.43"W
L62	70.154	N46° 50' 51.97"E
L63	49.905	N46° 50' 51.97"E
L64	120.000	N43° 09' 08.03"E
L65	92.253	S43° 09' 08.03"E
L66	50.000	S46° 50' 51.97"W
L67	17.595	N46° 50' 51.97"E
L68	67.500	S46° 50' 51.97"W
L69	120.000	N43° 09' 08.03"W
L70	120.000	N43° 09' 08.03"E
L71	67.500	N46° 50' 51.97"E
L72	67.500	S46° 50' 51.97"W
L73	120.000	S43° 09' 08.03"E
L74	1.927	S46° 50' 51.97"W
L75	58.073	N46° 50' 51.97"E
L76	60.000	S46° 50' 51.97"W
L77	120.000	N43° 09' 08.03"W
L78	54.627	S46° 50' 51.97"W
L79	5.373	S46° 50' 51.97"W
L80	60.000	S46° 50' 51.97"W

LINE #	LENGTH	DIRECTION
L81	55.579	N43° 09' 08.03"W
L82	65.373	S46° 50' 51.97"W
L83	19.366	S46° 50' 51.97"W
L84	127.300	S46° 50' 51.97"E
L85	61.292	S43° 09' 08.03"E
L86	61.292	N43° 09' 08.03"E
L87	127.300	N46° 50' 51.97"E
L88	62.500	S43° 09' 08.03"E
L89	62.500	N43° 09' 08.03"W
L90	127.300	N46° 50' 51.97"E
L91	62.500	S43° 09' 08.03"E
L92	62.500	N43° 09' 08.03"W
L93	127.300	S46° 50' 51.97"W
L94	55.000	S43° 09' 08.03"E
L95	55.000	N43° 09' 08.03"W
L96	127.300	N46° 50' 51.97"E
L97	55.000	S43° 09' 08.03"E
L98	55.000	N43° 09' 08.03"W
L99	55.000	S43° 09' 08.03"E
L100	55.000	S43° 09' 08.03"E

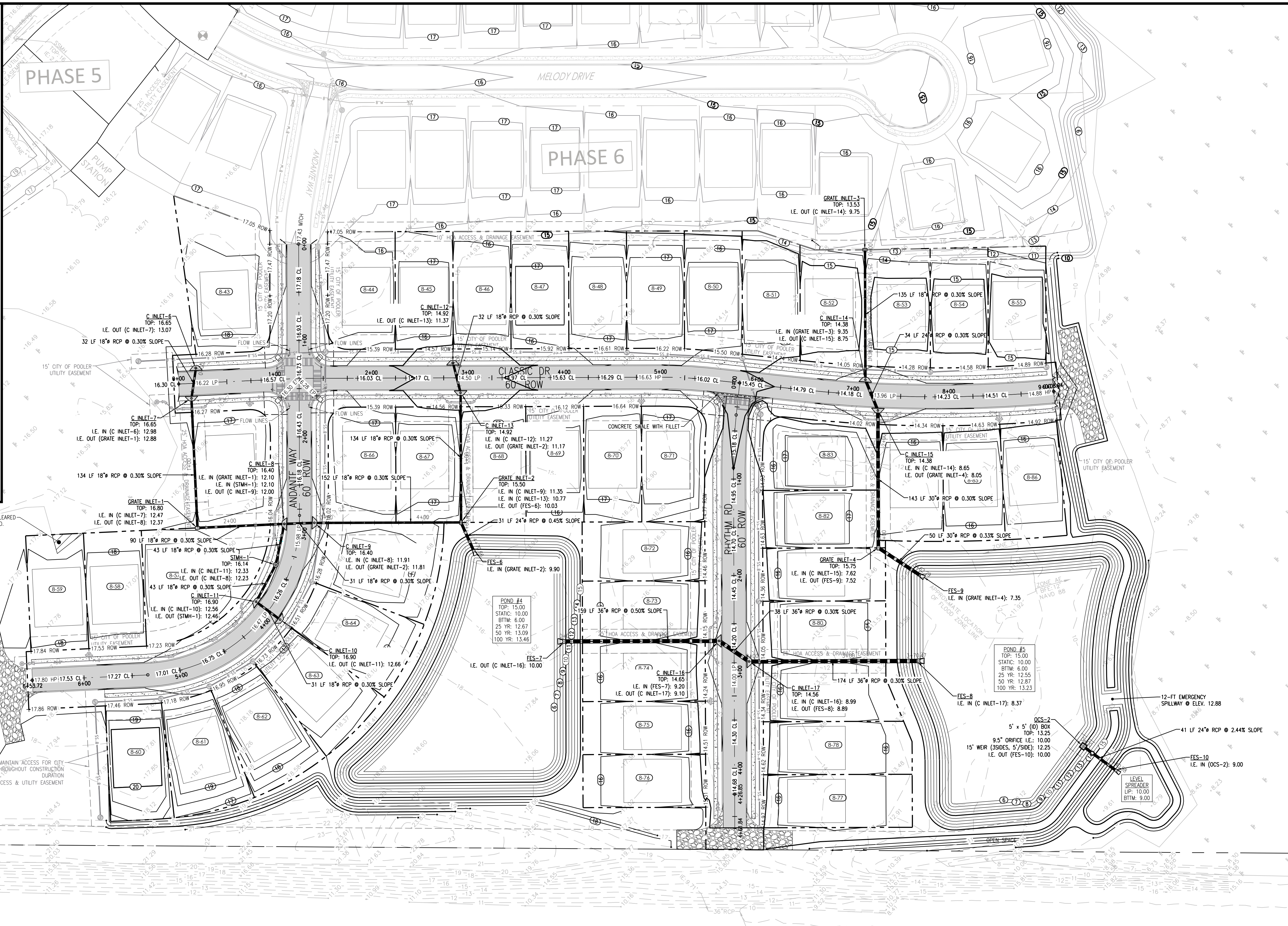


POND #5 OCS DETAIL
NOT TO SCALE



PHASE 5

PHASE 6



AREA TO REMAIN UNCLEARED AND UNDISTURBED. 320.86 S.F. 0.007 AC.

NOTE: CONTRACTOR MUST MAINTAIN ACCESS FOR CITY OF SAVANNAH & POOLER THROUGHOUT CONSTRUCTION DURATION. 20' ACCESS & UTILITY EASEMENT

POND #4
TOP: 15.00
STATIC: 10.00
BTM: 6.00
25 YR: 12.67
50 YR: 13.09
100 YR: 13.46

POND #5
TOP: 15.00
STATIC: 10.00
BTM: 6.00
25 YR: 12.55
50 YR: 12.87
100 YR: 13.23

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/29/2023 1:25:34 PM BY: Ryan Cullen DRAWING PATH: C:\2023\23-070\DRAWING\CON\PHASE 8A\32-870.DWG Harmony Phase 8A_Granding.dwg

COLEMAN COMPANY
ENGINEERS • SURVEYORS
Savannah, Georgia | (912) 900-3041 | CCI@SAV.COM

RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
HARMONY SUBDIVISION
PHASE 8A
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

JOB NUMBER: 22-870.000
DATE: 11/28/2023
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

PAVING, GRADING,
& DRAINAGE

SHEET:
C4.0

SOILS LEGEND	
Mn	MASCOTTE SAND, 0 TO 2 PERCENT SLOPES
PI	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
Ok	OGEECHEE LOAMY FINE SAND
Cc	CAPE FEAR SOILS

GRADING LEGEND	
CL	CENTERLINE (ROADWAY)
EP	EDGE OF PAVEMENT
EX	EXISTING ELEVATION
FF	FINISHED FLOOR
FP	FINISHED PAD
FR	STRUCTURE FRAME
HP	HIGH POINT ELEVATION
IE	INVERT ELEVATION
LOT	LOT LINE ELEVATION
LOTHP	LOT LINE HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
MTC	MATCH EXISTING ELEVATION
ROW	RIGHT OF WAY ELEVATION
TP	TOP OF PAVEMENT

NOTE:
• ALL DRAINAGE ACCESS EASEMENTS ARE OWNED AND MAINTAINED BY THE HOA.
• ALL ROADWAYS SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF POOLER.

811
Know what's below.
Call before you dig.



© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/28/2024 1:25:44 PM BY: Ryan Cullen DRAWING PATH: C:\2023\23-270-000\DWG\CON\PHASE 8A\3.8\20240228 Harmony Phase 8A Grading.dwg

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RELEASED FOR CONSTRUCTION

REVISIONS:

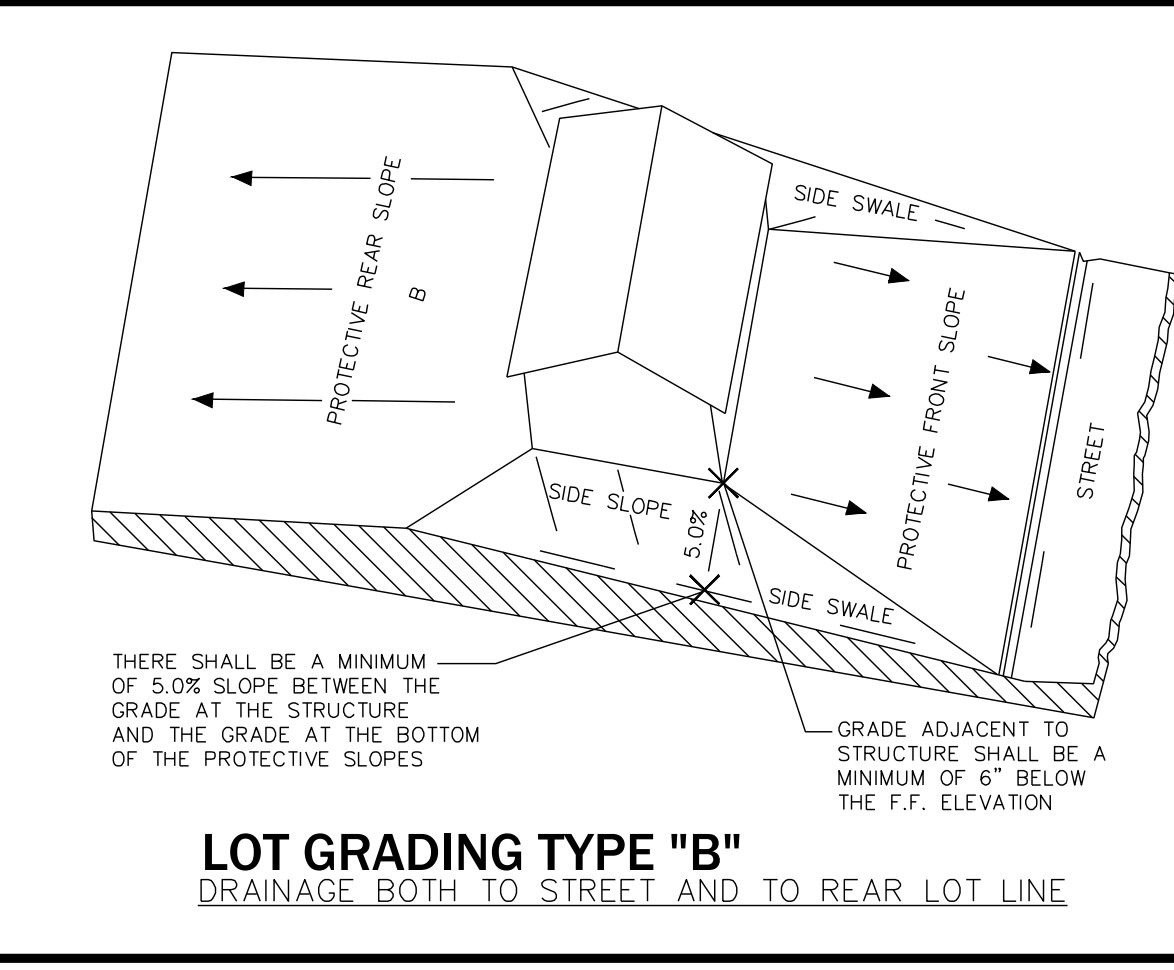
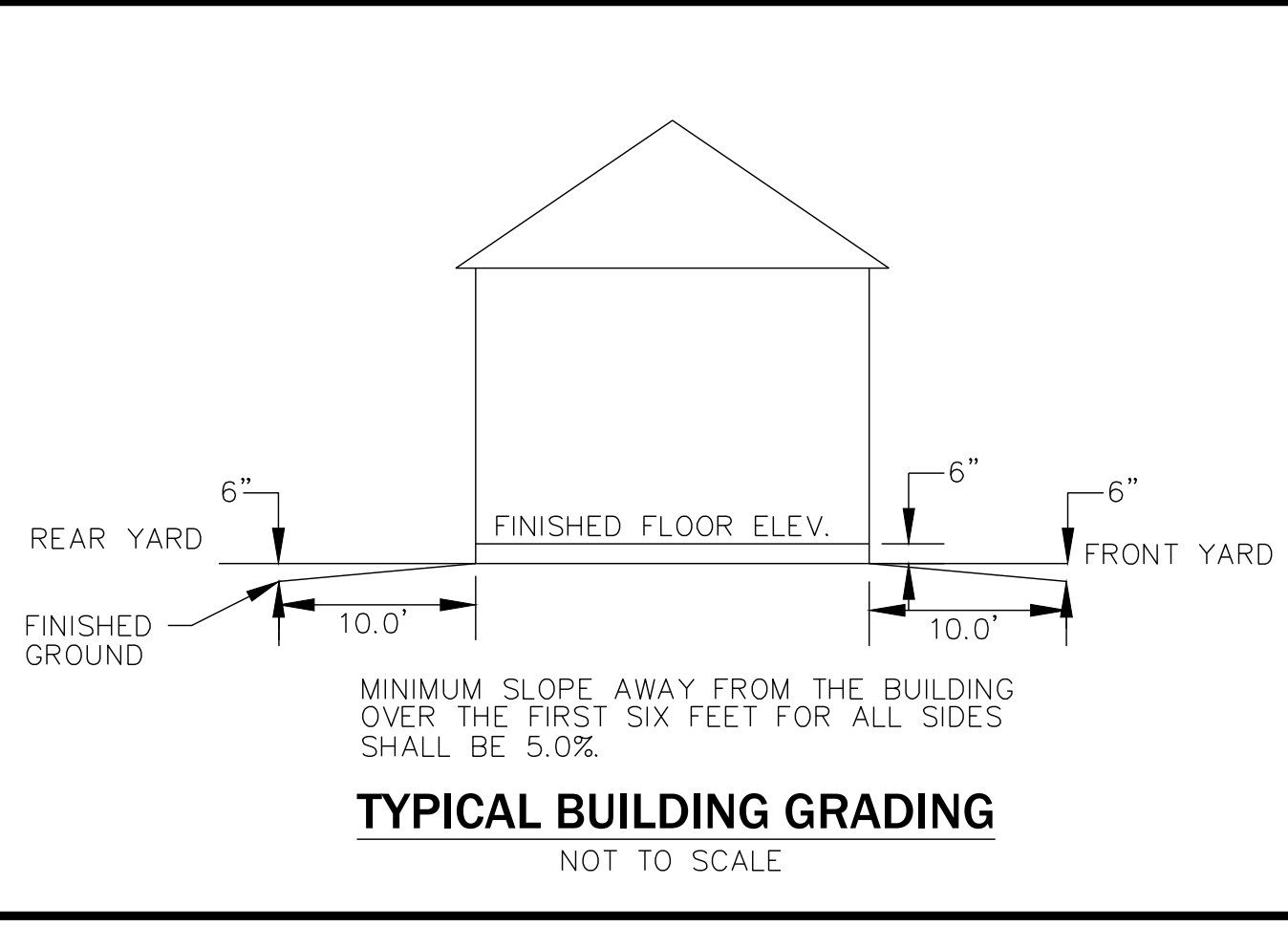
NO.	DATE	DESCRIPTION

