



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – AGENDA

May 6, 2024 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. City Council Meeting Minutes of April 15, 2024
 - B. City Council Executive Session Minutes of April 15, 2024
 - C. City Council Workshop Minutes of April 15, 2024
 - D. New Alcoholic Beverage License Application for LP Beverage, LLC at 1014 US Highway 80, Suite 100
 - E. Release of Maintenance Bond for Westbrook, Phase 7B-1, Subject to City Attorney Approval
- VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. Ordinance O2024-04.B - Minor Site Plan Approvals
(First Reading; Public Hearing, Action)
 - B. Proclamation for National Cities, Towns, and Villages Month
 - C. Proclamation for National Foster Care Month
 - D. Proclamation for Toastmasters' Week
- VIII. OUTSTANDING BUSINESS
 - A. Westside Commerce Center Native Development Group Request for Consideration
 - B. Zoning Map Amendment for 701 Jimmy DeLoach Boulevard

C. PUD Amendment for Savannah Quarters Phase 8 and Phase 16
(Additional Public Hearing, Action)

IX. NEW BUSINESS

A. Zoning Map Amendment for 317 West Collins Street from R-1-A to C-1
(Public Hearing, Action)

B. Conditional Use Request for 272 Cattle Run Way for a Home Occupation
(Public Hearing, Action)

C. Conditional Use Request for 352 Casey Drive for a Home Occupation
(Public Hearing, Action)

D. Conditional Use Request for 112 North Rogers Street for a Daycare
(Public Hearing, Action)

E. Site Plan for National Museum of the Mighty Eighth Air Force, Phase II
Expansion

F. Setback Requirement Variance Request for Stacked Container Storage
Adjacent to Non-Residential Property for 6 AJ Garcia Road
(Item Withdrawn by Petitioner, Public Hearing Previously Advertised)

X. PUBLIC COMMENT

XI. EXECUTIVE SESSION

XII. ADJOURNMENT



CITY of POOLER
— GEORGIA —

CITY COUNCIL REGULAR MEETING – MINUTES

April 15, 2024 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor
Wesley Bashlor, Councilmember
Michael Carpenter, Councilmember
Aaron Higgins, Mayor Pro Tem
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Matthew Saxon, City Manager
Craig Call, City Attorney
Chris Lightle, Finance Officer
Kiley Fusco, Clerk of Council

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 6:00 p.m.

III. INVOCATION

Executive Pastor Shirlinia Daniel from Bread of Life Ministries gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Executive Pastor Shirlinia Daniel led the pledge.

V. ANNOUNCEMENTS

Mayor Karen L. Williams introduced the candidates present: Tracie Macke for Chatham County Court Magistrate Judge, Frank Pennington for Superior Court Judge, and Stephanie Campbell for Savannah-Chatham County School Board District 7. Mayor Pro Tem Aaron Higgins recognized James Hall, Chatham County Board of Elections Member.

VI. CONSENT AGENDA

A. City Council Meeting Minutes of April 1, 2024

B. City Council Executive Session Minutes of April 1, 2024

C. City Council Workshop Meeting Minutes of April 1, 2024

- D. New Alcoholic Beverage License Application for B1 Food Service, LLC
DBA Bewon at 1105 East Highway 80**
- E. New Alcoholic Beverage License Application for Drury Hotels Company,
LLC DBA Drury Plaza Hotel – Savannah/Pooler at 500 US Highway 80**
- F. New Alcoholic Beverage License Application for La Cosecha Pooler GA,
LLC DBA La Parilla Mexican Restaurant #24 at 140 Tanger Outlets
Boulevard**
- G. New Alcoholic Beverage License Application for Bonbon Chicken, LLC
DBA 92 Chicken at 1 North Godley Station Boulevard**
- H. Special Event Permit Application (No Alcohol) for the Pooler
Juneteenth Celebration on June 15, 2024**
- I. Special Event Permit Application (No Alcohol) for the Pooler
Juneteenth Run on June 19, 2024**
- J. Release of the Maintenance Bond for Hunt Club, Phase VII**

K. Department Reports

- 1. Public Works**
- 2. Finance**
- 3. Fire**
- 4. Police**
- 5. Recreation**
- 6. Planning & Development**

City Manager Matthew Saxon presented the Consent Agenda for consideration. Mayor Pro Tem Aaron Higgins moved to approve the Consent Agenda as amended with Item J. Release of the Maintenance Bond for Hunt Club, Phase VII no longer requiring City Attorney approval.

Motion to Approve; PASSED (6-0-0)
 MOVER: Higgins
 SECONDER: Hutcherson
 AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher
 NAYS:

VII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

**A. Ordinance O2024-04.A – Amendment to the Pooler Code of Ordinances, Utility Location Requirements
(*Second Reading*)**

City Manager Matthew Saxon presented the second reading for consideration. Citizen Don Moffett commented twice. Councilmember John Wilcher moved to approve the second reading of Ordinance O2024-04.A – Amendment to the Pooler Code of Ordinances, Utility Location Requirements.

Motion to Approve; PASSED (6-0-0)
 MOVER: Wilcher
 SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

B. Proclamation for Autism Acceptance Month

Mayor Karen Williams read the proclamation aloud and presented a copy to the Dunn family.

C. Proclamation for Child Abuse Prevention Month

Mayor Karen Williams read the proclamation aloud and presented a copy to Whitney Gilliard of Gilliard & Company.

D. Proclamation for Garden Week of Georgia

Mayor Karen Williams read the proclamation aloud and presented a copy to the Pooler Garden Club.

VIII. OUTSTANDING BUSINESS

A. Reapproval for Walk-On's/Vet Center at 105 Half Moon Way

City Manager Matthew Saxon presented the reapproval for consideration. Robert Forest was present on behalf of the petitioner. Citizen Artenze Hall commented. Councilmember Tom Hutcherson, upon review of the criteria, moved to approve the request for Reapproval for Walk-On's/Vet Center at 105 Half Moon Way subject to the conditions included in the original letter:

1. A westbound right turn deceleration lane on Blue Moon Xing being proposed under this project.
2. A modification to the southbound approach at Half Moon Way and Blue Moon Xing is being proposed under the Towne Place Pooler project. This modification includes a left turn lane and thru/right turn lane on the southbound approach to the intersection.
3. The approval of the site plan shall be contingent upon the remaining traffic improvements proposed under Towne Place Pooler attaining site plan approval. The full extent of traffic improvements must be approved and a resubmittal of plans showing the complete scope of the traffic improvements must be provided, prior to a preconstruction meeting being scheduled.
4. It shall be noted that a certificate of occupancy shall not be issued until the Water Distribution and the Sanitary Sewer System falling under the scope of Towne Place Pooler project have been permitted, constructed, and accepted by the City.

Robert Forest verbally agreed to the conditions.

Motion to Approve with Stipulations; PASSED (6-0-0)

MOVER: Hutcherson

SECONDER: Valim

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

IX. NEW BUSINESS

A. Zoning Map Amendment for 701 Jimmy DeLoach Boulevard to Amend Zoning Conditions (*Public Hearing, Action*)

City Manager Matthew Saxon presented the amendment for consideration. Attorney Robert McCorkle was present on behalf of the petitioner. Mayor Karen Williams opened the public hearing. There being no comments, Mayor Karen Williams closed the public hearing and Mayor Pro Tem Aaron Higgins moved to postpone the Zoning Map Amendment for 701 Jimmy DeLoach Boulevard to Amend Zoning Conditions until the May 6, 2024 City Council Meeting. Attorney Robert McCorkle verbally agreed to the deferral.

Motion to Postpone; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Bashlor

AYES: Bashlor, Higgins, Hutcherson, Valim, Wilcher, Carpenter

NAYS:

B. PUD Amendment for the Jabot PUD – Amendment #17 (*Public Hearing, Action*)

City Manager Matthew Saxon presented the amendment for consideration. Robert Forest was present on behalf of the petitioner. Mayor Karen Williams opened the public hearing and Citizens Pat Lynch, Michael Bartusch, and Michael Maher commented. Mayor Karen Williams closed the public hearing and Councilmember Wesley Bashlor, upon review of the criteria, moved to approve the PUD Amendment for the Jabot PUD – Amendment #17.

Motion to Approve; PASSED (4-2-0)

MOVER: Bashlor

SECONDER: Higgins

AYES: Bashlor, Carpenter, Higgins, Valim

NAYS: Hutcherson, Wilcher

C. Professional Services Proposal for Water System Model Update from Hussey Gay Bell

City Manager Matthew Saxon presented the proposal for consideration. Chris Burke of Hussey Gay Bell was present to answer questions. Mayor Pro Tem Aaron Higgins moved to approve the Professional Services Proposal for Water System Model Update from Hussey Gay Bell not to exceed \$18,500.00 and subject to City Attorney approval.

Motion to Approve with Stipulations; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

D. Professional Engineering and Surveying Services Proposal for Pipemakers Canal Improvements – Phase II from Coleman Company

City Manager Matthew Saxon presented the proposal for consideration. Terry Coleman of Coleman Company was present to answer questions. Councilmember Tom Hutcherson moved to approve the Professional Engineering and Surveying Services Proposal for Pipemakers Canal Improvements – Phase II from Coleman Company not to exceed \$40,450.00 and subject to City Attorney approval.

Motion to Approve with Stipulations; PASSED (6-0-0)

MOVER: Hutcherson

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

E. Contract for Legal Representation from Tate Law Group, LLC.

Mayor Pro Tem Aaron Higgins moved to approve a contract with the Tate Law Group, LLC for legal representation in the 3M DuPont class action suit.

Motion to Approve; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Carpenter

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

X. PUBLIC COMMENT

Mayor Karen Williams introduced the candidate present: Laureen Monica Boles for District 8 Commissioner. Citizen Michael Maher commented.

XI. EXECUTIVE SESSION

With no further public business to conduct, Mayor Pro Tem Aaron Higgins moved to enter Executive Session. Mayor and Council entered at 7:10 p.m.

Motion to Enter; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

Mayor Karen Williams called the meeting back to order at 7:21 p.m.

Mayor Pro Tem Aaron Higgins moved to amend the agenda, adding New Business, Item E. Contract for Legal Representation from Tate Law Group, LLC.

Motion to Amend; PASSED (6-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

XII. ADJOURNMENT

Councilmember Shannon Valim moved to adjourn the meeting.

Motion to Adjourn; PASSED (6-0-0)

MOVER: Valim

SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Valim, Wilcher

NAYS:

The meeting adjourned at 7:23 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER
----- GEORGIA -----

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

AFFIDAVIT

O.C.G.A. § 50-14-4(b) – Procedure When Meeting Closed/Executive Session

Before an officer duly authorized to administer oaths appeared KAREN WILLIAMS, who, after being duly sworn, deposes and on oath states the following:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (2) Pursuant to my duties as Mayor, I was the presiding officer of a meeting of the Pooler City Council held on the 15th day of April, 2024. A portion of said meeting was closed to the public.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - A. Meeting to discuss or vote to authorize the settlement of a matter covered by the attorney-client privilege as provided in Georgia Code section 50-14-2(1) and 50-14-3(b)(1)(A). The subject discussed was

_____.
 - B. Meeting to discuss or vote to authorize negotiations to purchase, dispose of or lease property as provided in Georgia Code section 50-14-3(b)(1)(B).
 - C. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate as provided in Georgia Code section 50-14-3(b)(1)(C).

- D. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(D).
- E. Meeting to discuss or vote to enter into an option to purchase, dispose of, or lease real estate subject to approval in a subsequent public vote as provided in Georgia Code section 50-14-3(b)(1)(E).
- F. Meeting to discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action or dismissal, or periodic evaluation or rating of a public officer or employee as provided in Georgia Code section 50-14-3(b)(2).
- G. Meeting to interview one or more applicants for the position of the executive head of an agency as provided in Georgia Code section 50-14-3(b)(2).
- H. Pursuant to the attorney-client privilege and as provided by Georgia Code section 50-14-2(1), a meeting otherwise required to be open was closed to the public in order to consult and meet with legal counsel pertaining to pending or potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee or in which the agency or any officer or employee may be directly involved and the matter discussed was updates on City manager litigation and job search. Discussion on entering into a class action suit.
- I. Staff meeting held for investigative purposes under duties or responsibilities imposed by law as provided by Georgia Code section 50-14-3(a)(1).
- J. Meeting to consider records or portions of records exempt from public inspection or disclosure pursuant to Article 4 of Chapter 18 of Title 50 of the Georgia Code because there are no reasonable means to consider the record without disclosing the exempt portions.

This Affidavit is executed for the purpose of complying with the mandate of O.C.G.A. § 50-14-4(b) and is to be filed with the official minutes for the aforementioned meeting this

15th day of April, 2024.

CITY OF POOLER, GEORGIA

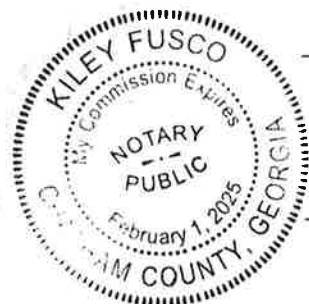
Karen L. Williams

Karen L. Williams, Mayor

Sworn to and subscribed before me this

15th day of April, 2024.

NOTARY PUBLIC



[Signature]



CITY of POOLER
— GEORGIA —

CITY COUNCIL WORKSHOP – MINUTES

April 15, 2024 at 5:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor
Wesley Bashlor, Councilmember
Aaron Higgins, Mayor Pro Tem
Tom Hutcherson, Councilmember
Shannon Valim, Councilmember
John Wilcher, Councilmember
Matthew Saxon, City Manager
Craig Call, City Attorney
Nicole Johnson, Planning & Development Director
Brian Crooks, City Planner
Caroline Hankins, Assistant City Manager
Kiley Fusco, Clerk of Council

Absent: Michael Carpenter, Councilmember

II. CALL TO ORDER

Mayor Karen Williams called the workshop to order at 4:59 p.m.

III. TOPICS OF DISCUSSION

A. Council Meeting Agenda Review

Mayor, Council, and City Staff reviewed each of the April 15, 2024 City Council Meeting agenda items. No action was taken.

B. Proposed Ordinance O2024-3.A – Short-Term Rental Requirements

Mayor, Council, and City Staff reviewed proposed Ordinance O2024-3.A – Short-Term Rental Requirements. No action was taken.

C. Open Dialogue

There were no items discussed. No action was taken.

IV. ADJOURNMENT

Mayor Karen Williams adjourned the workshop at 4:46 p.m.

The foregoing minutes are true and correct and are approved on this

_____ day of _____, _____.

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



Alcoholic Beverage License Application (New)

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Updated **SEPT 2023**

NOTICE TO APPLICANT

The applicant for an alcoholic beverage license shall be the owner of the business. If this is a corporation, partnership, or other legal entity, the applicant must be a substantial and major stockholder or the General Manager charged with the regular operation of said business on the premises for which the license is issued. License applicants, as well as every owner having 10% or more ownership, must submit to fingerprinting prior to submitting the application. Instructions are attached.

- Complete the Application.** The application must be completed in its entirety including the Private Employer Affidavit, Affidavit Verifying Status, and, if applicable, the Sunday Sales Affidavit, including notarization. Notary services are available in our office if needed; an appointment is required. Do not enter "same", "N/A", "see below" or use white-out on this application.
- Complete the Background Check.** Applicants must register for criminal background fingerprints using the Georgia Applicant Processing Service(GAPS) through the Fieldprint website. Once registered, contact the Business Registration Office at finance@pooler-ga.gov to request approval of your registration. Provide your Registration ID# _____ and date of fingerprinting: _____.
- Provide Identification.** Attach a copy of at least one (1) secure and verifiable document (driver's license, passport, or I-551 permanent resident card). See the link for a complete list of acceptable forms of identification: <https://law.ga.gov/immigration-reports>.
- State of Georgia Registration.** Every new application (except wholesalers and manufacturers) must also apply through the Georgia Department of Revenue website. Please visit <https://dor.georgia.gov/alcohol-tobacco/alcohol-licenses-permits/apply-alcohol-permit> to apply for your state license. **No sales are allowed until the business has obtained both a state and local license.**
- Submit the Application.** You have the option of emailing your application to finance@pooler-ga.gov or calling (912) 748-7261 to schedule an appointment to submit your application in person.
- Make Payment.** Application payment can be made in person, via mail, or over the phone with a debit/credit card. Please refer to the fee schedule page to determine the amount due. If applying after July 1 of any calendar year, note that the retail fees only are prorated for the remainder of the year.
- Await Review.** Once the application is submitted and fee is paid, your application will be reviewed by the Planning & Development Department and your criminal history report will be forwarded to the Chief of Police. Both departments will review the application and provide recommendations for approval or denial. Applicants will receive an email with their recommendations.
- Await Approval.** The application will be placed on the upcoming council agenda. You will be notified of the meeting via email so a representative can be present. Final approval is given by Mayor and Council only. Upon approval, all licenses will be emailed to the applicant's email provided in the application, a copy uploaded to the state's website, and a mailed copy will also be sent out to the mailing address on file. Please allow at least 3-5 business days for processing.

OFFICE USE ONLY

Date Received: 3/13/24 Received by: CB Fee Paid: \$ 2890
License: 6859 Date Issued: _____



Alcoholic Beverage License Application (New)

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Updated SEPT 2023

Business Information

Business Type (select one):

- Restaurant Bar/Lounge Hotel/Motel Caterer Event Venue Specialty Shop
 Convenience/Gas/Drug Store Manufacturer/Distillery/Brewery Supermarket/Grocery
 Wholesale/Distributor Package/Liquor Store Temp/Special Event (Dispensing Alcohol) Permit

Legal Structure of Entity: Sole Proprietor Corporation LLC Partnership

LP BEVERAGE LLC _____
Legal Business Name DBA (if applicable)

FEIN GA Tax ID Number (STIN)

Applicant Information

JINAL PARTH PATEL _____
Applicant Full Legal Name Driver's License & State

SURAT, GUJARAT, INDIA _____
Date of Birth & Place of Birth (City, State, Country) SSN

1014 US-80 SUITE 100, POOLER GA _____
Business Mailing Address (if different) Business Email LIGUOREMPIREPOOLER@GMAIL.COM

Race	Sex	Height	Weight	Hair Color	Eye Color

17 WOODFORD RESERVE DRIVE, POOLER GA 31322 _____
Physical Home Address NAICS 445300

Mailing Address (if different)

LIGUOREMPIREPOOLER@GMAIL.COM _____
Email Home Phone Mobile Phone 908-202-7672

Owner Information (if other than applicant)

Owner Full Legal Name Driver's License & State



Alcoholic Beverage License Application (New)

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Updated **SEPT 2023**

Date of Birth & Place of Birth (City, State, Country) SSN

Physical Home Address NAICS

Mailing Address (if different)

Email Home Phone Mobile Phone

Additional Owner Information

List all owners, if greater than one, who have an ownership interest of 10% or more in the business. Use additional paper if needed.

Owner Name Address Phone

Owner Name Address Phone

Owner Name Address Phone

Owner Name Address Phone

Criminal History

Warning: Failure to make full disclosure in responses to these questions may result in denial or subsequent revocation of the license. If the answer to any question in this section is "yes" for the applicant or any person connected with or having an interest in said business, attach a written explanation describing the circumstances in detail for each person.

Has the applicant or any person with or having an interest in said business:

1. Ever been convicted of any criminal violation or city ordinance violation other than a traffic violation?
 No Yes
2. Ever served time in prison or other correctional institution?
 No Yes
3. Ever had an alcoholic beverage license suspended or revoked at any time in any locality?
 No Yes



Alcoholic Beverage License Application (New)

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Updated **SEPT 2023**

4. Ever previously or currently held/hold a license to sell wine, beer and/or distilled spirits/liquor? (If yes, complete question 5. If no, skip question 5.)
 No Yes
5. If yes to question 4, were there any violations of any law, regulation or ordinance relating to such business?
 No Yes

Before the undersigned attesting officer duly authorized to administer oaths, personally comes the applicant for a license to conduct the sale of alcoholic beverages in the City of Pooler, says that the information given, and the statements made in this application are true, correct, and complete under penalty of law.

JINAL PARTH PATEL

Applicant Name

J. Patel

Applicant Signature

03/13/2024

Date

Notary Public

March 13, 2024

Subscribed and Sworn This Day Of

Christina Brantley

Notary Name

Christina Brantley

Notary Signature

9/21/27

Commission Expiration





Alcoholic Beverage License Application (New)

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Classifications

RETAIL (new applications received after July 1 st rates are prorated to 50% off)					
CLASS	CLASSIFICATION	LIQUOR, BEER & WINE	BEER & WINE	BEER ONLY	TOTAL
A	Retail Package	<input checked="" type="checkbox"/> 1 \$1850	<input type="checkbox"/> 2 \$800	<input type="checkbox"/> 3 \$600	\$1750
B	Consumption On-Premises	<input type="checkbox"/> 1 \$2150	<input type="checkbox"/> 2 \$1000	<input type="checkbox"/> 3 \$750	
WHOLESALE					
CLASS	CLASSIFICATION	PRICE		TOTAL	
C	Liquor	<input type="checkbox"/> \$3200			
D	Beer & Wine	<input type="checkbox"/> \$1900			
MANUFACTURERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
E	Brewer, manufacturer of malt beverages	<input type="checkbox"/> \$1075			
G	Manufacturer of wine	<input type="checkbox"/> \$2250			
H	Distiller, manufacturer of distilled spirits	<input type="checkbox"/> \$2250			
HOTELS, EVENT VENUES, & CATERERS					
CLASS	CLASSIFICATION	PRICE		TOTAL	
F1	Hotel	<input type="checkbox"/> \$2500			
F2	Special event venue	<input type="checkbox"/> \$2000			
L	Consumption off-premises, Caterer	<input type="checkbox"/> \$1500			
SPECIAL EVENTS & COMPLIMENTARY ALCOHOL					
CLASS	CLASSIFICATION	PRICE		TOTAL	
I	Temporary/Private Event (max 2 days)	<input type="checkbox"/> \$100/day			
J	Home Brew Special Event (max 2 days an 6 days per annum)	<input type="checkbox"/> \$100/day	OUT-OF-CITY CATERERS <input type="checkbox"/> \$50/day (+ 3% excise tax)		
K	Complimentary Beer & Wine	<input type="checkbox"/> \$250			
ADD-ON LICENSES					
CLASS	CLASSIFICATION	APPLICABLE LICENSES	PRICE	TOTAL	
A	Brewpub	B1, B2, B3, E	<input type="checkbox"/> \$850		
C1	Sunday Sales (Retail)	A1, A2, A3, C, D, E, F1, F2, G, H	<input checked="" type="checkbox"/> \$750	\$750	
C2	Sunday Sales (11:00 a.m.)	B1, B2, B3, F1, F2	<input type="checkbox"/> \$1000		
D	Tasting Event (must notify 5 days prior and 52 max events per annum)	A1, A2, A3	<input type="checkbox"/> No fee		
NEW APPLICATION FEES					
CLASS	FEES	GRAND TOTAL (add all above selections and application fees)			
A1 - H & L	<input checked="" type="checkbox"/> \$290	\$2,890			
I, J & K	<input type="checkbox"/> \$20				



Alcoholic Beverage License Application (New)

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Updated SEPT 2023

PLANNING & DEVELOPMENT USE ONLY

The Planning & Development Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:

PIN: 50985 05001A Zoning: C-2

Approved Denied Reviewed by: BC Date: 4/25/24

Comments: meets distance requirement of sec. 6-9.2(a)(1)

POLICE DEPARTMENT USE ONLY

The Police Department has reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:

Approved Denied Reviewed by: Coleley Brewer Date: 4/29/2024

Comments: D/A

MAYOR & COUNCIL USE ONLY

Approved Denied Mayor Signature: _____ Date: _____

Comments: _____



Private Employer Affidavit Pursuant to O.C.G.A. § 36-60-G(d) (E-Verify)

Page 1 of 1

Updated **SEPT 2023**

Affidavit

By executing this affidavit under oath, the undersigned private employer verifies one of the following with respect to its application for an Alcohol License required to operate a business as referenced in O.C.G.A. § 36-60-6(d).

LP BEVERAGE LLC

Name of Private Employer

Check One: On January 1st of the below-signed year, the individual, firm, or corporation employed **greater than ten** (10) employees.

The employer has registered with an utilizes the federal work authorization program (E-Verify) in accordance with the applicable provisions and deadlines established in O.C.G.A. § 36-60-6. The undersigned private employer also attests that its federal work authorization (E-Verify) user identification number and date of authorization are as follows

Federal Work Authorization User Identification Number

Authorization Date

On January 1st of the below-signed year, the individual, firm, or corporation employed **fewer than ten** (10) employees.

I hereby declare under penalty of perjury that the foregoing is true and correct.

JINAL PARTH PATEL

Authorized Officer or Agent Name

[Signature]

Applicant Signature

03/13/2024

Date of Execution

Notary Public

March 13, 2024

Subscribed and Sworn This Day Of

Christina Brantley

Notary Name

Christina Brantley

Notary Signature

9/21/27

Commission Expiration





Affidavit Verifying Status for City Public Benefit Application (SAVE)

Page 1 of 1

Updated SEPT 2023

Affidavit

By executing this affidavit under oath, as an applicant for an Alcohol License (type of public benefit), as referenced in O.C.G.A. § 50-36-1, from the City of Pooler, Georgia, the undersigned applicant verifies one of the following with respect to my application for public benefit.

Check One: I am a United States citizen.

I am a legal permanent resident.

Alien Number Issued by the Department of Homeland Security or Other Federal Agency

I am qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency.

Alien Number Issued by the Department of Homeland Security or Other Federal Agency

The undersigned applicant also hereby verifies that they are 18 years of age or older and have provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit. The secure and verifiable document provided with this affidavit can be best classified as:

DRIVER LICENSE

Type of Document

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit shall be guilty of a violation of O.C.G.A. § 16-10-20 and face criminal penalties as allowed by such criminal statute.

JINAL PARTH PATEL

Authorized Officer or Agent Name

J Patel

Applicant Signature

03/13/2024

Date of Execution

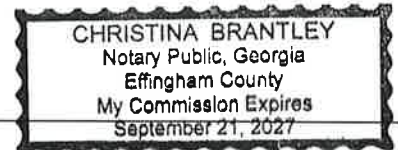
LP BEVERAGE LLC

Name of Business

Notary Public

March 13, 2024

Subscribed and Sworn This Day Of



Christina Brantley

Notary Name

Christina Brantley

Notary Signature

9/21/27

Commission Expiration

Seal



Sunday Sales Affidavit (New)

Page 1 of 1

Updated **SEPT 2023**

NOTICE TO APPLICANT

The City of Pooler permits eating establishment (restaurants) and hotels holding a license to dispense alcoholic beverages for consumption on the premises under certain conditions. To be authorized to dispense alcoholic beverages for consumption on Sunday, an establishment must:

- A. Be licensed by the City to sell alcoholic beverages by the drink for consumption on the premises;
- B. Be a licensed establishment that derives at least 50 percent of its annual gross income from the rental of rooms for overnight lodging; or
- C. Be an eating establishment whose primary business is the sale of prepared meals, Derive at least 50 percent of its total annual gross food and beverage sales from the sale of prepared meals or food;
- D. Have its primary floor area specifically designed, set aside, set up and operating to serve meals and food on the premises and shall have a fully equipped commercial kitchen to include inappropriate stove, refrigerator, food preparation area, sink and other items required by the county health department and city inspections department for the preparation of food;
- E. Have a printed or posted menu from which selections of prepared meals can be made;
- F. Provide full food service to the public during its entire operating hours, including Sunday; and
- G. Include the following certified affidavit from your certified public accountant (CPA) or Registered public accountant (RPA) and submit it along with the required Sunday sales renewal payment.

ACCOUNTANT'S CERTIFICATION OF REVENUES

I hereby certify that I have reviewed and attest to the accuracy of the financial records supplied to me from the food serving establishment described above; and further attest that the establishment derived at least 50 percent of its gross revenues for the last 12 months of business under present or previous ownership, from the sale of prepared meals.

Public Accounting: _____ Firm Date: _____

Accountant Printed Name: _____ Certifying Signature: _____

License Number: _____ Notary Public: _____

Sworn to and subscribed before me this _____ day of _____, 202_

Business Information

LP BEVERAGE LLC

Business Name

1014 US-80 SUITE 100 POOLER GA 31322

Business Location

912-988-1054

Business Phone

AGENDA ITEM

Date: May 6, 2024

Subject: Release of Maintenance and Sidewalk Bond for
Westbrook, Phase 7-B1 (The Reserve)

Background & Discussion:

A final inspection was performed on April 8, 2024 and all punch list items have been addressed. Therefore, the Public Works Department recommends release of the Maintenance Bond in the amount of \$134,195.00 and the Sidewalk Bond in the amount of \$141,750.00.

Planning and Zoning Recommendation:

N/A

Staff Recommendation:

Staff recommends release of the Maintenance Bond in the amount of \$134,195.00 and the Sidewalk Bond in the amount of \$141,750.00, contingent upon approval by the City Attorney.



CITY of POOLER
— GEORGIA —

STATE OF GEORGIA }
 }
COUNTY OF CHATHAM }

ORDINANCE O2024-04.B
Site Plan Requirements

AN ORDINANCE TO AMEND THE CITY OF POOLER CODE OF ORDINANCES APPENDIX A – ZONING, ARTICLE V- PROCEDURES FOR ADMINISTRATION AND ENFORCEMENT, SECTION 8- SITE PLAN APPROVAL TO PROVIDE PROVISIONS FOR MINOR SITE PLAN REVIEW; TO REPEAL ALL ORDINANCES IN CONFLICT HERewith; TO PROVIDE FOR AN EFFECTIVE DATE, AND FOR OTHER PURPOSES

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Pooler that the Code of Ordinances of the City of Pooler, Georgia are hereby amended as follows:

I

That APPENDIX A – ZONING, ARTICLE V – PROCEDURES FOR ADMINISTRATION AND ENFORCEMENT, Section 8 – Site Plan Approval be amended by adding the underlined text as follows:

Sec. 8 – Site plan approval.

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

- (A) *Process.* Upon submittal of the site plan, ~~staff the city planner or zoning administrator~~ will review the site plan for noticeable discrepancies and determine if there is a need to apply for other zoning actions. The site plan is then forwarded to the ~~applicable City departments City of Pooler engineer and public works department~~ for additional review and comment(s). ~~The engineer and public works department will submit comments to the city planner or zoning administrator, who shall~~ Staff will then provide such comments to the applicant. The applicant is responsible for addressing all comments from the city staff ~~and engineer~~, after which it shall be submitted for review by the planning and zoning commission and then the regularly scheduled meeting of the city council. Minor site plans may be reviewed and approved by City staff without the need for review and approval by the Planning & Zoning Commission and City Council. The minor site plan review process shall not be used for new buildings or building additions. Minor site plans shall include only the following: any non-structural development or redevelopment involving less than 5,000 square feet of surface area and less than one-acre of land disturbing activities; any non-structural expansion of an existing use by up to 25 percent of the

original approved site plan; any changes in site layout or design that do not involve wetlands or buffer alterations; or any changes to a site that require a variance.

