

PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE RENOVATION WITH ADDITIONS OF TWO BUILDINGS AND CONSTRUCTION OF ONE NEW BUILDING. THE BUILDING USE WILL INCLUDE 65 HOTEL ROOMS, A RESTAURANT, AND MEETING SPACE.

THE PROJECT IS TO BE CONSTRUCTED AT 401 & 409 EAST BAY STREET:

P.I.N. 20004 19006
P.I.N. 20004 19010

ACCORDING TO THE FLOOD INSURANCE RATE MAP 13051C0153G, REVISED 8/16/18, THIS PROPERTY LIES IN ZONE X, NOT A 100 YEAR FLOOD ZONE.

THE CURRENT ZONING FOR THE PROPERTIES IS D-C.

MAXIMUM BUILDING HEIGHT=48'

TOTAL PROPERTY ACREAGE = 0.31 AC
TOTAL DISTURBED ACREAGE = 0.125 AC

PARKING CALCULATIONS

PER SECTION 9.3.6, DOWNTOWN SAVANNAH PARKING DISTRICT, THESE PROPERTIES ARE WITHIN A PARKING REDUCTION AREA.

PERMITTED REDUCTIONS:
LODGING=25%
EATING/DRINKING=40%

HOTEL USE: 1 SPACE/ROOM 65 ROOMS= 65 SPACES
RESTAURANT USE: 1 SPACE/100 SF 2,122 SF/100= 21 SPACES
TOTAL PARKING REQUIRED= 65(75) + 21(8)= 61 SPACES
BICYCLE RACK REQUIREMENT (BOTH USES)=5% VEHICLES

BICYCLE RACKS WILL BE PROVIDED ADJACENT TO PROPERTIES. VEHICULAR PARKING WILL BE PROVIDED BY OFF-SITE AGREEMENT.

TREE CALCULATIONS

PER CITY REQUIREMENT, 1600 TQP REQUIRED PER ACRE, 400 LQP REQUIRED PER ACRE
DISTURBED AREA (EXTERIOR PRIVATE PROPERTY)=0.125 AC
0.125 AC(1600)=200 TQP REQUIRED (0 PROVIDED)
0.125 AC(400) =50 LQP REQUIRED (0 PROVIDED)

TREE FUND PAYMENT REQUIRED
TQP(672)\$5.84= \$1,168.00
LQP(168)\$2.22= \$ 111.00
\$1,279.00

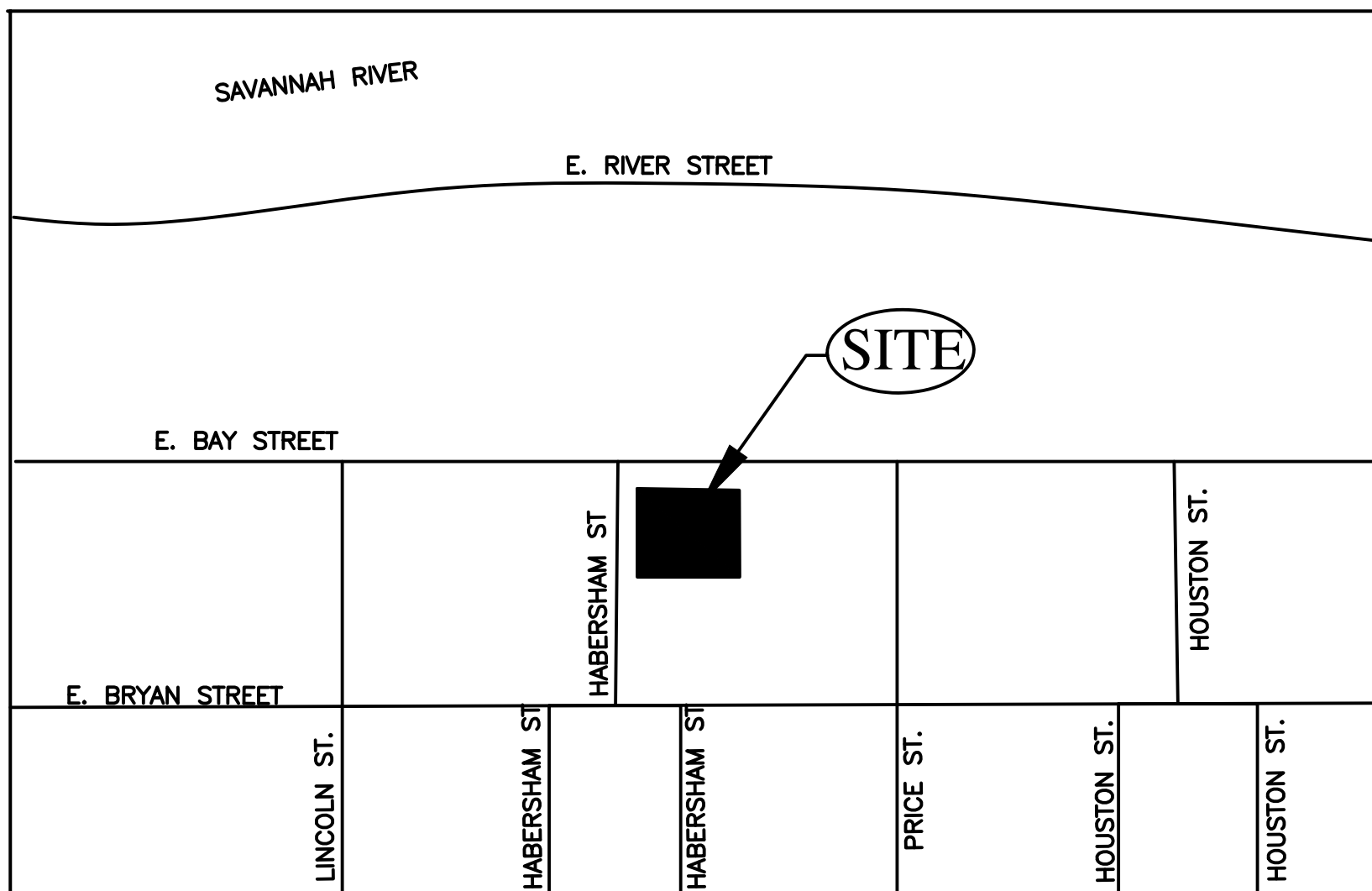
ABBREVIATIONS

Table of abbreviations for construction terms, including AGGREGATE BASE, ASPHALT CONCRETE, ADJUSTABLE, etc.