CIVIL CONSTRUCTION PLANS FOR
HARMONY SUBDIVISION
PHASE 8A
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR HARMONY PARTNERS, LLC

JOB NUMBER: 22-870.000
 DATE: 11/28/2023
 DRAWN BY: RCC
 CHECKED BY: NPM
 SCALE: AS NOTED

NEIGHBORHOOD GRADING PLAN

SHEET:
C5.0



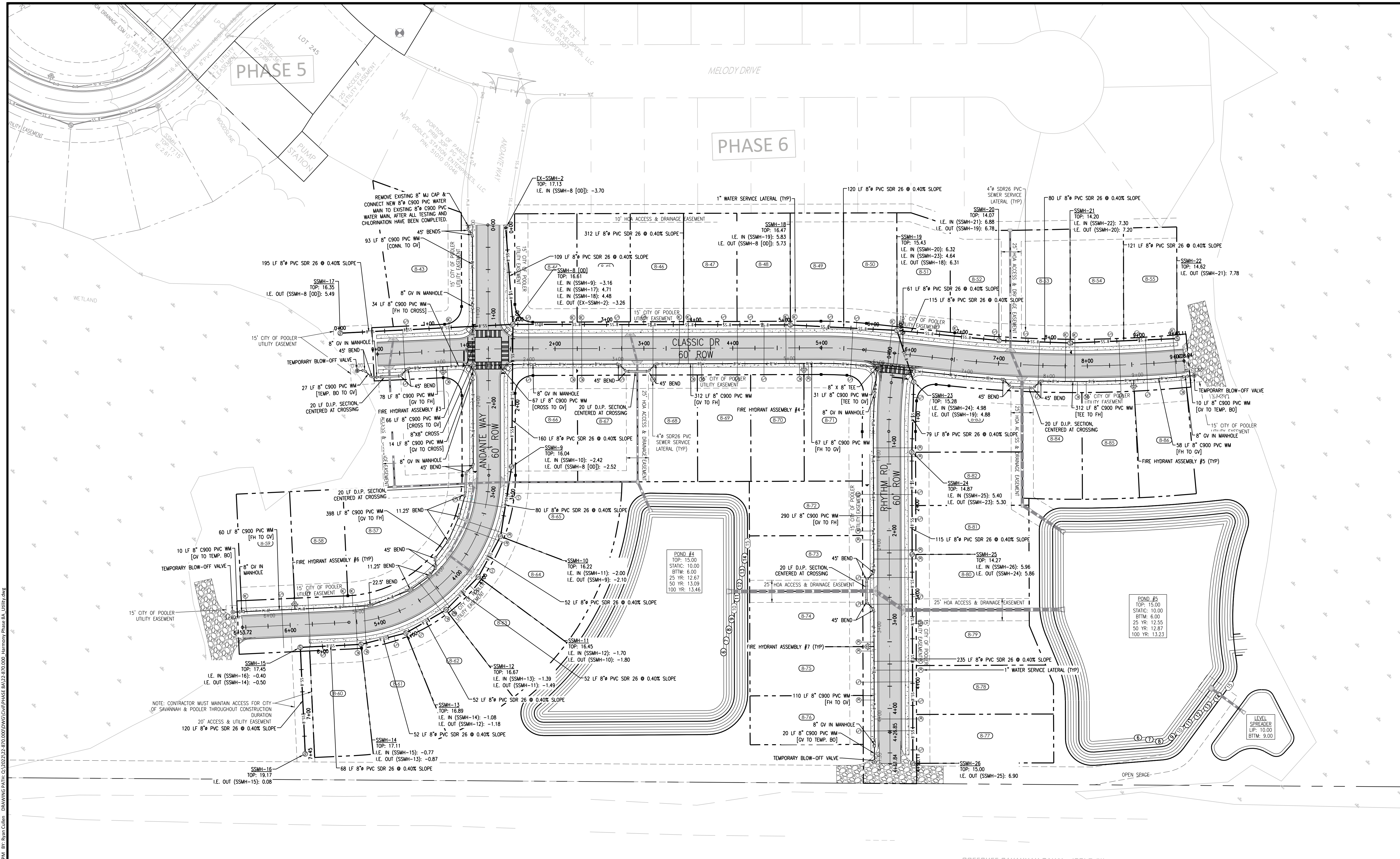
NOTE:
 • ALL DRAINAGE ACCESS EASEMENTS ARE OWNED AND MAINTAINED BY THE HOA.
 • ALL ROADWAYS SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF POOLER.

SOILS LEGEND	
Mn	MASCOTTE SAND, 0 TO 2 PERCENT SLOPES
Oj	OCCILLA COMPLEX
PI	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED

GRADING LEGEND	
CL	CENTERLINE (ROADWAY)
EP	EDGE OF PAVEMENT
EX	EXISTING ELEVATION
FF	FINISHED FLOOR
FP	FINISHED PAD
FR	STRUCTURE FRAME
HP	HIGH POINT ELEVATION
IE	INVERT ELEVATION
LOT	LOT LINE ELEVATION
LOTHP	LOT LINE HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
MTC	MATCH EXISTING ELEVATION
ROW	RIGHT OF WAY ELEVATION
TP	TOP OF PAVEMENT

SCALE: 1" = 50'

811
 Know what's below.
 Call before you dig.



REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
PHASE 8A**
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 3/29/2024 1:25 PM BY: Ryan Cullen DRAWING PATH: C:\2023\23-270-000\DWG\CON\PHASE 8A3.CAD Harmonic Phase 8A Utility.dwg

NOTES:

1. LOCATE ALL PROPOSED GATE VALVES BETWEEN BACK OF CURB AND EDGE OF SIDEWALK.
2. UNLESS OTHERWISE NOTED, ALL WATER VALVES SHALL BE IN MANHOLES.
3. IF UTILITIES RUN PARALLEL AND LESS THAN 10-FT FROM THE SEWER PIPE, EACH LINE MUST BE INSTALLED IN SEPARATE TRENCHES, WITH THE BOTTOM OF THE WATER MAIN A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE SEWER PIPE - PER EPD MINIMUM STANDARD FOR PUBLIC WATER SYSTEMS.
4. PLEASE NOTE THAT ALL WATERLINE FITTINGS SHALL BE RESTRAINED JOINT TYPE FITTINGS.
5. PLEASE NOTE THAT ALL SANITARY MANHOLES PLACED IN PAVEMENT MUST BE FLUSH WITH TOP OF PAVEMENT.

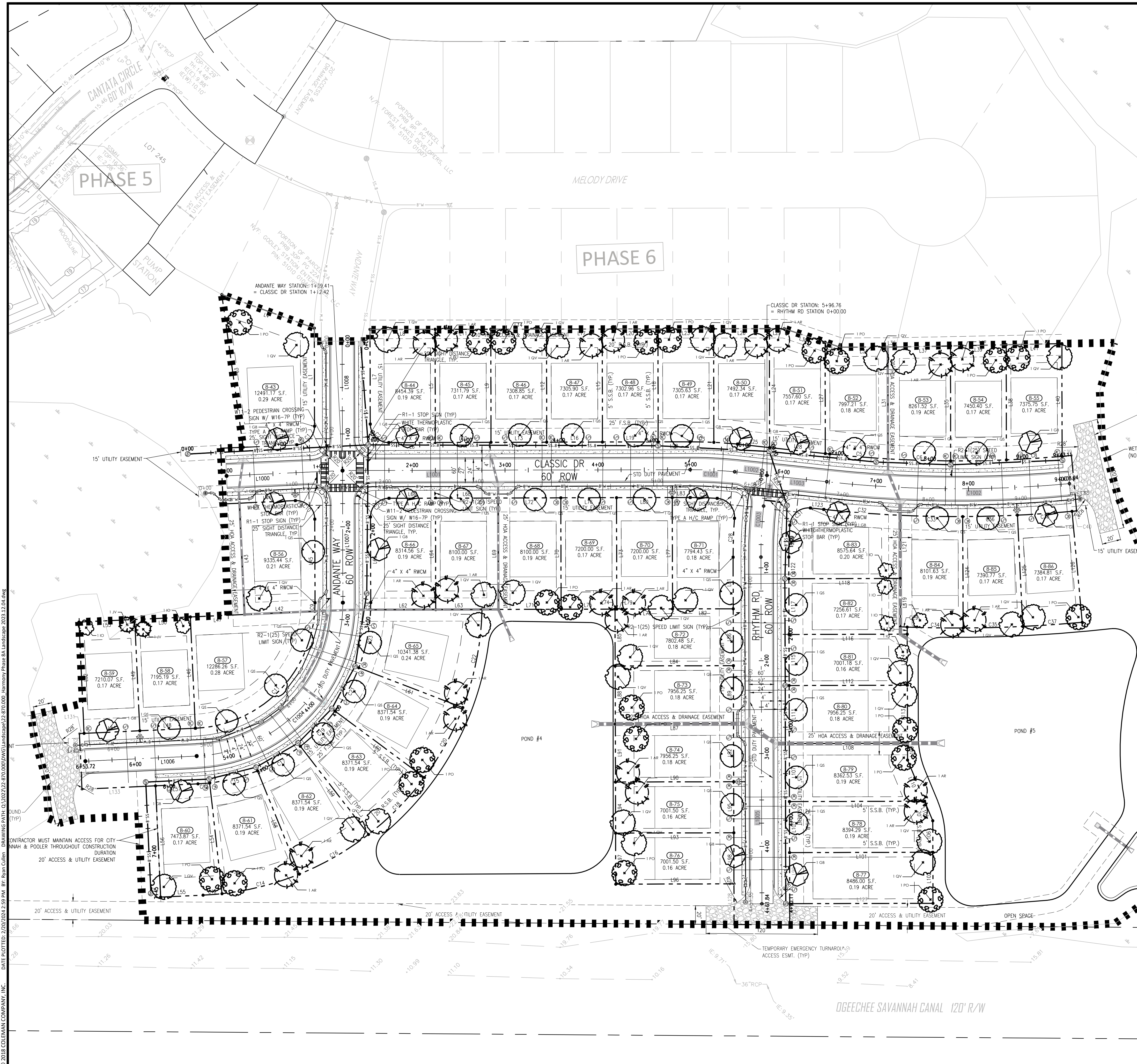
SCALE: 1"=50'

JOB NUMBER:	22-870.000
DATE:	11/28/2023
DRAWN BY:	RCC
CHECKED BY:	NPM
SCALE:	AS NOTED

UTILITY PLAN

SHEET:

C6.0



PLANT KEY


KEY	SYMBOL	BOTANICAL NAME	COMMON NAME
AR		ACER RUBRUM 'FRANK JR'	RED MAPLE REDPOINTE
GB		GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
IO		ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY
JV		JUNIPERUS VIRGINIANA 'GREENBELT'	EASTERN RED CEDAR 'GREENBELT'
PO		PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE
QS		QUERCUS SHUMARDII	SHUMARD OAK
QV		QUERCUS VIRGINIANA 'SDLNZZ'	LIVE OAK 'CATHEDRAL'

REFER TO PLANT LIST SHEET L3.0


NOTES:

1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES 40.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
4. SEE SPECIFICATIONS IN THIS SHEET FOR FURTHER INSTRUCTIONS.
5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
6. ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.
8. FLEXIBILITY IN THE PLACEMENT OF THE TREES WILL BE PROVIDED TO ACCOMMODATE DRIVEWAYS.
9. ALL TREES TO BE PLANTED MUST BE A MINIMUM OF 10 FEET OFF ALL WATER MAINS AND SERVICE LATERALS.

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/20/2024 3:59 PM BY: Ryan Guller DRAWING PATH: C:\2023\23-870\000\Drawings\23-870-000_Harmony Phase 8A_Landscape_2023.12.04.dwg
 CONTRACTOR MUST MAINTAIN ACCESS FOR CITY WAH & POOLER THROUGHOUT CONSTRUCTION DURATION
 20' ACCESS & UTILITY EASEMENT



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RELEASED FOR CONSTRUCTION

LANDSCAPE PLAN FOR
**HARMONY SUBDIVISION
PHASE 8A**

LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

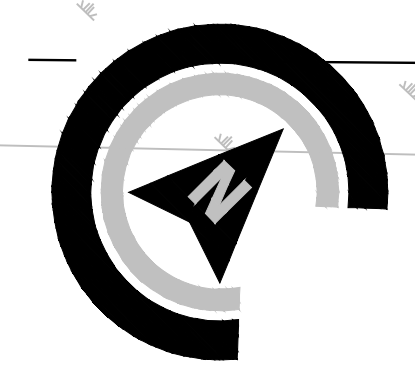
REVISIONS:

2023.12.04	JMG
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JOB NUMBER: 22-870.000
 DATE: 2023.10.25
 DRAWN BY: MRC
 CHECKED BY: JMG
 SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L2.0



SCALE: 1"=50'





March 20th, 2024

Neil P. McKenzie, P.E.
Coleman Company
1480 Chatham Parkway, Suite 100
Savannah, GA 31405

Dear Mr. McKenzie,

I am pleased to provide you with a recommendation for Approval of the site development plans for Harmony Subdivision Phase 8A (2024 Revised Plans), which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	<i>Mar. 2024</i>
	Alternate Cul-de-Sac Plan (Classic Dr).....	<i>Mar. 2024</i>
	Alternate Cul-de-Sac Plan (Rhythm Rd).....	<i>Mar. 2024</i>
	Encroachment Permit Approval (S&O Canal).....	<i>Oct. 2023</i>
	Water & Sewer Analysis.....	<i>Aug. 2023</i>
	Stormwater Management Report.....	<i>Aug. 2023</i>
	Stormwater Maintenance Agreement.....	<i>Jun. 2023</i>
	Arborist Report.....	<i>Jun. 2023</i>
	EPD Water & Sewer Extension Form Approval.....	<i>Aug. 2023</i>
	GSWCC Approval.....	<i>Dec. 2023</i>
	Hand Auger/Boring Log.....	<i>Aug. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.





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OPERATIONS

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Dixon; Director of Planning & Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. VP of Operations – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



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F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Preliminary Construction Plans for Harmony Phase 8B [*Revisions*]

Project:	#230537
P&Z Meeting Date:	March 25, 2024
City Council Meeting Date:	April 1, 2024
Applicant and Authorized Agent:	Coleman Company
Location (Address):	Andante Way
Parcel (PIN):	51010 01046
Acreage:	32.91 total – 15.08 disturbed
Zoning:	PUD (Jabot) w/ conditions [June 21, 2021] <ul style="list-style-type: none">• Begin Phase 8 engineering and development;• New amenity construction must begin by 50% completion of Phase 8;• COs for the remaining 50% of the phase will not be issued until the new amenity construction is complete;• Existing amenities must be kept until the new amenity construction is complete; and,• A meeting of the developer and the HOA must be held within 60 days.
Proposed Use:	Residential Subdivision, Single-family Detached (42 lots)
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>

Zoning Action Standards:

1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.
 - The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.
2. Whether the site plan provides for adequate pedestrian and traffic access.
 - The site plan complies with the provisions of the Jabot PUD for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Jabot PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions of the Jabot PUD related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions of the Jabot PUD related to the PUD master plan for location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public serves to account for current or projected needs.