(B) Site plan approvals pursuant to this article are valid for a period of one year from the date of approval, after which the approval expires.

~~(C)~~ If a person or entity submits a site plan more than one year following its approval to the building official for issuance of a building and/or land development permit, the site plan must be resubmitted for new approval, adhering to all applicable rules and provisions for new site plans, including fees assessed in accordance with section 3 of this article. The city shall not have a duty to retain site plans for which approval has expired except as may be required by state law.

~~(C)~~~~(D)~~ Revisions to an approved site plan shall be reviewed and approved in accordance with subsection (A) above. However, in instances where the revisions to an approved site plan are minor changes, the revised plans may be reviewed and approved by staff. It is solely in staff's discretion whether a minor site plan application process applies or if a project requires full site plan review.

~~(D)~~~~(E)~~ Standards for site plan approval. In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by city council in approving any site plan:

- (1) Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- (2) Whether the site plan provides for adequate pedestrian and traffic access;
- (3) Whether the site-plan provides adequate space for off-street parking and loading/unloading zones where applicable;
- (4) Whether the site plan provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- (5) Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- (6) Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- (7) Whether the proposed development site is adequately served by other public services to account for current or projected needs;
- (8) Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- (9) Whether the site plan provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-detering buffer between adjacent properties; and
- (10) Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws including without limitation the Code of Ordinances for the City of Pooler.

II

All ordinances or parts of ordinances in conflict with the ordinance are hereby repealed.

III

If any section, clause, or phrase of this ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, the said holding shall in no way affect the validity of the remaining portions of this ordinance.

IV

This ordinance shall be effective immediately upon its adoption by the Mayor and City Council of Pooler, Georgia.

FIRST READING: _____ day of _____, _____

SECOND READING: _____ day of _____, _____

ADOPTED: _____ day of _____, _____

CITY OF POOLER, GEORGIA

Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER

— GEORGIA —

PROCLAMATION

National Cities, Towns, and Villages Month

WHEREAS, the National League of Cities was founded in 1924 in Lawrence, Kansas, as the American Municipal Association by state municipal leagues seeking more coordination and national representation as cities, towns, and villages expanded rapidly;

WHEREAS, the nonpartisan National League of Cities is the oldest and largest organization representing municipal governments throughout the United States, representing the interests of more than 19,000 cities, towns, and villages across the country;

WHEREAS, the National League of Cities works in partnership with 49 state municipal leagues across the country to strengthen local leadership, drive innovation, and influence the federal policies that impact local programs and operations;

WHEREAS, as the voice of cities, towns, and villages in Washington, DC, the National League of Cities has successfully championed federal legislative solutions that support municipalities and has worked closely with Congress and the Executive Branch to educate policymakers on the realities of local implementation;

WHEREAS, the City of Pooler is a proud member of the National League of Cities, and has benefited from the organization's research, technical expertise, federal advocacy and opportunities to learn from other local governments;

WHEREAS, local governments are the bedrock of American democracy, providing 336 million residents with the most accountable, responsive, inclusive, ethical, and transparent government in the world;

WHEREAS, from the nation's smallest villages to its largest cities, America's local governments have been essential in transforming the United States of America into the greatest, most influential nation in world history;

WHEREAS, the City of Pooler was first incorporated in 1907 and is proudly served today by its elected officials and municipal workforce of dedicated public servants;

NOW, THEREFORE, the Mayor and Council of the City of Pooler, Georgia hereby proclaim May 2024 as National Cities, Towns, and Villages Month in celebration of America's local governments and the National League of Cities' historic centennial anniversary.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Pooler, Georgia to be affixed this day of May 6, 2024.



Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER

— GEORGIA —

PROCLAMATION

National Foster Care Month

WHEREAS, the City of Pooler acknowledges the irreplaceable value of every child and recognizes the importance of providing a safe, loving, and nurturing environment for all children; and

WHEREAS, the foster care system is an essential safety net, providing temporary care for children who cannot remain in their homes due to neglect, abuse, or abandonment, thereby requiring the community's collective effort to support these vulnerable members; and

WHEREAS, there are countless foster families who have opened their hearts and homes, offering stability, care, and love to children in need, deserving our utmost respect, support, and gratitude; and

WHEREAS, dedicated responders, including social workers, volunteers, and community organizations, tirelessly work under challenging conditions to ensure the welfare of children in the foster care system, often going above and beyond to meet urgent needs; and

WHEREAS, youth homelessness and the unique challenges faced by those aging out of the foster care system require focused attention and resources to ensure these young individuals have the support and opportunities needed to transition successfully into adulthood;

NOW, THEREFORE, the Mayor and Council of the City of Pooler, Georgia do hereby proclaim the month of May 2024 as Foster Care Month and urge all citizens to stand together in support of foster families, responders of the foster care system, children in the system, and youths facing homelessness upon aging out of foster care.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Pooler, Georgia to be affixed this day of May 6, 2024.



Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



CITY of POOLER

— GEORGIA —

PROCLAMATION

Toastmasters' Week

WHEREAS, Toastmasters International, founded on October 22, 1924, celebrates a century of empowering individuals to become more effective communicators and leaders; and

WHEREAS, Westside Toastmasters, founded in 1994 and serving as a beacon of excellence and camaraderie, commemorates its 30th anniversary of fostering personal and professional growth within our community; and

WHEREAS, both Toastmasters International and Westside Toastmasters have tirelessly promoted the values of integrity, respect, and excellence, enriching the lives of countless individuals worldwide; and

WHEREAS, through their commitment to providing a supportive environment for self-improvement and public speaking, Toastmasters International and Westside Toastmasters have contributed significantly to the development of confident, articulate, and capable leaders;

NOW, THEREFORE, the Mayor and Council of the City of Pooler, Georgia do hereby proclaim the week of May 1 through May 7, 2024 as Toastmasters' Week and encourage all citizens to join them in celebrating the remarkable achievement of Westside Toastmasters on its 30th anniversary, in recognizing the profound impact of Toastmasters International and Westside Toastmasters on the community, and in expressing gratitude for the organization's dedication to empowering individuals to reach their full potential.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Pooler, Georgia to be affixed this day of May 1, 2024.



Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



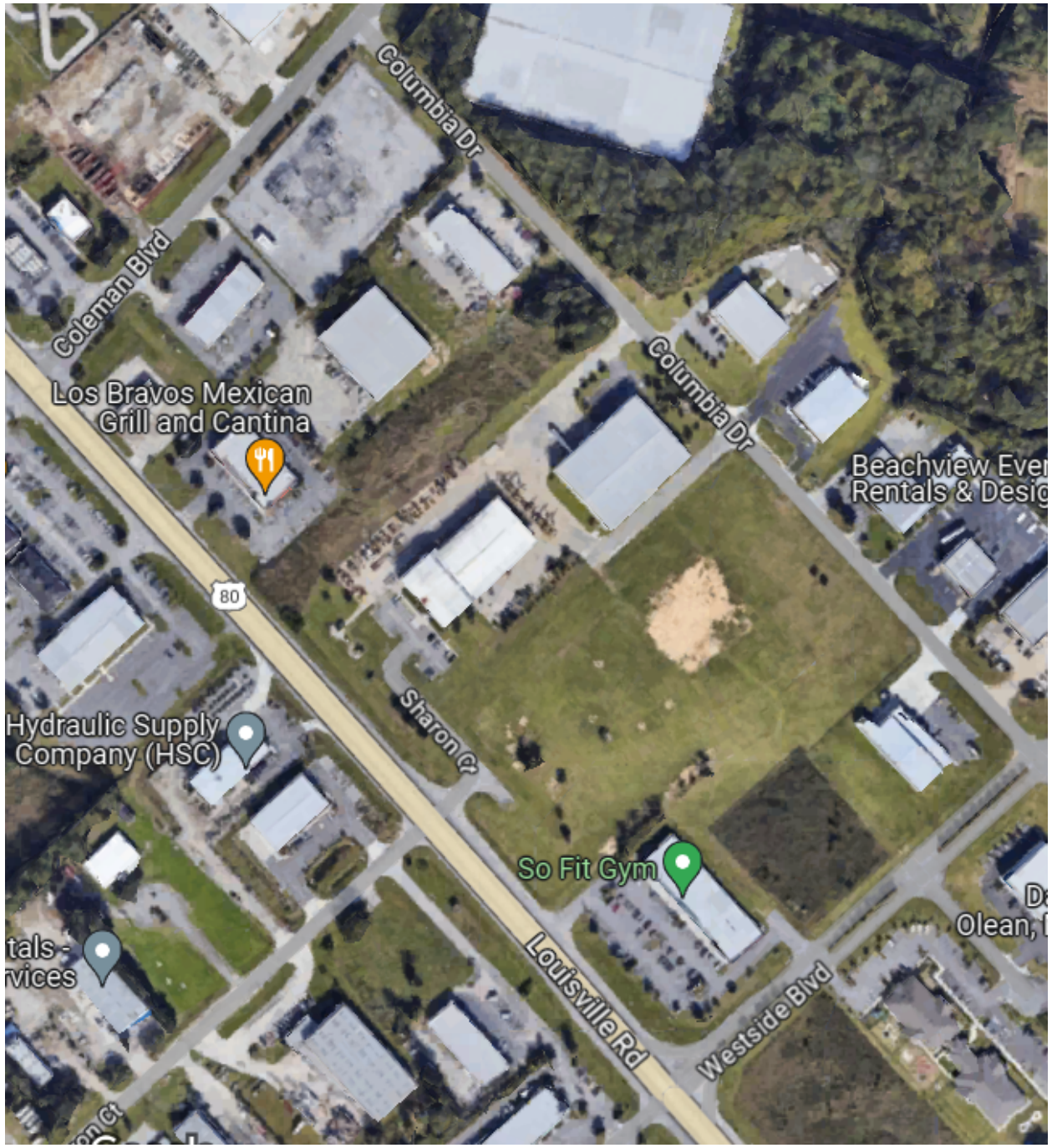
Native Development Group - Westside Commerce Center

On March 21, 2022, a rezoning request was approved by the City of Pooler Council for four (4) adjoining parcels within Westside Business Park to I-1, Industrial, light district. A condition was placed on the rezoning that the applicant (Native Development Group) be required to obtain a permit from an outside agency (GDOT) to install a traffic signal on US Hwy 80 (SR26) at Westside Boulevard. The condition stated that a Certificate of Occupancy would not be issued for the proposed building until said signal was installed and operational.

A warrant study was submitted to GDOT District 5 in July 2021. Through multiple iterations, the warrant study was passed on to the Traffic Office in Atlanta for approval in February 2022. Again, through multiple iterations and assistance from the City of Pooler, the warrant was approved by GDOT on March 21, 2022. At this point design of the signal improvements commenced.

On February 27, 2023, design plans for the signal were submitted to District 5. After multiple iterations of review and revisions, District 5 approval was obtained. The District 5 GDOT representatives then forwarded the plans to the Atlanta Transportation Management Center (TMC) on September 15, 2023 for their review and approval. The TMC provided no response on these plans for weeks/months, and finally responding by questioning in mid-December, 2023 the already approved warrant assessment. Most recently, we have been notified in January, 2024 that the Department does intend to issue the permit for the signal. However, as of this date, February 12, 2024 no notification has been received as to the formal acceptance of the signal which has delayed response to final GDOT comments, final design, bidding and awarding of the signal cost and infrastructure.

The developer has diligently pursued the permits from GDOT. At this time, even if the permit was issued today, the signal could not be installed in time for the final inspection and CO issuance for the building which is tracking for May 31, 2024. The developer instead offers to place a bond in the amount of \$900,000 (current project cost estimate-support available upon request) with the City of Pooler for up to two years as support for its commitment to complete the signal and required infrastructure (road work etc.). In the meantime, traffic from the project will be able to use the access provided by Columbia Drive and its new signal improvements as well as the existing right in right out (for autos only) on Highway 80 until such signal is installed.



329 Commercial Drive • Savannah, Georgia 31406 • 912.354.4626 • husseygaybell.com

SAVANNAH • STATESBORO • ATLANTA • CHARLESTON • COLUMBIA • NASHVILLE



CITY of POOLER

— GEORGIA —

PLANNING & ZONING STAFF REPORT

Map Amendment for 701 Jimmy DeLoach Zoning Conditions

Project:	#A24-0030
P&Z Meeting Date:	April 8, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Robert McCorkle (Agent)
Location (Address):	701 Jimmy DeLoach
Parcel (PIN):	51015 01016
Existing Zoning:	I-1 (Light Industrial) with conditions: <ul style="list-style-type: none">• Property only be used as a laydown yard with an office.
Zoning Action:	Map Amendment
Request:	Request to amend the zoning map to remove the zoning conditions
Application Filed:	March 15, 2024
Legal Notice Published:	March 26, 2024 & April 21, 2024
Sign Posted:	March 28, 2024 & April 15, 2024
Letters Mailed:	March 25, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	After review of the criteria, P&Z recommend approval.
Recommended Motion:	"After review of the criteria, move for approval of the request."

Background:

The subject site is approximately 28.16 acres and is zoned I-1 with the zoning condition that "this property only be used as a laydown yard with an office". The property was zoned in May 2022 under project #220370.

The applicant is requesting the map amendment to remove the zoning conditions to have the property simply zoned as I-1. Per the applicant, the condition to a single use limits the property's marketability; other uses that are allowed more broadly within the I-1 district will likely be more desirable for the subject site.

The Pooler 2040 Comprehensive Plan identifies this area within the Residential character area. The FLUM designates this site as Commercial and Residential.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *Yes, the request to remove the zoning conditions would keep the zoning of the property the same. The request removes the limitations on allowable uses. Other properties within the general area include other I-1 zoned properties.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, the site is already zoned I-1 and the properties across Jimmy DeLoach are zoned industrial also. The request is to remove zoning conditions from an already zoned property.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - *No, the only access to the site is from Jimmy DeLoach, which is designed for heavier, industrial traffic.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *No, the request is to remove conditions from an already zoned property. The property itself is already zoned industrially and able to be used in such a manner. The request seeks to increase the allowable uses.*

5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - *Yes, the property as presently zoned has limited usage due to the zoning conditions. The applicant is requesting the conditions be removed in order to better market the property for potential tenants.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - *No, the proposed development would be consistent with that of the general area. The property would allow for similar uses such as those across Jimmy DeLoach. The property is bordered and buffered by wetlands on nearly all sides, and the one adjacent upland area is zoned C-2.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - *It is unlikely that additional requests would be made which would generate or accelerate land use changes in the area. Other properties in the area are already zoned industrially, commercially, or for mixed-use. Any land use changes would likely be compatible with those of surrounding properties.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
 - Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *No, the request should not adversely impact the nearby properties as it relates to environmental quality, livability, or cause incompatible development.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which]

results in adverse impacts upon existing down-stream drainage problems or potential problems?

- *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*

9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility of the developer and would not place a burden on the City.*

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation

ATTACHMENT A



CITY OF POOLER
A great place to Live, Work and Play

701 Jimmy DeLoach

04/04/2024

Parcels



ATTACHMENT B



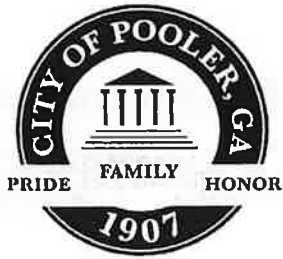
CITY OF POOLER
EST. 1975
 A great place to Live, Work and Play

701 Jimmy DeLoach

04/04/2024

- Parcels
- Business/Commercial
- Industrial
- PUD
- Residential





Zoning Map Amendment Application

Page 1 of 5

Updated **AUG 2022**

Date: _____ File Number: _____

Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

Catalyst Investment Partners

Name of Owner/Authorized Agent

800 3rd Avenue, Suite 2305, New York, New York 10022

Address of Owner/Authorized Agent

Telephone Number

Have any previous applicants been made for a text or map amendment affecting these same premises?

Yes No

If yes, give file number, date, and action taken: File # 220370, Rezoning May 16, 2022

(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

General location of property (the area), street number, and location with respect to nearby public roads that are in common use: 701 Jimmy Deloach Parkway

Parcel B, Subdivision of Lot 1 of Tract A

51015 01016

Legal description of the property (name of subdivision, block, and lot number)

PIN #

Zone Classification: Present I-1, laydown yard with office Requested I-1

701 Jimmy Deloach Parkway, LLC

Owner of Property (if same as applicant, leave blank)

Telephone Number

528 East 45th Street, Savannah, Georgia 31405

28.16 acres

Address of Owner

Total Area of Property (acres or sq. feet)

Vacant Land

Existing land use (specify such as a grocery store, single-family residence, vacant land, etc.)

I-1 uses including Contractor's Office (236,238), Wholesale Trade (42), Building Materials Dealer (444), Truck Transportation and Support

Desired land use (specify such as a residence, grocery store, mobile home park, etc.)

Facilities (484, 4884), Warehousing (493), Industrial Machinery and Equipment (81131)

Reasons and Certifications

Reasons for requesting change of zoning map which would support the purposes of the zoning program:

Increase viability of site for existing zone by removing limiting condition



Zoning Map Amendment Application

Page 3 of 5

Updated AUG 2022

Filing Requirements

Applicant must submit the following information 30 days prior to the regularly scheduled meeting on the second and fourth Monday of each month. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission.

- Filing fee (see schedule of fees). Make checks payable to the City of Pooler.
- For Power Point presentation, please email PDF file on project to kdye@pooler-ga.gov.
- A scaled plat showing dimensions, acreage, location of the tract(s) and utility easements prepared by a licensed architect/surveyor. Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Legal description of property.
- Complete Campaign Contributions and Acknowledge receipt of Zoning Standards for Map Amendment.
- If Agent, Authorization of property owner, signed, dated, and notarized.
- Copy of current tax bill showing payment or a certification from the City of Pooler Tax Office stating taxes were paid.

Ad
Initial

I acknowledge receipt of Zoning Standards for a Map Amendment. I understand the standards and any other factors relevant to promoting the public health, safety, and general welfare of the City of Pooler against unrestricted use of property will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision.

I have received and understand the "checklist" of actions needed to amend the City of Pooler Zoning Map.

Sworn to and subscribed before me on this 14th day of March 20 24.

I hereby certify that the above stated facts are true to the best of my knowledge and I am the owner or authorized agent for the owner of subject property.

[Signature]

Owner's or Authorized Agent's Signature

[Signature]

Notary Public



Application Status

This portion to be completed by Zoning Administrator

Hearing date has been set for: _____

Notice published in newspaper on (15 days prior to hearing date): _____

Letters of notification mailed to adjacent property owners on: _____

This action was approved or denied (copy of minutes disposing of this action are attached).

Notification of the results of this action mailed to the applicant on: _____

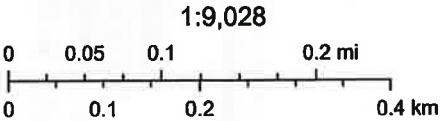
Sign posted: _____

SAGIS Map Viewer



3/5/2024, 9:21:03 AM

 Property Boundaries (Parcels)



SAGIS

Exhibit "A" to Limited Warranty Deed

Legal Description

All that certain lot, tract or parcel of land situate, lying and being in the City of Pooler, 7th G.M. District, Chatham County, Georgia, containing 28.54 acres and being known as "Parcel B," as shown and more particularly described on that certain map or plat made by Warren E. Poythress, R.L.S. 1953, dated October 11, 2018, entitled "Recombination Minor Survey for James T. Roberts, Sr., James W. Royal, Sr., W. Darrel Hutcheson & William E. Holland" and recorded in Plat Book 51, Page 609, in the records of the Clerk of Superior Court of Chatham County, Georgia. For a more particular description, reference is hereby made to the aforesaid plat, which is specifically incorporated herein and made a part hereof.



CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: PUD Amendment for Savannah Quarters Phase 8 and Phase 16 *(Additional Public Hearing, Action)*

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: 1. 8C_PUD Amendment for Savannah Quarters Phase 8 and Phase 16



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
PUD Amendment for Jabot PUD

Project:	#A24-0031
P&Z Meeting Date:	April 8, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Rober Forrest, ForrPlaces Development LLC
Location (Address):	Pooler Parkway at Pine Barren Rd, Galloway Dr
Parcel (PIN):	51023 01001A, 51023 01035, 51023 01032
Existing Zoning:	R-1-A and PUD
Zoning Action:	PUD Amendment – Jabot PUD, Proposed Amendment #17
Request:	Request to amend the Jabot PUD by adding two tracts under the C2 Heavy Commercial district
Application Filed:	March 15, 2024
Legal Notice Published:	March 31, 2024 & April 25, 2024
Sign Posted:	April 1, 2024 & April 15, 2024
Letters Mailed:	April 5, 2024
Staff Recommendation:	Denial
Planning & Zoning Commission:	After review of the criteria, P&Z recommended denial.
Recommended Motion:	<i>"After review of the criteria, move for denial of the request."</i>

Background:

The subject site is approximately 116.5 acres, comprised of three parcels. One parcel is approximately 110.5 acres zoned R-1-A, located at the southwest corner of Pooler Parkway and Pine Barren Road. The second parcel is approximately 4.5 acres, zoned R-1-A, located along Pooler Parkway. The third parcel is already located within the Jabot PUD and is approximately 1.5 acres, located along Galloway Drive. The subject site is undeveloped and is primarily wooded, with the smaller tracts having been previously cleared and the smallest having an existing curb cut and sidewalks.

The applicant is requesting the amendment in order to create a multi-use development. Per the applicant, the amendment would allow for the "creation of a walkable mixed-use destination for the city and its residents and visitors".

With this amendment, the applicant is seeking to add two parcels abutting the Jabot PUD into the PUD and assign them the designation of C2 Heavy Commercial.

The Pooler 2040 Comprehensive Plan identifies this area within the Residential character area. The FLUM designates this site as Residential and Planned Development.

Relevant Ordinances:

Jabot PUD

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *Yes, the requested zoning would be a logical extension of a zoning boundary. The request seeks to extend the Jabot PUD to include approximately 115 acres within the PUD itself. The proposed designation would be generally compatible with the surrounding area, where there is existing commercial and/or mixed-use zoning located at the other quadrants of Pooler Parkway and Pine Barren Rd.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, the request is not considered spot zoning. The request would extend the Jabot PUD and the nearby zonings include commercial designations and districts.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?

- *It is possible that any proposed development could create traffic; however, any new development would require meeting the traffic impact provisions related to a site plan to mitigate any impacts. The property only has access from Pine Barren Rd and Pooler Parkway at present. A possible connection is available along Galloway Drive. Pine Barren Rd and Pooler Parkway are both major thoroughfares. Increased traffic on Galloway Drive with the Memorial Drive intersection should be evaluated with any proposed development, as well as Pooler Parkway and Pine Barren generally. Based upon the size of the development, additional congestion, noise, and traffic could rise to an unacceptable level if not mitigated appropriately and in a timely manner.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
- *It is possible that the request could place irreversible limitations on the area. The property is presently undeveloped and zoned residential. The request would allow for the possibility of a significant amount of non-residential square footage. As presently zoned, the site would only be eligible for single-family residential uses, which coincides with the residential character area identified by the Comp Plan. However, per the future land use map, planned development would be an appropriate use at this location. Likewise, the surrounding parcels include various commercial or mixed-use designations that the request would be compatible with. In relation to the two, some variety of multi-use development would likely be better considered at this location versus solely single-family residential or commercial.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- *The property has undergone various attempts to rezone it in the past, with the most recent occurring in 2022 for townhomes. These previous requests to rezone for more intense residential use have not proved successful. If rezoned to a commercial designation under the PUD it is likely to be utilized for such purposes or attempts made for a multi-use development or mixed-use development more broadly.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- *Generally, no, the proposed development would be consistent with that of the general area related to land uses. The request would allow for similar development*

as other quadrants of Pooler Parkway and Pine Barren Rd. However, due to the size of the request, the potential of increased development that could be allowed would be significantly greater than what currently exists on most nearby properties. This type of zoning would allow for a similar type and scale of development as the opposite side of Pooler Parkway from this site.

7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - *It is possible that similar requests could be made that could generate or accelerate adverse land use impacts in the area. On its own, this request could be considered one that could generate or accelerate adverse land use impacts. Per comments made by both residents and City Council at recent meetings, future development within this area should be evaluated carefully regarding their land use impacts within the area. Traffic and congestion were raised as specific concerns for the development of land to the north across Pine Barren Road, where this tract is approximately twice the size.*

8. Will the action adversely impact adjacent or nearby properties in terms of:
 - A. Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *It is possible the request could adversely impact the nearby properties as it relates to livability through the introduction of additional traffic based upon the size of the tract in question if not mitigated appropriately or in a timely manner.*
 - B. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*
 - C. Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which]

results in adverse impacts upon existing down-stream drainage problems or potential problems?

- *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.*

D. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the sole responsibility of the developer and would not place a burden on the City.*

Conclusion:

Staff finds the request does not comply with the required criteria for a zoning map amendment.

While certain criteria are addressed, the proposed amendment falls short in a few ways. Particularly, criteria numbers 3, 4, 6, 7, and 8A, raise concerns related to this amendment and impacts on traffic and the scale of development at this time.

The proposed zoning would be generally compatible with the existing land uses and zoning, however, its impacts on traffic and congestion due to the subject site's scale need evaluation on the existing roadways. Impacts on traffic and potentially necessary improvements should be evaluated for the request.

As such, staff recommends **Disapproval** of the request.

Attachments:







- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation

ATTACHMENT B



CITY OF POOLER
SARASOTA
A great place to Live, Work and Play

Savannah Quarters PUD Amendment

-  Parcels
-  Business/Commercial
-  Industrial
-  PUD
-  Residential
-  Main Street Boundary

geo

geo **thinQ**

City of Pooler

Zoning Map Amendment Application

Adjacent Property Owners

Name, address & zip codes of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way.

Risen Savior Lutheran Church of Savannah, Ga, Inc
1755 Quacco Road, Pooler, GA 31322

Southwest Quadrant Development Company, LLC
P.O. Box 2309, Pawleys Island, SC 29585-2309

MND-SQ, LLC

Westbrook at Savannah Quarters Community Association, Inc.

1040 William Hilton Pkwy, Ste 200

100 Blue Moon Crossing, Ste 114
Pooler, GA 31322

Hilton Head, SC 29928

- (Please list additional names on separate sheet)


Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

- No**, I have not made campaign contributions to any Pooler City Official(s).
 Yes, I have made campaign contributions to one or more Pooler City (Official(s)).

City Official	Title	Dollar Value	Description of Gift

I attest that all the information provided is true to fact


 (Applicant's signature)

Date: 2.27.24

EXHIBIT A
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

Previous Applications

An affiliate of the petitioner – Stature Investments, LLC (“Stature”) – previously filed two different applications for map amendments regarding the subject parcel. The first was application #231155, which was withdrawn before it would have been heard by Pooler City Council at its regular meeting on October 2, 2023. The second application was filed on or about January 19, 2024, but was subsequently withdrawn by Stature in the first few days after it was filed (before the application received an official file number), due to an internal oversight regarding the petitioner’s authority to file such application.

Legal Description

All that certain lot, tract or parcel of land situate, lying and being in the 7th G.M. District, Chatham County, Georgia, and shown as Parcel “6-A” on that Plat titled “Minor Subdivision, Tract 8 and a Portion of Tract 6, Being Lands of Southwest Quadrant Development Company, LLC, Seventh G.M. District, City of Pooler, Chatham County, Georgia, for Southwest Development Company, LLC”, prepared by James M. Sims, Georgia Registered Land Surveyor No. 2280, dated November 25, 2003, and recorded in Subdivision Map Book 29S, Page 50, Chatham County, Georgia records, said plat being incorporated herein and made a part hereof by this reference.

EXHIBIT C
to
Zoning Map Amendment Application
Parcel 6-A, corner of Quacco Road and Spanton Crescent
Pooler, GA

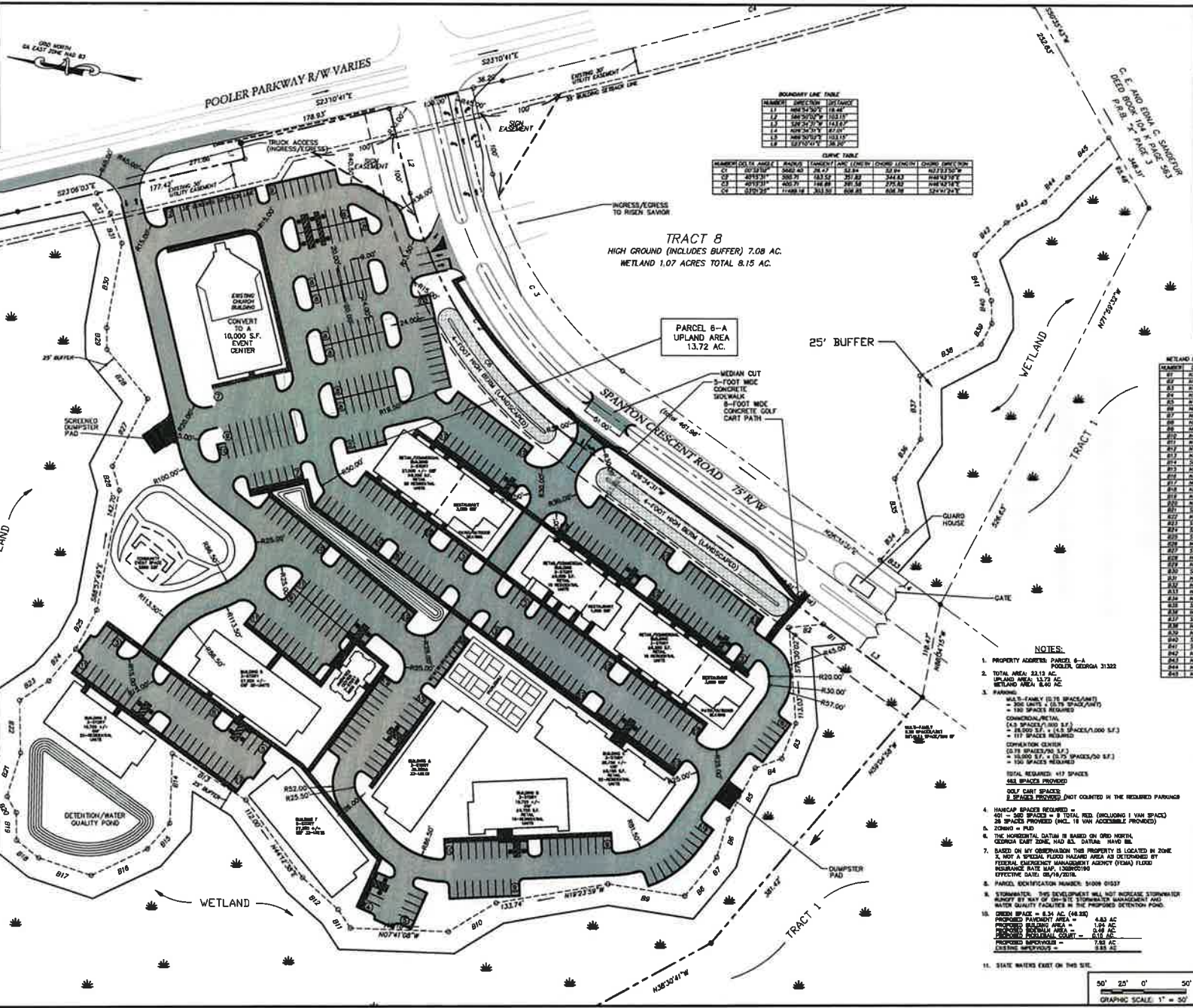
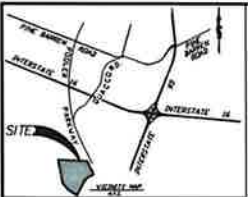
Desired Land Use

The desired land use for the subject parcel is a mix of multifamily residential and retail/commercial use. The petitioner's proposed mixed-use development comprises mixed use buildings with multifamily over commercial uses, as well as standalone multifamily buildings in the rear of the property. The existing church building at the front corner of the property may also be developed as an event space, convention center or other community center.