GENERAL DEVELOPMENT PLANS
401 EAST BAY STREET
HOTEL
P.I.N. 20004 19006

GENERAL DEVELOPMENT
8/14/24

IN SAVANNAH, GA



VICINITY MAP
NO SCALE

GENERAL NOTES

- 1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, GENERAL CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT...

PROJECT ARCHITECT
MATT MITCHELL DESIGN, LLC.
MATT MITCHELL
1750 PROVIDENCE FARMS LN
ALPHARETTA GA 30009
678-245-9578
MATTMITCHELL@MATTMITCHELLEDESIGN.COM

DEVELOPER/OWNER
DSM REAL ESTATE PARTNERS
REPRESENTATIVE: MATT WHITE
10719 ALPHARETTA HWY, SUITE 458
ROSWELL, GA 30077
404-956-2262
MWHITE@DSMREP.COM

INDEX TO SHEETS

Table mapping sheet numbers to descriptions: SHEET C1 COVER SHEET, SHEET C2 EXISTING CONDITIONS & DEMOLITION PLAN, etc.

LEGEND

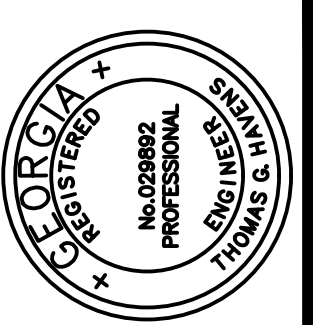
Legend detailing symbols for existing and proposed features: 6" SS, SANITARY SEWER, CONTROL POINT, CITY MONUMENT, TRAFFIC SIGNAL, SPLICE BOX, MAILBOX, DRIVEWAY, STORM DRAIN W/MANHOLE, TELEPHONE, WATER, ELECTRIC, GAS, APPROXIMATE RIGHT OF WAY LINE, STREET ADDRESS, SIDEWALK/CURB & GUTTER, STORM DRAIN MANHOLE, STREET LIGHT CONDUIT, HANDICAP RAMP, WATER VALVE, FIRE HYDRANT, WATER METER, MONITORING WELL, DROP INLET, TREE, CATCH BASIN, POLE AND GUY WIRE, STRIPING, STREET LIGHT, POLE, SINGLE POST SIGN, PAVEMENT MARKERS, EDGE OF PAVEMENT, PRESERVE TREE, REMOVE TREE, ASPHALT PAVING, SIDEWALK, EROSION CONTROL SEED APPLICATION, BENCHMARK LOCATION.

BENCH MARK

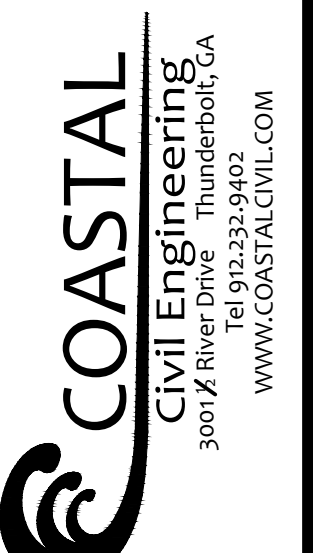
PK NAIL IN CONCRETE
SW CORNER OF BAY LANE
AND HABERSHAM STREET
ELEV 38.93
NAVD 88

NOTE:
CITY OF SAVANNAH RETAINS THE RIGHT TO ACCESS PROPERTY TO INSPECT STORMWATER FACILITIES.

Table with columns: NO., DATE, REVISION, BY.