- The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
- The site plan complies with the provisions of the Jabot PUD related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-detering buffer between adjacent properties.
- The site plan complies with the provisions of the Jabot PUD and Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. City Council Minutes
- B. Vicinity Map
- C. Application and Submittal Documentation
- D. Approval Letter



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – MINUTES

November 6, 2023 at 4:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Rebecca C. Benton, Mayor
John Wilcher, Mayor Pro Tem
Shannon Black, Councilmember
Shirlenia Daniel, Councilmember
Aaron Higgins, Councilmember
Stevie Wall, Councilmember
Karen Williams, Councilmember
Robert Byrd, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

Absent:

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order at 4:00 p.m.

III. INVOCATION

Pastor Erick Daniel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Pastor Erick Daniel led the pledge.

V. CONSENT AGENDA

- A.** City Council Meeting Minutes of October 16, 2023
- B.** City Council Executive Session Minutes of October 16, 2023
- C.** Alcoholic Beverage License Application for Flat Top Grill, Inc.
- D.** Alcoholic Beverage License Application for Live 2 Service, LLC at 1024 West US Highway 80, Suites 201-203
- E.** Alcoholic Beverage License Application for Dalux Nails & Spa, LLC at 2201 Pooler Parkway, Suites 500 & 600

- F.** Alcoholic Beverage License Application for WKKD Ventures, LLC DBA Los Bravos Mexican Grill at 1108 US Highway 80
- G.** Alcoholic Beverage License Application for Logan's Roadhouse II, LLC DBA Logan's Roadhouse #522 at 220 Pooler Parkway
- H.** Special Event Permit Application for Jessica Ramos on November 10-19, 2023
- I.** Acceptance of a Maintenance Bond for Old Louisville Road/Coastal Commerce Lift Station in the Amount of \$191,758.00, Subject to City Attorney Approval
- J.** Acceptance of a Warranty Bond for Old Louisville Road/Coastal Commerce Lift Station in the Amount of \$524,063.50, Subject to City Attorney Approval
- K.** Release of Performance Bond for the Dock at Mosby Lake Apartments (NKA Pooler Lakeside Apartments) in the Amount of \$97,500.00, Subject to City Attorney Approval
- L.** Release Maintenance Bond for Mosby Lake Apartments Entrance Road (NKA Pooler Lakeside Apartments) in the Amount of \$322,597.50, Subject to City Attorney Approval

Councilmember Aaron Higgins moved to approve the Consent Agenda.

Motion to Approve; PASSED (UNANIMOUS)
 MOVER: Higgins
 SECONDER: Wilcher
 AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
 NAYS:

VI. NEW BUSINESS

A. Site Plan for Express Oil Change

City Manager Robert Byrd presented the plan for consideration. Councilmember Karen Williams, upon review of the criteria, moved to approve the Site Plan for Express Oil Change.

Motion to Approve; PASSED (UNANIMOUS)
 MOVER: Williams
 SECONDER: Black
 AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
 NAYS:

B. Preliminary Construction Plans for Harmony Phase 8B

City Manager Robert Byrd presented the plans for consideration. Neil McKenzie of Coleman Company was present on behalf of the petitioner to answer questions. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Preliminary Construction Plans for Harmony Phase 8B.

Motion to Approve; PASSED (UNANIMOUS)
 MOVER: Higgins
 SECONDER: Williams
 AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

C. Revisions to a Previously Approved Site Plan for the Davis Group (AKA Oxford)

City Manager Robert Byrd presented the revisions for consideration. CJ Chance of Hussey Gay Bell was present on behalf of the petitioner to answer questions. Councilmember Karen Williams, upon review of the criteria, moved to approve the Revisions to a Previously Approved Site Plan for the Davis Group (AKA Oxford).

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Wilcher
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

VII. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Shirlenia Daniel moved to enter Executive Session. Council entered Executive Session at 4:10 p.m.

Motion to Enter; PASSED (UNANIMOUS)
MOVER: Daniel
SECONDER: Black
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

Mayor Rebecca Benton called the meeting back to order at 4:50 p.m.

VIII. ADJOURNMENT

Councilmember Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Black
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

The meeting adjourned at 4:50 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Rebecca Benton, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
— GEORGIA —

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Absent:

II. CALL TO ORDER

Mayor Rebecca Benton called the meeting to order at 4:00 p.m.

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- J. Acceptance of a Warranty Bond for Old Louisville Road/Coastal Commerce Lift Station in the Amount of \$524,063.50, Subject to City Attorney Approval
- K. Release of Performance Bond for the Dock at Mosby Lake Apartments (NKA Pooler Lakeside Apartments) in the Amount of \$97,500.00, Subject to City Attorney Approval
- L. Release Maintenance Bond for Mosby Lake Apartments Entrance Road (NKA Pooler Lakeside Apartments) in the Amount of \$322,597.50, Subject to City Attorney Approval

Councilmember Aaron Higgins moved to approve the Consent Agenda.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Wilcher

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

VI. NEW BUSINESS

A. Site Plan for Express Oil Change

City Manager Robert Byrd presented the plan for consideration. Councilmember Karen Williams, upon review of the criteria, moved to approve the Site Plan for Express Oil Change.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Williams

SECONDER: Black

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

B. Preliminary Construction Plans for Harmony Phase 8B

City Manager Robert Byrd presented the plans for consideration. Neil McKenzie of Coleman Company was present on behalf of the petitioner to answer questions. Councilmember Aaron Higgins, upon review of the criteria, moved to approve the Preliminary Construction Plans for Harmony Phase 8B.

Motion to Approve; PASSED (UNANIMOUS)

MOVER: Higgins

SECONDER: Williams

AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams

NAYS:

C. Revisions to a Previously Approved Site Plan for the Davis Group (AKA Oxford)

City Manager Robert Byrd presented the revisions for consideration. CJ Chance of Hussey Gay Bell was present on behalf of the petitioner to answer questions. Councilmember Karen Williams, upon review of the criteria, moved to approve the Revisions to a Previously Approved Site Plan for the Davis Group (AKA Oxford).

Motion to Approve; PASSED (UNANIMOUS)
MOVER: Williams
SECONDER: Wilcher
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

VII. EXECUTIVE SESSION

With no further public business to conduct, Councilmember Shirlenia Daniel moved to enter Executive Session. Council entered Executive Session at 4:10 p.m.

Motion to Enter; PASSED (UNANIMOUS)
MOVER: Daniel
SECONDER: Black
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

Mayor Rebecca Benton called the meeting back to order at 4:50 p.m.

VIII. ADJOURNMENT

Councilmember Aaron Higgins moved to adjourn the meeting.

Motion to Adjourn; PASSED (UNANIMOUS)
MOVER: Higgins
SECONDER: Black
AYES: Black, Daniel, Higgins, Wall, Wilcher, Williams
NAYS:

The meeting adjourned at 4:50 p.m.

The foregoing minutes are true and correct and are approved on this

20TH day of NOVEMBER, 2023.

CITY OF POOLER, GEORGIA

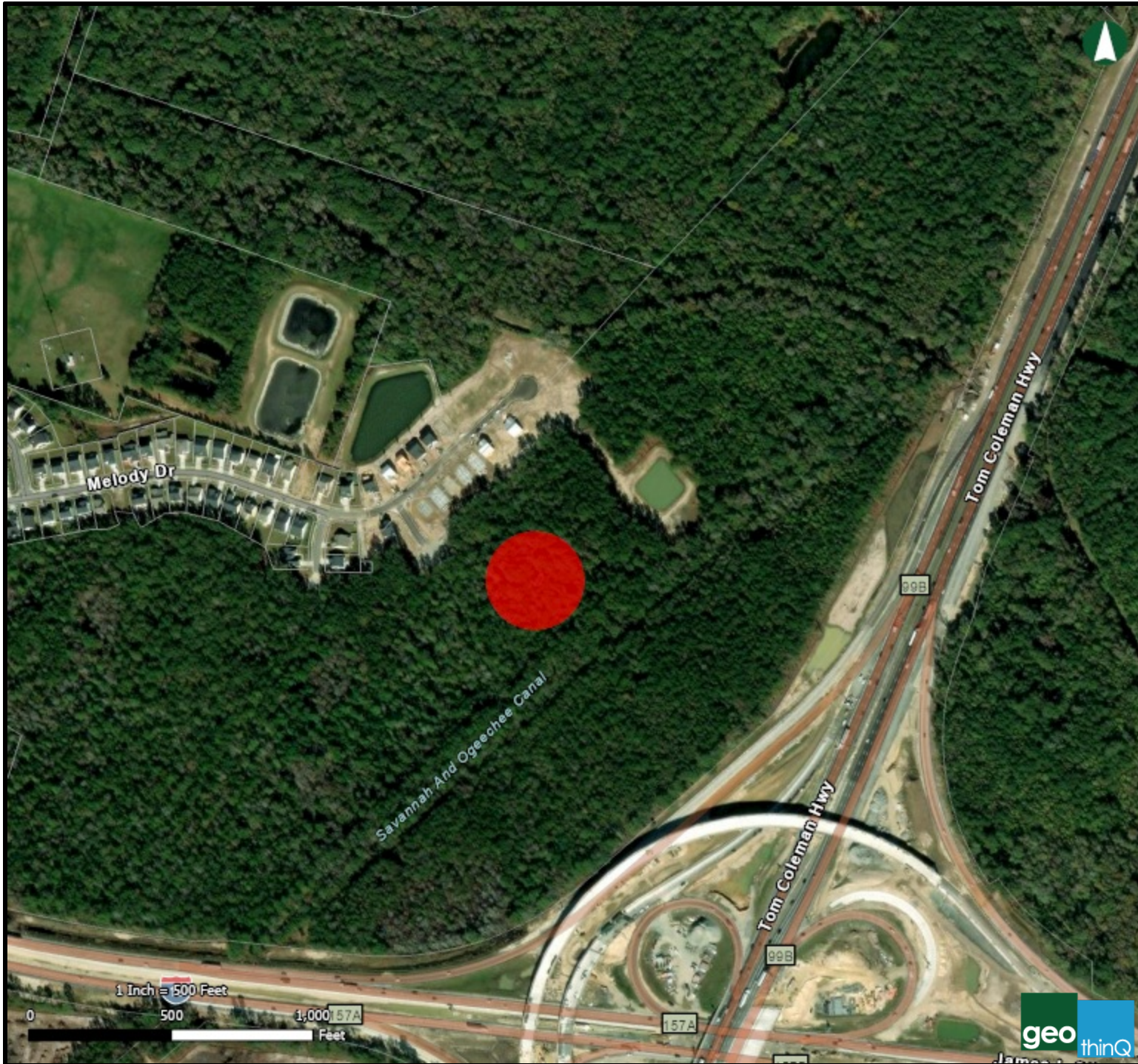


Rebecca Benton





Kiley Fusco, Clerk of Council



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

Harmony Phase 8





CIVIL CONSTRUCTION PLANS FOR

HARMONY SUBDIVISION

PHASE 8B 42 LOTS

PREPARED FOR HARMONY PARTNERS, LLC

SUMMARY OF REVISIONS:
1. REDUCED LOT WIDTH (WHERE POSSIBLE) TO 55' MINIMUM ALLOWABLE IN JABOT PUD. 7000 SQUARE FOOT LOT AREA TO BE MAINTAINED.

I CERTIFY THAT ALL LAND DISTURBING ACTIVITIES AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN.

Edie Clumith
OWNER

I CERTIFY THAT THIS DESIGN (INCLUDING THE STORMWATER MANAGEMENT SYSTEM) MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA.

ENGINEER OF RECORD *Nery*

DESIGN PROFESSIONAL'S CREDENTIALS:
ENGINEER'S NAME (PRINTED): NEIL P. MCKENZIE, PE
GEORGIA PE NUMBER: PE036652
GSWCC LEVEL III CERTIFICATION NUMBER: 44944



RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
PHASE 8B**
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

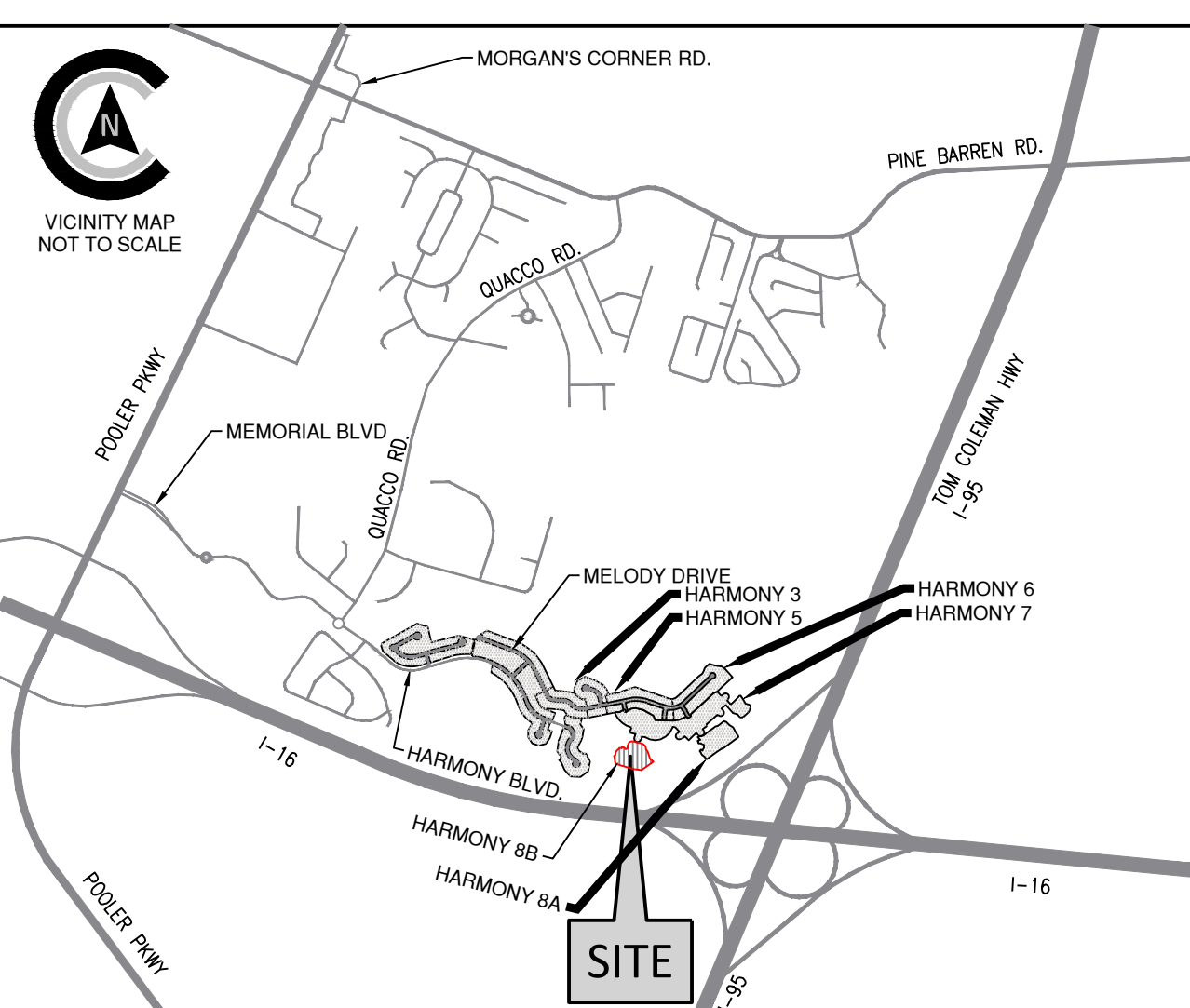
JOB NUMBER: 22-870.000
DATE: 11/27/2023
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

COVER

SHEET:
COV

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VICINITY MAP (N.T.S.)