The petitioner intends a mixed-use development for the site. In order to allow for such a development, the petitioner intends to seek a map amendment to reclassify the subject parcel from Phase Eight to Phase Sixteen. Phase Sixteen (Mixed Use) is a phase of the Savannah Quarters PUD that currently comprises three parcels, all of which are located along Pooler Parkway (or Quacco Road) – the first is directly across Quacco Road from the subject parcel, the second and third are the next two upland parcels to the north, on the same side of Pooler Parkway as the subject parcel. Phase Sixteen allows a variety of uses, including multifamily residential, commercial and medical uses. Given its similar location to the three existing parcels within Phase Sixteen, the reclassification of the subject parcel from Phase Eight to Phase Sixteen is consistent with the development patterns within the Savannah Quarters PUD, and the greater Pooler Parkway / Quacco Road corridor.

To accomplish the transfer of the subject parcel from Phase Eight to Phase Sixteen, the petitioner proposes to amend the Master Plan for both phases. The Master Plan for Phase Eight will be amended solely to remove the subject parcel from Phase Eight to allow it to be added to Phase Sixteen. The Master Plan for Phase Sixteen will be amended to (i) add the subject parcel to Phase Sixteen, and (ii) impose additional restrictions on the uses permitted within commercial sections of Phase Sixteen, but only as they pertain to the subject parcel. The proposed amended and restated Master Plan for Phase Sixteen is attached hereto as Appendix C, and the proposed amended and restated Master Plan for Phase Eight is attached hereto as Appendix D.

The proposed updated version of the Savannah Quarters Master Plan (reflecting the transfer of the subject parcel from Phase Eight to Phase Sixteen) is attached hereto as Appendix E.



BOUNDARY LINE TABLE

SEQUENCE	DIRECTION	DISTANCE
1	N 82° 52' 30" E	14.00'
2	S 82° 52' 30" W	14.00'
3	N 0° 00' 00" E	87.00'
4	S 0° 00' 00" W	87.00'
5	N 82° 52' 30" E	14.00'

CURVE TABLE

SEQUENCE	DELTA ANGLE	RADIUS	TANGENT	CHORD	CHORD BEARING	CHORD SLOPE	CHORD INTERCEPT
C1	100.00°	200.00'	141.42'	141.42'	141.42°	141.42'	141.42'
C2	100.00°	200.00'	141.42'	141.42'	141.42°	141.42'	141.42'
C3	100.00°	200.00'	141.42'	141.42'	141.42°	141.42'	141.42'

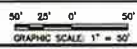
TRACT 8
HIGH GROUND (INCLUDES BUFFER) 7.08 AC.
WETLAND 1.07 ACRES TOTAL 8.15 AC.

PARCEL 8-A
UPLAND AREA
13.72 AC.

WETLAND BUFFER LINE TABLE

SEQUENCE	DIRECTION	DISTANCE
1	N 82° 52' 30" E	14.00'
2	S 82° 52' 30" W	14.00'
3	N 0° 00' 00" E	87.00'
4	S 0° 00' 00" W	87.00'
5	N 82° 52' 30" E	14.00'
6	S 82° 52' 30" W	14.00'
7	N 0° 00' 00" E	87.00'
8	S 0° 00' 00" W	87.00'
9	N 82° 52' 30" E	14.00'
10	S 82° 52' 30" W	14.00'
11	N 0° 00' 00" E	87.00'
12	S 0° 00' 00" W	87.00'
13	N 82° 52' 30" E	14.00'
14	S 82° 52' 30" W	14.00'
15	N 0° 00' 00" E	87.00'
16	S 0° 00' 00" W	87.00'
17	N 82° 52' 30" E	14.00'
18	S 82° 52' 30" W	14.00'
19	N 0° 00' 00" E	87.00'
20	S 0° 00' 00" W	87.00'
21	N 82° 52' 30" E	14.00'
22	S 82° 52' 30" W	14.00'
23	N 0° 00' 00" E	87.00'
24	S 0° 00' 00" W	87.00'
25	N 82° 52' 30" E	14.00'
26	S 82° 52' 30" W	14.00'
27	N 0° 00' 00" E	87.00'
28	S 0° 00' 00" W	87.00'
29	N 82° 52' 30" E	14.00'
30	S 82° 52' 30" W	14.00'
31	N 0° 00' 00" E	87.00'
32	S 0° 00' 00" W	87.00'
33	N 82° 52' 30" E	14.00'
34	S 82° 52' 30" W	14.00'
35	N 0° 00' 00" E	87.00'
36	S 0° 00' 00" W	87.00'
37	N 82° 52' 30" E	14.00'
38	S 82° 52' 30" W	14.00'
39	N 0° 00' 00" E	87.00'
40	S 0° 00' 00" W	87.00'
41	N 82° 52' 30" E	14.00'
42	S 82° 52' 30" W	14.00'
43	N 0° 00' 00" E	87.00'
44	S 0° 00' 00" W	87.00'
45	N 82° 52' 30" E	14.00'
46	S 82° 52' 30" W	14.00'
47	N 0° 00' 00" E	87.00'
48	S 0° 00' 00" W	87.00'
49	N 82° 52' 30" E	14.00'
50	S 82° 52' 30" W	14.00'
51	N 0° 00' 00" E	87.00'
52	S 0° 00' 00" W	87.00'
53	N 82° 52' 30" E	14.00'
54	S 82° 52' 30" W	14.00'
55	N 0° 00' 00" E	87.00'
56	S 0° 00' 00" W	87.00'
57	N 82° 52' 30" E	14.00'
58	S 82° 52' 30" W	14.00'
59	N 0° 00' 00" E	87.00'
60	S 0° 00' 00" W	87.00'
61	N 82° 52' 30" E	14.00'
62	S 82° 52' 30" W	14.00'
63	N 0° 00' 00" E	87.00'
64	S 0° 00' 00" W	87.00'
65	N 82° 52' 30" E	14.00'
66	S 82° 52' 30" W	14.00'
67	N 0° 00' 00" E	87.00'
68	S 0° 00' 00" W	87.00'
69	N 82° 52' 30" E	14.00'
70	S 82° 52' 30" W	14.00'
71	N 0° 00' 00" E	87.00'
72	S 0° 00' 00" W	87.00'
73	N 82° 52' 30" E	14.00'
74	S 82° 52' 30" W	14.00'
75	N 0° 00' 00" E	87.00'
76	S 0° 00' 00" W	87.00'
77	N 82° 52' 30" E	14.00'
78	S 82° 52' 30" W	14.00'
79	N 0° 00' 00" E	87.00'
80	S 0° 00' 00" W	87.00'
81	N 82° 52' 30" E	14.00'
82	S 82° 52' 30" W	14.00'
83	N 0° 00' 00" E	87.00'
84	S 0° 00' 00" W	87.00'
85	N 82° 52' 30" E	14.00'
86	S 82° 52' 30" W	14.00'
87	N 0° 00' 00" E	87.00'
88	S 0° 00' 00" W	87.00'
89	N 82° 52' 30" E	14.00'
90	S 82° 52' 30" W	14.00'
91	N 0° 00' 00" E	87.00'
92	S 0° 00' 00" W	87.00'
93	N 82° 52' 30" E	14.00'
94	S 82° 52' 30" W	14.00'
95	N 0° 00' 00" E	87.00'
96	S 0° 00' 00" W	87.00'
97	N 82° 52' 30" E	14.00'
98	S 82° 52' 30" W	14.00'
99	N 0° 00' 00" E	87.00'
100	S 0° 00' 00" W	87.00'

- NOTES:**
- PROPERTY ADDRESS: PARCEL 8-A
POOLER, GEORGIA 31322
 - TOTAL AREA 23.19 AC.
UPLAND AREA 13.72 AC.
WETLAND AREA 8.40 AC.
 - PARKING:
MULTI-FAMILY (5.75 SPACES/UNIT)
= 300 SPACES REQUIRED
COMMERCIAL/RETAIL
(1.5 SPACES/1,000 S.F.)
= 28,000 S.F. = (1.5 SPACES/1,000 S.F.)
= 420 SPACES REQUIRED
COMPARISON CENTER
(0.75 SPACES/1,000 S.F.)
= 10,500 S.F. = (0.75 SPACES/1,000 S.F.)
= 158 SPACES REQUIRED
TOTAL REQUIRED: 417 SPACES
463 SPACES PROVIDED
SOFT CARPORT SPACES
3 SPACES PROVIDED (NOT COUNTED IN THE REQUIRED PARKING)
 - HANDICAP SPACES REQUIRED = 401 = 200 SPACES + 8 TOTAL REQ. (INCLUDING 1 VAN SPACE)
28 SPACES PROVIDED (ONE 18 VAN ACCESSIBLE PROVIDED)
 - ZONING = PUD
 - THE HORIZONTAL DATUM IS BASED ON GRID NORTH.
GEORGIA EAST ZONE, NAD 83, DATUM, NAVD 83.
 - BASED ON MY OBSERVATION THE PROPERTY IS LOCATED IN ZONE 2. NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, DUNWOODY RESURGENCE DATE: 08/16/2010.
 - PARCEL IDENTIFICATION NUMBER: S1008 01037
 - STORMWATER: THIS DEVELOPMENT WILL NOT INCREASE STORMWATER RUNOFF BY WAY OF ON-SITE STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES IN THE PROPOSED DETENTION POND.
 - GREEN SPACE = 8.34 AC. (44.3%)
PROPOSED PARKWAY AREA = 4.43 AC.
PROPOSED WALKWAY AREA = 1.94 AC.
PROPOSED BIOPATHWAY AREA = 0.51 AC.
PROPOSED SCOURWAY AREA = 0.46 AC.
TOTAL GREEN SPACE = 8.88 AC.
 - STATE WATERS EXIST ON THIS SITE.



VE
PRECISE ENGINEERING

P.O. BOX 13001
SAVANNAH, GA 31403-0001
PH: (912) 228-2862

GEORGIA
Professional Engineer
No. 26822
State of Georgia

LEWIS H. DEWITT, D.O.B. PROFESSIONAL REGISTERED

811
MISSISSIPPI VALLEY ENGINEERING AND SURVEYING, INC.
CALL: 800-252-7411

Revision/Issue	Date
1	
2	
3	
4	
5	

QUACCO ROAD AND SPANTON CRESCENT
MIDDLE-DENSITY DEVELOPMENT

PREPARED BY:
MR. JAMES H. DEWITT
REGISTERED PROFESSIONAL ENGINEER
NO. 26822
STATE OF GEORGIA

DESIGNED BY:
MR. JAMES H. DEWITT
REGISTERED PROFESSIONAL ENGINEER
NO. 26822
STATE OF GEORGIA

CONCEPT PLAN

SCALE: 1" = 50'
PROJECT NO.: 06-043
DATE: 07/20/10
DRAWN BY: JH
CHECKED BY: JH

SHEET 1 OF 1

PUP? Low density units?

RECEIVED
JUL 17 2022
ZONING DEPARTMENT

FINAL P.U.D.
MASTER PLAN



SAVANNAH QUARTERS

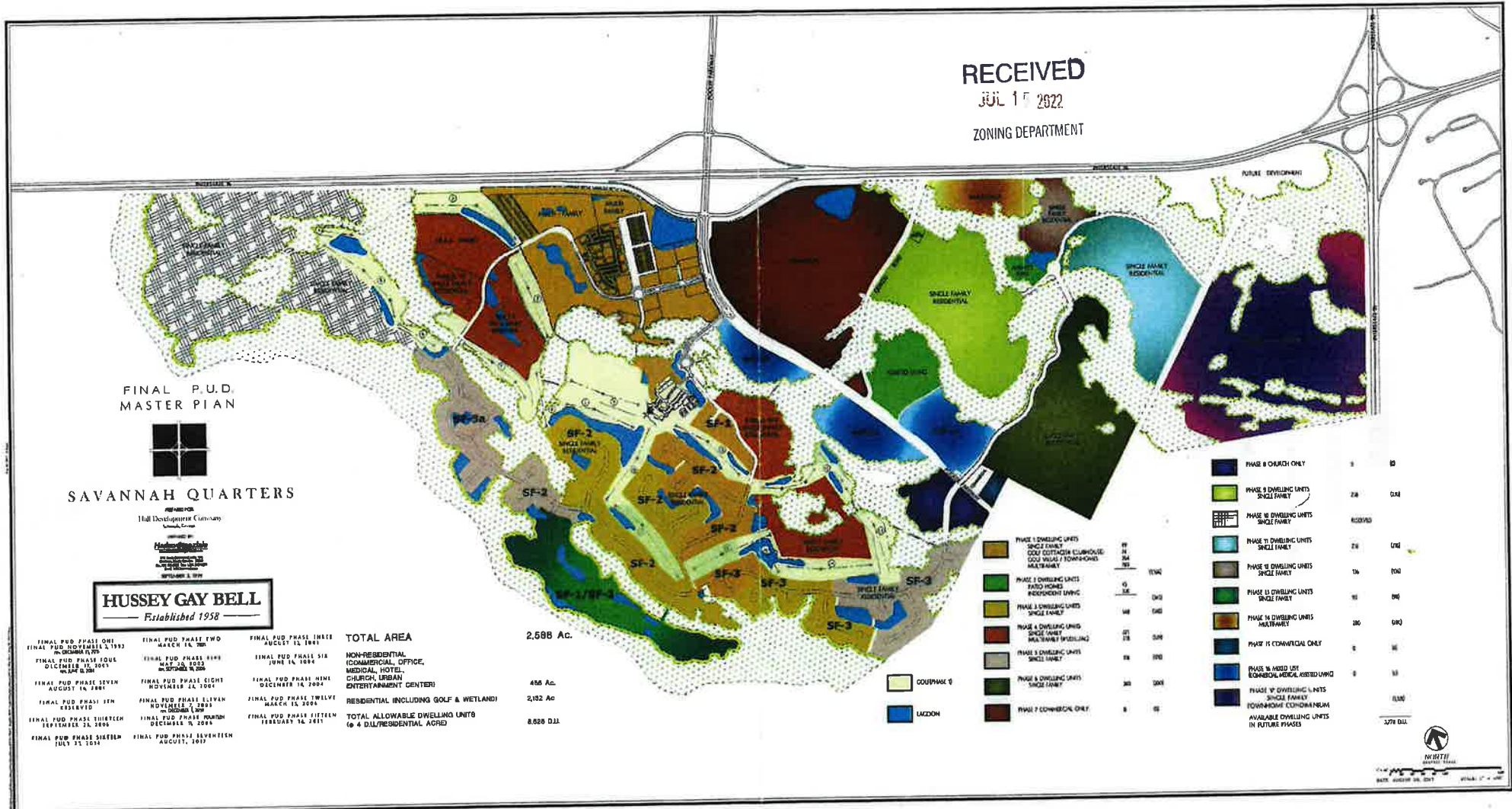
REDEVELOPER
Hall Development Company
Landmark Group



HUSSEY GAY BELL
Established 1958

FINAL PUD PHASE ONE FINAL PUD NOVEMBER 5, 1992 IN DECEMBER 1991	FINAL PUD PHASE TWO MARCH 18, 1993	FINAL PUD PHASE THREE AUGUST 12, 1994	FINAL PUD PHASE SIX JUNE 14, 1994
FINAL PUD PHASE FOUR DECEMBER 15, 1994 IN APRIL 1995	FINAL PUD PHASE FIVE MAY 28, 2003 IN SEPTEMBER 2003	FINAL PUD PHASE NINE DECEMBER 14, 2004	FINAL PUD PHASE TWELVE MARCH 15, 2004
FINAL PUD PHASE SEVEN AUGUST 14, 2001	FINAL PUD PHASE EIGHT NOVEMBER 24, 2001	FINAL PUD PHASE NINE DECEMBER 14, 2004	FINAL PUD PHASE FIFTEEN FEBRUARY 14, 2011
FINAL PUD PHASE TEN 2003/04	FINAL PUD PHASE ELEVEN NOVEMBER 1, 2003 IN 2003	FINAL PUD PHASE THIRTEEN SEPTEMBER 21, 2009	FINAL PUD PHASE SEVENTEEN AUGUST 1, 2017
FINAL PUD PHASE SIXTEEN JULY 21, 2018			

TOTAL AREA	2,588 Ac.
NON-RESIDENTIAL (COMMERCIAL, OFFICE, MEDICAL, HOTEL, CHURCH, URBAN ENTERTAINMENT CENTER)	456 Ac.
RESIDENTIAL (INCLUDING GOLF & WETLAND)	2,102 Ac.
TOTAL ALLOWABLE DWELLING UNITS (6 & D/L/RESIDENTIAL ACRD)	8,628 D.U.



PHASE 8 COMMERCIAL ONLY	0	0
PHASE 8 DWELLING UNITS SINGLE FAMILY	28	0.4
PHASE 9 DWELLING UNITS SINGLE FAMILY	800	0.0
PHASE 10 DWELLING UNITS SINGLE FAMILY	28	0.4
PHASE 11 DWELLING UNITS SINGLE FAMILY	16	0.2
PHASE 12 DWELLING UNITS SINGLE FAMILY	10	0.1
PHASE 13 DWELLING UNITS MULTIFAMILY	20	0.3
PHASE 14 COMMERCIAL ONLY	0	0
PHASE 15 MED USE COMMERCIAL/MEDICAL ASSOCIATED UNITS	0	0
PHASE 16 DWELLING UNITS SINGLE FAMILY	0	0.0
TOWNHOME ECONOMIC NEUM AVAILABLE DWELLING UNITS IN FUTURE PHASES	0	0.0

SOUTHWEST QUADRANT PHASE SIXTEEN
FINAL P.U.D. MASTER PLAN

I. GENERAL

The project consists of a mixed-use master-planned community on approximately 2,588 acres located at the southwest quadrant of the I-95/1-16 interchange. Anticipated uses include single-family and multi-family residential, golf club, commercial, churches, medical services, offices, senior residential, hotels and urban entertainment. Planned Unit Development zoning for this property was approved by City Council on December 7, 1998, based on the Conceptual Master Plan dated September 15, 1998 prepared by EDSA.

The current application is for Final P.U.D. Approval for Phase 16 and associated development standards in accordance with requirements of the City of Pooler PUD Zoning Ordinance.

II. PHASE SIXTEEN FINAL PUD PLAN

Phase Sixteen consists of three parcels of approximately 67 upland acres. These parcels are known as Parcels 6-B and 6-C located on the west side of Pooler Parkway, and the remainder portion of Parcel 13 on the east side of Pooler Parkway. **Parcel 6-A is a nearby parcel on the west side of Pooler Parkway which consists of approximately 22.12 gross acres / 13.72 upland acres, and is located within Phase Eight of the Savannah Quarters PUD. This PUD revision, which is being sought concurrently with a PUD revision of Phase Eight of the PUD, proposes to add Parcel 6-A to Phase Sixteen of the PUD. Upon approval of this PUD revision (i.e., switching Parcel 6-A from Phase Eight to Phase Sixteen), Phase Sixteen will consist of four parcels totaling approximately 81 upland acres. Proposed uses and development standards are as follows:**

A. Use Standards:

Multi-Family Residential

The following uses will be allowed in the multi-family areas of Phase Sixteen:

- multi-family attached residential apartments, condominiums, villas and townhomes
- leasing and operations offices
- community recreation facilities for parcel residents and guests; including but not limited to pools, tennis courts, parks, playgrounds, ball fields, trails, indoor recreation, meeting/banquet/hobby areas, laundry facilities
- maintenance and storage facilities for upkeep of common property and amenities
- storage of vehicles, boats, recreational vehicles (if separate from resident parking)

March 28, 2014
August, 2022
October, 2022
February, 2024

	30' from road centerline
Minimum side or rear yard building setback:	10' to parcel boundary 20' to road centerline 20' to adjacent building (except 15' to a detached garage)
Maximum building height:	125 feet
Off-Street Parking:	Per City of Pooler Regulations Up to 15% of required spaces may be compact spaces (8' x 16' minimum)

- C. Buffers:
Buffer requirements will conform to Article III, Section 11 of the City of Pooler Zoning Ordinance.
- D. Road Standards:
- Right-of-way widths for public streets shall be 60 feet (minimum). Private streets shall be located in easements of minimum 50-foot width.
 - Road construction standards shall be in accordance with City of Pooler Subdivision Regulations, except that all roads may have 12-foot lanes. Private street standards shall be subject to City of Pooler approval.
- E. Project Identification / Entrance Features:
Entrances to the property from Pooler Parkway and Quacco Road may contain architectural and landscape/hardscape features to improve the aesthetics of the entrances and provide project identity for the development. These improvements may include, but are not limited to, features such as:
- masonry walls, pillars and architectural structures (open-air, non-habitable) not to exceed 35' in height from adjacent grade
 - decorative metal fencing
 - specialty lighting and lamp posts
 - development name and icons
 - fountains, park benches and similar hardscape features
 - brick pavers or stamped and painted pavement
 - landscaping and trees

The location of these improvements shall be outside of the right-of-way of Pooler Parkway and Quacco Road. The master developer may require review and approval of proposed features to be installed by developers of an individual parcel within the PUD.

March 28, 2014
August, 2022
October, 2022
February, 2024

SOUTHWEST QUADRANT PHASE EIGHT
FINAL P.U.D. MASTER PLAN

I. GENERAL

The project consists of a mixed-use master-planned community on approximately 2,588 acres located at the southwest quadrant of the I-95/1-16 interchange. Anticipated uses include single-family and multi-family residential, golf club, commercial, churches, medical services, offices, senior residential, hotels, and urban entertainment. Planned Unit Development zoning for this property was approved by City Council on December 7, 1998, based on the Conceptual Master Plan dated September 15, 1998, prepared by EDSA.

The current application is for final P.U.D. approval for Phase 8 development and presents proposed development standards, in accordance with requirements of the City of Pooler PUD Zoning Ordinance.

II. PHASE EIGHT FINAL PUD PLAN

Phase Eight of the Savannah Quarters PUD consists of two church campuses on two parcels of approximately 20.8 upland acres total. These parcels are located on the west side of Pooler Parkway – the parcel to the north of Spanton Crescent (containing 22.12 gross acres / 13.72 upland acres) is known as Parcel 6-A, while the parcel to the south of Spanton Crescent (containing 8.05 gross acres / 7.08 upland acres) is known as Tract 8. This PUD revision, which is being sought concurrently with a PUD revision of Phase Sixteen of the PUD, proposes to remove Parcel 6-A from Phase Eight, so that it can be added to Phase Sixteen of the PUD. This is intended to allow for a change in use of Parcel 6-A, from a church use to certain non-church uses that are not permitted uses in Phase Eight. Upon approval of this PUD revision, Phase Eight will consist of a single parcel (Tract 8) totaling 8.05 gross acres and 7.08 upland acres. Proposed uses and development standards are as follows:

A. Development Standards

The following standards will be applied in Phase Eight:

Minimum front setback	(from Pooler Parkway R/W) (from Spanton Crescent R/W)	50 feet 35 feet
Minimum side setback	(from property line)	25 feet
Minimum rear setback	(from property line)	25 feet
Minimum building separation		20 feet
Maximum building height	(roof height, excludes steeple)	75 feet

November 22, 2004
February, 2024

APPENDIX E

PROPOSED UPDATED MASTER PLAN (2024)

SAVANNAH QUARTERS PUD

[attached]

WESTBROOK
at Savannah Quarters.
Community Association

westbrookatsavannahquarters.com

January 19, 2024

To whom it may concern;

The Voter Member board of Westbrook at Savannah Quarters met with Yash Desai on January 17, 2024, to discuss his plans for the parcel located at Pooler Parkway and Spanton Crescent.

During this meeting Mr. Desai presented his plans for the parcel and answered questions from the voter members. Ultimately, the Voter Members voted all in favor for the plans that were presented. The Voter members did not object to the rezoning of this parcel to accommodate the plans that they reviewed.

Please feel free to contact our office if you have any questions or concerns.

Sincerely,

Angie Germonprez, CAM
Westbrook Savannah Quarters



CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Zoning Map Amendment for 317 West Collins Street from R-1-A to C-1 (*Public Hearing, Action*)

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: 1. 9A_Zoning Map Amendment for 317 West Collins Street from R-1-A to C-1



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Map Amendment for 317 W Collins St from R-1-A to C-1

Project:	#A24-0033
P&Z Meeting Date:	April 22, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Gregory Alfonso
Location (Address):	317 W Collins St
Parcel (PIN):	50003 02004
Existing Zoning:	R-1-A (One Family Residential) and Main Street Overlay
Zoning Action:	Map Amendment
Request:	Request to amend the zoning map from R-1-A to C-1
Application Filed:	March 19, 2024
Legal Notice Published:	April 8, 2024
Sign Posted:	April 10, 2024
Letters Mailed:	April 10, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>

Background:

The subject site is approximately 0.485 acres and is zoned R-1-A and is located within the Main Street Overlay. The site is located along W Collins Street.

The applicant is seeking to construct an office building at the lot. The other nearby properties were recently rezoned to C-1. This property was provided the opportunity to participate in the larger rezonings for Collins St but did not reach out during those time.

The Pooler 2040 Comprehensive Plan identifies this area within the Historic District character area. The FLUM designates this site as Commercial.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

App. A, Art. IV, Sec. 27 – Main Street Overlay

Zoning Action Standards:

1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - *Yes, the request is a logical extension of the C-1 zoning district and improve the pattern of uses by allowing for commercial uses at this location in conjunction with the Main Street Overlay district.*
2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - *No, the adjacent site is zoned C-1 and coincides with the pattern of development. Likewise, this request is consistent with the recommendations of the Comprehensive Plan and Main Street Master Plan.*
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - *Generally, no; Collins St is intended for commercial traffic.*
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - *No, the request would be consistent with adopted plans and policies for the area.*
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?

- *Yes, the property is currently vacant and is intended for commercial use for an office.*
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- *No, the proposed development would be consistent with that of the general area for commercial redevelopment and adaptive reuse of property.*
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- *It is likely that additional requests could be made but these would be consistent with the recommended type of development for this area and would not generate adverse impacts.*
8. Will the action adversely impact adjacent or nearby properties in terms of:
- Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - *No, the request should not adversely impact the nearby properties as it relates to environmental quality, livability, or cause incompatible development.*
 - Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - *No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.*
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - *No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so*

that down-stream drainage or off-site impacts do not occur.

9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

- *No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the responsibility of the developer and would not place a burden on the City.*

Conclusion: Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

- Attachments:
- A. Vicinity Map
 - B. Zoning Map
 - C. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

317 W Collins St

04/19/2024

 Parcels

 Main Street Boundary



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

317 W Collins St

04/19/2024

- Parcels
- Main Street Boundary
- Business/Commercial
- Industrial
- PUD
- Residential



Zoning Map Amendment Application

Page 1 of 5

Updated **AUG 2022**

Date: 3/18/24 File Number: A24-0033

Type or print and attach additional sheets if necessary to fully answer any of the following sections.

General Information

Gregory L Alfonso

Name of Owner/Authorized Agent 130 Canal Street ,Suite 404, Pooler, Ga 31322 912-547-5597

Address of Owner/Authorized Agent 130 Canal Street ,Suite 404, Pooler, Ga 31322 Telephone Number 912-547-5597

Have any previous applicants been made for a text or map amendment affecting these same premises?

Yes No

If yes, give file number, date, and action taken: _____

(If exact file number, date or action is not known, please give approximate date of previous application.)

Action Requested

General location of property (the area), street number, and location with respect to nearby public roads that are in common use: 317 W Collins Street, Pooler, Ga 31322

Parcel ID # 50003-02004

Legal description of the property (name of subdivision, block, and lot number) _____ PIN # _____

Zone Classification: Present Residential Requested C - 1 _____

James Doubleday III

912-604-5651

Owner of Property (if same as applicant, leave blank) _____ Telephone Number _____

3 Tabeau Lane, Savannah, Ga 31419

0.470 AC

Address of Owner _____ Total Area of Property (acres or sq. feet) _____

Vacant Lot

Existing land use (specify such as a grocery store, single-family residence, vacant land, etc.) _____

Construct an Office for a Financial Consultants Firm

Desired land use (specify such as a residence, grocery store, mobile home park, etc.) _____

Reasons and Certifications

Reasons for requesting change of zoning map which would support the purposes of the zoning program:

We want to construct a public office building



Zoning Map Amendment Application

Updated **AUG 2022**

Adjacent Property Owners

Name, Address, and Zip Codes of surrounding property owner's primary residence within a radius of 200 feet of the property as of the date of filing. Include those directly across a public right-of-way.

Unknown

Chamber of Commerce

(please list additional names on a separate sheet)

Campaign Contributions

Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00?

No, I have not made campaign contributions to any Pooler City Official(s).

Yes, I have made campaign contributions to one or more Pooler City Official(s).