401 EAST BAY STREET HOTEL
P.I.N. 20004 19006

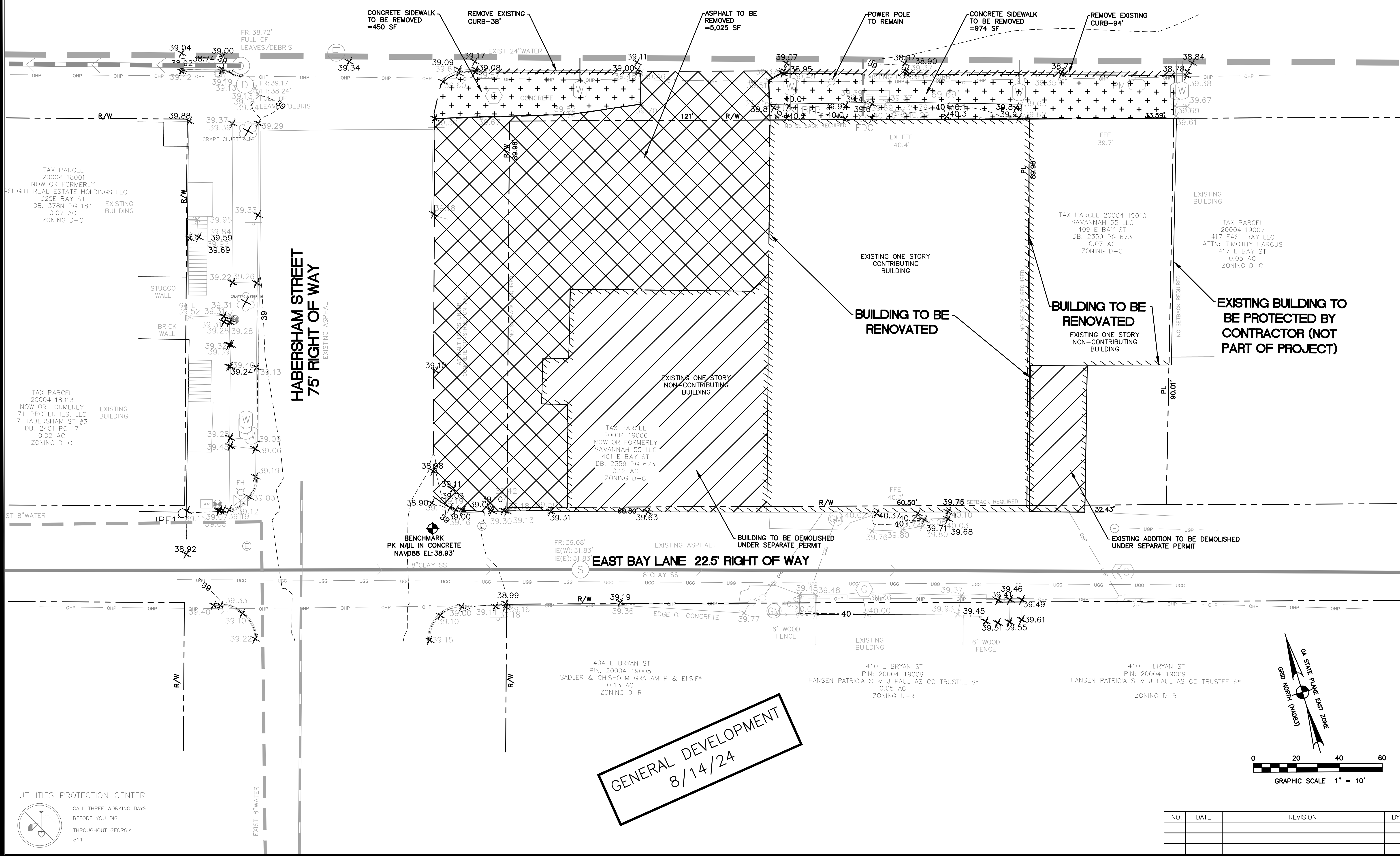


DATE: XX/XX/XX
DRAWN BY: CHECKED: JH TH
DRAWING NUMBER: C1 OF C8



# EAST BAY STREET RIGHT OF WAY VARIES

CONCRETE ROAD



TAX PARCEL 20004 18001  
NOW OR FORMERLY  
SLIGHT REAL ESTATE HOLDINGS LLC  
325E BAY ST  
DB. 378N PG 184  
0.07 AC  
ZONING D-C  
EXISTING BUILDING

TAX PARCEL 20004 18013  
NOW OR FORMERLY  
7IL PROPERTIES, LLC  
7 HABERSHAM ST #3  
DB. 2401 PG 17  
0.02 AC  
ZONING D-C  
EXISTING BUILDING

HABERSHAM STREET  
75' RIGHT OF WAY

EAST BAY LANE 22.5' RIGHT OF WAY

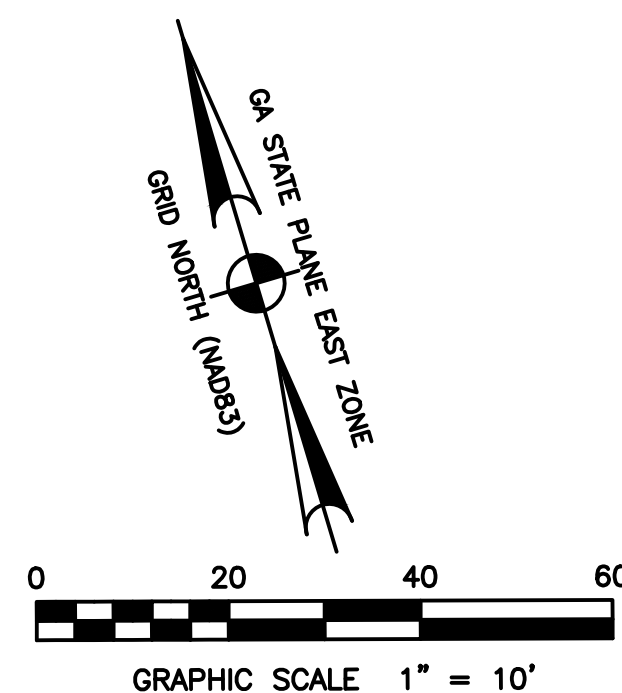
EXISTING ONE STORY CONTRIBUTING BUILDING

BUILDING TO BE RENOVATED  
EXISTING ONE STORY NON-CONTRIBUTING BUILDING

EXISTING BUILDING TO BE PROTECTED BY CONTRACTOR (NOT PART OF PROJECT)

GENERAL DEVELOPMENT  
8/14/24

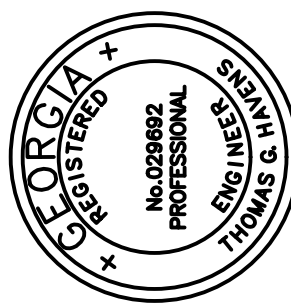
UTILITIES PROTECTION CENTER  
CALL THREE WORKING DAYS  
BEFORE YOU DIG  
THROUGHOUT GEORGIA  
811