REVISIONS

1	11/27/23	VALUE ENGINEERING
2	1/23/24	COMMENTS FROM CITY OF POOLER
3	2/20/24	COMMENTS FROM CITY OF POOLER

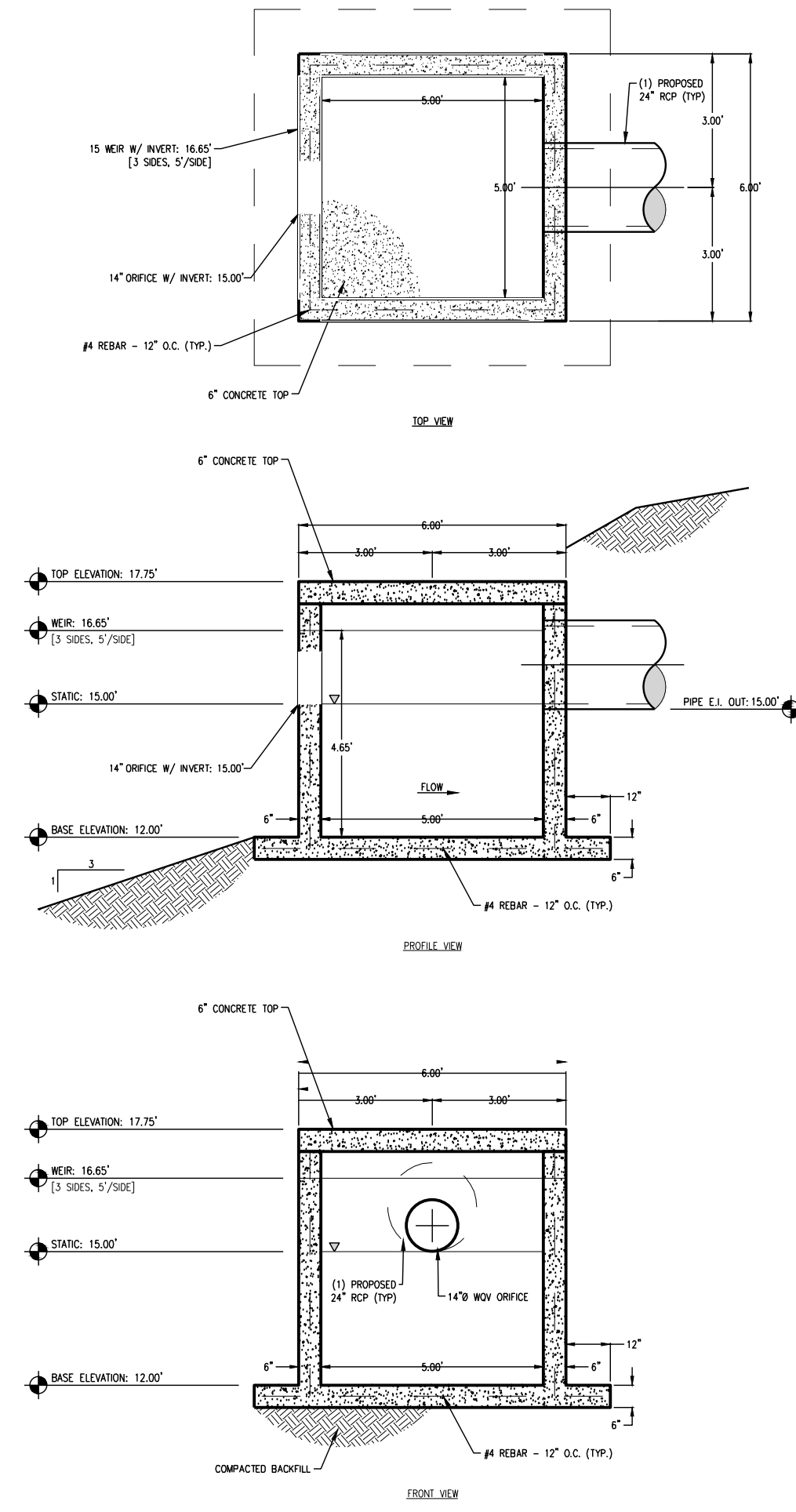
PROJECT SITE DATA

PROJECT ADDRESS:	HARMONY SUBDIVISION
PROJECT CITY, STATE:	POOLER, GEORGIA
OWNER/REPRESENTATIVE:	HARMONY PARTNERS, LLC
PROPERTY AREA:	±15.08 AC
DISTURBED AREA:	±15.08 AC
ZONING:	PUD-C
VERTICAL DATUM:	NAVD 88
HORIZONTAL DATUM:	NAD 83
FLOOD ZONE:	AE-12, X
WATER & SEWER PROVIDER:	CITY OF POOLER
PINS:	51010-01046
SURVEY PREPARED BY:	COLEMAN COMPANY, INC.
GEOTECHNICAL BY:	----
ARCHITECT:	----
CONSTRUCTION EXIT LOCATION:	N: 032.07734, W: 081.25212

SHEET INDEX

Sheet Number	Sheet Title	Sheet Number	Sheet Title
COV	COVER	CE3.0	FINAL ES&PC PLAN
C1.0	CONSTRUCTION NOTES	CE4.0	EROSION CONTROL DETAILS
C2.0	EXISTING CONDITIONS	CE4.1	EROSION CONTROL DETAILS
C3.0	STAKING PLAN	CE5.0	NPDES PERMIT NOTES
C4.0	PAVING, GRADING, & DRAINAGE	CE5.1	NPDES PERMIT NOTES
C5.0	NEIGHBORHOOD GRADING PLAN	L1.0	EXISTING CONDITIONS
C6.0	UTILITY PLAN	L2.0	LANDSCAPE PLAN
C7.0	ROAD PROFILES	L3.0	LANDSCAPE DETAILS
C7.1	STORM PROFILES	1 OF 1	LIGHTING PLAN
C7.2	SEWER PROFILES		
C7.3	WATER PROFILES		
C8.0	CONSTRUCTION DETAILS		
C8.1	CONSTRUCTION DETAILS		
C8.2	CONSTRUCTION DETAILS		
COV	ES&PC COVER		
CE0.0	OVERALL ES&PC		
CE1.0	INITIAL ES&PC PLAN		
CE2.0	INTERM ES&PC PLAN		

POND #3 OCS DETAIL
NOT TO SCALE



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WETLANDS

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RELEASED FOR CONSTRUCTION

REVISIONS:

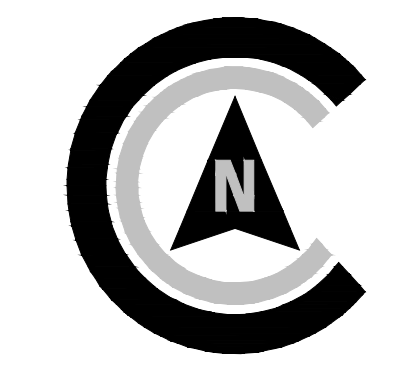
CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
PHASE 8B**
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 2/28/2023 11:32 AM BY: Chris Collins DRAWING PATH: C:\2023\23-870\000\DWG\CIVIL\PHASE 8B\23-870-000-Harmony Phase 8B_Grading.dwg

GRADING LEGEND

CL	CENTERLINE (ROADWAY)
EP	EDGE OF PAVEMENT
EX	EXISTING ELEVATION
FF	FINISHED FLOOR
FP	FINISHED PAD
FR	STRUCTURE FRAME
HP	HIGH POINT ELEVATION
IE	INVERT ELEVATION
LOT	LOT LINE ELEVATION
LOTHP	LOT LINE HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
MCH	MATCH EXISTING ELEVATION
ROW	RIGHT OF WAY ELEVATION
TP	TOP OF PAVEMENT

NOTE:
• ALL DRAINAGE ACCESS EASEMENTS ARE OWNED AND MAINTAINED BY THE HOA.
• ALL ROADWAYS SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF POOLER.



SCALE: 1"=50'
0' 25' 50' 100'

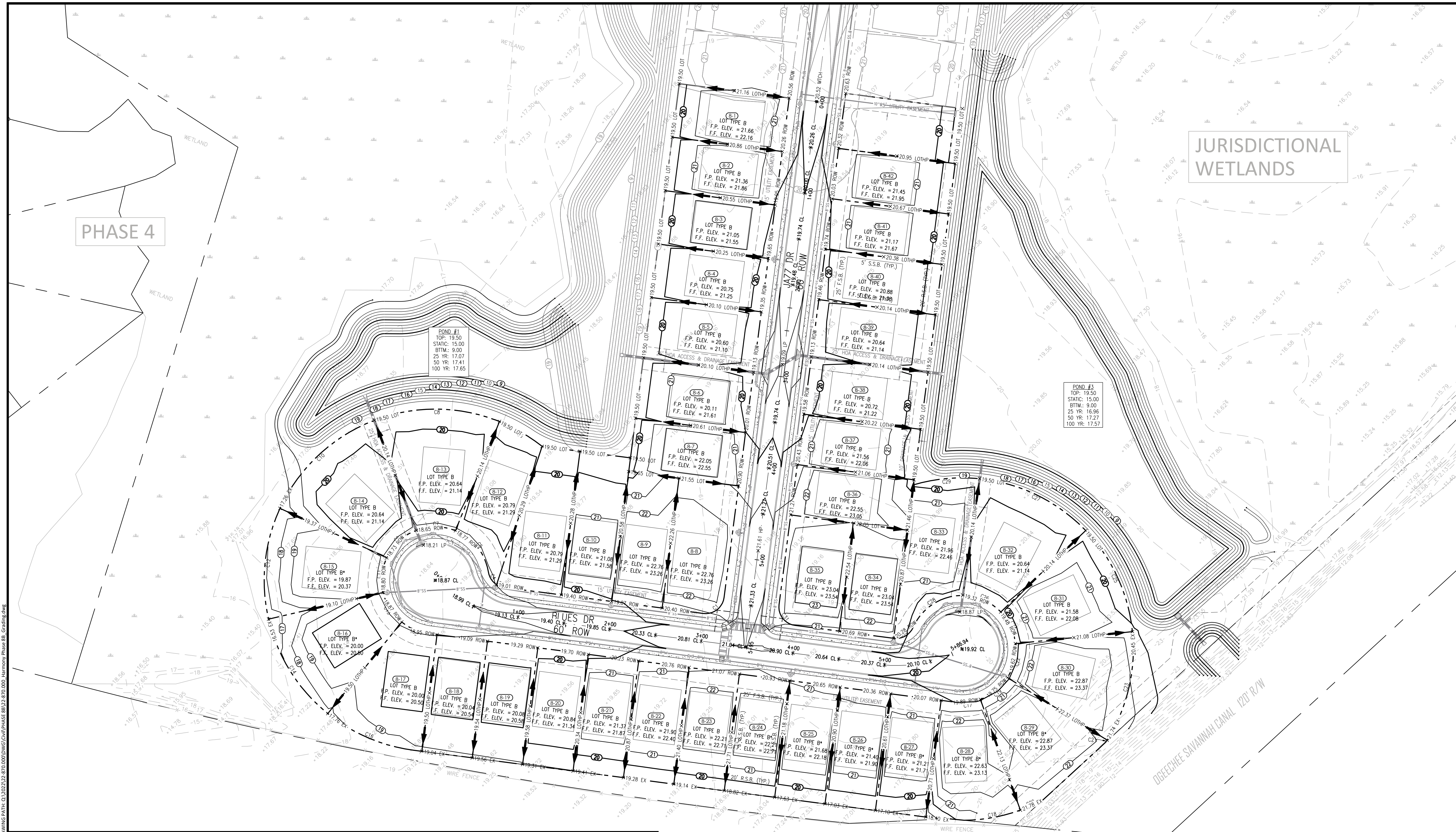


Know what's below.
Call before you dig.

JOB NUMBER: 22-870.000
DATE: 11/27/2023
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