City Official	Title	Dollar Value	Description of Gift

I attest that all the information provided is true to fact


Applicant's Signature

03/07/2024

Date



Zoning Map Amendment Application

Page 4 of 5

Updated **AUG 2022**

Authorization of Property Owner

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

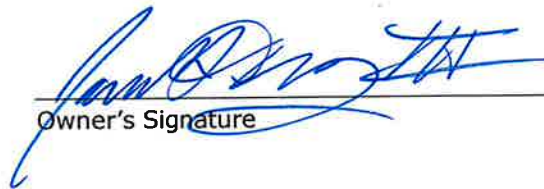
I authorize the person named below to act as applicant in the pursuit of variance, conditional use, rezoning of property or a site plan submittal.

Gregory L Alfonso 912-547-5597
Name of Applicant Telephone Number

130 Canal Street, Suite 404
Address

Pooler Georgia 31322
City State Zip Code




Owner's Signature

Personally appeared before me _____
Who swears that the information contained in this authorization is true and correct to the best of his/her knowledge and belief.


Notary Public

3/7/24
Date



Zoning Map Amendment Application

Page 3 of 5

Updated **AUG 2022**

Filing Requirements

Applicant must submit the following information 30 days prior to the regularly scheduled meeting on the second and fourth Monday of each month. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission.

- Filing fee (see schedule of fees). Make checks payable to the City of Pooler.
- For Power Point presentation, please email PDF file on project to kdyer@pooler-ga.gov.
- A scaled plat showing dimensions, acreage, location of the tract(s) and utility easements prepared by a licensed architect/surveyor. Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- Legal description of property.
- Complete Campaign Contributions and Acknowledge receipt of Zoning Standards for Map Amendment.
- If Agent, Authorization of property owner, signed, dated, and notarized.
- Copy of current tax bill showing payment or a certification from the City of Pooler Tax Office stating taxes were paid.

Initial

I acknowledge receipt of Zoning Standards for a Map Amendment. I understand the standards and any other factors relevant to promoting the public health, safety, and general welfare of the City of Pooler against unrestricted use of property will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision.

I have received and understand the "checklist" of actions needed to amend the City of Pooler Zoning Map.

Sworn to and subscribed before me on this _____ day of _____ 20 ____ .

I hereby certify that the above stated facts are true to the best of my knowledge and I am the owner or authorized agent for the owner of subject property.

Owner's or Authorized Agent's Signature

Notary Public

Application Status

This portion to be completed by Zoning Administrator

Hearing date has been set for: _____

Notice published in newspaper on (15 days prior to hearing date): _____

Letters of notification mailed to adjacent property owners on: _____

This action was approved or denied (copy of minutes disposing of this action are attached).

Notification of the results of this action mailed to the applicant on: _____

Sign posted: _____



Zoning Map Amendment Application

Page 5 of 5

Updated **AUG 2022**

Section 10. Standards for Zoning Ordinance or Map Amendment

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision:

1. Is the request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
2. Is the spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
4. Will this request place irreversible limitations on the area as it is or on future plans for it?
5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
8. Will the action adversely impact adjacent or nearby properties in terms of:
 1. Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, or visual hazards or the reduction of light and air that is incompatible with the established development pattern.
 2. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 3. Will the action create development opportunities of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
9. Will the action result in public service requirements such as provision of utilities or safety services which because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

and/or

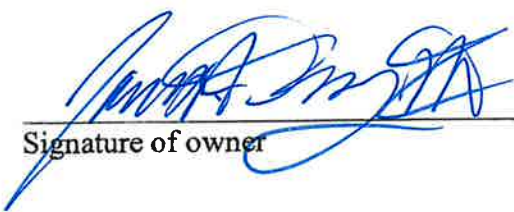
I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Gregory L Alfonso

Address: 130 Canal Street Ste 404

City & State: Pooler, Ga Zip 31322


Telephone number: 912-547-5597


Signature of owner

Date

Personally appeared before me _____

Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.

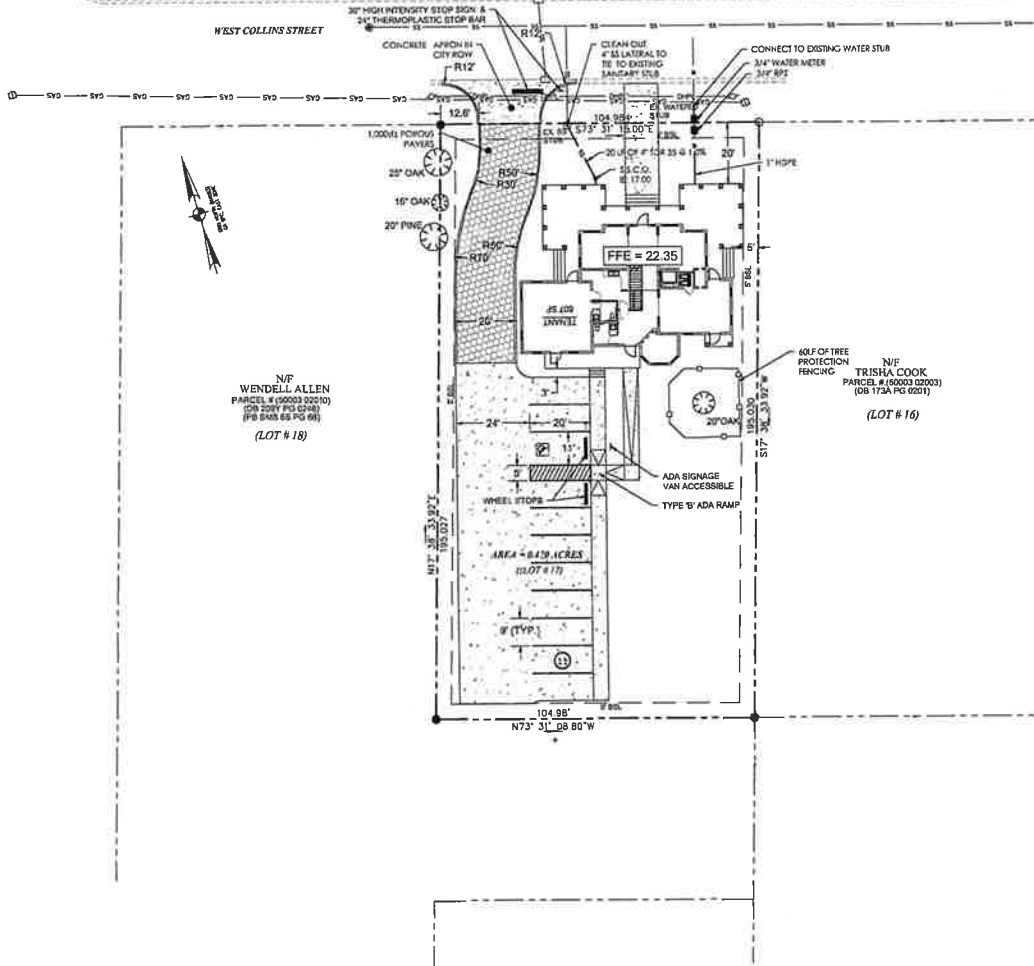

Notary Public

3/7/29
Date



U.S. HIGHWAY # 80 - EAST BOUND LANE

WEST COLLINS STREET



N/F
WENDELL ALLEN
PARCEL # (60003 02010)
(DB 200Y PG 6248)
(FB 848 65 PG 64)
(LOT # 18)

N/F
TRISHA COOK
PARCEL # (60003 02003)
(DB 173A PG 6201)
(LOT # 16)

AREA = 0.419 ACRES
(LOT # 17)

FFE = 22.35

104.98'
N73° 31' 08 80" W

PROJECT NO.	644-23-03
DATE	
REVISION	

MAUPIN
Engineering
118 WEST 42ND STREET
SAVANNAH, GA 31401 • (912) 436-7100 • FAX (912) 436-7101

STAKING / UTILITY PLAN
THRIFT FINANCIAL



RELEASED FOR PERMITTING

DRWN TRW 7/25/2023
CHKD JAH DATE



SHEET NO.
C.2
644-23-03

ASBUILT SURVEY OF PARCEL #:(50003 02004) OF NORTH EAST HALF OF LOT # 17, LOCATED IN THE CITY OF POOLER, IN THE 8th G.M. DISTRICT OF CHATHAM COUNTY, GEORGIA



RESERVED FOR THE CLERK OF COURT

VICINITY MAP (NOT TO SCALE)

FLOOD INFORMATION:

FEMA FLOOD MAP -(13051C0107H)
EFFECTIVE DATE:(08/16/2016)
THIS AREA IS NOT LOCATED IN A FLOOD HAZARD AREA

FLOOD ZONE:

X AREA OF MINIMAL FLOOD HAZARD

1. THE FIELD DATA WAS COLLECTED USING A TOPCON - ES TOTAL STATION, SOKKIA GRX2, AND A TESLA DATA COLLECTOR.
2. THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY THE F.I.R.M. OFFICIAL FLOOD HAZARD MAPS.
3. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000 FEET.
4. "TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF ALL ANGLES, BEARINGS, MEASUREMENTS OF COURSES, DISTANCES AND MONUMENTS LOCATIONS ARE AS SHOWN, HAVE BEEN PROVEN BY A LAND SURVEY AND IN MY OPINION THIS IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF GEORGIA LAW 1978".
5. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A) 15-9-67 IN THAT WHERE A CONFLICT EXISTS BETWEEN THESE TWO SETS OF SPECIFICATIONS THE REQUIREMENTS OF THE LAW PREVAIL.
6. WILLIAM MARK GLISSON, THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HERETO DOES NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THE PROPERTY ARE SHOWN, THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT A EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
7. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A FIELD CLOSURE PRECISION OF ONE FOOT IN 25,000 FEET, AN ANGULAR ERROR OF 5 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE.

SURVEYOR CERTIFICATION

AS REQUIRED BY SUBSECTION (4) OF O.C.C.A. SECTION OF 15-9-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATIONS SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OF USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.C.A. SECTION 15-9-67

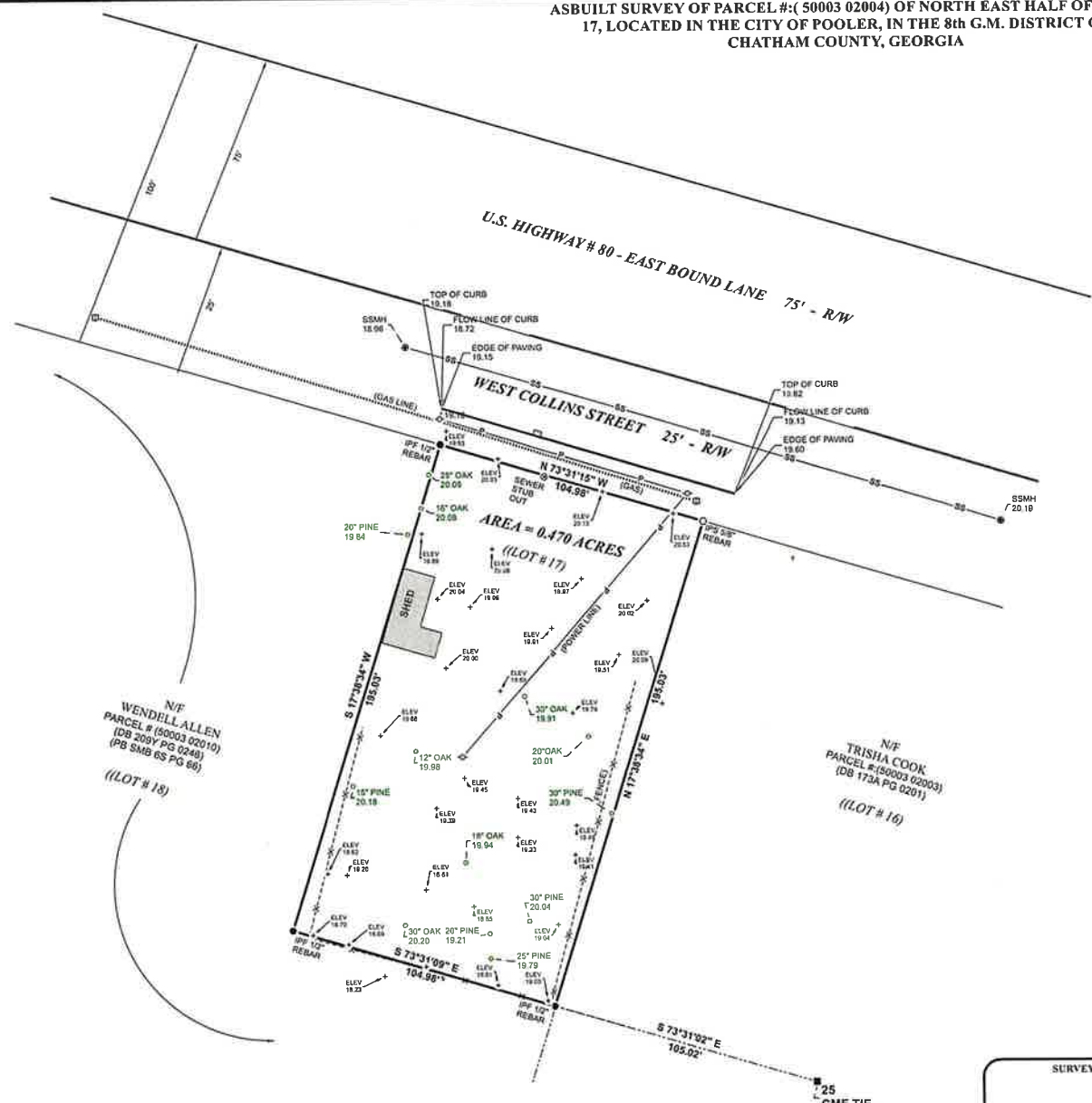


WILLIAM MARK GLISSON RLS #3316 DATE



GRAPHIC SCALE 1" = 30'

STATE OF GEORGIA



N/F WENDELL ALLEN
PARCEL # (50003 02010)
(DB 2009 PG 0248)
(PB SMB 6S PG 66)

N/F TRISHA COOK
PARCEL #:(50003 02003)
(DB 173A PG 0201)



WILLIAM MARK GLISSON - REGISTERED LAND SURVEYOR
GEORGIA PLS # 3316 - SOUTH CAROLINA PLS # 31964

377 TUCKER ROAD, CLAXTON, GEORGIA 30417
RINCON: (912) 826 - 5283 CLAXTON: (912) 282 - 7052
WMGLISSON@BELLSOUTH.NET

- REFERENCES:**
1. DB 288Q PG 258I
 2. PB V PG 27

SURVEY FOR:	
JAMES DOUBLEDAY	
COUNTY OF POOLER, STATE OF GEORGIA	
GMD:	8th
DATE:	04/05/2023
SCALE:	1" = 30'
FILE NUMBER:	23186
TOTAL AREA:	= 0.470 ac. LOT # 17
FIELD SURVEY DATE:	03/22/2023



CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Conditional Use Request for 272 Cattle Run Way for a Home Occupation (*Public Hearing, Action*)

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: 1. 9B_Conditional Use Request for 272 Cattle Run Way for a Home Occupation



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Home Occupation at 272 Cattle Run Way

Project:	#A24-0034
P&Z Meeting Date:	April 22, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Paul Baltodano
Location (Address):	272 Cattle Run Way
Parcel (PIN):	51015A 08091
Existing Zoning:	PUD [Morgan Lakes]
Zoning Action:	Conditional Use
Request:	Request to establish a home occupation for an upholstery business.
Application Filed:	March 20, 2024
Legal Notice Published:	April 8, 2024
Sign Posted:	April 10, 2024
Letters Mailed:	April 10, 2024
Staff Recommendation:	Approval
<i>Planning & Zoning Commission:</i>	P&Z <u>agreed</u> with staff and recommends <u>approval</u> .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The request is for a home occupation use for an upholstery business for automobile, boat, and motorcycle seats as well as small furniture. A home occupation is considered ancillary to the primary

use as a residence. A home occupation must also comply with all requirements of Sec. 18 of App. A, Art. III.

Per the applicant, the use will be located within the 2-car garage, which is approximately 400sf. Most often, the owner will travel to acquire the pieces, but individuals will occasionally drop-off the items and materials at the subject site. Operation hours will be 8am-5pm. The garage door will remain closed during any operation hours.

Relevant Ordinances:

App. A, Art. III, Sec. 18 – Home Occupations

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

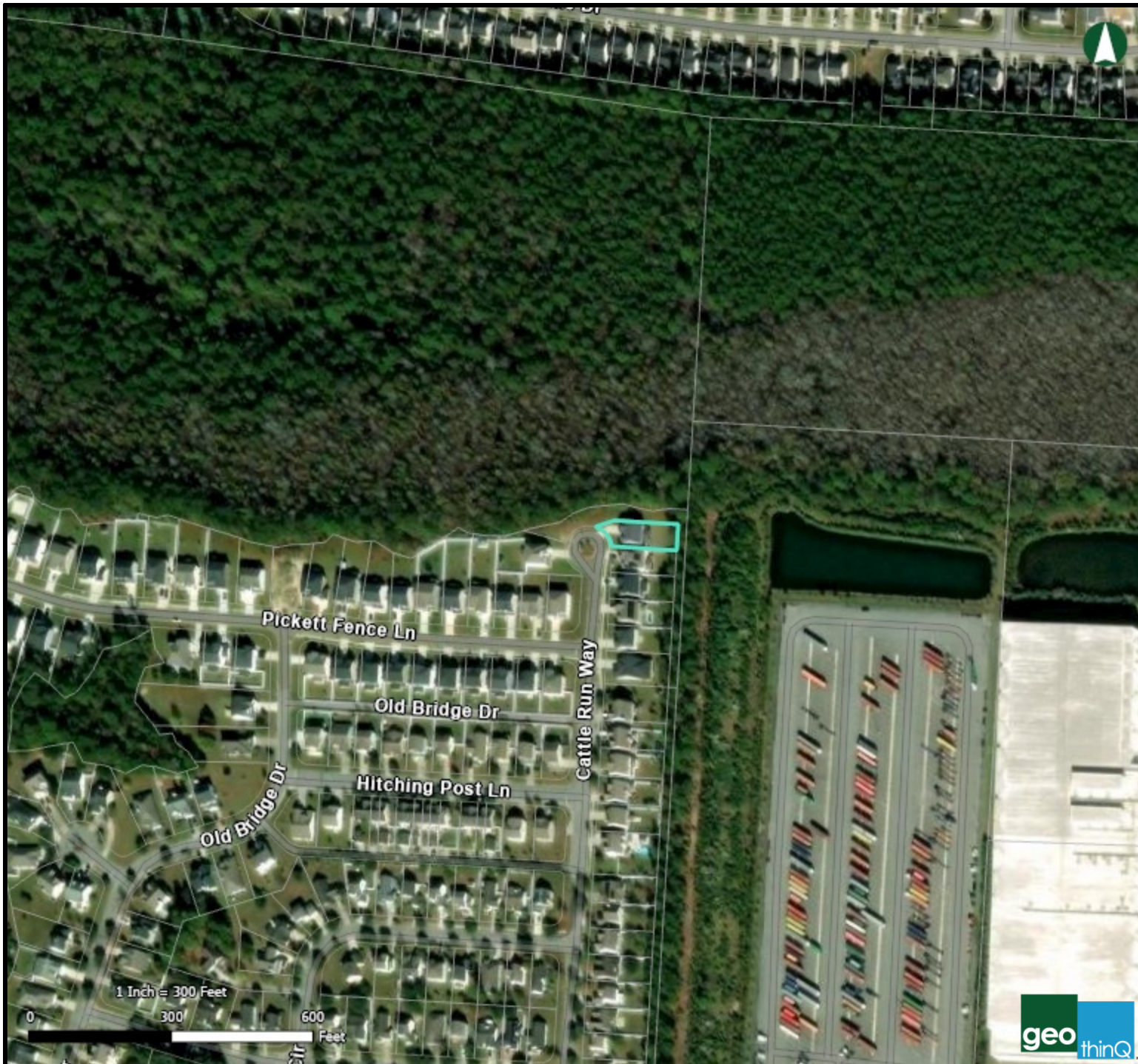
Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with the surrounding uses, as it would still be the primary residence. The proposed home occupation would also comply with the standards of Sec. 18 as proposed.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas as it would continue to be a residential use. The accessory use as a home occupation would be limited to the garage.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.*

5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The proposed home occupation, as proposed, meets all requirements for such.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed use complies with the requirements for a home occupation.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion:	The request complies with the required criteria for a conditional use. As such, staff recommends Approval of the request.
-------------	--

Attachments:	<ol style="list-style-type: none"> A. Vicinity Map B. Application and Submittal Documentation
--------------	---



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

272 Cattle Run Way

04/19/2024



Parcels



Main Street Boundary

1 Inch = 300 Feet

0 300 600 Feet





A24-0034
3/20/24



Conditional Use Application

Applicant Information	Applicant <u>Paul E. Baltodano</u> Mailing address <u>272 Cattle Run Way</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone <u>(912) 441-1767</u> Fax (____) _____
Property Ownership	Property Owner(s) <u>Paul E. Baltodano</u> Mailing address <u>272 Cattle Run Way</u> City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u> Telephone <u>(912) 441-1767</u> Fax (____) _____
Contact Person	Contact Person(s) <u>Paul E. Baltodano</u> <i>pin - 5015A08091</i> Telephone <u>(912) 441-1767</u> Fax (____) _____ E-mail <u>pebaltodano@gmail.com</u> <p style="text-align: center;">* All staff correspondence will be sent only to one designated contact person. * Addresses and telephone numbers do not have to be repeated if provided above.</p>
Request	Location address <u>272 Cattle Run Way, Pooler, GA 31322</u> Current Zoning <u>Morgan Family PUD</u> Present use <u>Single Family Residence</u> Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request: <u>Seeking Home Occupation</u> Description of the activities, # of units and hours of operation of the proposed conditional use: <u>Please see attached document.</u> A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: <u>Please see attached document.</u> A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities: <u>Please see attached document.</u>



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov.

PB

Applicant/Owner initial as received

Conditional Use Request

Description of the activities, # of units and hours of operation of the proposed conditional use:

The Business (Precision Seating LLC) would consist of upholstering and reupholstering primarily automobile seats and interior parts as well as boat cushions, motorcycle seats, and small furniture. There is only one worker (myself) performing the services. The work would take place solely within the 2-car garage area of the home, which is approximately 400 square feet.

In most cases I will travel to acquire the articles and in some rare cases the customer themselves will deliver the articles that require servicing.

Hours of Operation are Monday through Thursday, 8am to 5pm.

A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy:

There is no land disturbance or construction required and there are no improvements needed to the home to conduct business.

A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during, and after the completion of development activities:

All business activities and servicing of articles takes place within the garage area of the home. The garage door is closed during business hours so that any noise is contained within the space. Machinery that the business utilizes produces very little noise to not disturb the surrounding neighbors. Customers are required to call in advance and set an appointment date and time before delivering articles or acquiring estimates for services.

THE WRIGLEY "D"



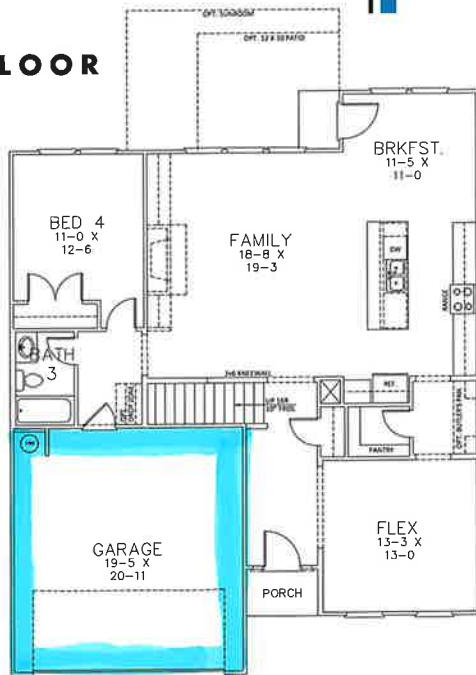
2922+ SF
base square feet

TOTAL SQ.FT. WITH GARAGE: 3,343 SQFT • BEDROOMS: 4 •
3 BATHS: • 2 Story • 2 Car Garage

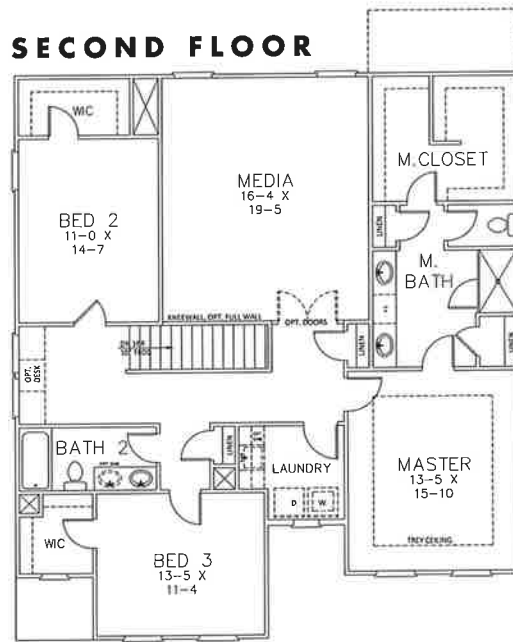
Perfect for the whole family, this home welcomes everyone with spacious living areas, a luxurious designer kitchen with large kitchen island and an optional outdoor sunroom perfect for entertaining all year round. Relax upstairs in the media room or simply unwind in the gorgeous master bedroom. Whatever your needs are, the Wrigley will definitely meet them all with taste and flair.

www.TrustNewHomes.com

FIRST FLOOR



SECOND FLOOR



20.

**** SEVERAL OPTIONS AVAILABLE FOR THIS HOMEPLAN. PLEASE SEE SALES REPRESENTATIVE FOR DETAILS. ****

MARKETING COLLATERAL REVISED: 08/29/18.

Pictures and other promotional materials are representative and may depict or contain options, upgrades, landscaping, and extra design features that are not included as part of the home and/or may not be available in all communities. Floor plans, elevations, options, home features, and community information are subject to change at any time without notice or obligation. Square footages and dimensions are approximate and may vary in construction and depending on the standard of measurement used, engineering and municipal or other site-specific conditions. All renderings and floor plans are an artist's conceptual drawings and may vary from the actual plans and homes as built, including, without limitation, window, door and other improvement locations and changes required by authority or to accommodate options or value engineering. Further, renderings may not be drawn to scale and homes may be constructed with a floor plan that is the reverse of the rendering. Plans are copyrighted and/or otherwise subject to Trust Homes and cannot be reproduced or copied without its prior written consent. Not an offer or solicitation to sell real property. Offers to sell real property may only be made and accepted at the sales center for individual Trust Homes community associate for details. 2016+ Trust Homes Realty Group. All rights reserved.

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CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Conditional Use Request for 352 Casey Drive for a Home Occupation (*Public Hearing, Action*)

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: 1. 9C_Conditional Use Request for 352 Casey Drive for a Home Occupation



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Home Occupation at 352 Casey Drive

Project:	#A24-0043
P&Z Meeting Date:	April 22, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Kelly Damon
Location (Address):	352 Casey Drive
Parcel (PIN):	51023B 01083
Existing Zoning:	PUD [Jabot]
Zoning Action:	Conditional Use
Request:	Request to establish a home occupation for a day spa.
Application Filed:	April 2, 2024
Legal Notice Published:	April 10, 2024
Sign Posted:	April 12, 2024
Letters Mailed:	April 10, 2024
Staff Recommendation:	Approval
<i>Planning & Zoning Commission:</i>	[TBD]- P&Z voted to table the item until the applicant is available at a meeting to answer questions. This item is on the Council agenda for public hearing only, no action.
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>

Background:

The request is for a home occupation use for a day spa. A home occupation is considered ancillary to the primary use as a residence. A home occupation must also comply with all requirements of Sec. 18 of App. A, Art. III.

Per the applicant, the use will be located on the second floor and will utilize one room specifically to conducting the treatments with storage in a closet and another as a reception area. The hours of operation would be 10am-6pm Monday through Saturday. Only 1 client will be allowed at a time. There will be 15 minute intervals between any client and are by appointment only.

Relevant Ordinances:

App. A, Art. III, Sec. 18 – Home Occupations

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

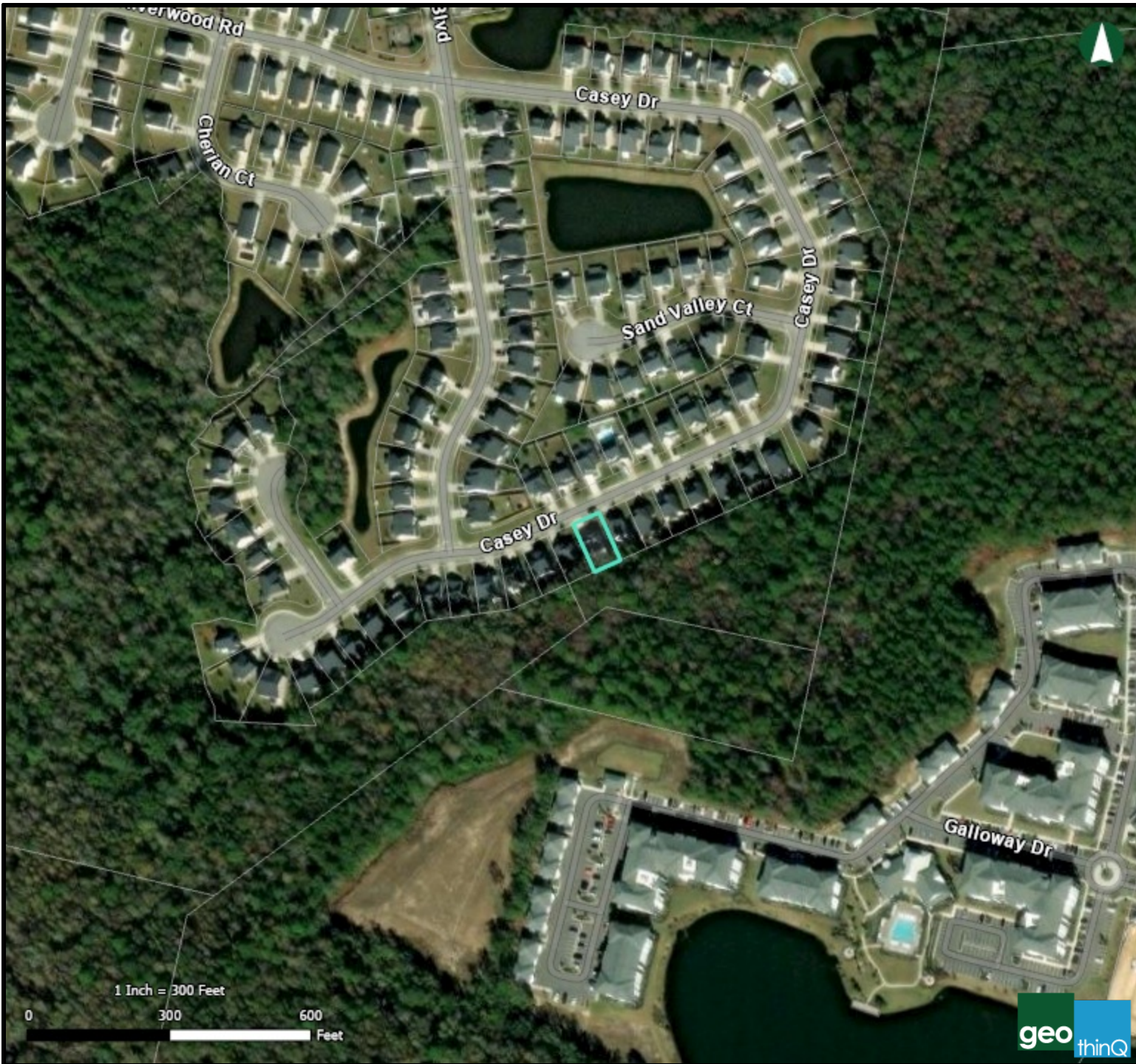
1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with the surrounding uses, as it would still be the primary residence. The proposed home occupation would also comply with the standards of Sec. 18 as proposed.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to adjacent properties or surrounding areas as it would continue to be a residential use. The accessory use as a home occupation would be limited to a small portion of the structure on the upper floor.*
3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement associated with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use will not be affected adversely by the existing uses of adjacent properties as the*

proposed use is similar and compatible with existing uses.