GEORGIA  
401 WEST BAY STREET HOTEL  
P.I.N. 20004 19006  
SAVANNAH  
EXISTING CONDITIONS & DEMOLITION PLAN

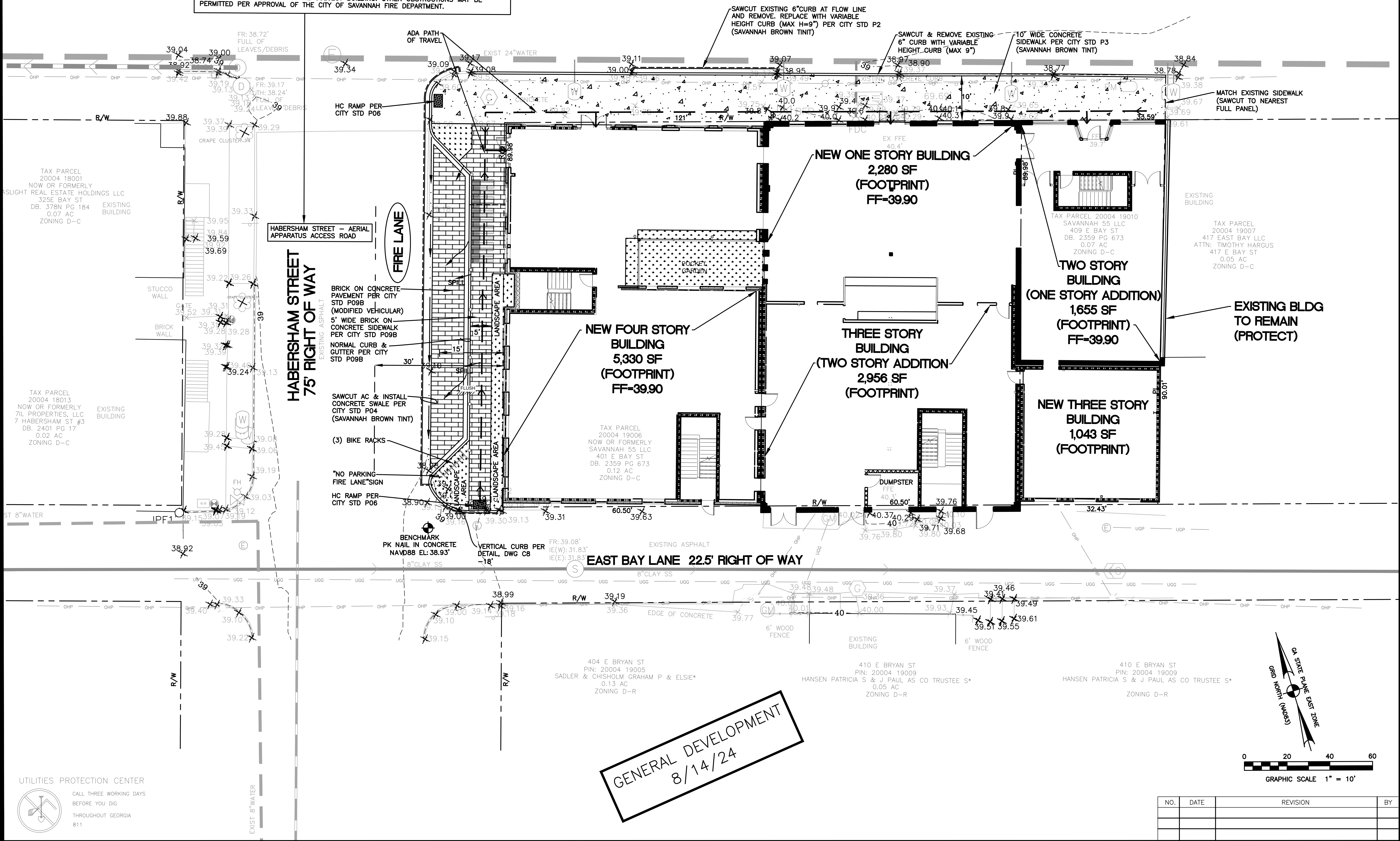
COASTAL  
Civil Engineering  
3000 Rivington Blvd., Suite 200  
Savannah, GA 31404  
Tel: 912.333.2222  
WWW.COASTALCIVIL.COM

DATE	XX/XX/XX
DRAWN BY	CHECKED
JH	TH
DRAWING NUMBER	C2 OF C8



NOTE:  
THIS FIRE LANE WILL SERVE AS AN AERIAL APPARATUS ACCESS ROAD AND SHALL MEET ALL REQUIREMENTS OF THE IFC 2018 ADDITION, APPENDIX D, INCLUDING THE FOLLOWING:  
1) ACCESS SHALL HAVE A MINIMUM VERTICALLY UNOBSTRUCTED WIDTH OF 26'.  
2) OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE ACCESS ROAD OR BETWEEN THE ROAD AND THE SUBJECT BUILDING. OTHER OBSTRUCTIONS MAY BE PERMITTED PER APPROVAL OF THE CITY OF SAVANNAH FIRE DEPARTMENT.

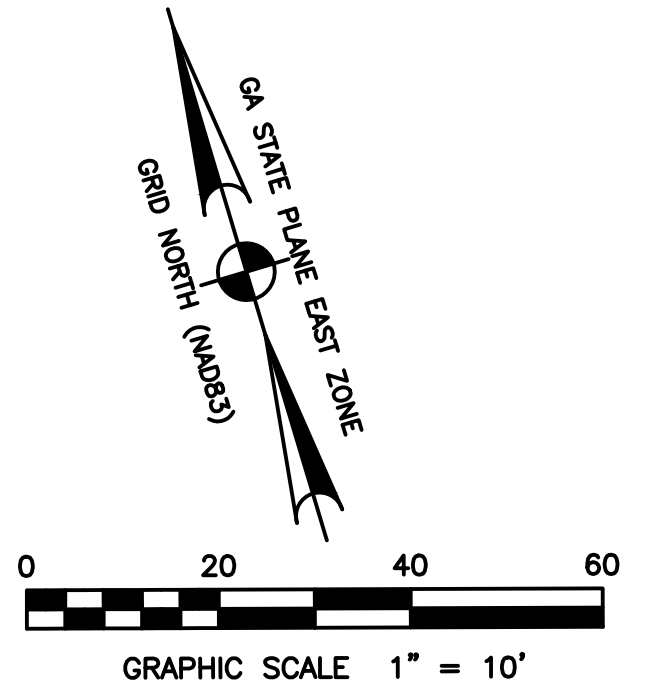
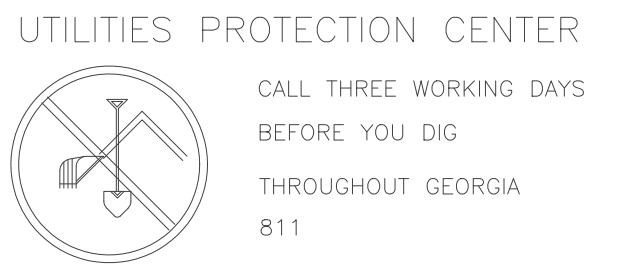
**EAST BAY STREET RIGHT OF WAY VARIES**  
CONCRETE ROAD