PAVING, GRADING,
& DRAINAGE

SHEET:
C4.0



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PHASE 4

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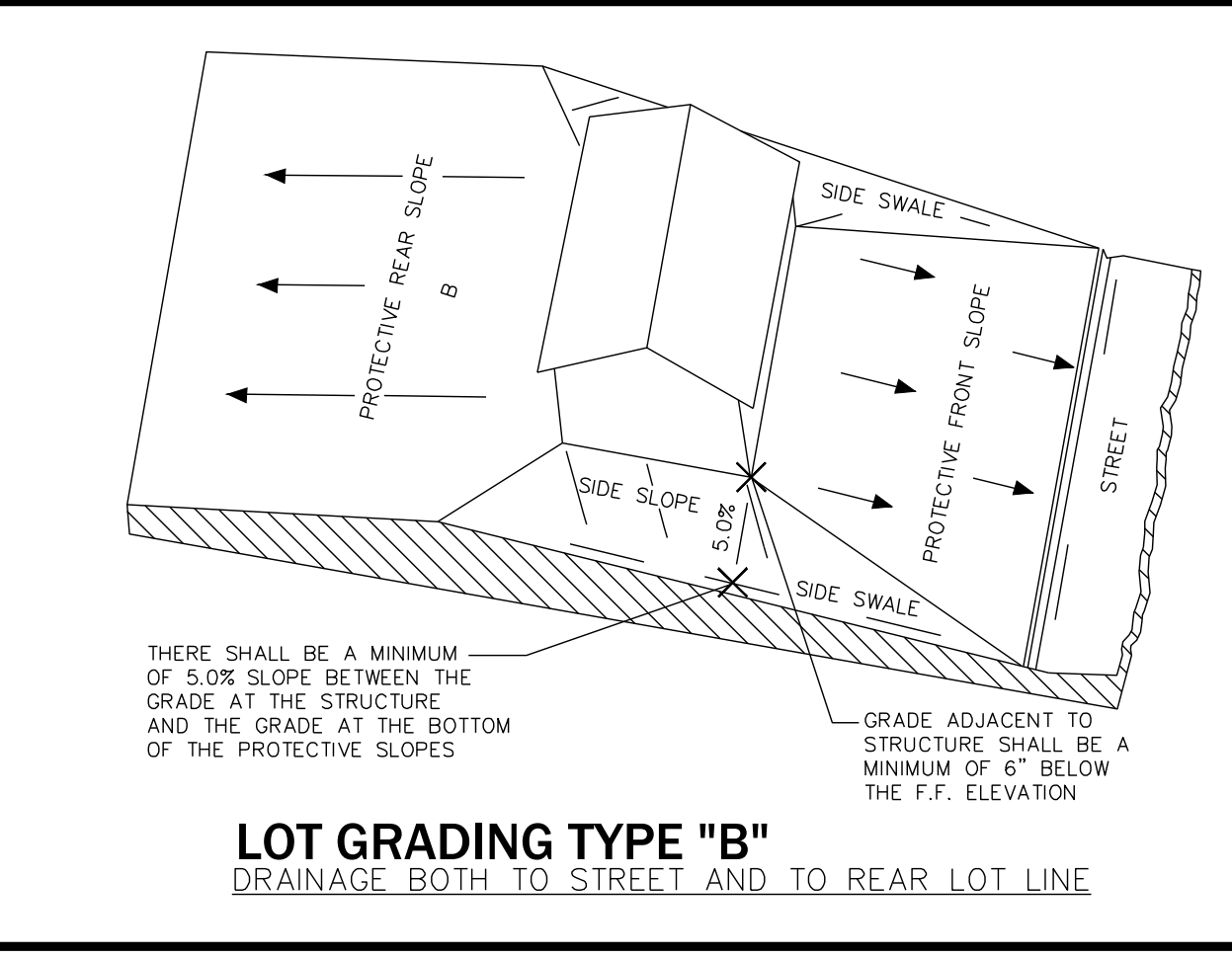
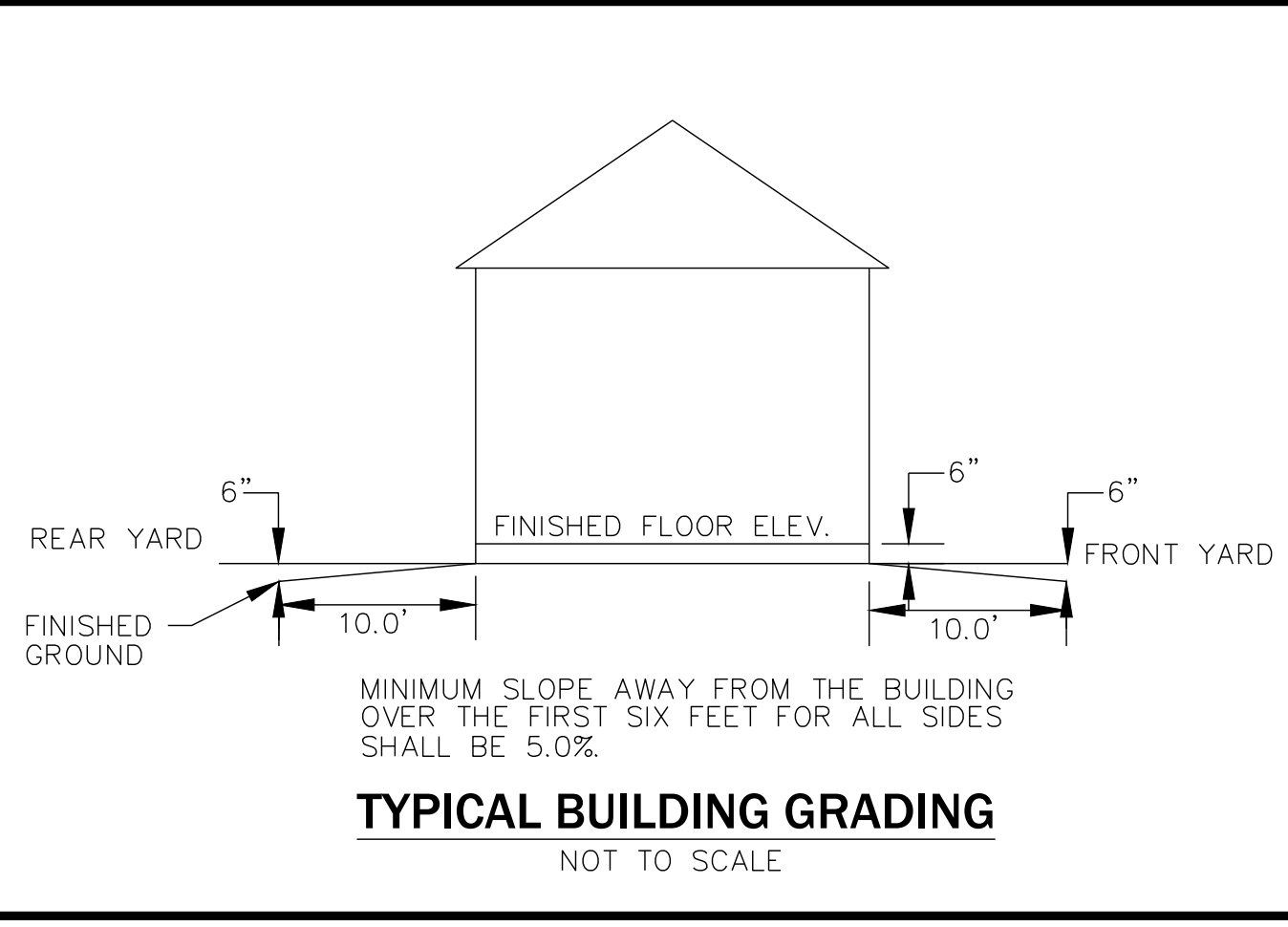
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
PHASE 8B**
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

JOB NUMBER: 22-870.000
DATE: 11/27/2023
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

NEIGHBORHOOD
GRADING PLAN

SHEET:
C5.0



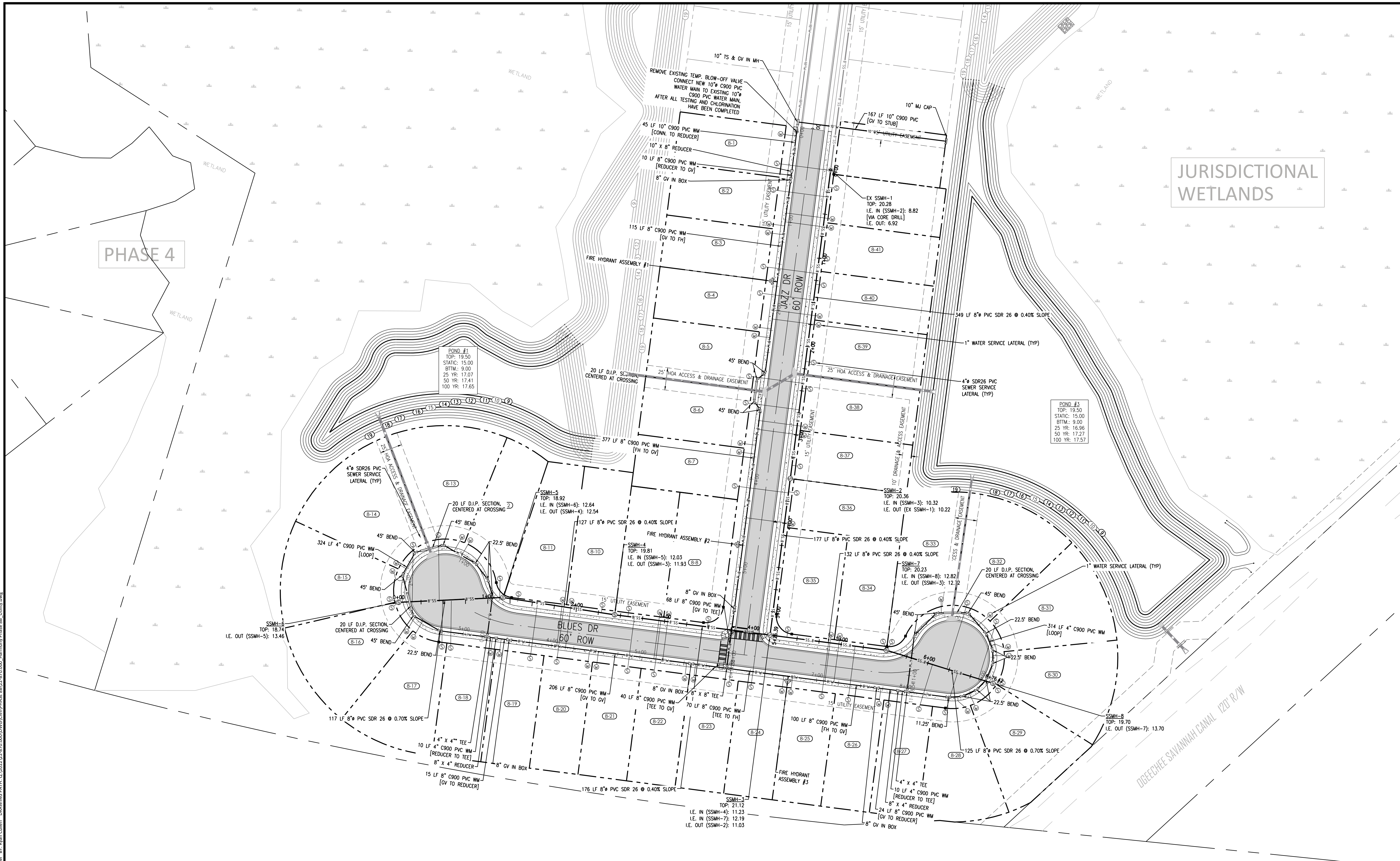
NOTE:
 • ALL DRAINAGE ACCESS EASEMENTS ARE OWNED AND MAINTAINED BY THE HOA.
 • ALL ROADWAYS SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF POOLER.

SOILS LEGEND	
Mn	MASCOTTE SAND, 0 TO 2 PERCENT SLOPES
PI	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
As	ALBANY FINE SAND

GRADING LEGEND	
CL	CENTERLINE (ROADWAY)
EP	EDGE OF PAVEMENT
EX	EXISTING ELEVATION
FF	FINISHED FLOOR
FR	STRUCTURE FRAME
HP	HIGH POINT ELEVATION
IE	INVERT ELEVATION
LOT	LOT LINE ELEVATION
LOTHP	LOT LINE HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
MTC	MATCH EXISTING ELEVATION
ROW	RIGHT OF WAY ELEVATION
TP	TOP OF PAVEMENT

Know what's below.
Call before you dig.

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RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
**HARMONY SUBDIVISION
PHASE 8B**
LOCATED IN POOLER, GEORGIA
PREPARED FOR HARMONY PARTNERS, LLC

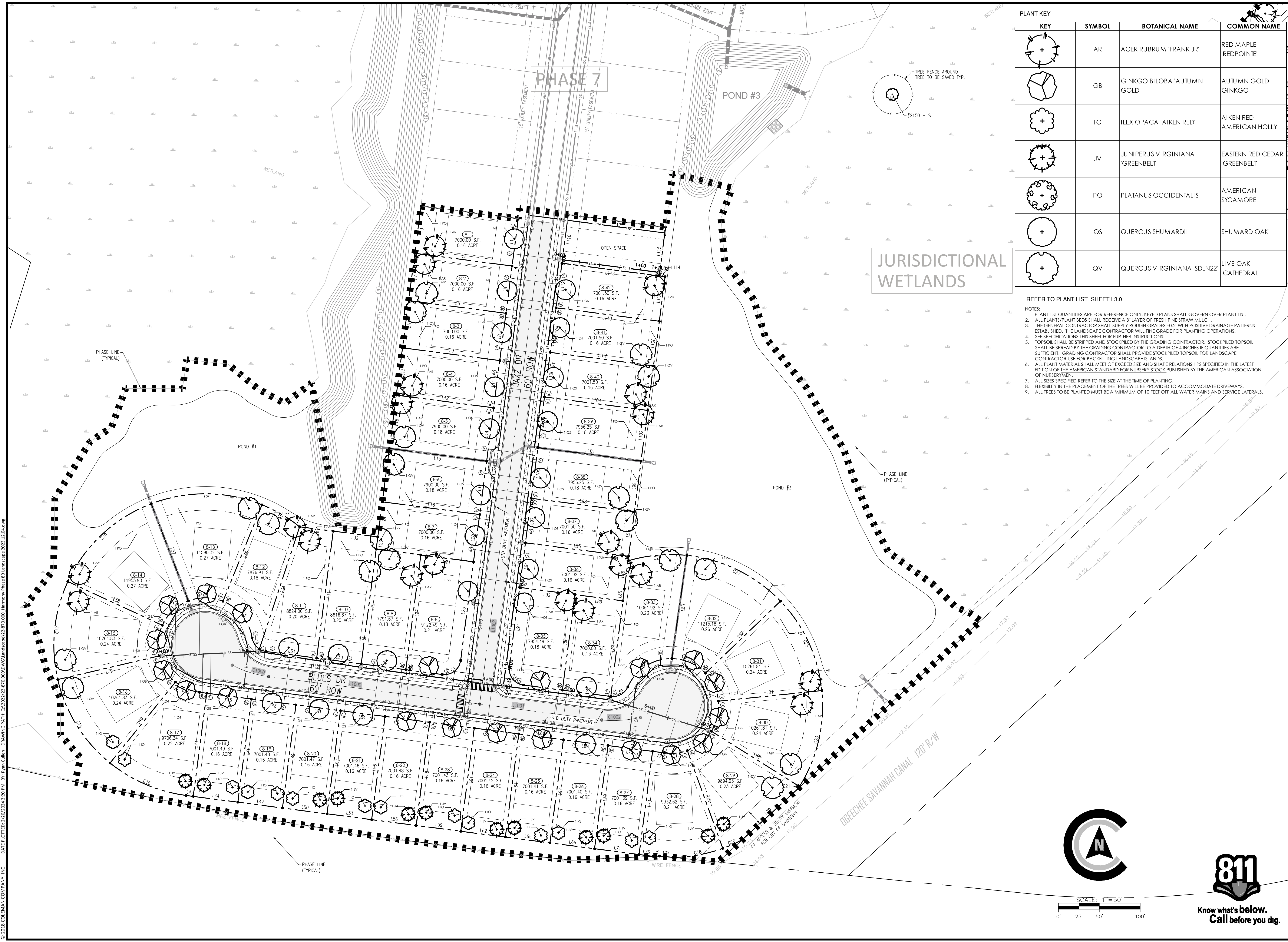
JOB NUMBER: 22-870.000
DATE: 11/27/2023
DRAWN BY: RCC
CHECKED BY: NPM
SCALE: AS NOTED

UTILITY PLAN

SHEET:
C6.0

NOTES:
1. LOCATE ALL PROPOSED GATE VALVES BETWEEN BACK OF CURB AND EDGE OF SIDEWALK.
2. UNLESS OTHERWISE NOTED, ALL WATER VALVES SHALL BE IN BOXES.
3. IF UTILITIES RUN PARALLEL AND LESS THAN 10'-FT FROM THE STORM PIPE, EACH LINE MUST BE INSTALLED IN SEPARATE TRENCHES, WITH THE BOTTOM OF THE WATER MAIN A MINIMUM OF 18" ABOVE THE CROWN OF THE STORM PIPE - PER EPD MINIMUM STANDARD FOR PUBLIC WATER SYSTEMS.
4. PLEASE NOTE THAT ALL WATERLINE FITTINGS SHALL BE RESTRAINED JOINT TYPE FITTINGS.
5. PLEASE NOTE THAT ALL SANITARY MANHOLES PLACED IN PAVEMENT MUST BE FLUSH WITH TOP OF PAVEMENT

Know what's below.
Call before you dig.