5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The proposed home occupation, as proposed, meets all requirements for such.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The proposed use complies with the requirements for a home occupation.*
7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion: The request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.


Attachments: A. Vicinity Map
B. Application and Submittal Documentation



CITY OF POOLER
GEORGIA
A great place to Live, Work and Play

352 Casey Drive

04/19/2024

 Parcels

 Main Street Boundary





Rec. 4/2/24

File #

A24-0043



Conditional Use Application

Applicant Information	Applicant <u>Kelly Damon</u>
	Mailing address <u>352 Casey Dr.</u>
	City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u>
	Telephone <u>912 675-1206</u> Fax ()

Property Ownership	Property Owner(s) <u>William Damon</u>
	Mailing address <u>352 Casey Dr.</u>
	City <u>Pooler</u> State <u>GA</u> Zip <u>31322</u>
	Telephone <u>912 467-2082</u> Fax ()

Contact Person	Contact Person(s) <u>Kelly Damon</u>
	Telephone <u>912 675-1206</u> Fax () E-mail <u>queend102@hotmail.com</u>

* All staff correspondence will be sent only to one designated contact person.
* Addresses and telephone numbers do not have to be repeated if provided above.

Request	Location address <u>352 Casey Dr. Pooler, GA 31322</u>
	Current Zoning <u>RIA</u> Present use <u>RIA</u>
	Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request:
	Description of the activities, # of units and hours of operation of the proposed conditional use:
	<u>See attached</u>
A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy:	
A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities:	

Pin# 51023-1361083



Conditional Use Standards


Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

 Applicant/Owner initial as received

KelzBelz;LLC (DBA Hera Day Spa)

352 Casey Dr
Pooler, GA 31322
Business # 912-755-0632

Kelly Damon; Owner

352 Casey Dr
Pooler, GA 31322
Home # 912-675-1206
queend1020@hotmail.com

Home Occupation Conditional Use for: HERA DAY SPA

\$350 Application Fee has been paid in full (see Christina Brantley)

Total Sq Footage for home= 2,897 as reported on Zillow.com

Areas for Business Use will be on 2nd floor

Room 1= Reception (10' x 20")

**Room 2= Treatment Room + Closet for equipment storage
(Rm: 10' x 6") (Closet: 5' x 5' 6")**

Description:

Business provides

- **Massage**
- **Facials**
- **Waxing**
- **Retail Products**

Hours of Operation:

**Monday - Saturday
10am - 6pm**

Limiting Impacts on Adjacent Properties:

- **Parking area is provided on site**
- **No more than 1 additional vehicle at a time as we only accept 1 client at a time**
- **15 min intervals in between each client**
- **Hours of operation take place during normal and reasonable hours**
- **Zero additional or excess noise/disruption as this is a DAY SPA (very quiet and serene)**
- **By appointment only. No walk-ins allowed.**



CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Conditional Use Request for 112 North Rogers Street for a Daycare (*Public Hearing, Action*)

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS: 1. 9D_Conditional Use Request for 112 North Rogers Street for a Daycare



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Conditional Use Request for a Daycare at 112 N Rogers St

Project:	#A24-0044
P&Z Meeting Date:	April 22, 2024
Public Hearing Date:	May 6, 2024
Applicant and Authorized Agent:	Panei Ingram
Location (Address):	112 N Rogers St
Parcel (PIN):	50006 08005
Existing Zoning:	C-1 (Light Commercial) & Main Street Overlay
Zoning Action:	Conditional Use
Request:	Request to establish a child daycare facility.
Application Filed:	April 5, 2024
Legal Notice Published:	April 14, 2024
Sign Posted:	April 12, 2024
Letters Mailed:	April 10, 2024
Staff Recommendation:	Approval
Planning & Zoning Commission:	P&Z disagreed with staff and recommends disapproval .
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Background:	The subject site is approximately 0.5 acres located on N Rogers Street. The site contains two commercial buildings, totaling

approximately 3,790 sf. The surrounding properties include residential and commercial properties.

The site has seen various uses throughout the years, including most recently as a professional office and as a daycare prior to that. Due to the change in use, the location requires a conditional use approval prior to establishing the daycare use. The site was previously considered non-conforming related to various site features but has lost its non-conformity status due to a period of inactivity exceeding 6 months. As such, any new use established at this location needs to generally comply with the various standards related to the site.

City Council denied a previous request for a daycare at this site under project #221289 on Dec. 5, 2022, due to concerns related to traffic and safety from the proposed use as well as issues with the site related to parking and access. A subsequent request for a daycare in December of 2023 was withdrawn.

The applicant is proposing and prepared to make any necessary changes and improvements to the site to address the concerns related to access and parking, such as landscaping, privacy fencing, parking expansion, and all associated signage.

The applicant will utilize one-way arrival and departures from N Rogers, using the circular driveway. Drop-off shall be between 6:00am and 9:00am and pick-up will be throughout the day and end at 5:00pm Monday-Friday. The applicant is also prepared to provide 5-minute increment drop-off times for parents to ensure any potential congested is limited on N Rogers St.

Relevant Ordinances:

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

App. A, Art. IV, Sec. 4. Conditional Uses.

App. A, Art. III, Sec. 19. Child-care Facilities.

Zoning Action Standards:

1. The proposed use will not be contrary to the purpose of this ordinance.
 - *The proposed use would be consistent with the purpose of the ordinance for light commercial development, whereby less intense non-residential uses are appropriate adjacent to residential uses.*
2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - *The proposed use would not be detrimental to the use or development of adjacent properties. Adjacent properties are zoned C-1 to the south and east of the subject site, while the north is zoned residential. The*

directly adjacent property to the north is used for attached single-family, while the property on the south is a commercial building. While the use itself would not be detrimental, access in and out of the site poses a concern along N Rogers St unless improved as part of the future use.

3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.
 - *The applicant has not provided information regarding the anticipated number of children to be kept at the site. The applicant has demonstrated their willingness to undertake any necessary improvements required as part of the use approval. As such, the use will not constitute a nuisance or hazard.*
4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - *The proposed use would not be adversely affected by adjacent properties which are all either residential uses or limited-intensity commercial uses.*
5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - *The subject site is configured in a way which presents concerns related to meeting parking requirements. The current parking layout on the site does not provide the requisite number of necessary spaces or drive aisles. Improvements could be made as part of site development either as a condition of approval or generally. The amount of outdoor play area would ultimately depend on the licensed capacity of the facility but would generally be sufficient. The applicant has demonstrated a willingness to undertake any necessary improvements to satisfy any site requirements.*
6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - *The subject site currently does not meet various development standards and requirements. The applicant or property owner would need to undertake improvements in order to comply with the City's standards before being able to operate the proposed use as well as others. Specifically, parking and access requirements are the main concerns, as well as screening. The Main Street Overlay would lessen the overall requirements for the site related to*

parking, access, and landscaping against the base requirements. Likewise, the applicant will make any necessary improvements to the site if granted approval of the use for a daycare.

7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

- *The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.*

Conclusion:

Staff finds the request complies with the required criteria for a conditional use. As such, staff recommends **Approval** of the request.

Attachments:



- A. Vicinity Map
- B. Application and Submittal Documentation



CITY OF POOLER
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112 N Rogers St

04/19/2024

-  Parcels
-  Main Street Boundary







Conditional Use Application

Applicant Information

Applicant Panei Ingram
 Mailing address 75 Woodford Reserve Dr.
 City Pooler State GA Zip 31322
 Telephone 912 272-6598 Fax ()

Property Ownership

Property Owner(s) BNET Management Inc.
 Mailing address 6501 Abercorn St
 City Savannah State GA Zip 31405
 Telephone 912 228-4630 Fax ()

Contact Person

Contact Person(s) Panei Ingram
 Telephone 912 272-6598 Fax () E-mail Tumblingtoddlers1c@gmail.com

* All staff correspondence will be sent only to one designated contact person.
 * Addresses and telephone numbers do not have to be repeated if provided above.

Request

Location address 112 N Rogers St. Pooler GA 31322
 Current Zoning C-1 and Main St. Overlay Present use Daycare/child care

Provide a brief description of proposed use on subject property. Describe those things, which you feel justify the action requested. List the specific sections of the Zoning Ordinance which have a bearing on your request:

Childcare facility, C-1 and Main St. Overlay
Property is already zoned for a childcare/Daycare.

Description of the activities, # of units and hours of operation of the proposed conditional use:
Childcare facility, Circle time, Songs, Schooling, Free play, playground time, meal time etc... Hrs - 6:30am - 5:00pm

A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: May 6 2024 - August 30 2024 (or sooner)

A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding properties before, during and after the completion of development activities:

Landscaping, privacy fence, expansion of parking lot, painting parking signage



Conditional Use Standards

Review Criteria

- *The planning commission shall hear and make recommendations upon such uses in a district that are permitted as conditional uses. The application to establish such use shall be approved by the city council on a finding that:*
 1. The proposed use will not be contrary to the purpose of this ordinance,
 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers,
 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use,
 4. The proposed use will not be affected adversely by the existing uses of adjacent properties,
 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use,
 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met; **and**,
 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Additional Mitigation Requirements

- The Planning Commission may suggest and the Mayor and Council may impose or require such additional restrictions and standards (e.g., increased setbacks, buffer strips, screening, etc.):
 1. As may be necessary to protect the health and safety of workers and residents in the community; and
 2. To protect the value and use of property in the general neighborhood.

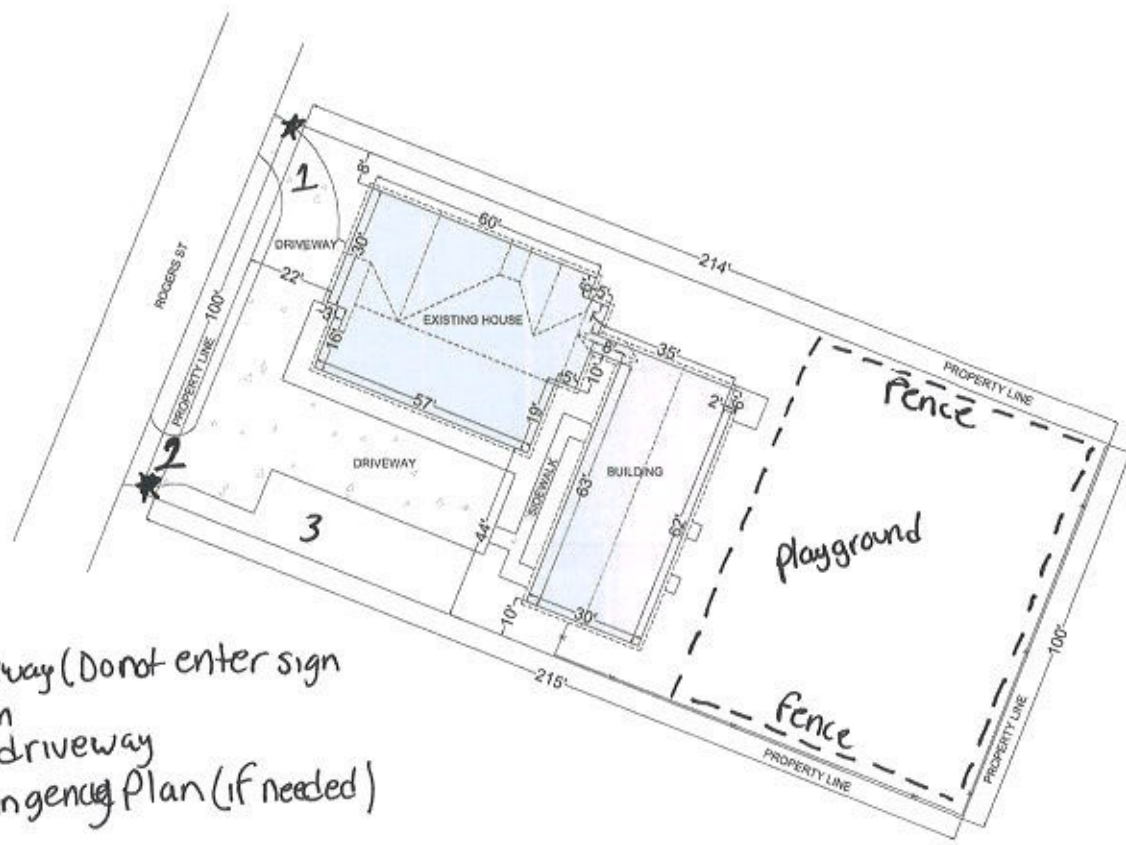
If you have any questions concerning this information please contact Kim Classen @ (912) 748-7261 or kclassen@pooler-ga.gov

Applicant/Owner initial as received

Conditional Use Standards Summary

- **Justification:** The property located at 112 N Rogers St. is in zoning district (C-1 and Main St. Overlay). According to the zoning, a Daycare/Child Care Facility use is permitted for this location.
- The use of a Child Care Facility will not be detrimental to the neighborhood, resident's, health and safety, adjacent properties or workers.
- The use of a Child Care Facility will not constitute a nuisance, hazard, noise or fumes during operation hours. Normal Child Care Facility operations will consist of a daily schedule that includes breakfast, morning circle time, free play , morning snack, morning outside, nap time , afternoon snack , afternoon free play, afternoon outside and pick up.
- The use of a Child Care Facility will not affect the existing use of adjacent properties.
- The use of a Child Care Facility placed on this lot has sufficient space required for said use.

*NOTE: FOR THE SCALE TO BE CORRECT SHEET MUST BE PRINTED ON 11" x 17"



1. Circular driveway (Do not enter sign)
2. one way sign
3. Expansion of driveway
4. Traffic Contingency Plan (if needed)

NOTES:

SITE PLAN

ADDRESS:
 112 ROGERS ST
 POOLER, GA 31322

PARCEL ID: 50006 08005

LOT AREA: 21,083 SQ.FT.

PLOT SIZE: 11" X 17"

DRAWING SCALE: 1"=30'



Contingency Traffic Plan

112 N Rogers St. Pooler Ga, 31322

Tumbling Toddlers Learning Center # 3

Tumblingtoddlerslc@gmail.com

Purpose: This Contingency Traffic Plan is in place to provide adequate clarification on the future facilities traffic flow and safety operations.

-One Way Arrival and Departures:

1. Traffic will be one way entering from N Rogers St. and Hwy 80.
2. Parents shall only enter through the N Rogers and Hwy 80 side on to the circular driveway for pick up and drop off. A "one way sign" shall be placed at the beginning of the circular driveway. A do not enter sign shall be placed at the ending of the circular driveway on the opposite end.

-Pick up and Drop off:

1. Parents shall drop off children between 6:00am-9:00am. When exiting the circular driveway during drop off, Parents shall make a right turn on to N Rogers St. to avoid any possible traffic jams during this time. Approximately 6-7 compact vehicles are able to pull in on to the circular driveway at a time.
2. In the event traffic generated from the facility begin to impact adjacent roadways in the morning or evening, Parents will receive schedule times in 5 minute increments to ensure the proper flow of traffic.
3. Pick up will end at 5:00pm Monday-Friday. Center will be closed on weekends.
4. Staff will also enter on the Hwy 80 side and park on the paved parking lot for employees.



Exhibit's Explanation Sheet

- **Exhibit 1:** Front view of 112 N Roger St.
- **Exhibit 2:** Front view of employee parking area. The grass area will be expanded for a larger parking lot.
- **Exhibit 3:** Front view of circular driveway. A “Do Not Enter / Wrong way” sign will be placed at the end of the driveway for clarification of correct traffic flow.
- **Exhibit 4:** Front view of circular driveway. A “Enter” sign will be placed at the beginning of the driveway for clarification of correct traffic flow.
- **Exhibit 5:** Front view of Childcare Center entering from Hwy 80 onto Morgan St.
- **Exhibit 6:** Front view of Childcare Center located at 112 Morgan St. This Center is Located 1 Block over from 112 N Rogers St.
- **Exhibit 7:** Front/side view of Childcare Center showing partial view of the driveway/ parking lot.
- **Exhibit 8:** Front view of Childcare Center's Parking lot.
- **Exhibit 9:** Close up front view of Childcare Center's employee parking lot.
- **Exhibit 10:** Tumbling Toddlers Learning Center located at 601 E Montgomery Crossroads. (Example of a Childcare Center operating on a busy street)
- **Exhibit 11:** Intersection of Montgomery Crossroads & Lyn Ave. Front view of Tumbling Toddlers Learning Center #2 Across the street.
- **Exhibit 12:** Front view, Driveway and employee of Tumbling Toddlers Learning Center # 2 located at 24 Weiner Dr.
- **Exhibit 13:** Example of the front view of Childcare Center with “Do Not Enter/ Wrong way sign).

- **Exhibit 14:** Front view of Childcare Centers employee Parking on the side of circular drive way.
- **Exhibit 15:** Example of the front view of the correct way to enter into the circular driveway for pick up and drop off. Parents are to enter and pull all the way to the “ Do not Enter sign” so that approximately 4-5 cars can pull in at once.
- **Exhibit 16:** Example of the front view of the circular driveway where Parents enter for drop off and pick up.



Panei Mckinnon <paneimckinnon2370@gmail.com>

(no subject)

1 message

Panei Mckinnon <tumblingtoddlerslc@gmail.com>
To: paneimckinnon2370@gmail.com

Thu, Apr 4, 2024 at 12:50 PM





Panei Mckinnon <paneimckinnon2370@gmail.com>

(no subject)

1 message

Panei Mckinnon <tumblingtoddlerslc@gmail.com>

Thu, Apr 4, 2024 at 12:54 PM

To: paneimckinnon2370@gmail.com



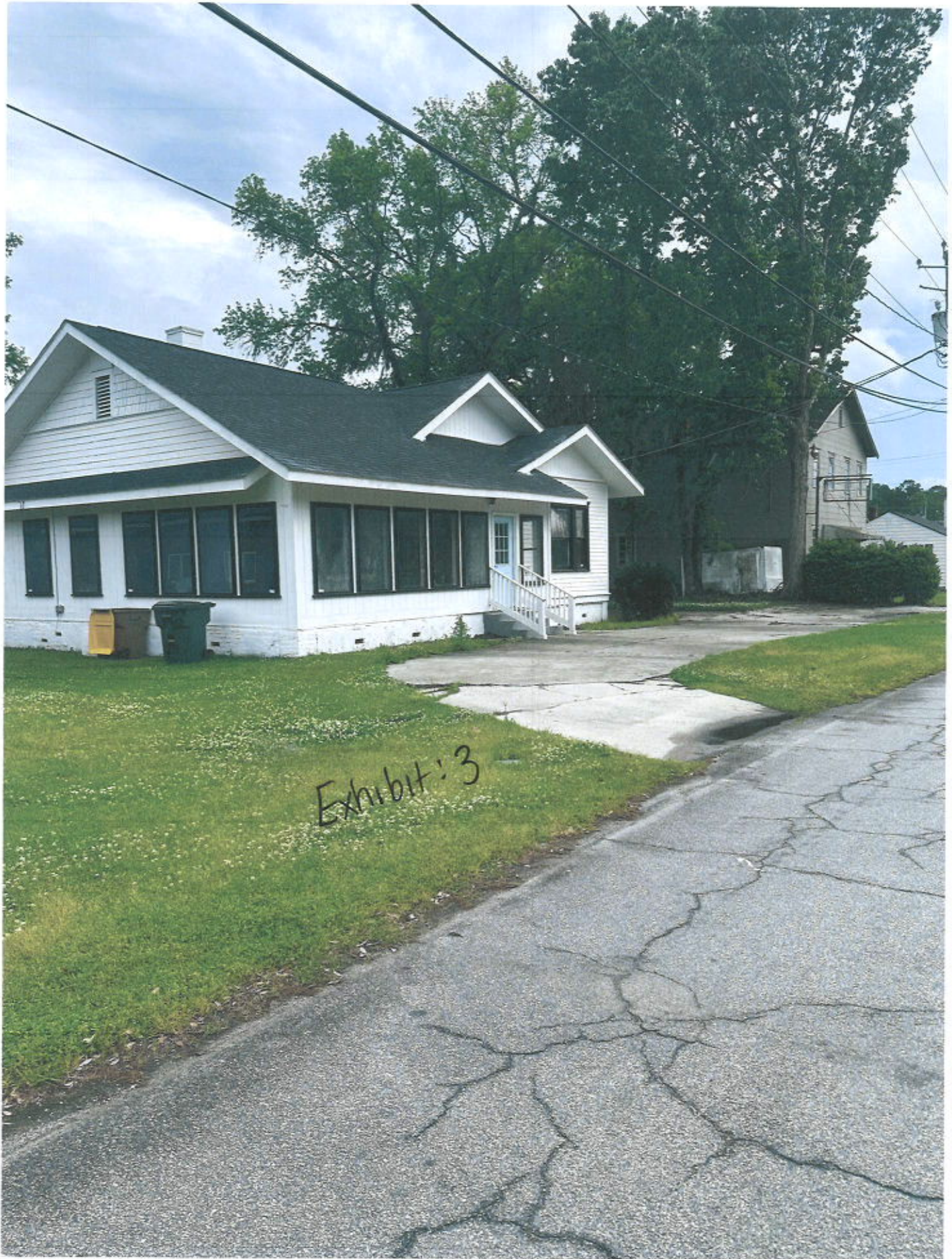
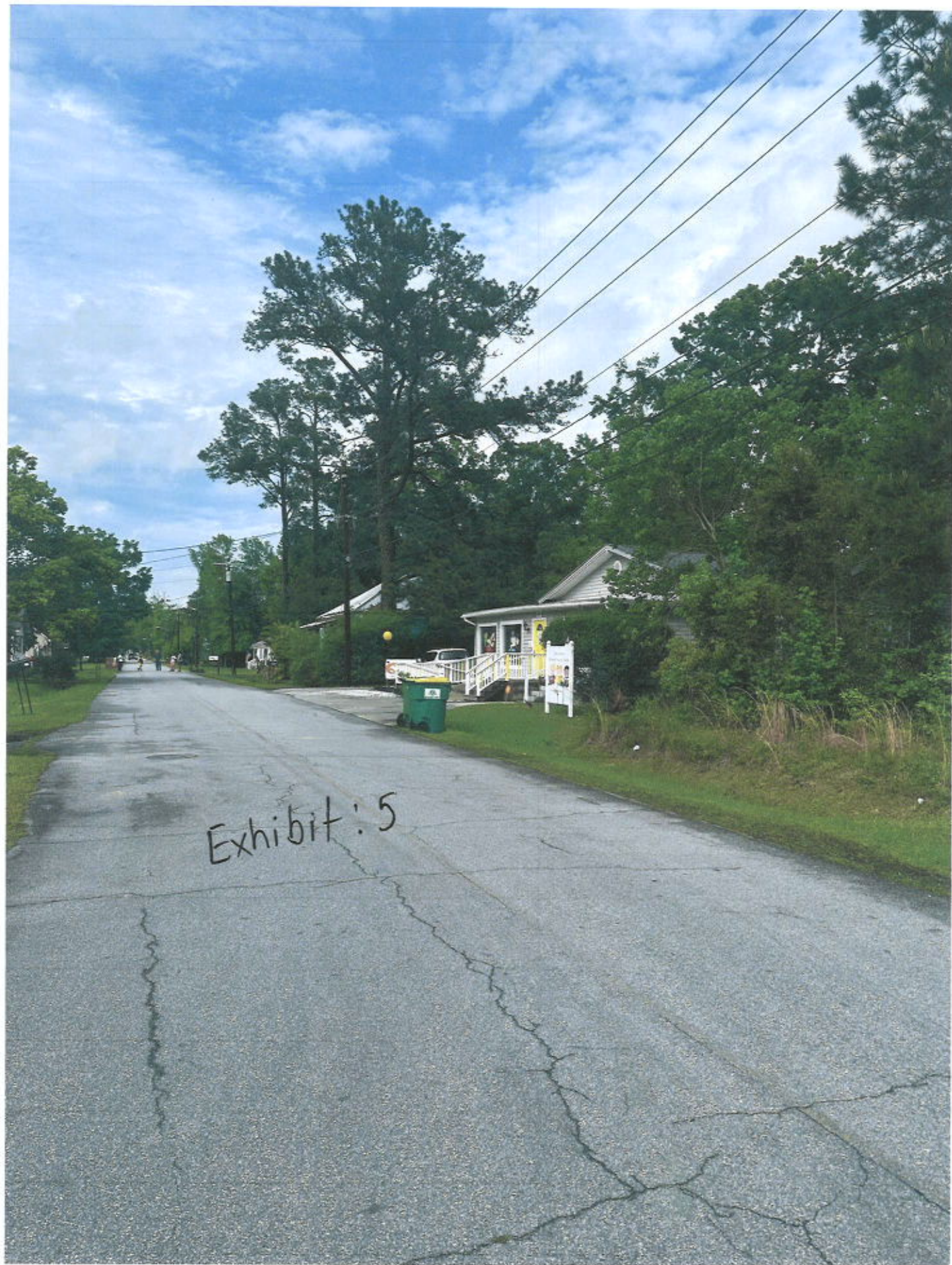


Exhibit: 3







Panei Mckinnon <paneimckinnon2370@gmail.com>

(no subject)

1 message

Panei Mckinnon <tumblingtoddlerslc@gmail.com>

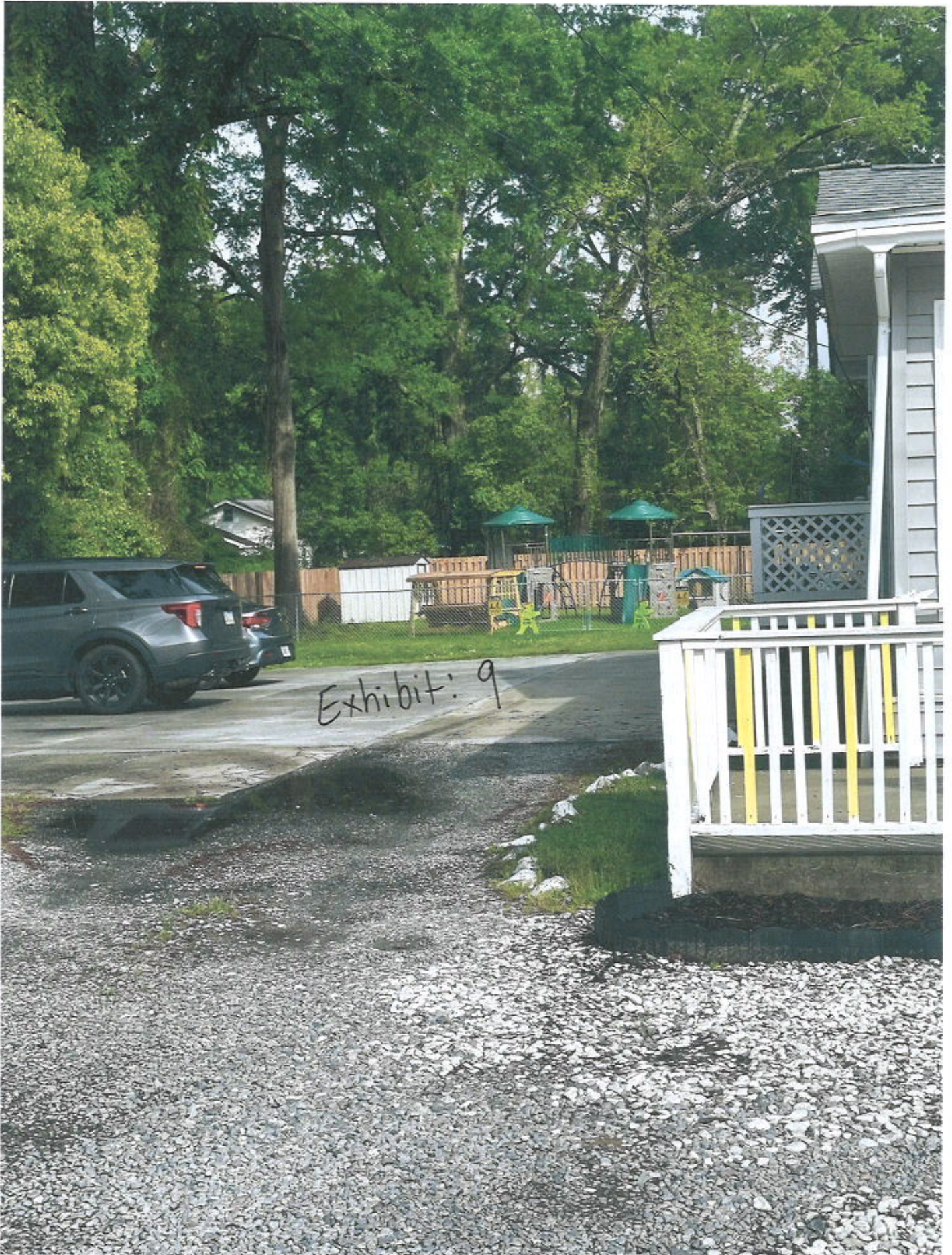
Thu, Apr 4, 2024 at 12:59 PM

To: paneimckinnon2370@gmail.com











Panei Mckinnon <paneimckinnon2370@gmail.com>

(no subject)