**GENERAL DEVELOPMENT**  
8/14/24

GEORGIA  
401 EAST BAY STREET HOTEL  
P.I.N. 20004 19006  
SAVANNAH

**COASTAL**  
Civil Engineering  
3000 River Drive, Thunderbolt, GA  
Tel: 912.232.9402  
WWW.COASTALCIVIL.COM



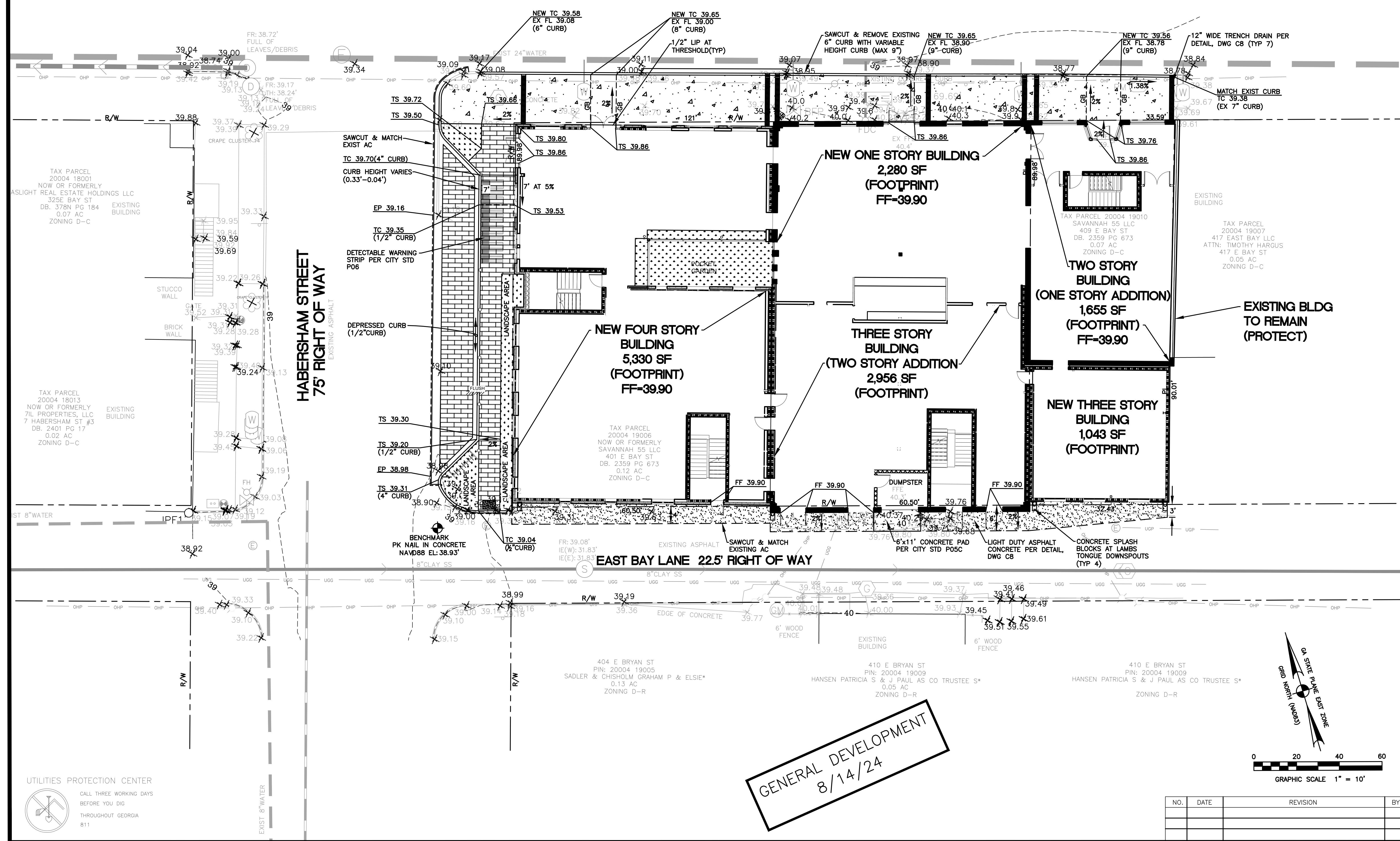
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DATE: XX/XX/XX  
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CHECKED: TH  
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# EAST BAY STREET RIGHT OF WAY VARIES

CONCRETE ROAD



TAX PARCEL 20004 18001  
NOW OR FORMERLY  
ASLIGHT REAL ESTATE HOLDINGS LLC  
325E BAY ST  
DB. 378N PG 184  
0.07 AC  
ZONING D-C

TAX PARCEL 20004 18013  
NOW OR FORMERLY  
7IL PROPERTIES, LLC  
7 HABERSHAM ST #3  
DB. 2401 PG 17  
0.02 AC  
ZONING D-C

TAX PARCEL 20004 19010  
SAVANNAH 55 LLC  
409 E BAY ST  
DB. 2359 PG 673  
0.07 AC  
ZONING D-C

TAX PARCEL 20004 19007  
417 EAST BAY LLC  
ATTN: TIMOTHY HARGUS  
417 E BAY ST  
0.05 AC  
ZONING D-C

TAX PARCEL 20004 19006  
NOW OR FORMERLY  
SAVANNAH 55 LLC  
401 E BAY ST  
DB. 2359 PG 673  
0.12 AC  
ZONING D-C

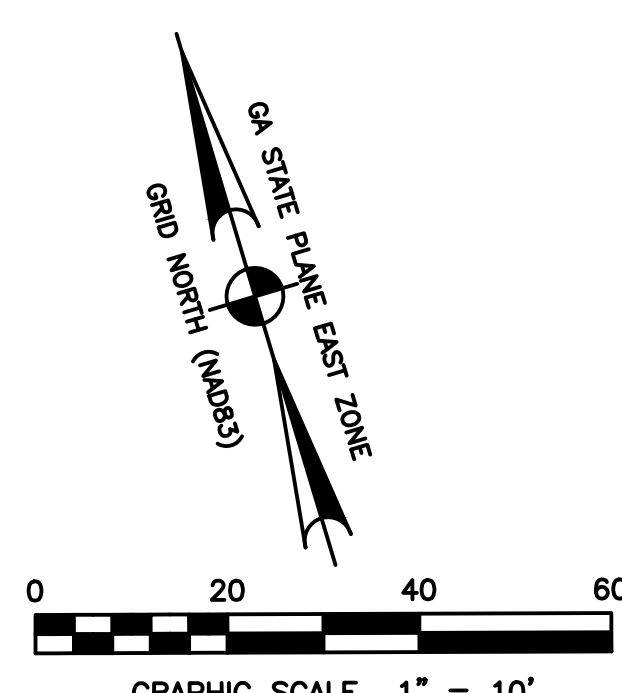
404 E BRYAN ST  
PIN: 20004 19005  
SADLER & CHISHOLM GRAHAM P & ELSIE\*  
0.13 AC  
ZONING D-R