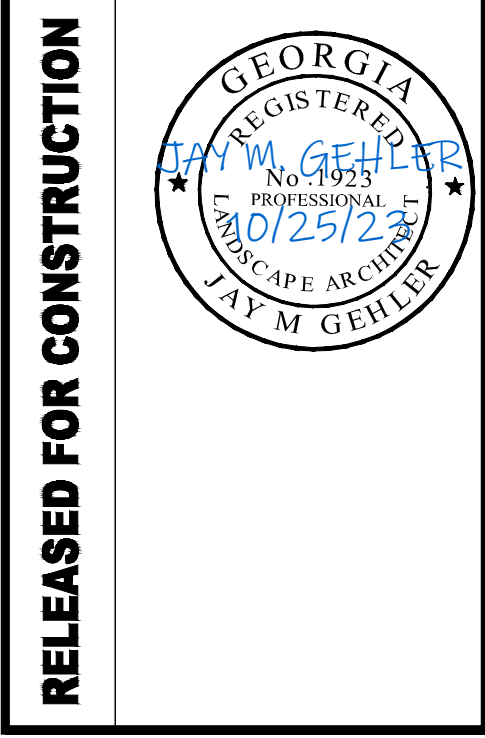
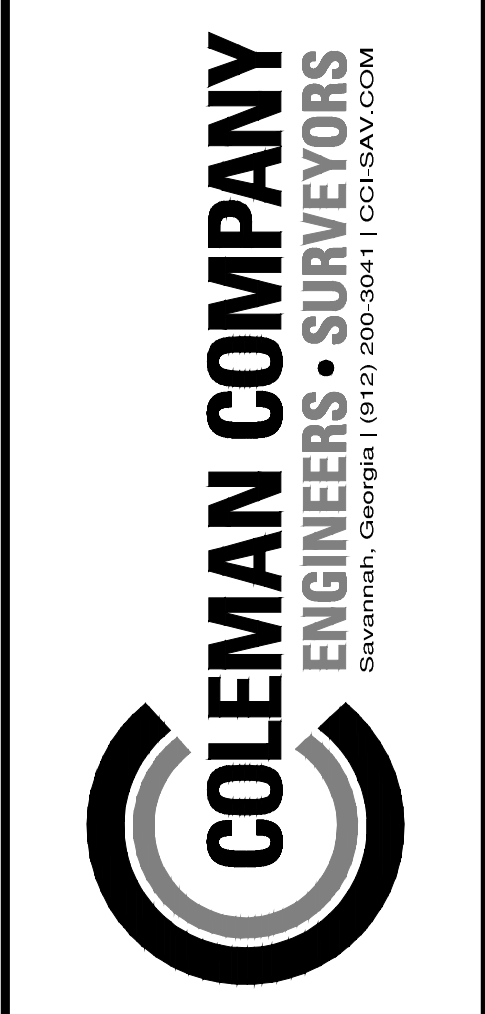
KEY	SYMBOL	BOTANICAL NAME	COMMON NAME
AR		ACER RUBRUM 'FRANK JR'	RED MAPLE 'REDPOINTE'
GB		GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
IO		ILEX OPACA 'AIKEN RED'	AIKEN RED AMERICAN HOLLY
JV		JUNIPERUS VIRGINIANA 'GREENBELT'	EASTERN RED CEDAR 'GREENBELT'
PO		PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE
QS		QUERCUS SHUMARDII	SHUMARD OAK
QV		QUERCUS VIRGINIANA 'SDLN22'	LIVE OAK 'CATHEDRAL'

REFER TO PLANT LIST SHEET L3.0

NOTES:

1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES 40.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
4. SEE SPECIFICATIONS THIS SHEET FOR FURTHER INSTRUCTIONS.
5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
6. ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.
8. FLEXIBILITY IN THE PLACEMENT OF THE TREES WILL BE PROVIDED TO ACCOMMODATE DRIVEWAYS.
9. ALL TREES TO BE PLANTED MUST BE A MINIMUM OF 10 FEET OFF ALL WATER MAINS AND SERVICE LATERALS.

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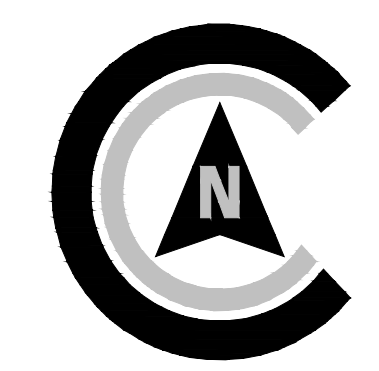
REVISIONS:	
2023.12.04	JMG

LANDSCAPE PLAN FOR
HARMONY SUBDIVISION
PHASE 8B
 LOCATED IN POOLER, GEORGIA
 PREPARED FOR HARMONY PARTNERS, LLC

JOB NUMBER: 22-870.000
 DATE: 2023.10.25
 DRAWN BY: MRC
 CHECKED BY: JMG
 SCALE: AS NOTED

LANDSCAPE PLAN

SHEET:
L2.0



SCALE: 1"=50'





March 6th, 2024

Neil P. McKenzie, P.E.
Coleman Company
1480 Chatham Parkway, Suite 100
Savannah, GA 31405

Dear Mr. McKenzie,

I am pleased to provide you with a recommendation for Approval of the site development plans for Harmony Subdivision Phase 8B (2024 Revised Plans), which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	<i>Mar. 2024</i>
	Encroachment Permit Approval (S&O Canal).....	<i>Oct. 2023</i>
	Water & Sewer Analysis.....	<i>Aug. 2023</i>
	Stormwater Management Report.....	<i>Aug. 2023</i>
	Stormwater Maintenance Agreement.....	<i>Jun. 2023</i>
	Arborist Report.....	<i>Jun. 2023</i>
	EPD Water & Sewer Extension Form Approval.....	<i>Aug. 2023</i>
	GSWCC Approval.....	<i>Dec. 2023</i>
	Hand Auger/Boring Log.....	<i>Aug. 2023</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.



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To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Brian Crooks, AICP; City Planner - City of Pooler
Kimberly Dyer, CFM; Zoning Administrator - City of Pooler
Liberto Chacon, PE; Sr. Vice President – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Preliminary Subdivision Plans for Providence at Pooler (F/K/A Davis Group Development)

Project:	#230537
P&Z Meeting Date:	March 25, 2024
City Council Meeting Date:	April 1, 2024
Applicant and Authorized Agent:	Hussey Gay Bell / Davis Group
Location (Address):	Pooler Parkway @ Pine Barren
Parcel (PIN):	51010 01046
Acreage:	38.25 total – 39.5 disturbed
Zoning:	PUD (Morgan Family PUD)
Proposed Use:	Commercial Subdivision (3 Parcels and Pump Station)
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none">Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans.<ul style="list-style-type: none">The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area.Whether the site plan provides for adequate pedestrian and traffic access.<ul style="list-style-type: none">The site plan complies with the provisions of the Morgan Family PUD for access and circulation; Sec. 11 of App. A,

Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.

3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of the Morgan Family PUD and Sec. 5 of App. A, Art. III for parking and loading standards.
4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions of the Morgan Family PUD related to development standards for commercial development, including setbacks, building separation, and height and Chapter 74, Art. VI for lighting.
5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions of the Morgan Family PUD related to the PUD master plan for location of uses/development areas, development standards for commercial development, and buffer standards.
6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
7. Whether the proposed development site is adequately served by other public serves to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions of the Morgan Family PUD related to buffer and screening standards.
9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.

- The site plan complies with the provisions of the Morgan Family PUD and Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter



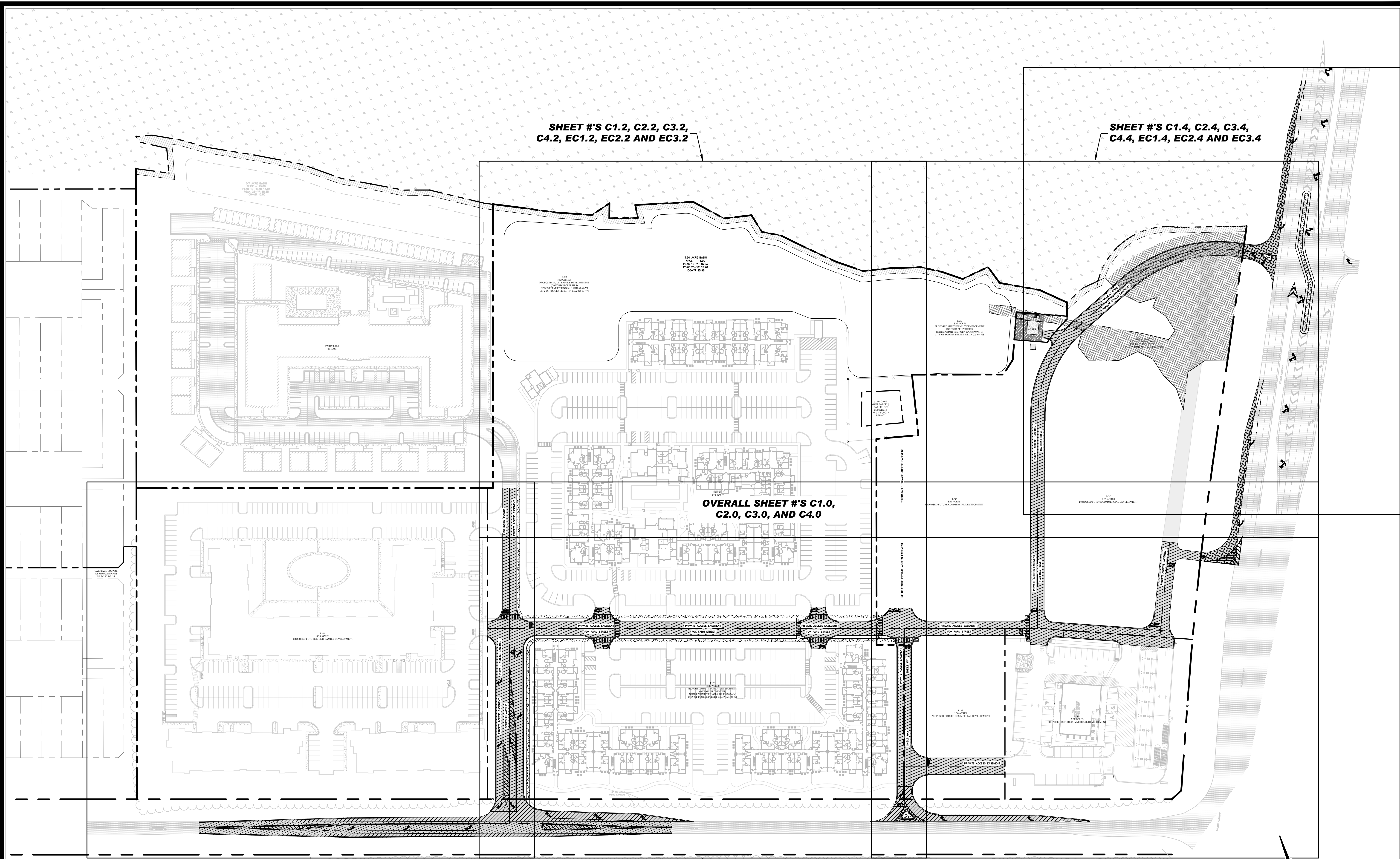
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GEORGIA
A great place to Live, Work and Play

Providence at Pooler

03/21/2024

Parcels





**SHEET #'S C1.2, C2.2, C3.2,
C4.2, EC1.2, EC2.2 AND EC3.2**

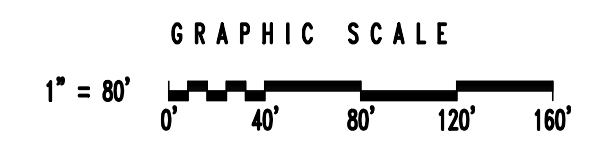
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C4.4, EC1.4, EC2.4 AND EC3.4**

**OVERALL SHEET #'S C1.0,
C2.0, C3.0, AND C4.0**

**SHEET #'S C1.1, C2.1, C3.1,
C4.1, EC1.1, EC2.1 AND EC3.1**

**SHEET #'S C1.3, C2.3, C3.3,
C4.3, EC1.3, EC2.3 AND EC3.3**

**SHEET #'S C1.5, C2.5, C3.5,
C4.5, EC1.5, EC2.5 AND EC3.5**



HUSSEY GAY BELL
Established 1958
329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T: 912.354.4626

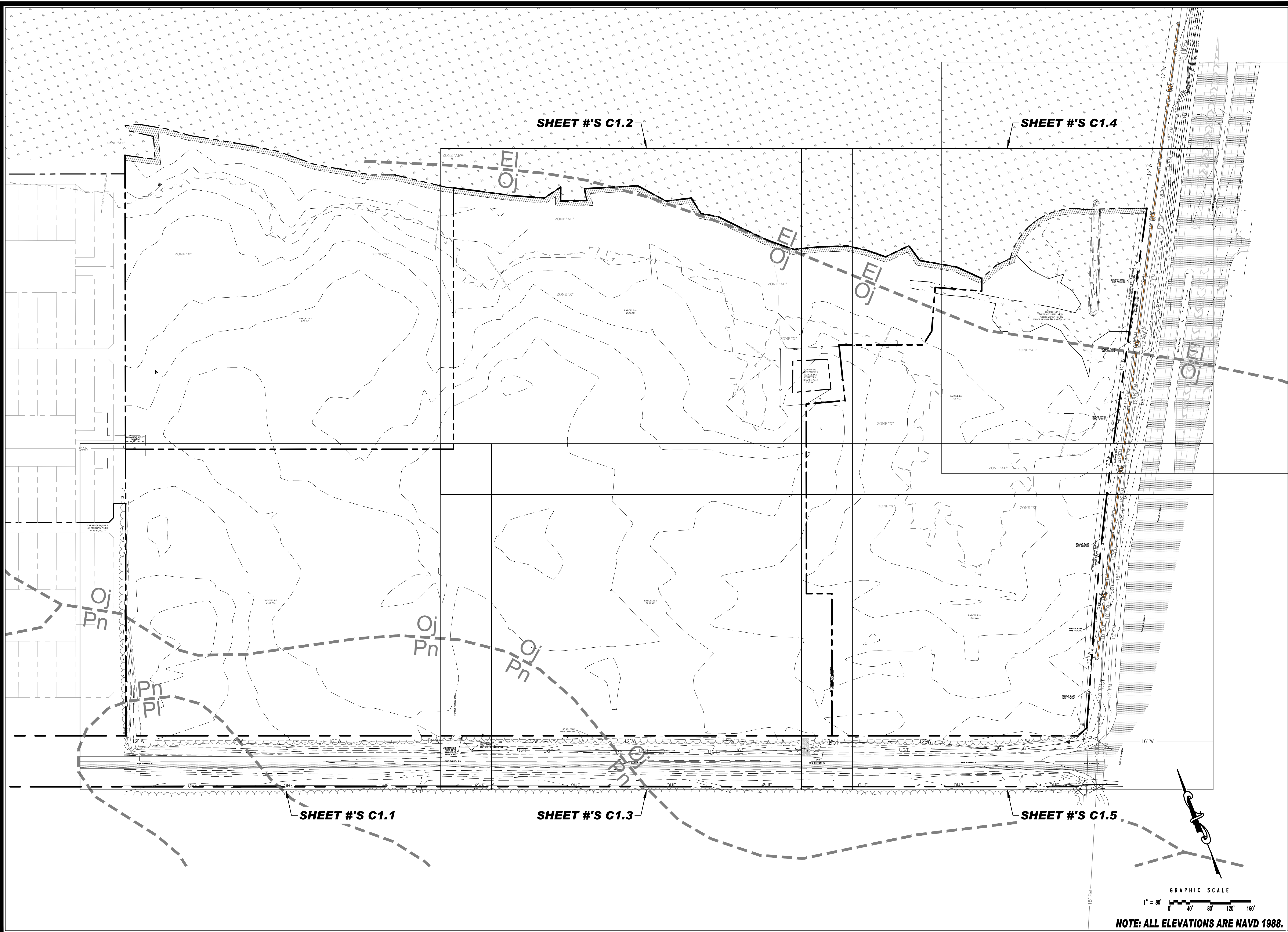
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POOLER REVISIONS 05/11/2023
MASTER SITE - IFC SET 05/24/2023
MASTER SITE - OWNER REVISIONS 08/23/2023
MASTER SITE - OWNER REVISIONS 10/05/2023
MASTER SITE - OWNER REVISIONS 12/07/2023
CITY OF POOLER / OWNER REVISIONS 03/04/2024
CITY OF POOLER / OWNER REVISIONS 03/27/2024