1 message

Panei Mckinnon <tumblingtoddlerslc@gmail.com>

Thu, Apr 4, 2024 at 12:45 PM

To: paneimckinnon2370@gmail.com



Exhibit: 10

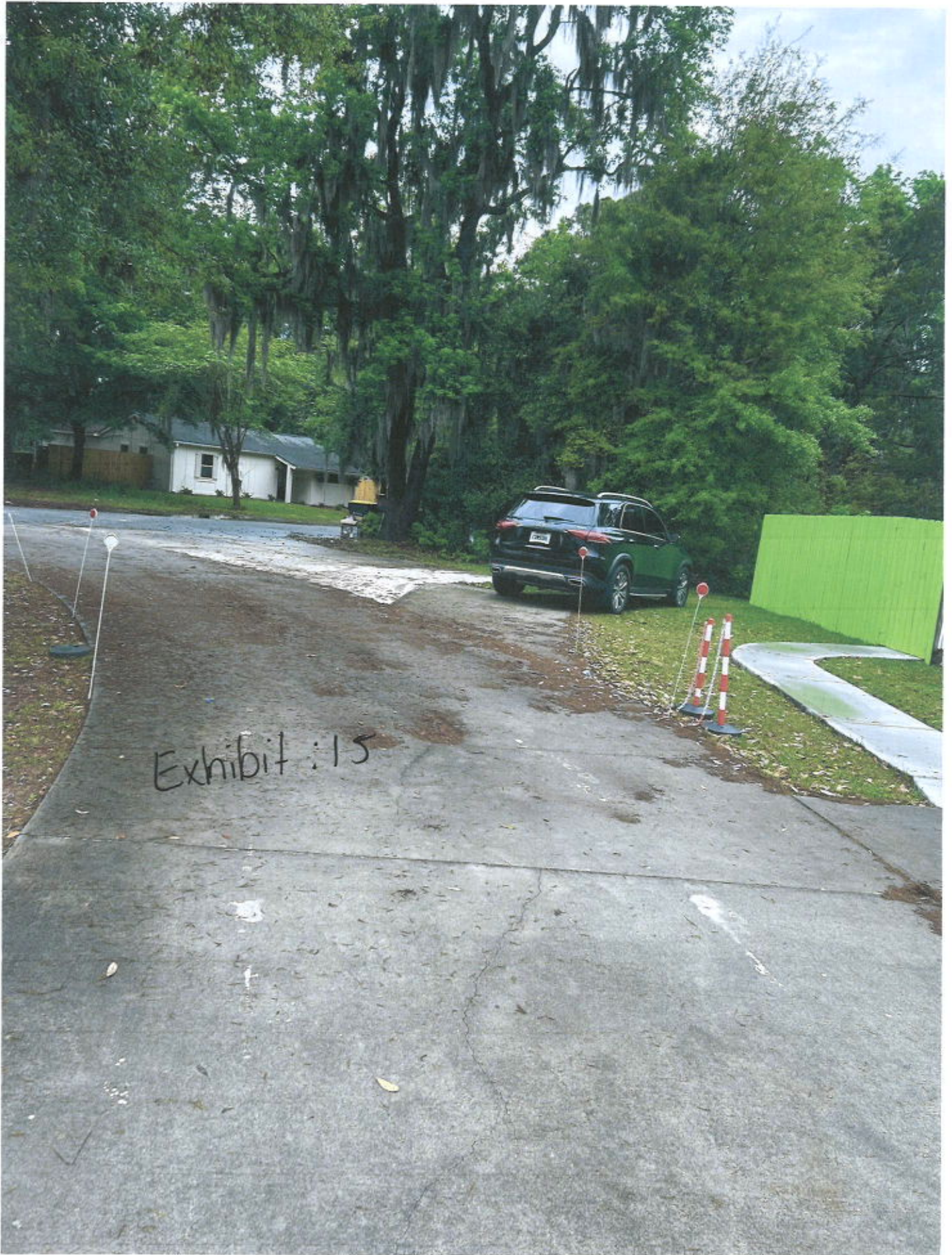






Exhibit: 13









CITY of POOLER
— GEORGIA —

CITY COUNCIL Regular Meeting - Agenda Item

May 6, 2024 at 6:00 PM

Pooler City Hall, 100 US Hwy 80 SW, Pooler, GA 31322

TITLE: Site Plan for National Museum of the Mighty Eighth Air Force, Phase II Expansion

MEETING DATE: May 6, 2024

DEPARTMENT: Administration

BACKGROUND & DISCUSSION:

COMMISSION RECOMMENDATION:

STAFF RECOMMENDATION:

ATTACHMENTS:

1. 9F_Site Plan for National Museum of the Mighty Eighth Air Site Plan -Mighty 8th Council Packet



CITY of POOLER
— GEORGIA —

PLANNING & ZONING STAFF REPORT
Site Plan for Mighty 8th Air Force Museum Expansion

Project:	#AA1152
P&Z Meeting Date:	April 22, 2024
City Council Meeting Date:	May 6, 2024
Applicant and Authorized Agent:	Tom Havens, Coastal Civil Engineering (Applicant)
Location (Address):	175 Bourne Avenue
Parcel (PIN):	50985 02005
Acreage:	11.36 total – 0.73 disturbed
Zoning:	C-2 (Heavy Commercial)
Proposed Use:	Museum Expansion
Staff Recommendation:	Denial for Planning & Zoning Meeting. All site plan comments have since been addressed, therefore staff is recommending <u>approval</u> .
Planning & Zoning Commission:	<i>P&Z recommended Council defer any action until all staff comments have been addressed.</i>
<i>Recommended Motion:</i>	<i>"After review of the criteria, move for approval of the request."</i>
Zoning Action Standards:	<ol style="list-style-type: none"> 1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. <ul style="list-style-type: none"> ○ The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the FLUM designation and Character Area. 2. Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App. A, Art. III for traffic access.
3. Whether the site plan provides for adequate space for off-street parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to development standards for commercial development, including setbacks, height and Chapter 74, Art. VI for lighting.
 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for commercial development, and setback and buffer standards.
 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI; Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by any other public services for current or projected needs.
 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other

landscaping, which may provide a visual or noise-detering buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.

10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.

- The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion: The site plan addresses the site plan approval criteria. As such, staff recommends **Approval** of the request.


Attachments:

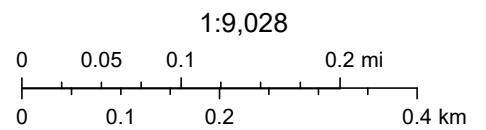
- A. Vicinity Map
- B. Approval Letter
- C. Plans

ATTACHMENT A
SAGIS Map Viewer



5/1/2024, 3:54:29 PM

 Property Boundaries (Parcels)



SAGIS



May 1st, 2024

Thomas G. Havens, P.E.
Coastal Civil Engineering
3001 ½ River Dr
Thunderbolt, GA 31404

Dear Mr. Havens,

I am pleased to provide you with a recommendation for Approval of the site development plans submitted for National Museum of the Mighty 8th Airforce - Phase 2, which is provided below.

<u>Submittal Documents:</u>	Site Development Plan.....	<i>May 2024</i>
	Stormwater Management Report.....	<i>May 2024</i>
	Stormwater Maintenance Agreement.....	<i>May 2024</i>
	Fire Flow Calculations.....	<i>March 2024</i>
	Geotechnical Report.....	<i>March 2024</i>
	Technical Traffic Memorandum.....	<i>March 2024</i>

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, State and Federal Laws and Engineering Standards, and all Development Codes that apply to the City of Pooler. This review is not to be construed as a check of every item in the plans or construction. Failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for all testing and inspections of their project during construction, and they also are fully responsible that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible that their designs are in compliance to all Federal, State, and City codes and regulations. All required permits and approvals, pursuant to land disturbing activities and land development shall be provided and found acceptable to the City of Pooler. All the applicable required testing results, permits, and related material must be available to the City of Pooler, or assigned representation, during and after the construction is complete.





EOM Operations
Your solution to a better tomorrow

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend Approval of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker

Trevor Shoemaker

Project Manager

EOM

CC: Nicole Johnson; Director of Planning and Development – City of Pooler
Liberto Chacon, PE; Sr. Vice President of Operations – EOM



480 Edsel Drive, Ste 100
Richmond Hill, GA 31324



www.eomworx.com



Ph: 912.445.0050
F: 912.756.5882

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A 12,600 BUILDING ADDITION TO THE MIGHTY EIGHTH AIRFORCE MUSEUM AND ASSOCIATED PARKING AND UTILITIES.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0129G, REVISED 8/16/18, THIS PROPERTY LIES IN ZONE X, NOT A 100 YEAR FLOOD ZONE.
 THE CURRENT ZONING FOR THE PROPERTY IS C-2.
 TOTAL PROPERTY ACREAGE = 11.36 AC
 DISTURBED ACREAGE = 0.73 AC
 MAXIMUM BUILDING HEIGHT = 28'-8" TO EAWE
 THERE ARE NO WETLANDS ON THIS SITE.

LANDSCAPE CALCULATIONS

REQUIRED TREE COVERAGE, ENTIRE PROPERTY=15 TREES PER ACRE OF DEVELOPABLE LAND
 TREES REQUIRED=11.36 x 15=170 TREES
 TREES PRESENT ON PROPERTY (DISCOUNTING NUMEROUS PINES)= 178 TREES
 PROJECT WILL REMOVE 4 TREES AND ADD 8 TREES, NET GAIN OF 7 TREES
 TREES PROVIDED/EXISTING=178+7=185>170 = OK

PARKING CALCULATIONS

PARKING PROVIDED BEFORE MUSEUM IMPROVEMENTS PHASE 2 = 165 SPACES + 6 HANDICAP SPACES=171
 PARKING PROVIDED AFTER MUSEUM IMPROVEMENTS PHASE 2 = 175 + 6 HANDICAP SPACES = 181
 PER ADA STANDARDS, CHAPTER 2, TABLE 208.2, 151-200 SPACES PROVIDED REQUIRE 6 HANDICAP ACCESSIBLE PARKING SPACES.
 REQUIRED=6, PROVIDED=6 = OK

NEW USES: EVENT SPACE (324 SEATS), OFFICE SPACE AND STORAGE
 REQUIRED=
 EVENT SPACE: .75 PARKING SPACES/4 SEATS
 OFFICE SPACE: 1 PARKING SPACE/300 SF
 $324(.75)/4+645 SF/300=63$ SPACES
 PROVIDED IN TOTAL=179 SPACES
 (179 > 63 SPACES = OK)

BUILDING & STRUCTURE SETBACKS

FOR C-2 ZONING DISTRICT PER ARTICLE 11 SECTION6, TABLE B:
 FRONT YARD SETBACK = 60 FEET
 SIDE YARD SETBACK = 10 FEET
 REAR YARD SETBACK = 10 FEET

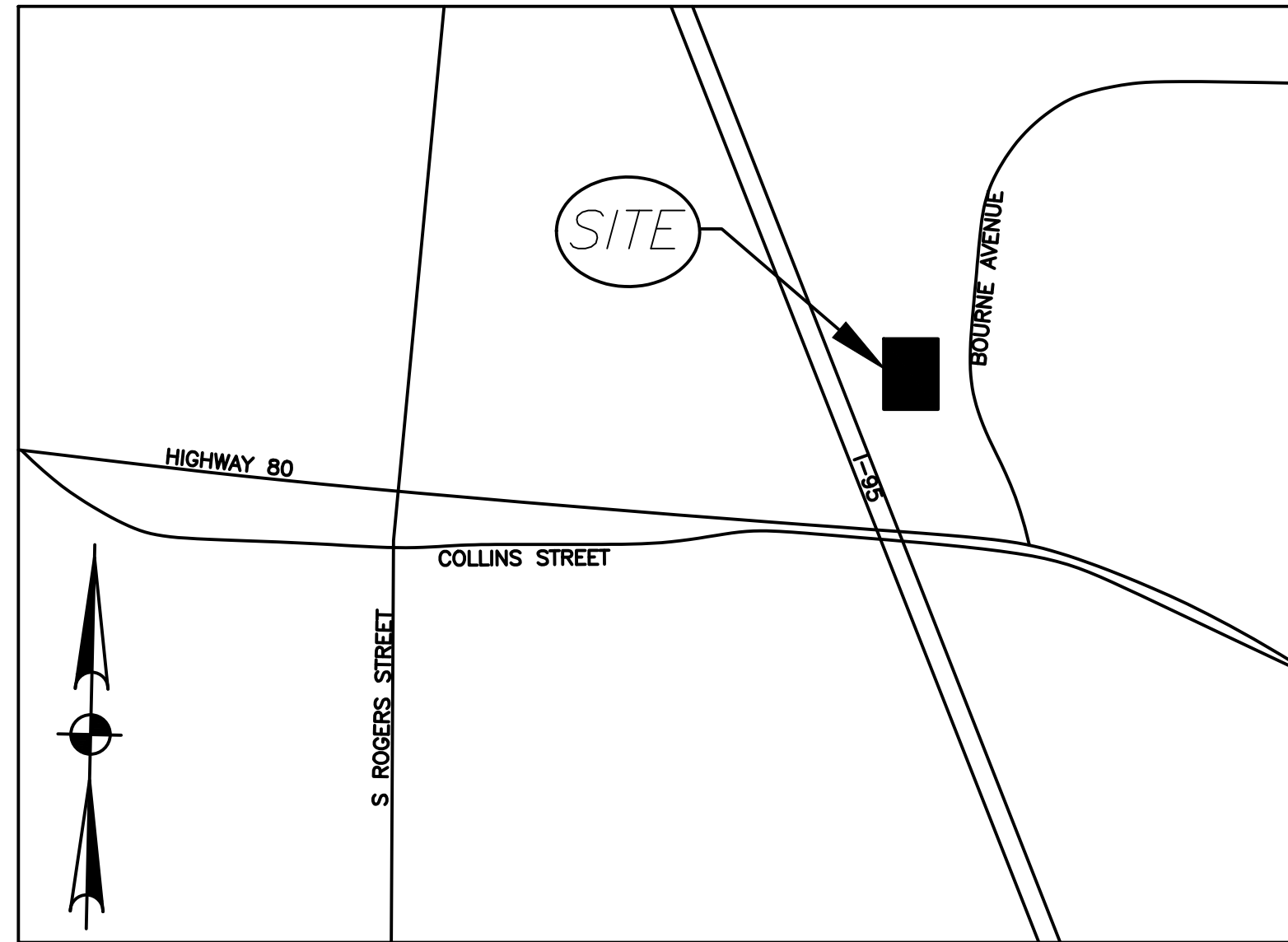
*NOTE: NO STRUCTURE CONSTRUCTION PROPOSED WITHIN YARD SETBACK AREAS.

ABBREVIATIONS

AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AGGR	AGGREGATE	MH	MANHOLE
ALT	ALTERNATE	MON	MONUMENT
&	AND	MW	MONITORING WELL
APPROX	APPROXIMATE		
⊙	AT	N	NORTH
		(N)	NORTH
		NO.	NUMBER
		NTS	NOT TO SCALE
BC	BACK OF CURB	OC	ON CENTER
BCR	BEGIN CURB RETURN	OH	OVER HEAD
BGS	BELOW GRADE SURFACE	OHE	OVER HEAD ELECTRICAL
BVC	BEGIN VERTICAL CURVE	OHT	OVER HEAD TELEPHONE
BVCE	BEGIN VERTICAL CURVE ELEVATION	OHU	OVER HEAD UTILITY
BSW	BACK OF SIDEWALK	ORN	ORNAMENTAL
BW	TOP OF BOARDWALK DECK		
CB	CATCH BASIN		
C&G	CURB AND GUTTER		
CL	CLASS	PAV	PAVING
⊕	CENTERLINE	POC	PORTLAND CEMENT CONCRETE
CO	CLEANOUT	PE	PEDESTRIAN
CONC	CONCRETE	PI	POINT OF INTERSECTION
CLR, CL	CLEARANCE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CP	CONTROL POINT	PROP	PROPERTY
CULV	CULVERT	PRC	POINT OF REVERSE CURVE
		PRVC	POINT OF REVERSE VERTICAL CURVE
DBC	DEPRESSED BACK OF CURB	PT	POINT
DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE
DI	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
D/W, DW, DWY	DRIVEWAY	R	RADIUS
EA	EACH	RC	RELATIVE COMPACTION
E, ELEC	ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE	REINF	REINFORCED
ECR	END CURB RETURN	REQ	REQUIRED, REQUIREMENT
EG	EXISTING GROUND	RSP	ROCK SLOPE PROTECTION
EL, ELEV	ELEVATION	RT	RIGHT
EP	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
EXIST	EXISTING		
(E)	EAST	S	SLOPE OR SOUTH
EVC	END VERTICAL CURVE	(S)	SOUTH
EVCE	END VERTICAL CURVE ELEVATION	SCHED	SCHEDULE
		SD	STORM DRAIN
		SECT	SECTION
FF	FINISHED FLOOR	SHT	SHEET
FG	FINISHED GRADE	SL	STREET LIGHT
FH	FIRE HYDRANT	SPEC	SPECIFICATIONS
FL	FLOW LINE	SS	SANITARY SEWER
FT	FEET	SSMH	STORM DRAIN MANHOLE
		SSMH	SANITARY SEWER MANHOLE
G	GAS	STA	STATION
GB	GRADE BREAK	STD	STANDARD
GND	GROUND	ST	STREET
GRAV	GRAVEL	S/W	SIDEWALK
GV	GATE VALVE		
H, HORZ	HORIZONTAL	T	TELEPHONE
IC	INTERCONNECT	TB	TOP OF BANK
ID	INSIDE DIAMETER	TBM	TEMPORARY BENCH MARK
IG	INVERT GRADE	TD	TOP OF DECK (BOARDWALK)
IN	INCH	TEL	TELEPHONE
INV	INVERT	TG	TOP OF GRATE
		TL	TRAFFIC LIGHT
		TP	TOP OF PAVEMENT
		TS	TOP OF SIDEWALK
		TS	TOP OF SURFACE
		TV	TYPICAL TELEVISION
JP	JOINT POLE		
JT	JOINT	UG	UNDERGROUND
JUNCT	JUNCTION	VC	VERTICAL CURVE
LF	LINEAR FEET	VG	VALLEY GUTTER
L/G	LIP OF GUTTER		
LT	LEFT	W/O	WITH
		W	WITH OUT WATER

IMPROVEMENT PLANS FOR NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE MUSEUM IMPROVEMENTS PHASE 2 175 BOURNE AVENUE P.I.N. 5-0985-02-005

CITY OF POOLER, GA



VICINITY MAP

NO SCALE

GENERAL NOTES

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS.
- THE CONTRACTOR SHALL INDEPENDENTLY REVIEW GROUND, TOPOGRAPHY, AND TREE CONDITIONS THROUGHOUT THE SITE, AND ASSUME WHOLELY AND UNCONDITIONALLY THE RISK OF COMPLETING THE WORK SET OUT IN THESE PLANS, REGARDLESS OF ROCK, WATER TABLE, OR OTHER CONDITIONS WHICH THE CONTRACTOR MAY ENCOUNTER IN THE COURSE OF THE WORK.
- ANY DISCREPANCY DISCOVERED BY THE CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY THE CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE OWNER IMMEDIATELY UPON DISCOVERY. SAID NOTIFICATION SHALL BE IN WRITING.
- NO GUARANTEE IS INTENDED THAT UNDERGROUND UTILITIES OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS MAY NOT BE ENCOUNTERED. THOSE SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE AND THE CONTRACTOR IS CAUTIONED THAT THE OWNERS, THE ENGINEERS, AND THE ARCHITECT ASSUME NO RESPONSIBILITY FOR ANY EXISTING UTILITIES OR OBSTRUCTIONS, EITHER SHOWN OR NOT ON THESE PLANS.
- THE CONTRACTOR SHALL NOT BEGIN EXCAVATION UNTIL ALL EXISTING UTILITIES HAVE BEEN MARKED IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE WORKING DAYS PRIOR TO EXCAVATION (800) 282-7411.
- ALL GRADING SHALL BE IN CONFORMANCE WITH APPLICABLE PROVISIONS OF THE UBC, THE PROJECT GEOTECHNICAL REPORT ENTITLED, "PROPOSED MUSEUM IMPROVEMENTS PHASE 2, 8TH AIR FORCE MUSEUM, 175 BOURNE AVENUE, POOLER, GA, PROJECT NO. 01-13-22-5" AS PREPARED BY WHITAKER LABORATORY, INC. DATED 1/13/22, AND CITY OF POOLER STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH THE SOILS ENGINEER.
- ALL UNUSABLE MATERIAL, STUMPS, TREES, BOULDERS AND EXCESS SOIL SHALL BE REMOVED AND DISPOSED OF OFF THE PROJECT SITE UNLESS OTHERWISE PERMITTED BY THE OWNER.
- NO JETTING OR FLOODING OF BACKFILL SHALL BE PERMITTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING PAVED ROADS OF DIRT, MUD, AND DEBRIS CAUSED BY HIS CONSTRUCTION OPERATIONS. MUD, DIRT AND DEBRIS SHALL BE REMOVED DAILY. SHOULD THESE ITEMS CONSTITUTE A PUBLIC HAZARD OR NUISANCE, THEY SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PROMPTLY CLEAN STREETS WHEN REQUESTED BY THE DESIGNATED REPRESENTATIVE OF CITY OF POOLER.
- GRADING EQUIPMENT SHALL BE ADEQUATELY MUFFLED TO REDUCE THE NOISE IMPACT ON ADJACENT PROPERTIES. EQUIPMENT SHALL NOT OPERATE ON THE SITE PRIOR TO 8 A.M. OR AFTER 5 P.M. ON WEEKDAYS, AND SHALL NOT BE OPERATED ON WEEKENDS OR HOLIDAYS.
- ANY MATERIALS, WORKMANSHIP, AND CONSTRUCTION WITHIN POOLER RIGHT-OF-WAY SHALL CONFORM TO THE CITY TECHNICAL SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS.
- ALL WORK AND EQUIPMENT SHALL COMPLY WITH OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT PRIOR TO BEGINNING ANY WORK IN ANY ROADWAY, RIGHT-OF-WAY, ETC. FROM POOLER.
- CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORMWATER SYSTEM.
- ALL TRENCH BEDDING AND BACKFILL SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND DETAILS ON DRAWINGS.
- DUST CONTROL MEASURES SHALL BE INSTITUTED DURING GRADING ACTIVITIES TO PREVENT A DUST NUISANCE TO ADJACENT PUBLIC AND PRIVATE PROPERTIES.
- THE CONTRACTOR SHALL OBTAIN A SITE GRADING PERMIT FROM POOLER PRIOR TO THE COMMENCEMENT OF ANY GRADING ON THE SITE.
- EXISTING UTILITY POINTS OF CONNECTIONS AND POTENTIAL UNDERGROUND CONFLICTS SHALL BE POTHOLED AND VERIFIED PRIOR TO ORDERING ANY PRECAST CONCRETE STRUCTURE.

CIVIL ENGINEER
 TOM HAVENS
 COASTAL CIVIL ENGINEERING
 3001 1/2 RIVER DRIVE
 THUNDERBOLT, GA 31404
 (912) 232-9402
 TOMHAVENS@COASTALCIVIL.COM

ARCHITECT
 ROBERT PORTMAN
 BARNARD ARCHITECTS
 220 EAST HALL STREET
 SAVANNAH, GA 31401
 (912) 232-6173
 ROBERT@BARNARDARCHITECTS.COM

DEVELOPER/OWNER
 NATIONAL MUSEUM OF THE
 MIGHTY EIGHTH AIR FORCE
 175 BOURNE AVENUE
 POOLER, GA
 SCOTT LOEHR
 (912) 748-8888 x107
 SLOEHR@MIGHTYEIGHTH.ORG

INDEX TO SHEETS

SHEET C1	COVER SHEET
SHEET C2	EXISTING CONDITIONS
SHEET C3	DEMOLITION PLAN
SHEET C4	CIVIL SITE LAYOUT
SHEET C5	GRADING AND DRAINAGE PLAN
SHEET C6	CIVIL UTILITY PLAN & SEWER PROFILE
SHEET C7-9	MISCELLANEOUS DETAILS
SHEET C10-14	EROSION AND SEDIMENT CONTROL PLANS
SHEET L1	LANDSCAPE PLAN
SHEET F1	FIRE PROTECTION EXHIBIT
SHEET E1.0	SITE ELECTRICAL (LIGHTING) PLAN

LEGEND

EXISTING		PROPOSED
6" SS	SANITARY SEWER	6" SS
●	SANITARY SEWER CLEANOUT	○
⊙	SANITARY SEWER MANHOLE	⊙
△	CONTROL POINT	△
⊙	CITY MONUMENT	⊙
TS	TRAFFIC SIGNAL	TS
□	SPLICE BOX	□
□ MB	MAILBOX	□ MB
DRIVEWAY	DRIVEWAY	DRIVEWAY
STORM DRAIN W/MANHOLE	STORM DRAIN W/MANHOLE	STORM DRAIN W/MANHOLE
TELEPHONE	TELEPHONE	TELEPHONE
WATER	WATER	WATER
ELECTRIC	ELECTRIC	ELECTRIC
GAS	GAS	GAS
APPROXIMATE RIGHT OF WAY LINE	APPROXIMATE RIGHT OF WAY LINE	APPROXIMATE RIGHT OF WAY LINE
STREET ADDRESS	STREET ADDRESS	STREET ADDRESS
SIDEWALK/CURB & GUTTER	SIDEWALK/CURB & GUTTER	SIDEWALK/CURB & GUTTER
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
STREET LIGHT CONDUIT	STREET LIGHT CONDUIT	STREET LIGHT CONDUIT
HANDICAP RAMP	HANDICAP RAMP	HANDICAP RAMP
WATER VALVE	WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
WATER METER	WATER METER	WATER METER
MONITORING WELL	MONITORING WELL	MONITORING WELL
DROP INLET	DROP INLET	DROP INLET
TREE	TREE	TREE
CATCH BASIN	CATCH BASIN	CATCH BASIN
POLE AND GUY WIRE	POLE AND GUY WIRE	POLE AND GUY WIRE
STRIPING	STRIPING	STRIPING
STREET LIGHT	STREET LIGHT	STREET LIGHT
POLE	POLE	POLE
SINGLE POST SIGN	SINGLE POST SIGN	SINGLE POST SIGN
PAVEMENT MARKERS	PAVEMENT MARKERS	PAVEMENT MARKERS
EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT
PRESERVE TREE	PRESERVE TREE	PRESERVE TREE
REMOVE TREE	REMOVE TREE	REMOVE TREE
CONCRETE PAVING	CONCRETE PAVING	CONCRETE PAVING
SIDEWALK	SIDEWALK	SIDEWALK
EROSION CONTROL SEED APPLICATION	EROSION CONTROL SEED APPLICATION	EROSION CONTROL SEED APPLICATION
BENCHMARK LOCATION	BENCHMARK LOCATION	BENCHMARK LOCATION

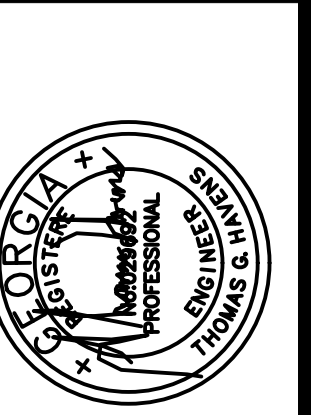
UTILITIES PROTECTION CENTER
 CALL THREE WORKING DAYS BEFORE YOU DIG
 THROUGHOUT GEORGIA
 811

NOTE: CITY OF POOLER RETAINS THE RIGHT TO ACCESS PROPERTY TO INSPECT STORMWATER FACILITIES.

BENCH MARK

PK NAIL IN ASPHALT
 NAVD88
 EL:20.58'

NO.	DATE	REVISION	BY
1	2/14/24	CITY OF POOLER COMMENTS	TH
2	4/18/24	CITY OF POOLER COMMENTS	TH



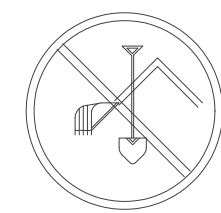
NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
 MUSEUM IMPROVEMENTS PHASE 2
 P.I.N. 5-0985-02-005
 COVER SHEET
 POOLER, GEORGIA



DATE 2/15/24
 DRAWN BY CHECKED JH TH
 DRAWING NUMBER C1 of C14

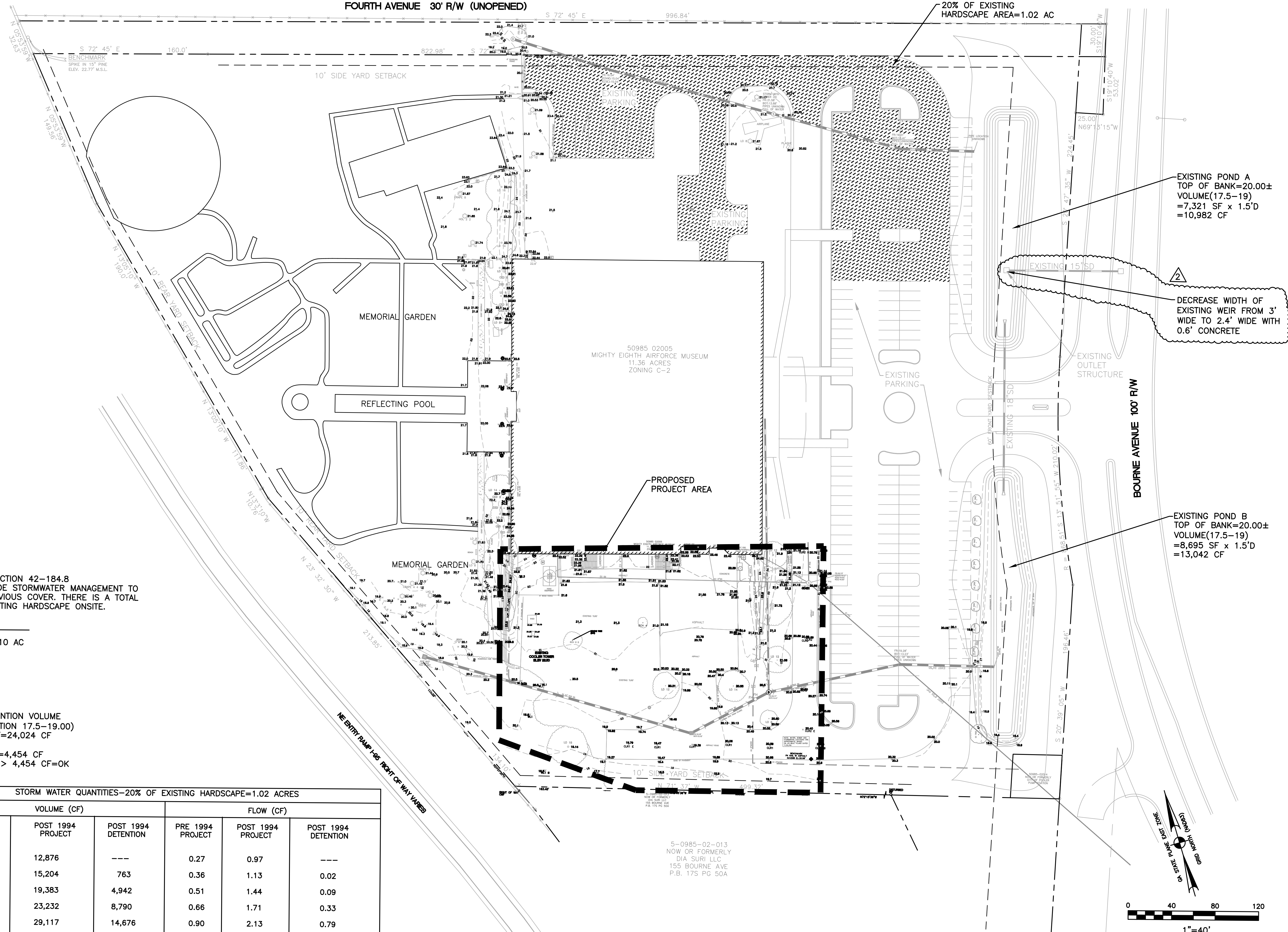
UTILITIES PROTECTION CENTER

CALL THREE WORKING DAYS BEFORE YOU DIG THROUGHOUT GEORGIA 811



FOURTH AVENUE 30' R/W (UNOPENED)

20% OF EXISTING HARDSCAPE AREA=1.02 AC



EXISTING POND A
TOP OF BANK=20.00±
VOLUME(17.5-19)
=7,321 SF x 1.5'D
=10,982 CF

DECREASE WIDTH OF EXISTING WEIR FROM 3' WIDE TO 2.4' WIDE WITH 0.6' CONCRETE

EXISTING POND B
TOP OF BANK=20.00±
VOLUME(17.5-19)
=8,695 SF x 1.5'D
=13,042 CF

PER CITY ORDINANCE SECTION 42-184.8 EXISTING SITE TO PROVIDE STORMWATER MANAGEMENT TO 20% OF EXISTING IMPERVIOUS COVER. THERE IS A TOTAL OF 5.10 ACRES OF EXISTING HARDSCAPE ONSITE.