410 E BRYAN ST  
PIN: 20004 19009  
HANSEN PATRICIA S & J PAUL AS CO TRUSTEE S\*  
0.05 AC  
ZONING D-R

410 E BRYAN ST  
PIN: 20004 19009  
HANSEN PATRICIA S & J PAUL AS CO TRUSTEE S\*  
0.05 AC  
ZONING D-R

**GENERAL DEVELOPMENT**  
8/14/24

UTILITIES PROTECTION CENTER  
CALL THREE WORKING DAYS  
BEFORE YOU DIG  
THROUGHOUT GEORGIA  
811



GEORGIA  
401 EAST BAY STREET HOTEL  
P.I.N. 20004 19006  
SAVANNAH  
GRADING AND DRAINAGE PLAN

**COASTAL**  
Civil Engineering  
3000 River Drive, Thunderbolt, GA  
Tel: 912.232.9402  
WWW.COASTALCIVIL.COM

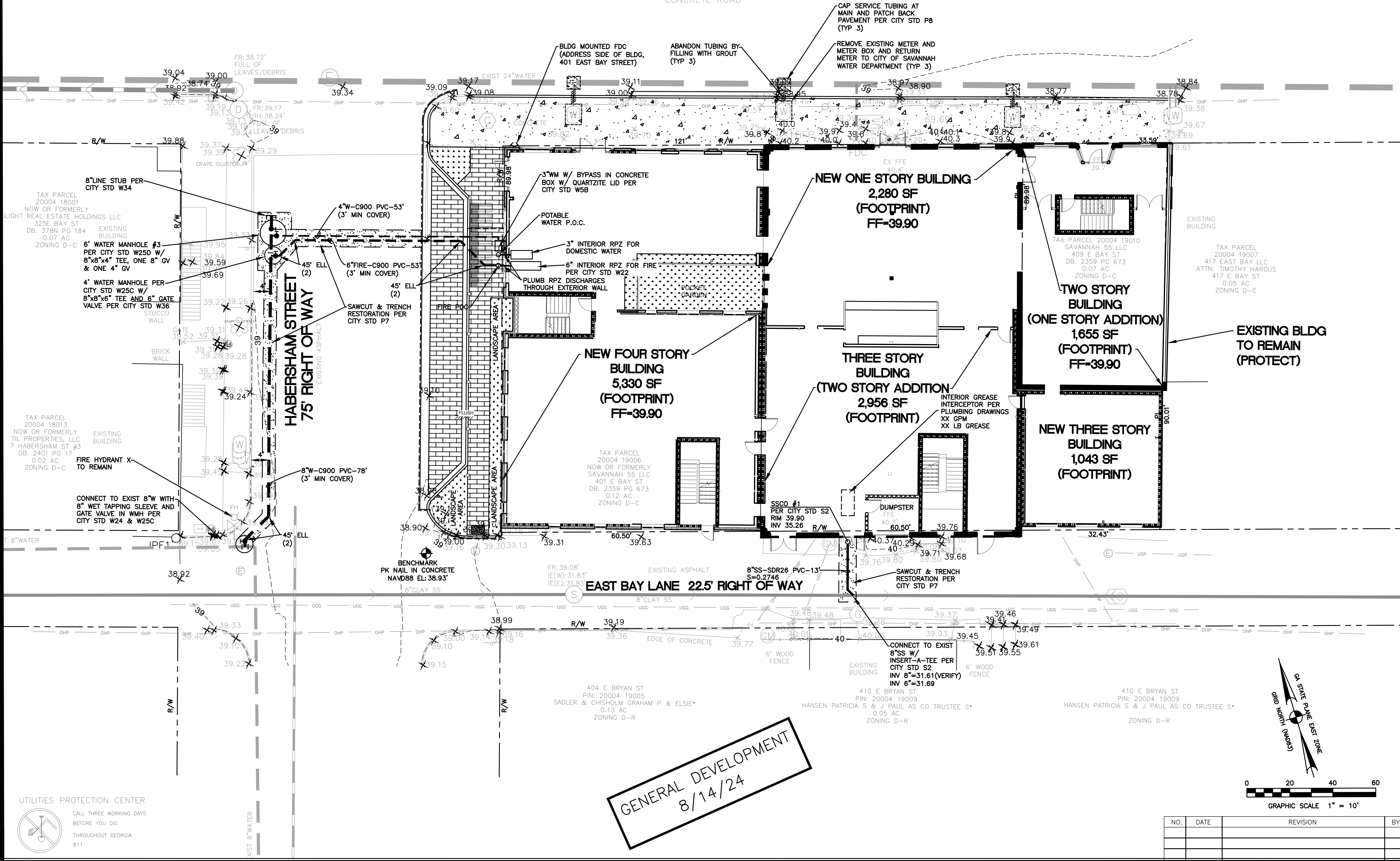
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NO.	DATE	REVISION	BY