DESIGNED	DRAWN	CHECKED
H.S.W.	J.J.M.	C.J.C.
DATE: OCTOBER 18, 2022		
JOB NO. 122401600		
SCALE: 1" = 80'		

PROVIDENCE AT POOLER
NW OF POOLER PARKWAY AND PINE BARREN RD
POOLER, GEORGIA
FOR
THE DAVIS GROUP, LLC
PROJECT INDEX MAP

DRAWING NUMBER
C0.3



HUSSEY GAY BELL
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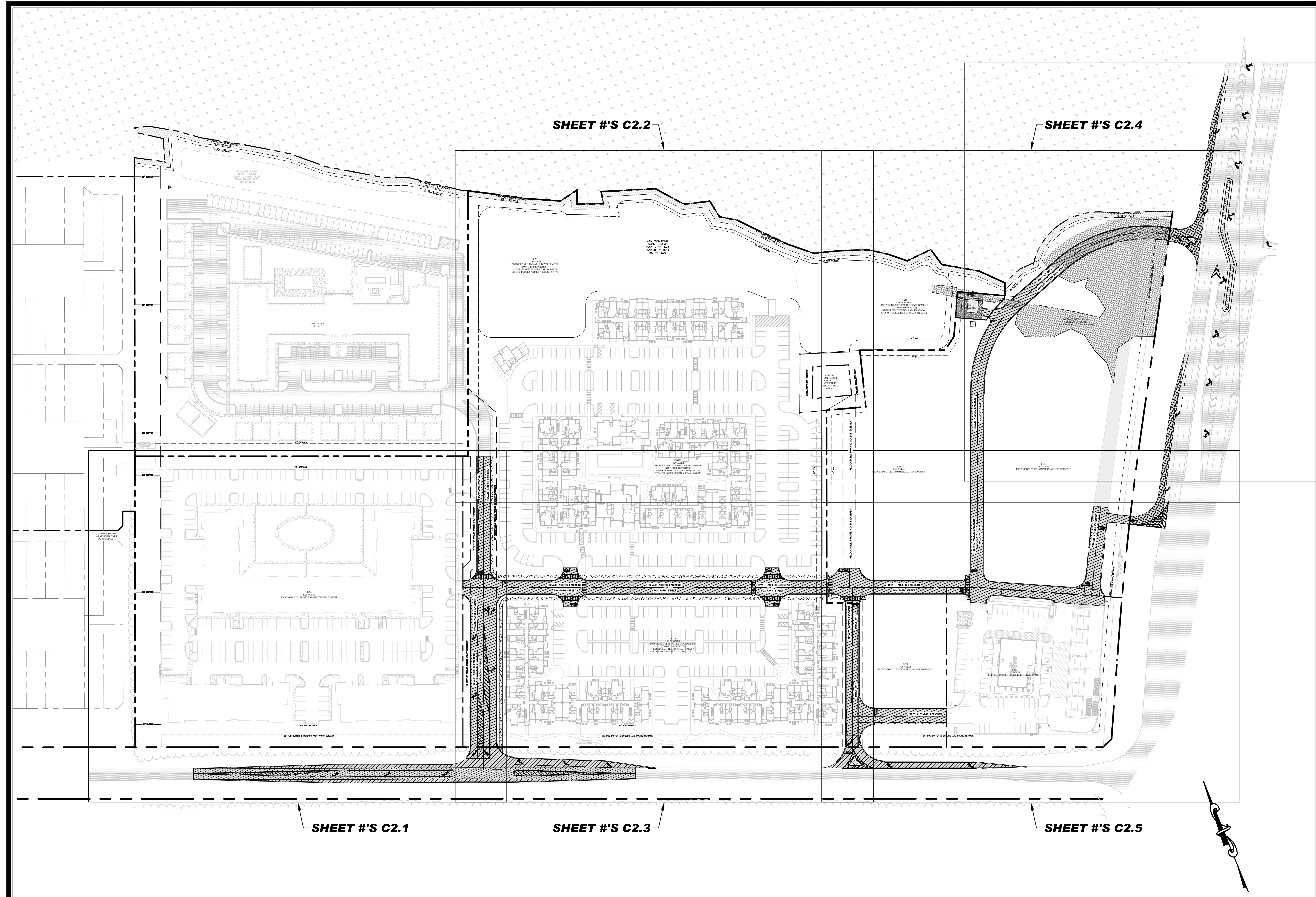
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 MASTER SITE - OWNER REVISIONS 12/07/2023
 CITY OF POOLER / OWNER REVISIONS 03/04/2024
 CITY OF POOLER / OWNER REVISIONS 03/27/2024

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H.S.W.	J.J.M.	C.J.C.
DATE: OCTOBER 18, 2022		
JOB NO. 122401600		
SCALE: 1" = 80'		

PROVIDENCE AT POOLER
 NW OF POOLER PARKWAY AND PINE BARREN RD
 POOLER, GEORGIA
 FOR
THE DAVIS GROUP, LLC
 OVERALL EXISTING CONDITIONS PLAN

DRAWING NUMBER
C1.0

GRAPHIC SCALE
 1" = 80'
 0' 40' 80' 120' 160'
 NOTE: ALL ELEVATIONS ARE NAVD 1988.



PAVING (BITUMINOUS ASPHALT PAVING)
 ASPHALT (HEAVY DUTY) [Hatched pattern]
 ASPHALT (HEAVY DUTY - POOLER PARKWAY) [Cross-hatched pattern]

GRAPHIC SCALE
 1" = 80'
 0' 40' 80' 120' 160'
 NOTE: ALL ELEVATIONS ARE NAVD 1988.



HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T: 912.354.4626

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 CITY OF POOLER / OWNER REVISIONS 03/04/2024
 CITY OF POOLER / OWNER REVISIONS 03/27/2024

DESIGNED: H.S.W. DRAWN: J.J.M. CHECKED: C.J.C.
 DATE: OCTOBER 18, 2022
 JOB NO. 122401600
 SCALE: 1" = 80'

PROVIDENCE AT POOLER
 NV OF POOLER PARKWAY AND PINE BARREN RD
 POOLER, GEORGIA
 FOR
THE DAVIS GROUP, LLC
OVERALL STAKING AND TRAFFIC CONTROL PLAN

DRAWING NUMBER
C2.0

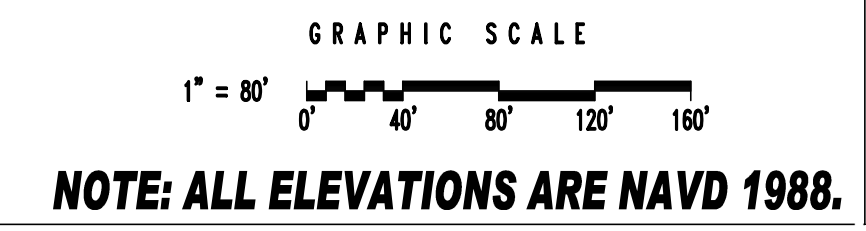
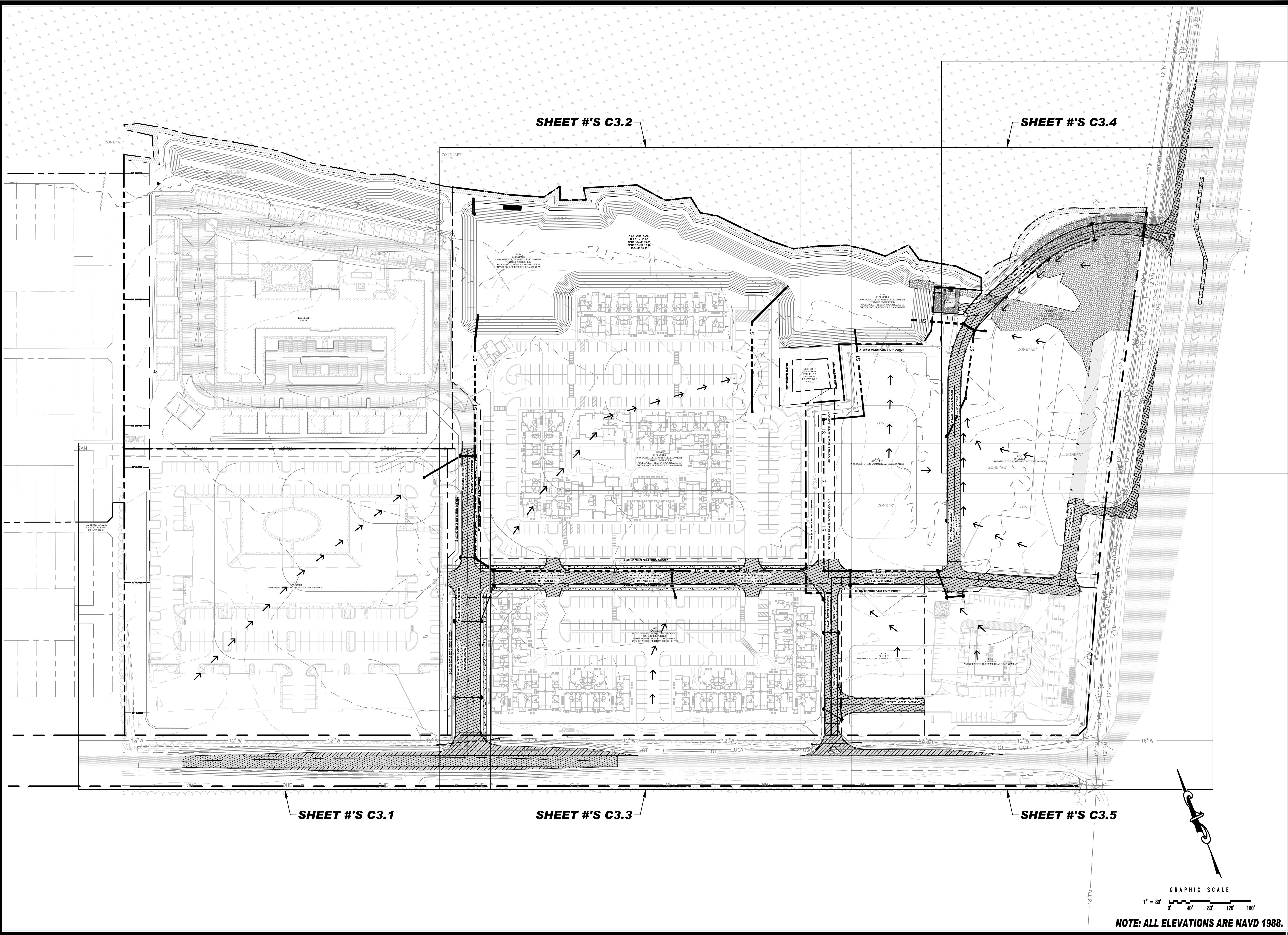
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SHEET #'S C3.4

SHEET #'S C3.1

SHEET #'S C3.3

SHEET #'S C3.5



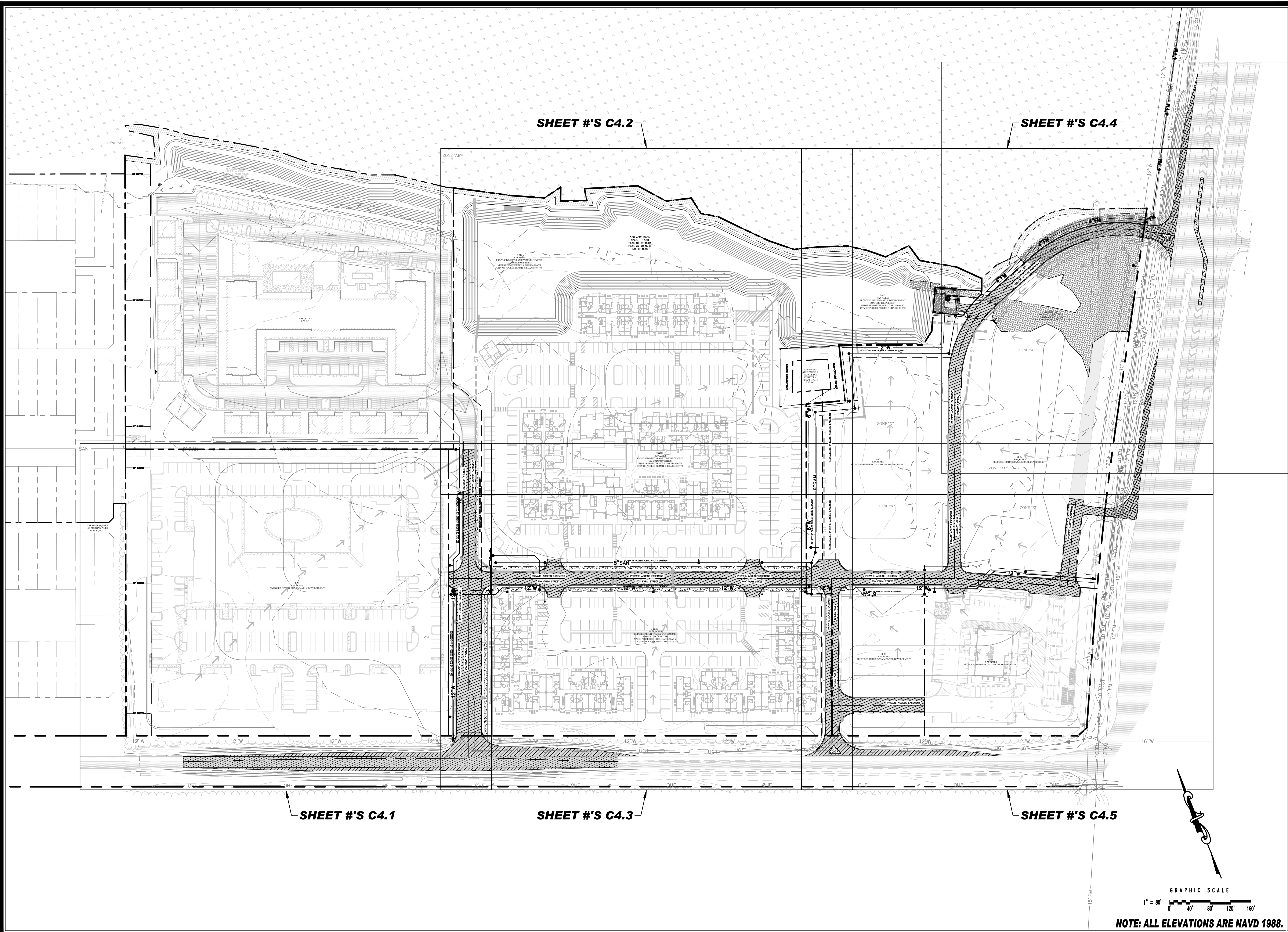
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 CITY OF POOLER / OWNER REVISIONS 03/27/2024

DESIGNED DRAWN CHECKED
 H.S.W. J.J.M. C.J.C.
 DATE: OCTOBER 18, 2022
 JOB NO. 122401600
 SCALE: 1" = 80'

PROVIDENCE AT POOLER
 NV OF POOLER PARKWAY AND PINE BARREN RD
 POOLER, GEORGIA
 FOR
THE DAVIS GROUP, LLC
OVERALL PAVING, GRADING AND DRAINAGE PLAN

DRAWING NUMBER
C3.0



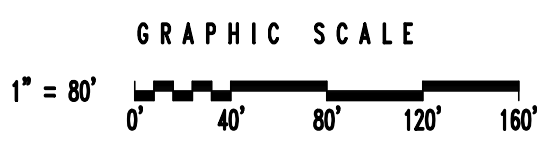
SHEET #'S C4.2

SHEET #'S C4.4

SHEET #'S C4.1

SHEET #'S C4.3

SHEET #'S C4.5



HUSSEY GAY BELL
Established 1958
 329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T: 912.354.4626

REVISIONS:
 POOLER REVISIONS 05/11/2023
 MASTER SITE - IFC SET 05/24/2023
 MASTER SITE - OWNER REVISIONS 08/23/2023
 MASTER SITE - OWNER REVISIONS 10/05/2023
 MASTER SITE - OWNER REVISIONS 12/07/2023
 CITY OF POOLER / OWNER REVISIONS 03/04/2024
 CITY OF POOLER / OWNER REVISIONS 03/27/2024

DESIGNED DRAWN CHECKED
 H.S.W. J.J.M. C.J.C.
 DATE: OCTOBER 18, 2022
 JOB NO. 122401600
 SCALE: 1" = 80'

PROVIDENCE AT POOLER
 NW OF POOLER PARKWAY AND PINE BARREN RD
 POOLER, GEORGIA
 FOR
THE DAVIS GROUP, LLC
OVERALL SEWER AND WATER DISTRIBUTION PLAN

DRAWING NUMBER
C4.0



March 21st, 2024

C.J. Chance, P.E.
Hussey Gay Bell
329 Commercial Dr.
Savannah, GA 31406

Dear Mr. Chance,

I am pleased to provide you with a recommendation for Approval of the site development plans for Providence at Pooler, which is provided below.