SUBJECT AREA

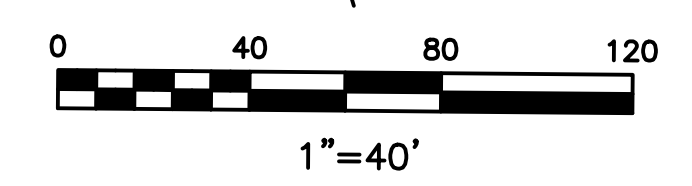
EXISTING IMPERVIOUS=5.10 AC
5.10 AC(.20)=1.02 AC
CN PRE=80
CN POST=98
V25 PRE=21,181 CF
V25 POST=29,117 CF
ΔV25=7,936 CF

EXISTING AVAILABLE DETENTION VOLUME (IN POND A & B, ELEVATION 17.5-19.00)
10,982 CF + 13,042 CF=24,024 CF

1.2" RRV OVER 1.02 AC=4,454 CF
24,024 CF > 7,936 CF > 4,454 CF=OK

STORM WATER QUANTITIES-20% OF EXISTING HARDSCAPE=1.02 ACRES

STORM	VOLUME (CF)			FLOW (CF)		
	PRE 1994 PROJECT	POST 1994 PROJECT	POST 1994 DETENTION	PRE 1994 PROJECT	POST 1994 PROJECT	POST 1994 DETENTION
1 YR	6,684	12,876	---	0.27	0.97	---
2 YR	8,614	15,204	763	0.36	1.13	0.02
5 YR	12,247	19,383	4,942	0.51	1.44	0.09
10 YR	15,720	23,232	8,790	0.66	1.71	0.33
25 YR	21,181	29,117	14,676	0.90	2.13	0.79
50 YR	25,876	34,079	19,637	1.10	2.49	1.08
100 YR	31,054	39,485	25,043	1.32	2.88	1.30



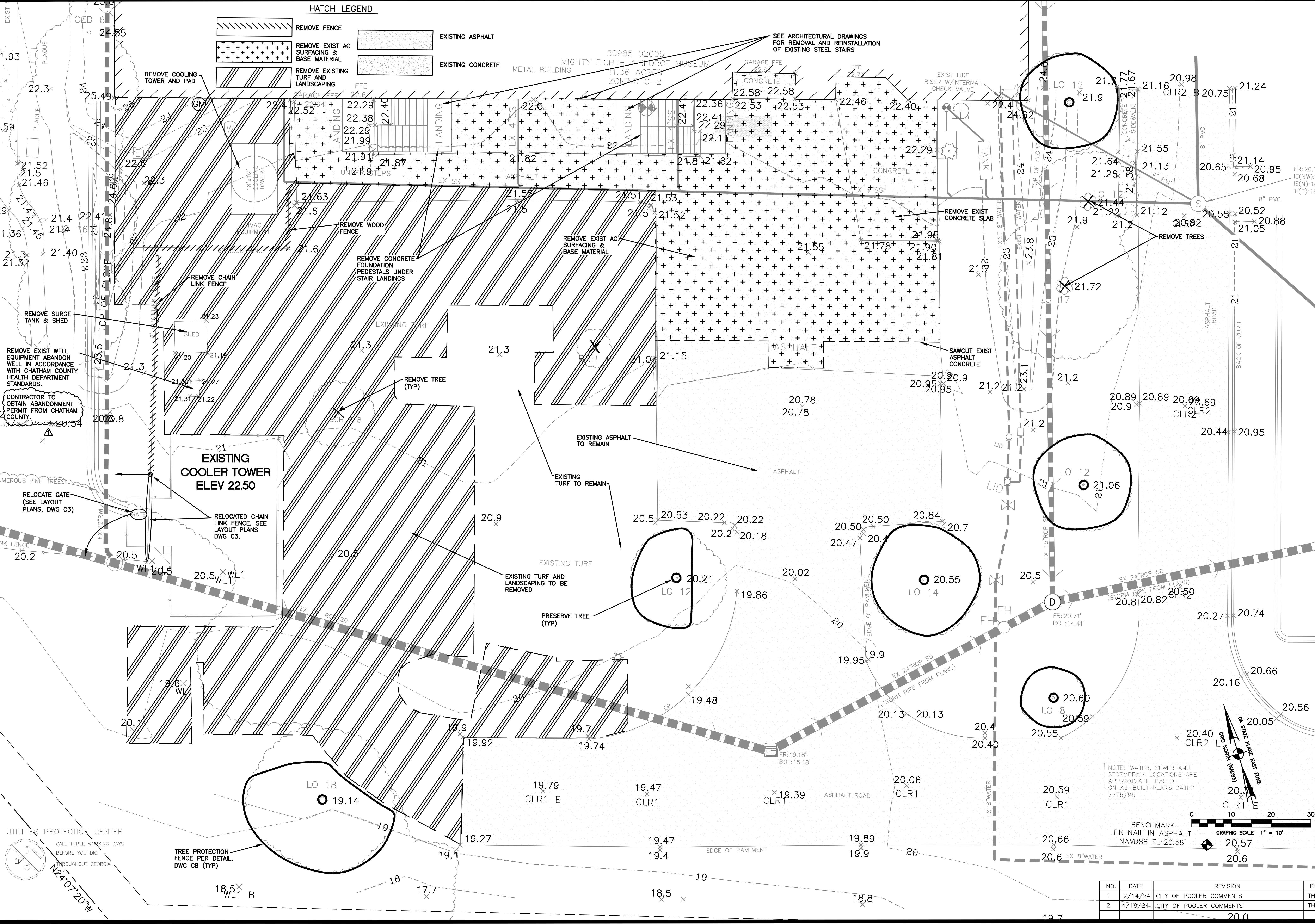
GEORGIA
NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE MUSEUM IMPROVEMENTS PHASE 2 P.I.N. 5-0985-02-005
EXISTING CONDITIONS
CITY OF POOLER



DATE 2/15/24

DRAWN BY	CHECKED	BY
JH	TH	TH
DRAWING NUMBER		TH
C2 OF C14		

NO.	DATE	REVISION	BY
1	2/14/24	CITY OF POOLER COMMENTS	TH
2	4/18/24	CITY OF POOLER COMMENTS	TH
2	4/24/24	ADDED 20% STORM WATER INFO	TH



NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
 MUSEUM IMPROVEMENTS PHASE 2
 P.I.N. 5-0985-02-005
 DEMOLITION PLAN
 CITY OF POOLER
 GEORGIA

COASTAL
 Civil Engineering
 3000 Riverchase Parkway, Suite 200, Atlanta, GA 30328
 WWW.COASTALCIVIL.COM

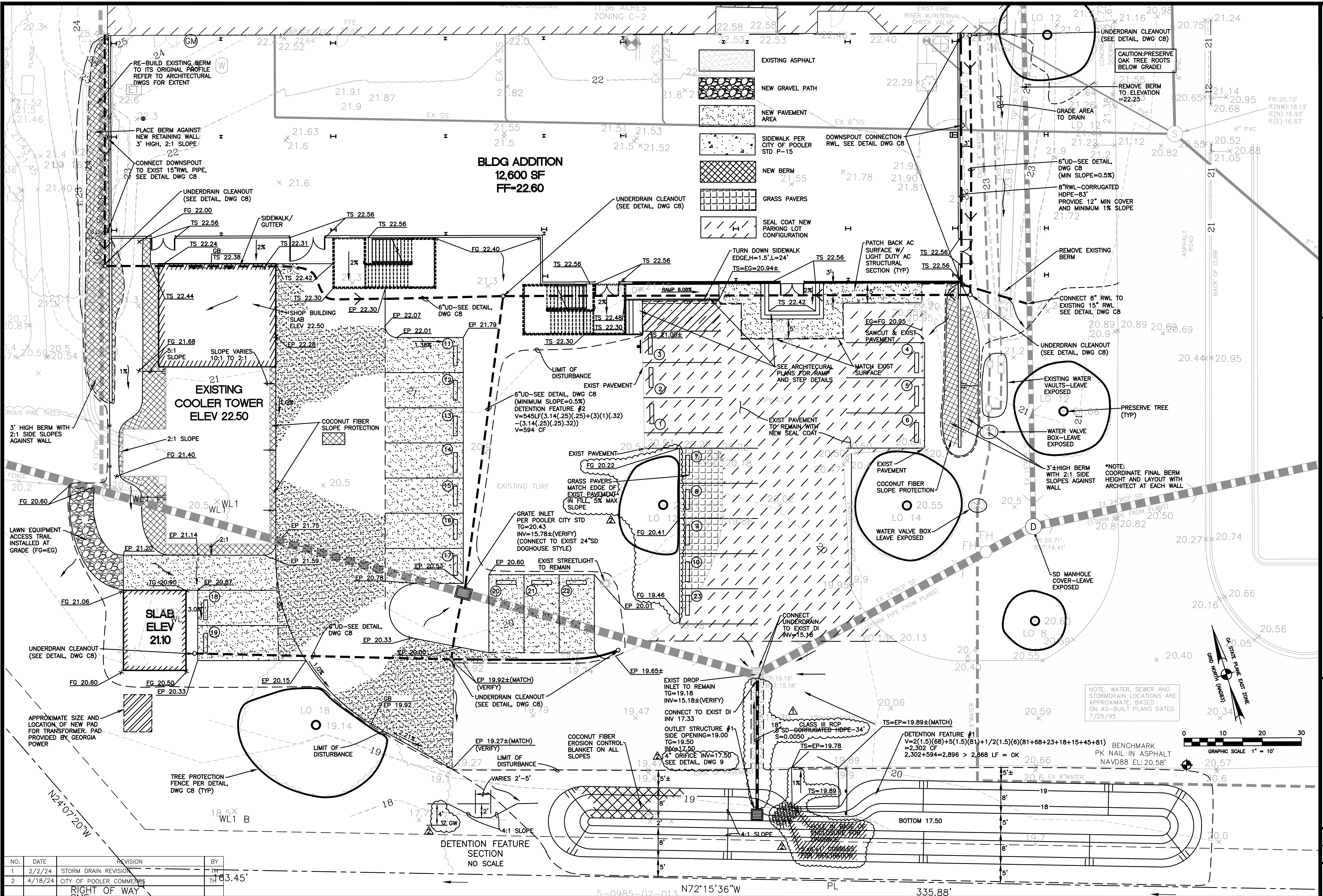
DATE: 2/15/24
 DRAWN BY: JH
 CHECKED BY: TH
 DRAWING NUMBER: C3 OF C14

NOTE: WATER, SEWER AND STORMDRAIN LOCATIONS ARE APPROXIMATE, BASED ON AS-BUILT PLANS DATED 7/25/95

BENCHMARK
PK NAIL IN ASPHALT
NAVD88 EL: 20.58'

GRAPHIC SCALE 1" = 10'

NO.	DATE	REVISION	BY
1	2/14/24	CITY OF POOLER COMMENTS	TH
2	4/18/24	CITY OF POOLER COMMENTS	TH

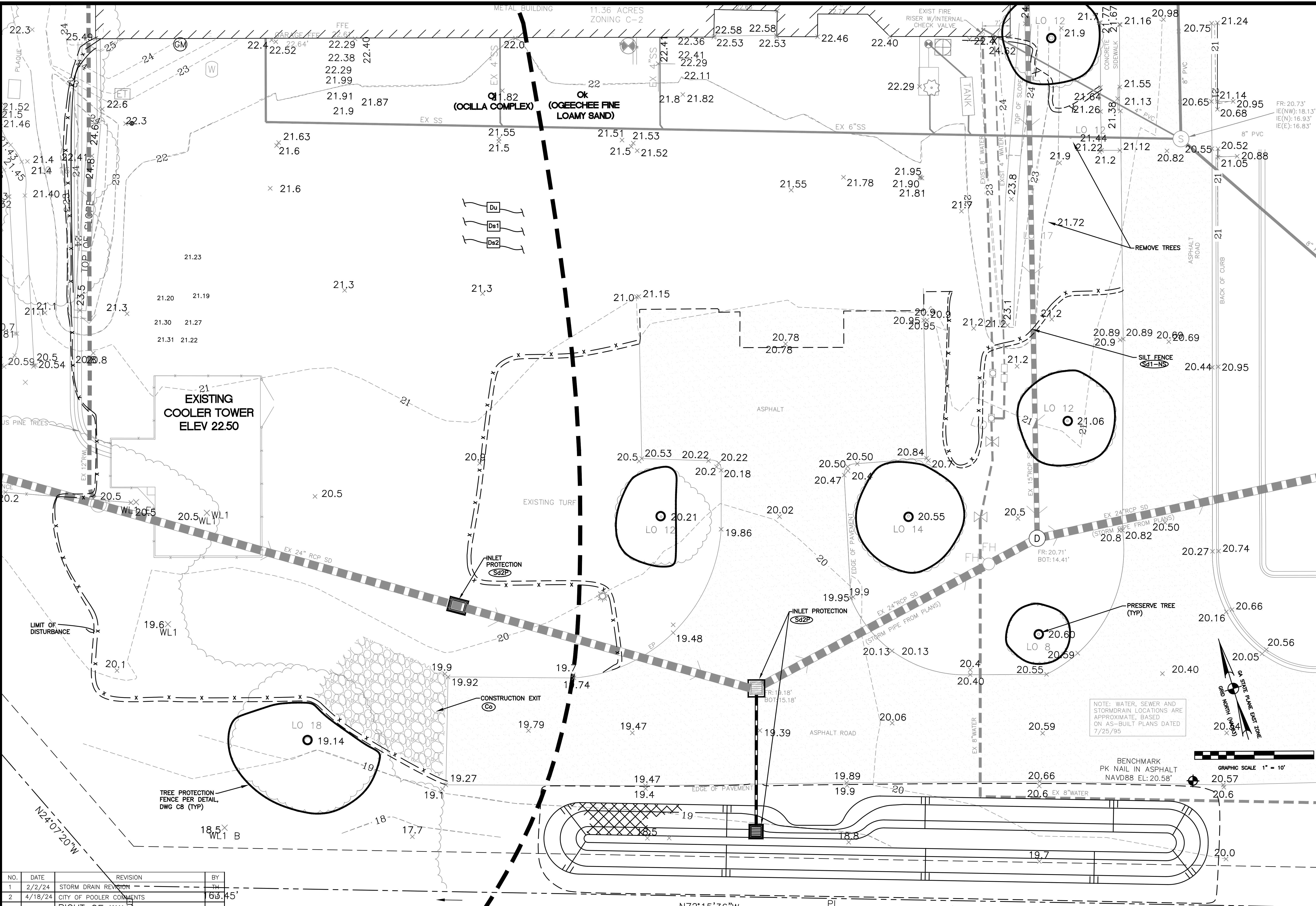


NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
 MUSEUM IMPROVEMENTS PHASE 2
 P.I.N. 5-0985-02-005
 GEORGIA
 POOLER
 GRADING AND DRAINAGE PLAN



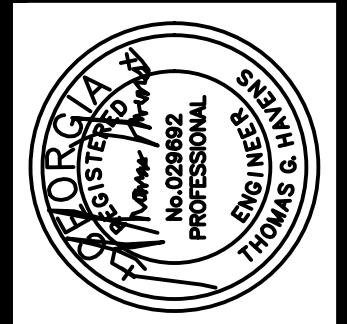
NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	JH
2	4/18/24	CITY OF POOLER COMMENTS	TH

DATE 2/15/24
 DRAWN BY JH
 CHECKED TH
 DRAWING NUMBER C5 of C14



NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	JH
2	4/18/24	CITY OF POOLER COMMENTS	GS

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 3001 Z. River Drive, Thunderbolt, GA
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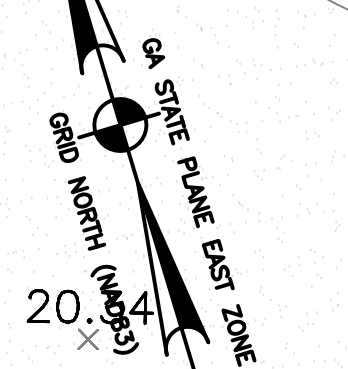
LEVEL II CERTIFIED DESIGN PROFESSIONAL
 CERTIFICATION NUMBER 0000016162

GEORGIA
**NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
 MUSEUM IMPROVEMENTS PHASE 2
 P.I.N. 5-0985-02-005**
 POOLER
**EROSION AND SEDIMENT CONTROL PLAN
 PHASE ONE**

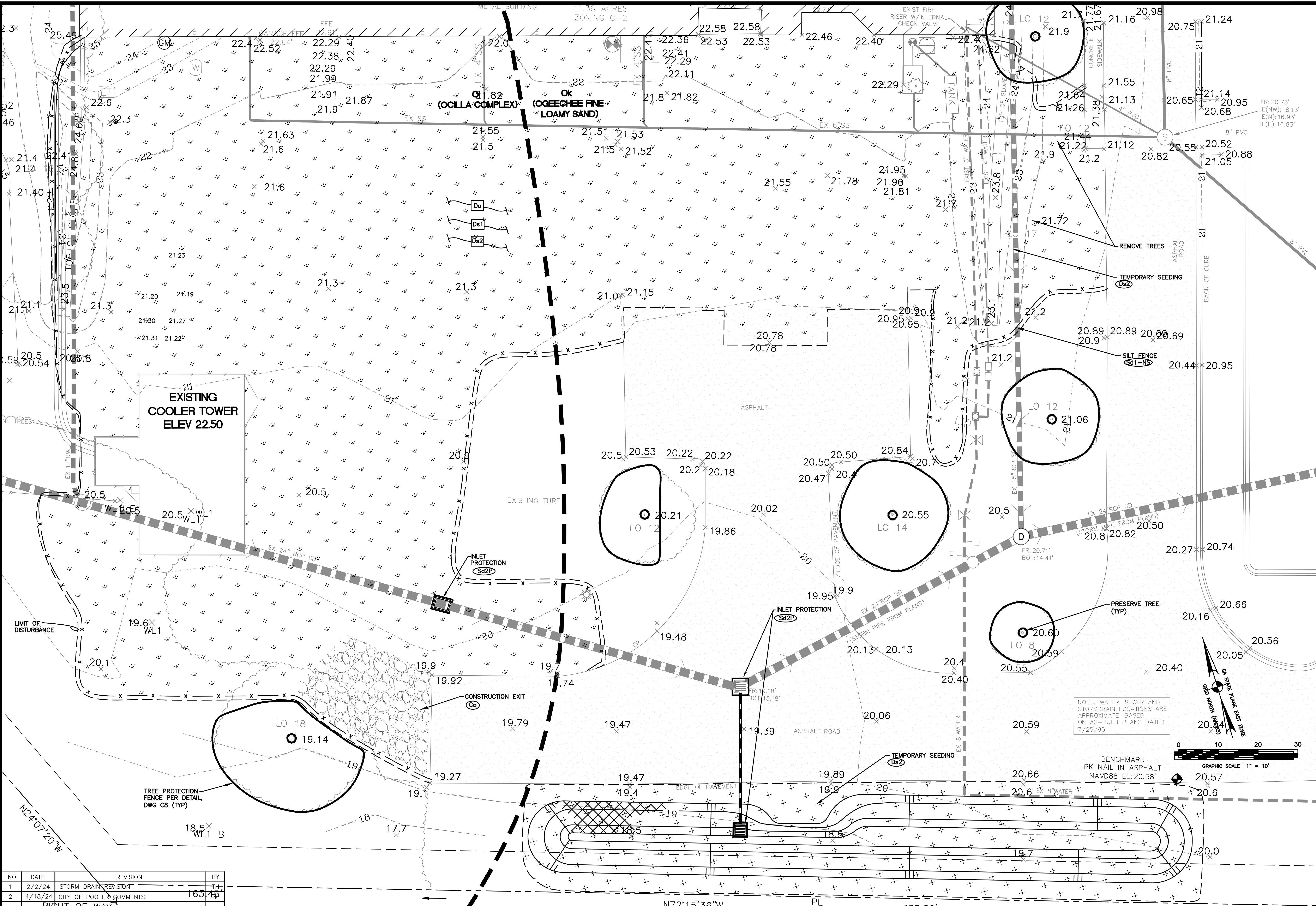
DATE: 2/15/24
 DRAWN BY: JH
 CHECKED BY: TH
 DRAWING NUMBER: C12 OF C14

NOTE: WATER, SEWER AND STORMDRAIN LOCATIONS ARE APPROXIMATE, BASED ON AS-BUILT PLANS DATED 7/25/95

GRAPHIC SCALE 1" = 10'

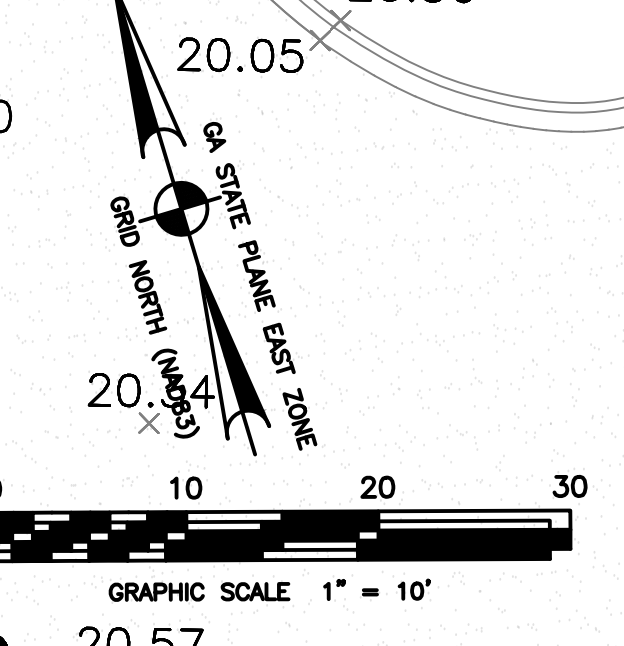


BENCHMARK
 PK NAIL IN ASPHALT
 NAVD88 EL: 20.58'

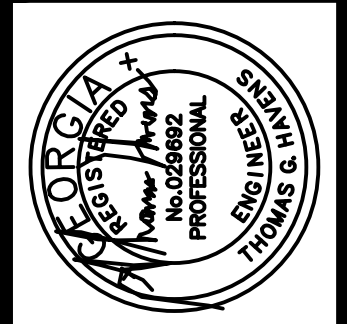


NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	TH
2	4/18/24	CITY OF POOLER COMMENTS	1634P

NOTE: WATER, SEWER AND STORMDRAIN LOCATIONS ARE APPROXIMATE, BASED ON AS-BUILT PLANS DATED 7/25/95

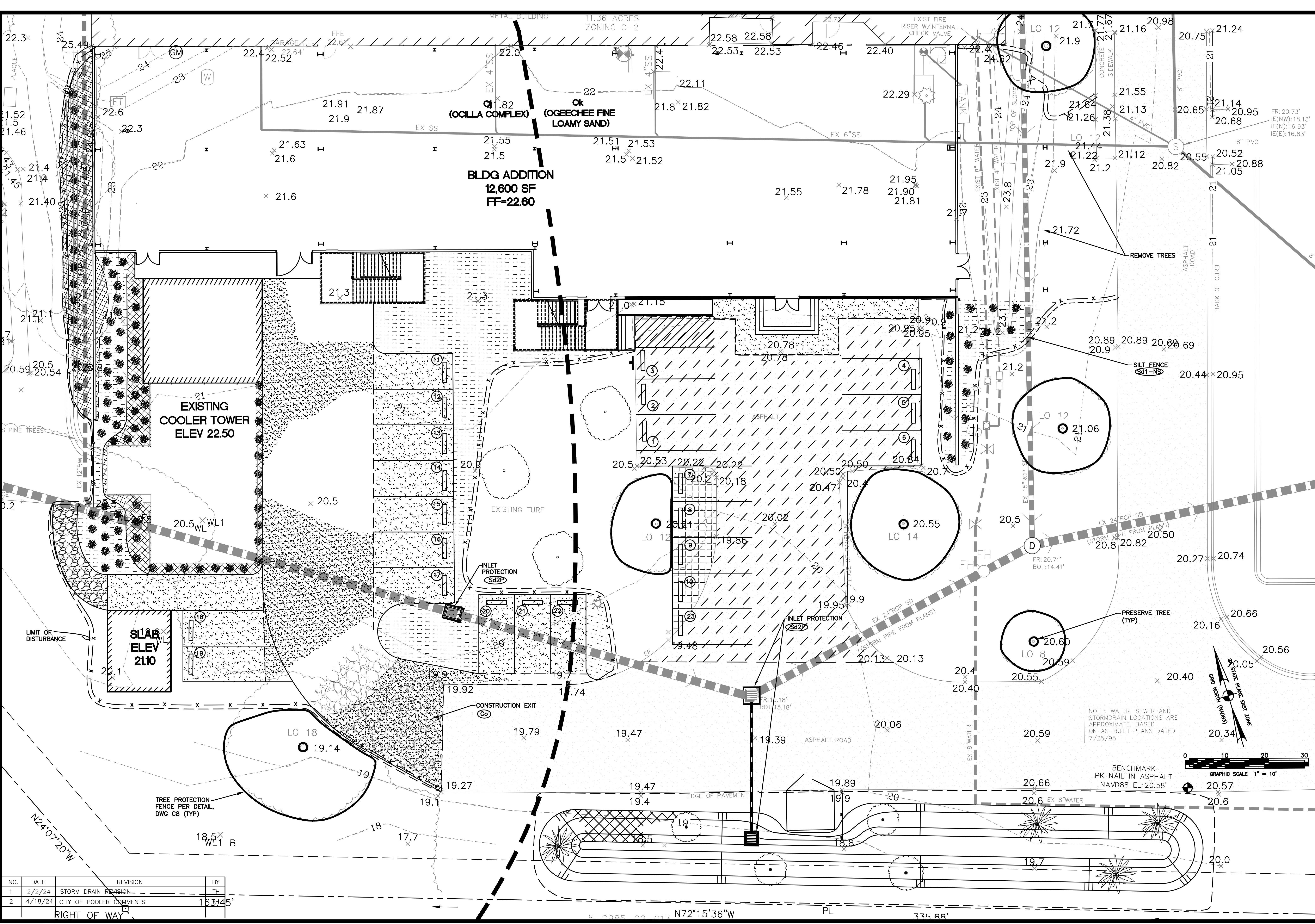


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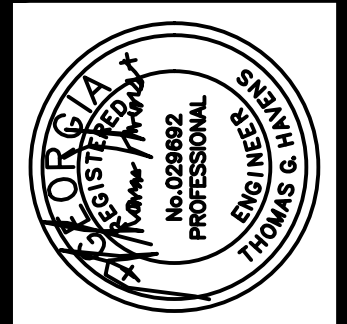


NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE MUSEUM IMPROVEMENTS PHASE 2
P.I.N. 5-0985-02-005
POOLER, GEORGIA
EROSION AND SEDIMENT CONTROL PLAN PHASE TWO

DATE: 2/15/24
DRAWN BY: JH
CHECKED BY: TH
DRAWING NUMBER: C13 OF C14



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NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
 MUSEUM IMPROVEMENTS PHASE 2
 P.I.N. 5-0985-02-005
 GEORGIA
 POOLER
 EROSION AND SEDIMENT CONTROL PLAN
 PHASE THREE

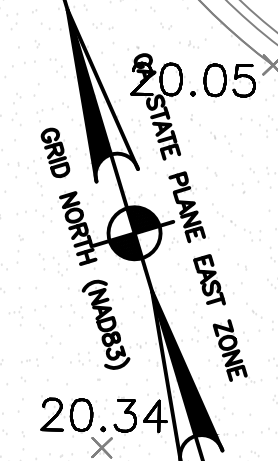
DATE: 2/15/24
 DRAWN BY: JH
 CHECKED BY: TH
 DRAWING NUMBER: C14 OF C14

NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	JH
2	4/18/24	CITY OF POOLER COMMENTS	163145

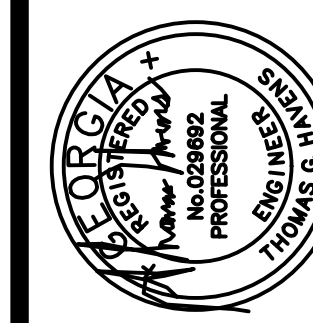
NOTE: WATER, SEWER AND STORMDRAIN LOCATIONS ARE APPROXIMATE, BASED ON AS-BUILT PLANS DATED 7/25/95