### EAST BAY STREET RIGHT OF WAY VARIES

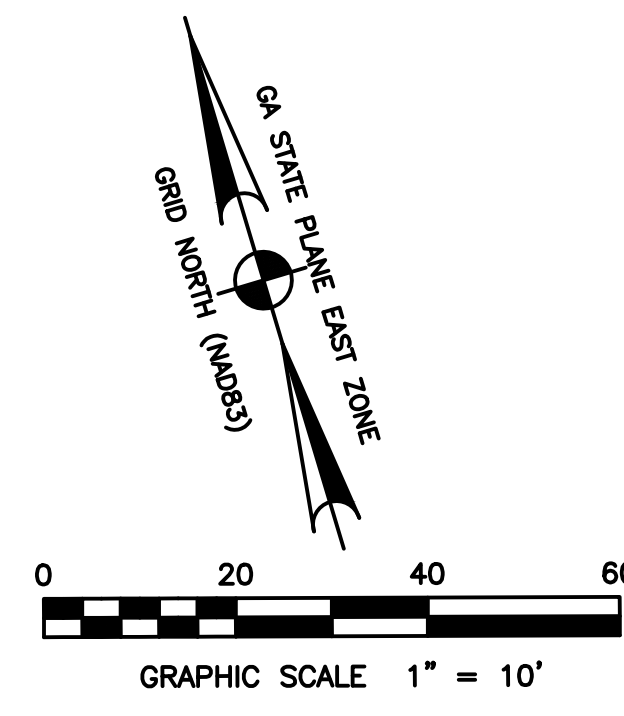
CONCRETE ROAD



**GENERAL DEVELOPMENT**  
8/14/24

GEORGIA  
401 EAST BAY STREET HOTEL  
P.I.N. 20004 19006  
SAVANNAH  
CIVIL UTILITY PLAN

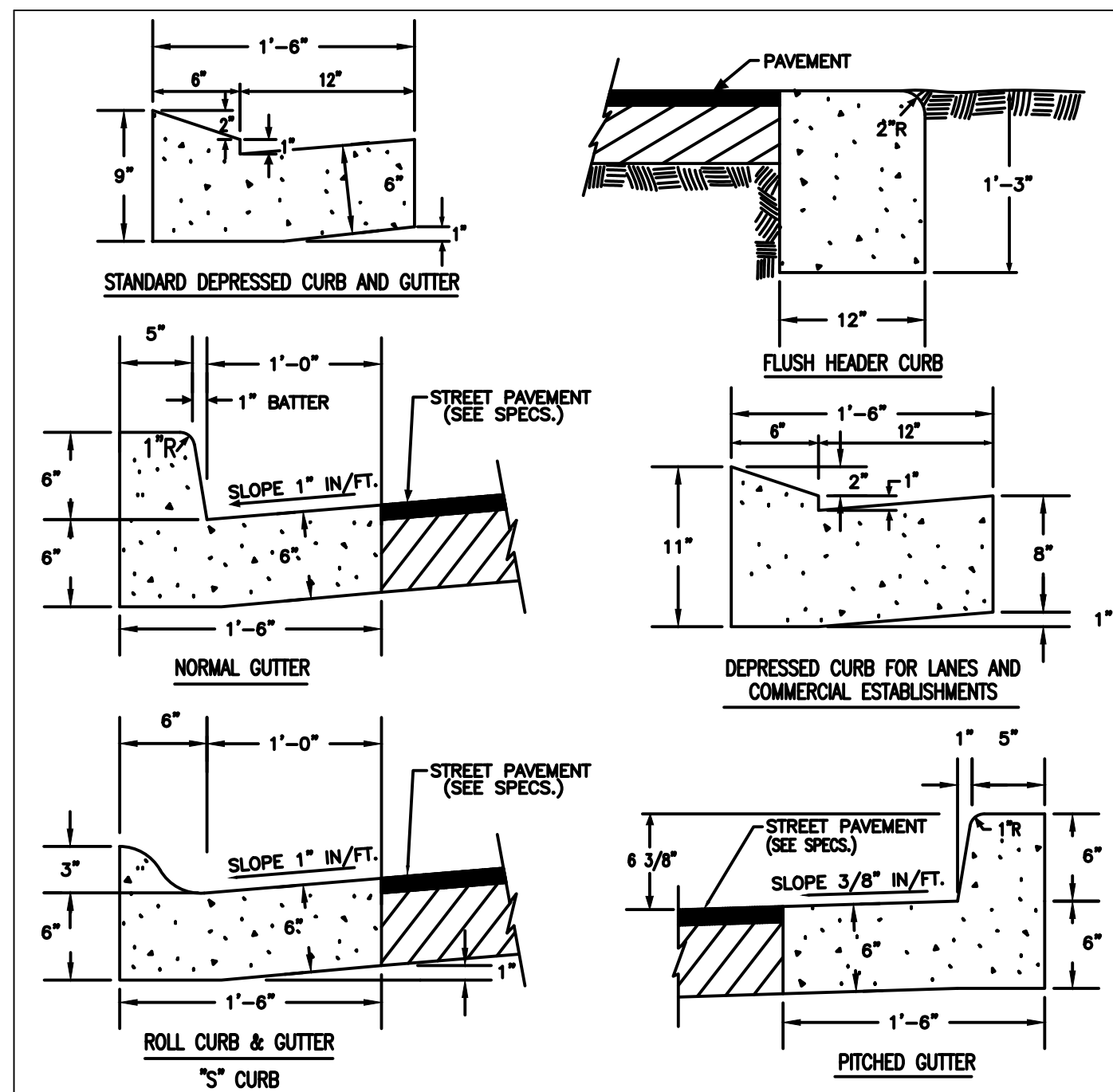
**COASTAL**  
Civil Engineering  
3000 River Drive, Thunderbolt, GA  
Tel: 912.232.9402  
WWW.COASTALCIVIL.COM