Site Plan Review

<u>Submittal Documents:</u>	Site Development Plan.....	Mar. 2024
	City of Pooler Approval of Slipline Force Main.....	Mar. 2024
	Stormwater Management Report.....	Nov. 2023
	Traffic Memorandum.....	Sep. 2022
	Stormwater Maintenance Agreement & Plan.....	Sep. 2022
	Geotechnical Report.....	Sep. 2022
	Water System Report.....	Sep. 2022
	Fire Hydrant Flow Test.....	Nov. 2022
	Wastewater Design Report.....	Nov. 2022
	Pooler City Manager Letter for Traffic Improvements.....	Nov. 2022

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State and City ordinances and regulations. All the required testing data, plans and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler’s applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.



EOM Operations
Your solution to a better tomorrow

OPERATIONS

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Dixon; Director of Planning & Development – City of Pooler
Brian Crooks; City Planner - City of Pooler
Liberto Chacon, PE; Sr. VP of Operations – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – STAFF REPORT

Agenda Item:

Reapproval for Walk-On's/Vet Center at 105 Half Moon Way

Meeting Date:

April 1, 2024

Department:

Planning & Zoning

Background & Discussion:

During the Tuesday, January 17, 2023, City Council meeting, a site plan for the project entitled "Walk On's/Vet Center" at 105 Half Moon Way was approved with conditions. The developer was looking to schedule a pre-construction meeting to begin work; however, a site plan approval is only valid for a year unless acted upon. The approval has since expired and re-approval of the site plan is required before a pre-construction meeting is scheduled and any development begins.

Recommendation:

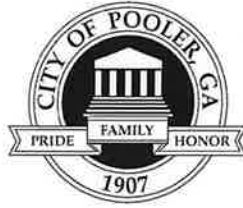
Staff recommends reapproval of the site plan for this project, subject to the same conditions as previously listed.

Requested Motion:

"Move to re-approve the site plan for Walk-On's/Vet Center at 105 Half Moon Way, subject to the conditions in the original approval letter."

Attachments:

Approval Letter



CITY OF POOLER

MAYOR
Rebecca C. Benton

CITY COUNCIL

Shannon Black
Aaron C. Higgins
Tom Hutcherson
Stevie E. Wall
John M. Wilcher
Karen L. Williams

CITY MANAGER

Robert H. Byrd, Jr.

CITY ATTORNEY

Steve Scheer

January 23, 2023

Robert Forest
12595 Crabapple Road
Milton, GA 30004

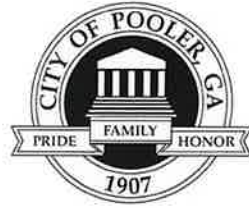
RE: Site Plan
Walk On's/Vet Center
Pooler Parkway

Dear Sir:

During their regularly scheduled meeting on Tuesday, January 17, 2023, Mayor and Council approved the site plan for the above reference project, subject to the following conditions:

- *A westbound right turn deceleration lane on Blue Moon Xing being proposed under this project.*
- *A modification to the southbound approach at Half Moon Way and Blue Moon Xing is being proposed under the Towne Place Pooler project. This modification includes a left turn lane and thru/right turn lane on the southbound approach to the intersection.*
- *The approval of the site plan shall be contingent upon the remaining traffic improvements, proposed under Towne Place Pooler, attaining site plan approval. The full extent of traffic improvements must be approved and a resubmittal of plans showing the complete scope of the traffic improvements must be provided, prior to a preconstruction meeting being scheduled.*
- *It shall be noted that a certificate of occupancy shall not be issued until the Water Distribution and the Sanitary Sewer System falling under the scope of Towne Place Pooler project have been permitted, constructed, and accepted by the City.*

The following information applies for an approved site plan and/or once all above contingencies are met. **A pre-construction meeting is required for all construction projects.** Please contact Tara Duff in the Public Works Department at (912) 330-8650 to schedule this meeting prior to beginning any land development activities.



CITY OF POOLER

Please do not hesitate to call if I can be of further assistance to you.

Sincerely,

A handwritten signature in blue ink that reads "Kimberly Dyer". The signature is fluid and cursive.

Kimberly Dyer
Zoning Administrator

cc: Jay Maupin ~ Maupin Engineering
Shannon Kirby ~ Inspections Coordinator
Tara Duff ~ Public Works Coordinator
File

Matt Saxon
City of Pooler Public Works
1095 S Rogers St
Pooler, GA 31322
(912) 748-7261

Please find below our proposal for a 3-year supply agreement for Ecosorb 806 in 275-gallon totes for ongoing odor control at the Pooler WWTP.

Background:

Ecosorb was first installed at the Pooler WWTP in the fall of 2020 to address odors causing discomfort and frustration for the housing communities around the WWTP.

In March of 2024, the expansion of the Pooler WWTP will start-up with 3 added Ecosorb systems treating sources of odor. This will bring the number of systems running at the Pooler WWTP to 5.

Proposal:

The City of Pooler and OMI-Industries have been working together since October 2021 to design and install Odor Control Systems at the Pooler WWTP. The systems were installed and at once started reducing odor from the odor source points at the facility, which included the 7-acre collection pond. The systems have reduced the number of odor complaints to near zero from surrounding communities. OMI believes the system's operating cost outweighs the cost of complaints by your citizens. It is better to be proactive instead of reactive.

Why Three Years:

- The expansion at the WWTP called for more equipment to manage each new facility while cleaning water. The City of Pooler bought three new systems - (3) 1200VPS and already purchased a 2400VPS and 450VPS.
- 2400VPS – Pond Treatment
- 1200VPS – Headworks
- 1200VPS – Digesters
- 1200VPS – New Presses
- 450VPS – Old Press Room

The City of Pooler bought the systems and purchased the Service & Maintenance Agreement for each system. These are 3-year agreements for service, maintenance, and warranty for all parts and labor. This agreement includes 4 onsite service calls per year. The City of Pooler bought the Eco-Link Smart system for each engine which will give OMI and COP the ability to watch the system 24/7, adjust the flow of product when needed, create monthly reports on consumption and service the system from OMI-HQ.

OMI values the partnership with the City of Pooler. OMI will continually bring value and efficiency to the Pooler WWTP. EOM is a great partner, but EOM is challenged with workload and OMI can streamline the process using Eco-Link to make things smoother for all involved. Smart technology will allow OMI to:

- Monitor consumption to allow for on-time delivery of product.
- Create scheduled ordering of product based on consumption.
- Show delivery dates for products to allow EOM to schedule the transition of new totes to each machine.
- OMI will take over the ordering of new material/product for each machine based on consumption. EOM welcomes this process and can still go through EOM’s purchasing department.
- OMI will continue to maintain an odorless facility and sometimes may need to change product and/or adjust.
- **THERE WILL BE NO PRICE INCREASE** if adjustments are made by OMI. Likewise, if OMI can save money with different treatments, the savings **WILL BE PASSED ON TO COP**.
- The City of Pooler directly or their O&M partner EOM will provide a 3-year blanket order for the annual number of totes shown in table 1 (below).
- The Ecosorb Team will then watch the consumption and the inventory shipping in the first week of each month.
- Billing will occur monthly for the quantity shipped.
- Initially monthly shipments will be based on the schedule in Appendix A.
- After the start-up, Eco-Link consumption data from the previous month will be used to drive the shipments.
- Onsite inventories will be confirmed quarterly by the Ecosorb service team. The goal would be to have a 2-4 tote buffer of material at the end of every month, to support the 5 systems.

Table 1:

Annual Figures			
	2024	2025	2026
Est. Consumption Gallons	15,174	16,174	16,174
Totes Delivered	58	59	60
\$'s	\$ 666,710	\$ 678,205	\$ 689,700

Values determined from estimated monthly consumption values in the "Pooler Product Consumption" spreadsheet which can be provided upon request.

Pricing:

- Ecosorb 806 275gal Tote - \$11,495 each
- The 2023 pricing will be held for the agreement period based on a minimum of 45 totes per year. If the consumption falls below 45 totes per year the price will be set at the current rate/price for the following year.

OMI/Ecosorb is committed to efficiently treating the odors and not over consuming product. In support of this, we will advise and discuss if we see the consumption exceeding the annual totes delivered amount in Table 1. Additionally, we will not ship more than the annual totes delivered value without prior written approval from the City of Pooler and/or their O&M partner EOM.

Appendix A

Table A.1 - Estimated Monthly Tote Delivery Schedule

Ecosorb Delivery Schedule (275 gallon totes)														
2024														
System	Location	January	February	March	April	May	June	July	August	September	October	November	December	Total
SN2110 - 450VPS	Old press room	1	0	1	0	1	0	1	0	1	0	1	0	6
SN2111 - 2400VPS	Pond Treatment	2	1	2	2	2	3	2	3	2	2	1	1	23
SN2525 - 1200VPS	Headworks	0	0	1	1	1	1	2	1	1	1	1	0	10
SN2526 - 1200VPS	Digesters	0	0	1	1	1	1	2	1	1	1	1	0	10
SN2527 - 1200VPS	New Presses	0	0	1	1	1	1	1	1	1	1	0	1	9
Total Totes		3	1	6	5	6	6	8	6	6	5	4	2	58
Total \$'s		\$34,485	\$11,495	\$68,970	\$57,475	\$68,970	\$68,970	\$91,960	\$68,970	\$68,970	\$57,475	\$45,980	\$22,990	\$666,710
2025														
System	Location	January	February	March	April	May	June	July	August	September	October	November	December	Total
SN2110 - 450VPS	Old press room	1	0	0	1	0	1	0	1	0	1	0	0	5
SN2111 - 2400VPS	Pond Treatment	2	1	2	1	3	2	2	3	2	2	1	2	23
SN2525 - 1200VPS	Headworks	1	1	0	1	1	1	2	1	1	1	1	0	11
SN2526 - 1200VPS	Digesters	1	1	0	1	1	1	2	1	1	1	1	0	11
SN2527 - 1200VPS	New Presses	1	0	1	1	1	0	1	1	1	1	1	0	9
Total		6	3	3	5	6	5	7	7	5	6	4	2	59
Total \$'s		\$68,970	\$34,485	\$34,485	\$57,475	\$68,970	\$57,475	\$80,465	\$80,465	\$57,475	\$68,970	\$45,980	\$22,990	\$678,205
2026														
System	Location	January	February	March	April	May	June	July	August	September	October	November	December	Total
SN2110 - 450VPS	Old press room	1	0	1	0	1	0	1	0	0	1	0	1	6
SN2111 - 2400VPS	Pond Treatment	1	1	2	2	2	2	3	2	3	2	1	1	22
SN2525 - 1200VPS	Headworks	1	1	0	1	1	1	1	2	1	1	0	1	11
SN2526 - 1200VPS	Digesters	1	1	0	1	1	1	1	2	1	1	0	1	11
SN2527 - 1200VPS	New Presses	1	1	0	1	1	1	1	1	1	0	1	1	10
Total		5	4	3	5	6	5	7	7	6	5	2	5	60
Total \$'s		\$57,475	\$45,980	\$34,485	\$57,475	\$68,970	\$57,475	\$80,465	\$80,465	\$68,970	\$57,475	\$22,990	\$57,475	\$689,700
Price per tote	Ecosorb 806	\$11,495												

Table A.2 – Estimated Daily Consumption by Month

Ecosorb Estimated Daily Consumption by System by Month													
2024													
System	Location	January	February	March	April	May	June	July	August	September	October	November	December
SN2110 - 450VPS	Old press room	4	4	4	4	4	4	4	4	4	4	4	4
SN2111 - 2400VPS	Pond Treatment	12	12	12	16	22	22	22	22	24	22	16	12
SN2525 - 1200VPS	Headworks	0	0	6	8	10	10	10	10	12	10	8	6
SN2526 - 1200VPS	Digesters	0	0	6	8	10	10	10	10	12	10	8	6
SN2527 - 1200VPS	New Presses	0	0	6	7	8	8	8	8	9	8	7	6
2025													
System	Location	January	February	March	April	May	June	July	August	September	October	November	December
SN2110 - 450VPS	Old press room	4	4	4	4	4	4	4	4	4	4	4	4
SN2111 - 2400VPS	Pond Treatment	12	12	12	16	22	22	22	22	22	22	16	12
SN2525 - 1200VPS	Headworks	6	6	6	8	10	10	10	10	12	10	8	6
SN2526 - 1200VPS	Digesters	6	6	6	8	10	10	10	10	12	10	8	6
SN2527 - 1200VPS	New Presses	6	6	6	7	8	8	8	8	9	8	7	6
2026													
System	Location	January	February	March	April	May	June	July	August	September	October	November	December
SN2110 - 450VPS	Old press room	4	4	4	4	4	4	4	4	4	4	4	4
SN2111 - 2400VPS	Pond Treatment	12	12	12	16	22	22	22	22	22	22	16	12
SN2525 - 1200VPS	Headworks	6	6	6	8	10	10	10	10	12	10	8	6
SN2526 - 1200VPS	Digesters	6	6	6	8	10	10	10	10	12	10	8	6
SN2527 - 1200VPS	New Presses	6	6	6	7	8	8	8	8	9	8	7	6

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