BENCHMARK
 PK NAIL IN ASPHALT
 NAVD88 EL: 20.58'

GRAPHIC SCALE 1" = 10'



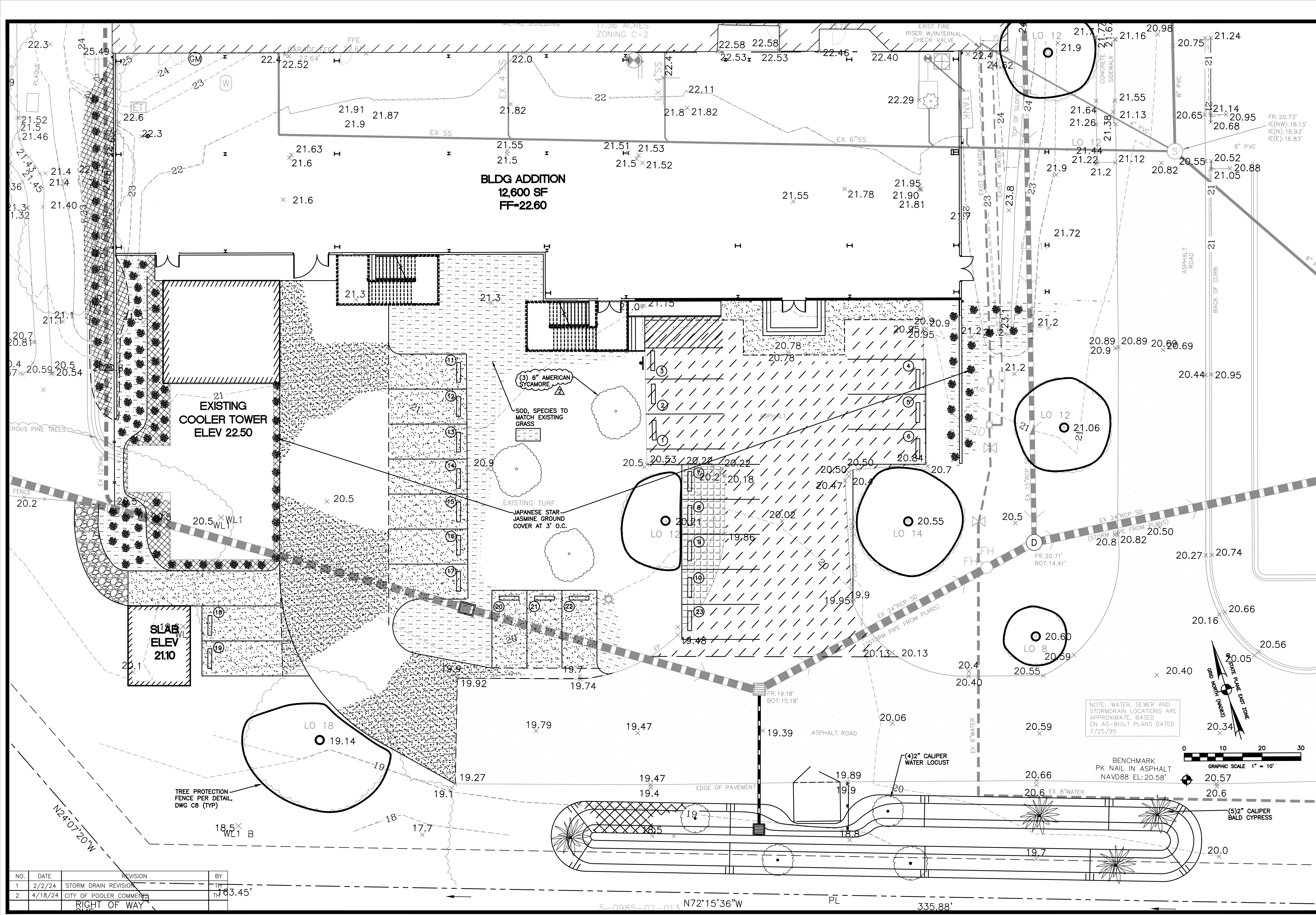
RIGHT OF WAY N24°07'20"W N72°15'36"W PL 335.88'



NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
MUSEUM IMPROVEMENTS PHASE 2
P.I.N. 5-0985-02-005

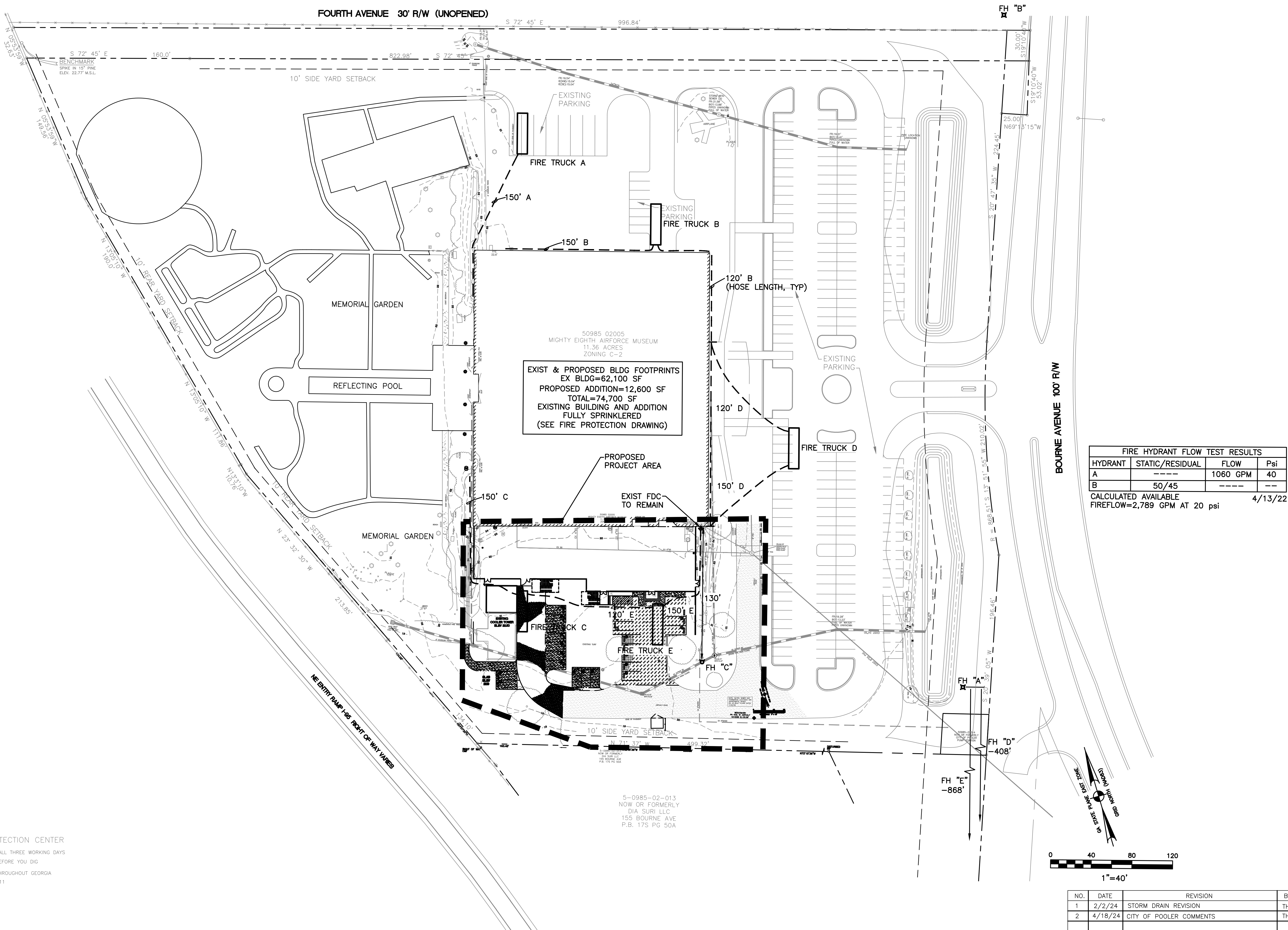
COASTAL
Civil Engineering
3007 River Drive
Thunderbolt, GA
Tel: 912.232.9402
WWW.COASTALCIVIL.COM

DATE: 2/15/24
DRAWN BY: JH
CHECKED: TH
DRAWING NUMBER: L1 OF L1



NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	JH
2	4/18/24	CITY OF POOLER COMMENTS	JH

FOURTH AVENUE 30' R/W (UNOPENED)

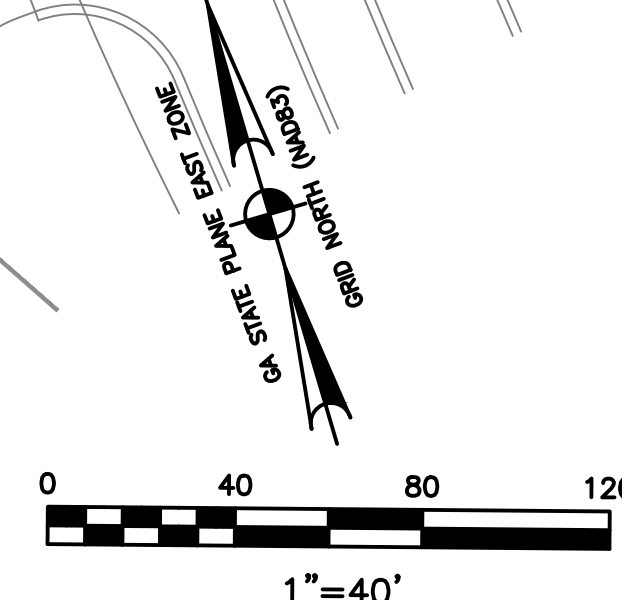


50985 02005
MIGHTY EIGHTH AIRFORCE MUSEUM
11.36 ACRES
ZONING C-2

EXIST & PROPOSED BLDG FOOTPRINTS
EX BLDG=62,100 SF
PROPOSED ADDITION=12,600 SF
TOTAL=74,700 SF
EXISTING BUILDING AND ADDITION
FULLY SPRINKLERED
(SEE FIRE PROTECTION DRAWING)

FIRE HYDRANT FLOW TEST RESULTS			
HYDRANT	STATIC/RESIDUAL	FLOW	Psi
A	---	1060 GPM	40
B	50/45	---	---

CALCULATED AVAILABLE
FIREFLOW=2,789 GPM AT 20 psi 4/13/22



UTILITIES PROTECTION CENTER
CALL THREE WORKING DAYS
BEFORE YOU DIG
THROUGHOUT GEORGIA
811

5-0985-02-013
NOW OR FORMERLY
DIA SURI LLC
155 BOURNE AVE
P.B. 17S PG 50A



GEORGIA
NATIONAL MUSEUM OF THE MIGHTY EIGHTH AIRFORCE
MUSEUM IMPROVEMENTS PHASE 2
P.I.N. 5-0985-02-005
CITY OF POOLER
FIRE PROTECTION EXHIBIT



DATE	2/15/24		
DRAWN BY	JH	CHECKED	TH
DRAWING NUMBER	F1 OF F1		

NO.	DATE	REVISION	BY
1	2/2/24	STORM DRAIN REVISION	TH
2	4/18/24	CITY OF POOLER COMMENTS	TH

24x36 SHEET THIS DRAWING IS THE PROPERTY OF BARNARD ARCHITECTS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF SAME. IT IS NOT TO BE USED ON ANY OTHER PROJECTS AND IS TO BE RETURNED ON REQUEST. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWING ONLY AND MAY BE CHANGED IN PROPORTION TO THE DIFFERENCE IN SIZE BETWEEN THE PRINT AND THE ORIGINAL. DO NOT SCALE DIMENSIONS FROM PRINTS. PLANS AND DETAILS ARE NOT ALWAYS DRAWN TO SCALE. USE DIMENSIONS GIVEN OR CONSULT WITH ARCHITECT FOR CLARIFICATION.

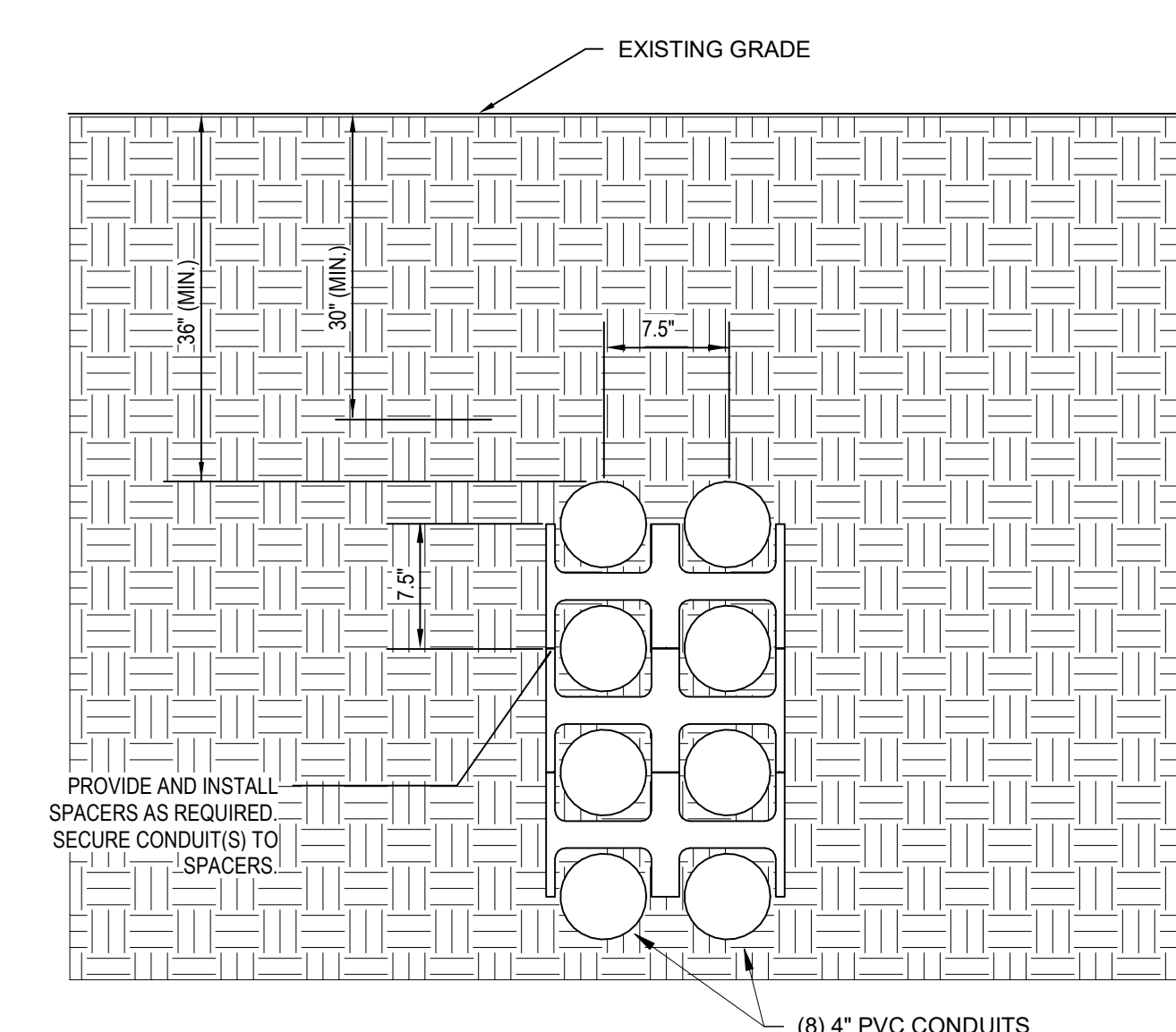
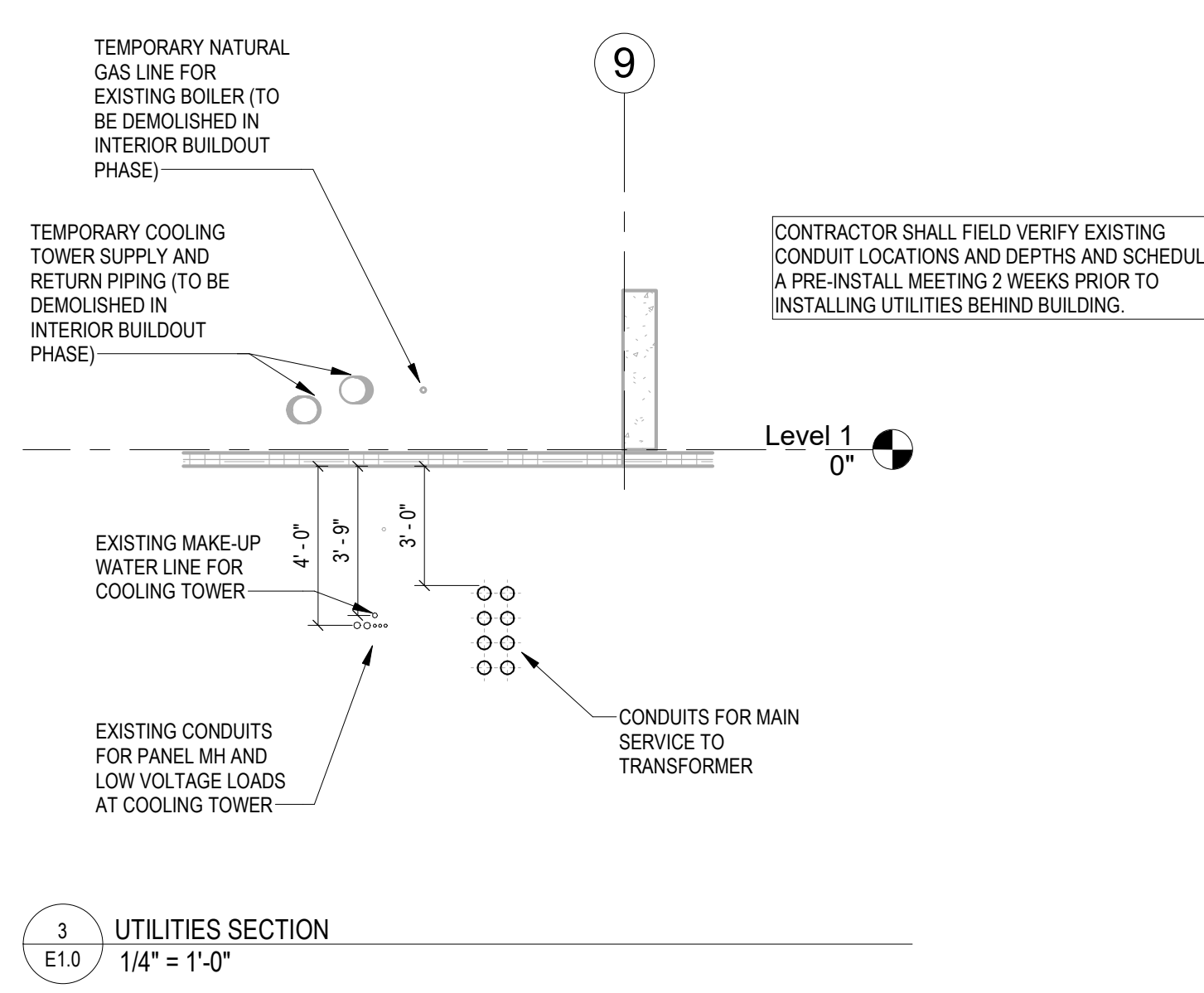
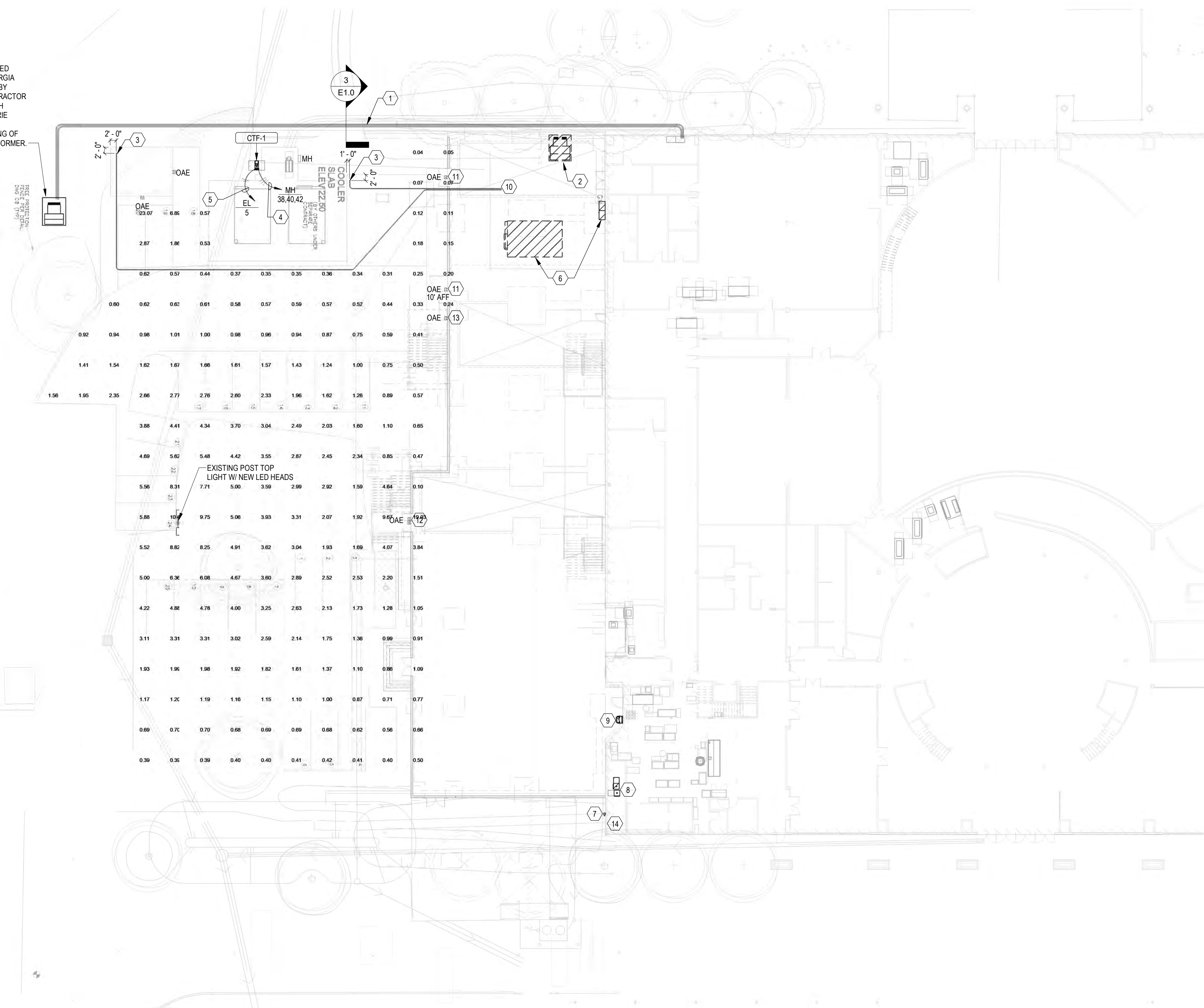
ELECTRICAL EQUIPMENT SCHEDULE																		
ID	EQUIPMENT INFORMATION					CIRCUIT INFORMATION				STARTER			CONTROL			DISCONNECT		REMARKS
	WATTAGE	FLA	MCA	MOC	VOLT	PH	PANEL NO.	WIRE & CONDUIT SIZE	DESCRIPTION	FURNISH	INSTALL	DESCRIPTION	FURNISH	INSTALL	DESCRIPTION	FURNISH	INSTALL	
CTF-1 PANEL AND ACTUATORS	9600 W	80.0 A	100.0 A	150 A	120 V	1	EL	5	2#10,#10G,1/2" C	MANUF - SINGLE POINT POWER	MANUF.	MANUF.	MANUF - AUTOMATIC CONTROLLER	MANUF.	DIV. 23	DIV. 26 - MOTOR RATED SWITCH	DIV. 26	DIV. 26
CTF-1 PUMP	9145 W	11.0 A	13.8 A	20 A	480 V	3	MH	38,40,42	3#12,#12G,1/2" C	MANUF - SINGLE POINT POWER	MANUF.	MANUF.	MANUF - AUTOMATIC CONTROLLER	MANUF.	DIV. 23	DIV. 26 - NON-FUSED SWITCH NEMA 3R	DIV. 26	DIV. 26

LIGHTING FIXTURE SCHEDULE																	
TYPE	CONSTRUCTION			LIGHT SOURCE							ELECTRICAL			PRODUCT			NOTE
	DESCRIPTION	FINISH	LENS/OVER	MOUNTING SURFACE	LAMP	LUMENS DOWN	LUMENS UP	CC	CRI	PROJECTED LIFE	BALLAST/DRIVER	VOLT	WATTS	EMERGENCY COMPONENT	MFR	Model	
OAE	EXTERIOR WALL PACK (FORWARD THROW)	BRONZE	DIFFUSED	WALL 8'-6" AFF	LED	4000 lm	0 lm	4000 K	80	60,000 HOURS	LED DRIVER	277 V	45 W	BATTERY (1000 LUMEN MIN)	HUBBELL OUTDOOR TERON LIGHTING LITHONIA	TRP2 SERIES CADDY SERIES ARC2 SERIES	
PHS1	AREA LIGHT, TYPE IV			SQUARE POLE	LED	28000 lm	0 lm	4000 K	70	100,000 HOURS	LED DRIVER	277 V	215 W		LITHONIA	DSX1 SERIES	

- SITE PLAN SHEET NOTES**
- ALL LIGHTING AND POWER CONDUCTORS SHALL BE INSTALLED BETWEEN 24" (MINIMUM) AND 36" (MAXIMUM) BELOW FINISHED GRADE.
 - ALL COMMUNICATIONS CONDUIT AND CABLES SHALL BE INSTALLED 36" (MINIMUM) BELOW FINISHED GRADE.
 - ALL CONDUCTORS FOR EXTERIOR LIGHTING AND POWER CIRCUITS SHALL BE #10 AWG MINIMUM.
 - COORDINATE MOUNTING OF EXTERIOR FIXTURES WITH CANOPIES.

- KEYNOTES**
- PROVIDE (8) 4" C, WITH 8 SETS: #600 KCML AL, FROM NEW PAD MOUNTED TRANSFORMER LOCATION AROUND REAR OF BUILDING AND UP WALL INTO REAR OF BOTTOM SECTION OF SWITCHBOARD. DISCONNECT EXISTING FEEDERS AND CONNECT NEW FEEDERS TO EXISTING SWITCHBOARD. COORDINATE EXACT ROUTING OF CONDUITS WITH OTHER UTILITIES IN THIS AREA AND COORDINATE ANY DOWNTIME OF ELECTRICAL SYSTEM WITH OWNER WITH AT LEAST A MONTHS NOTICE.
 - EXISTING PAD MOUNTED TRANSFORMER TO BE RELOCATED BY UTILITY COMPANY AFTER NEW SERVICE IS INSTALLED. CONDUITS SHALL BE SEALED BELOW GRADE AND ABANDONED.
 - PROVIDE 2" C STUBBED OUT OF NEW SLAB FOR FUTURE MAINTENANCE BUILDING.
 - ROUTE TO NEW 20A/3P BREAKER IN EXISTING PANEL MH.
 - ROUTE TO NEW 20A/1P BREAKER IN EXISTING PANEL EL LOCATED IN EXISTING ELECTRICAL ROOM.
 - EXISTING COOLING TOWER AND PANELS TO BE REMOVED. REMOVE ALL ELECTRICAL CONNECTIONS AND COMPONENTS SERVING EXISTING CHILLER.
 - RELOCATE EXISTING CONNECTION FOR KITCHEN COOLER CONDENSER TO THIS LOCATION.
 - RELOCATE EXISTING CONNECTION FOR KITCHEN SUPPLY FAN TO NEW LOCATION. COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT CONNECTION LOCATION.
 - EXISTING SIDEWALL EXHAUST FAN AND SMALL HOOD TO BE DEMOLISHED. DEMOLISH EXISTING CIRCUITS SERVING UNITS BACK TO RESPECTIVE PANEL.
 - (2) 2" C STUBBED UP IN DIRT FOR CONNECTION TO FUTURE PANEL.
 - CONNECT NEW EXTERIOR WALL PACK TO EXISTING LIGHTING CIRCUIT.
 - (2) TYPE "OAE" FIXTURES, ONE AT FIRST FLOOR DOOR AND ONE AT SECOND FLOOR LANDING. CONNECT NEW EXTERIOR WALL PACK TO EXISTING LIGHTING CIRCUIT.
 - LOCATED ABOVE 2ND FLOOR DOOR AT LANDING. CONNECT NEW EXTERIOR WALL PACK TO EXISTING LIGHTING CIRCUIT.
 - PROVIDE CONNECTION FROM EXISTING KITCHEN PANEL TO AIR COMPRESSOR AT FIRE RISER FOR NEW DRY SYSTEM. BASIS OF DESIGN IS 5 HP PUMP AT 480V 3 PHASE. PROVIDE 15A/3P BREAKER AND 3#12, 1/2" C BACK TO MAIN ELECTRICAL ROOM IN EXISTING PANEL EH.

RELOCATED PAD MOUNTED TRANSFORMER, BY GEORGIA POWER, PAD PROVIDED BY GEORGIA POWER. CONTRACTOR SHALL COORDINATE WITH GEORGIA POWER (VALERIE RIVERA, 912-230-5880) TO COORDINATE SCHEDULING OF RELOCATION OF TRANSFORMER.



BARNARD ARCHITECTS
 ARCHITECTURE, PLANNING, LANDSCAPE, INTERIORS, HISTORIC
 220 EAST HALL STREET, SAVANNAH, GA 31401 (912) 232 - 6173 www.BarnardArchitects.com
 ASSOCIATES: ROBERT J. PORTMAN & WHITNEY E. ARMENTA

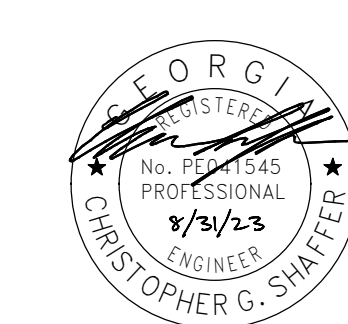


Museum Improvements Phase 2
 National Museum of the Mighty 8th Air Force
 175 Bourne Avenue, Pooler, Georgia
 Electrical Site Plan

Project Status:
 ISSUE for BIDDING

Date:
 9.1.23

Revisions:
 Number Date
 1 10/30/2023



E1.0

Setback Requirement Variance Request for Stacked Container Storage Adjacent to Non-Residential Property for 6 AJ Garcia Road
(Public Hearing, Action)

Item withdrawn by petitioner; public hearing was advertised.