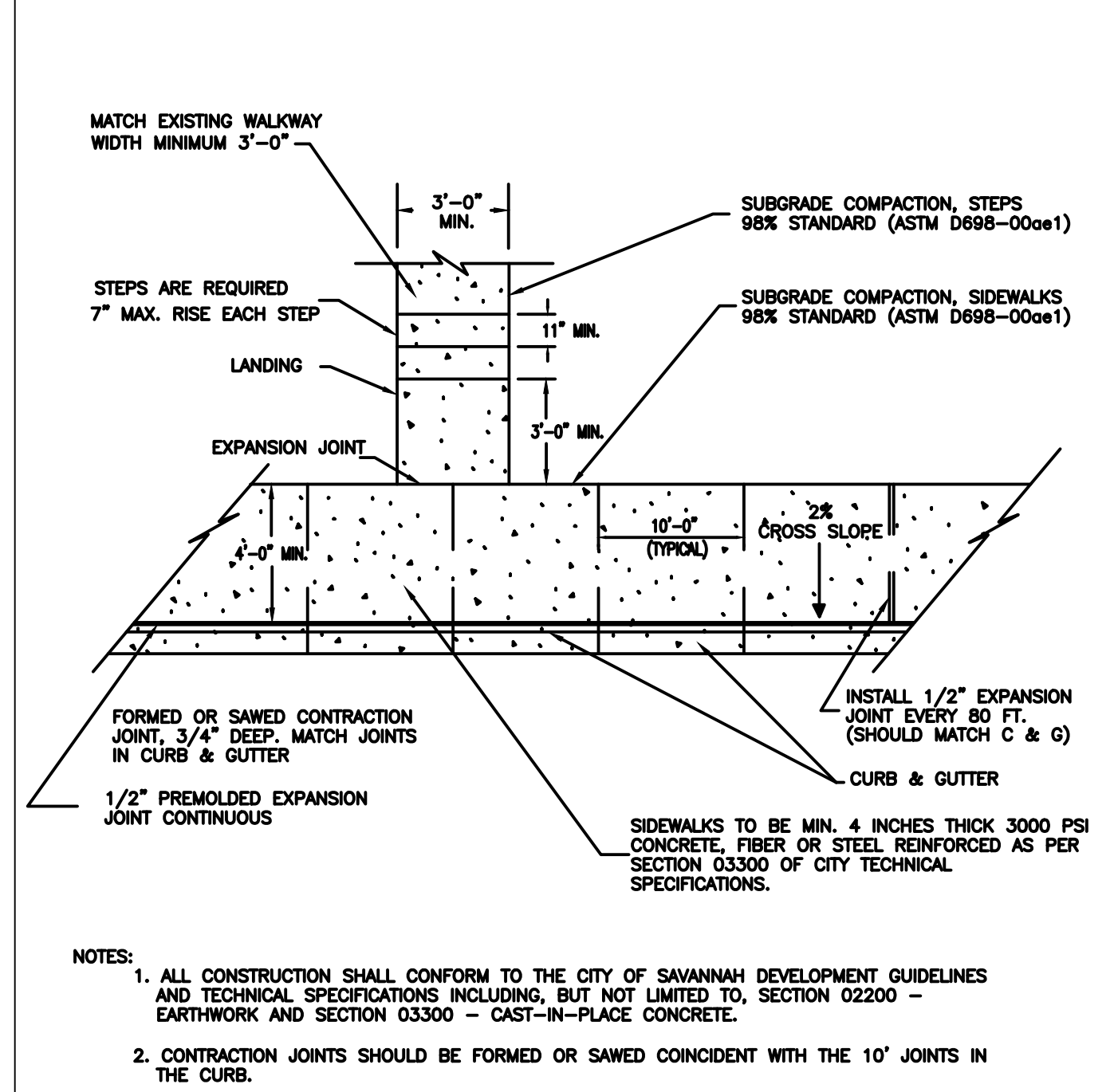
NO.	DATE	REVISION	BY

DATE: XX/XX/XX  
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CHECKED: TH  
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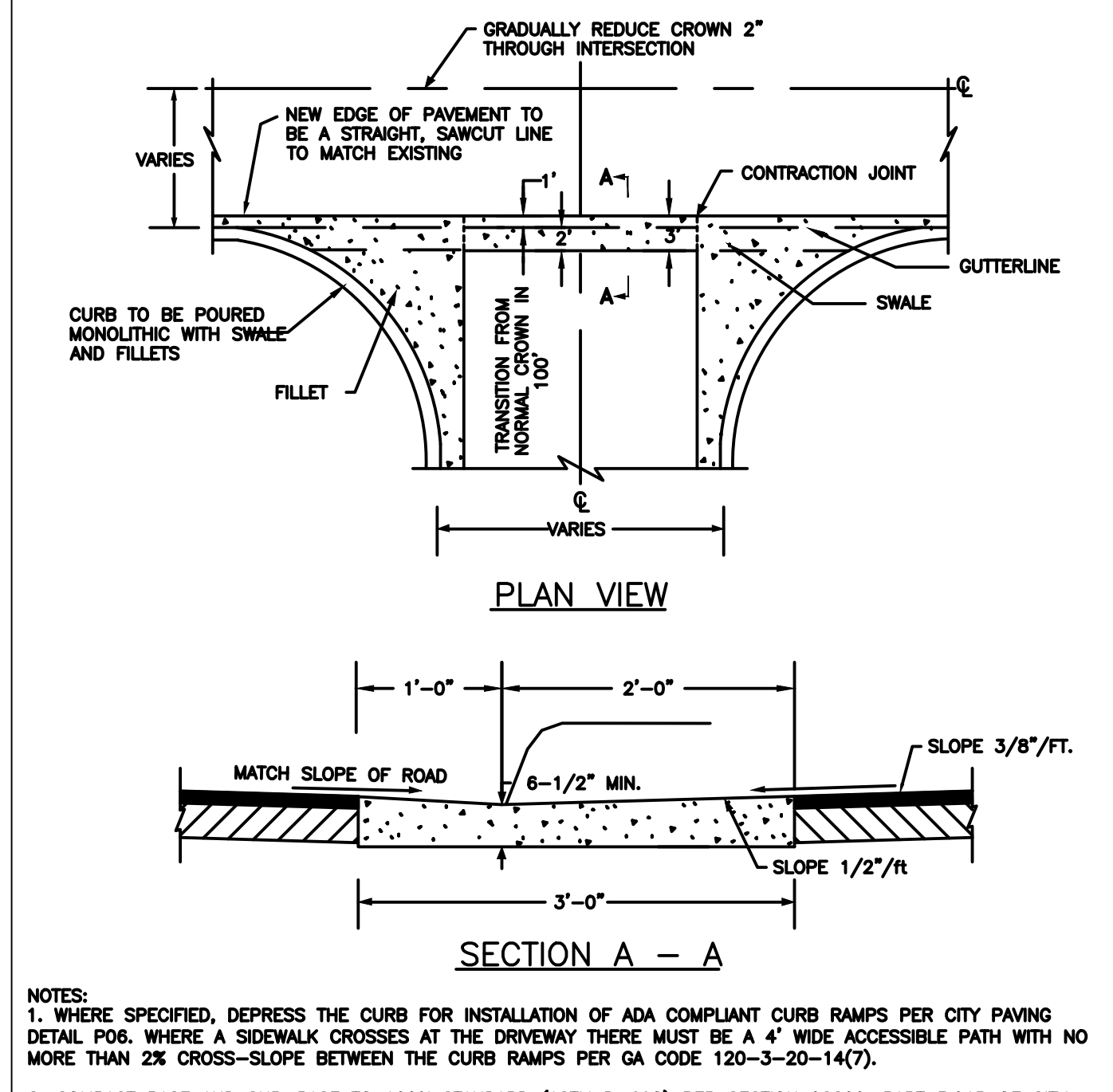
UTILITIES PROTECTION CENTER  
CALL THREE WORKING DAYS  
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THROUGHOUT GEORGIA  
811



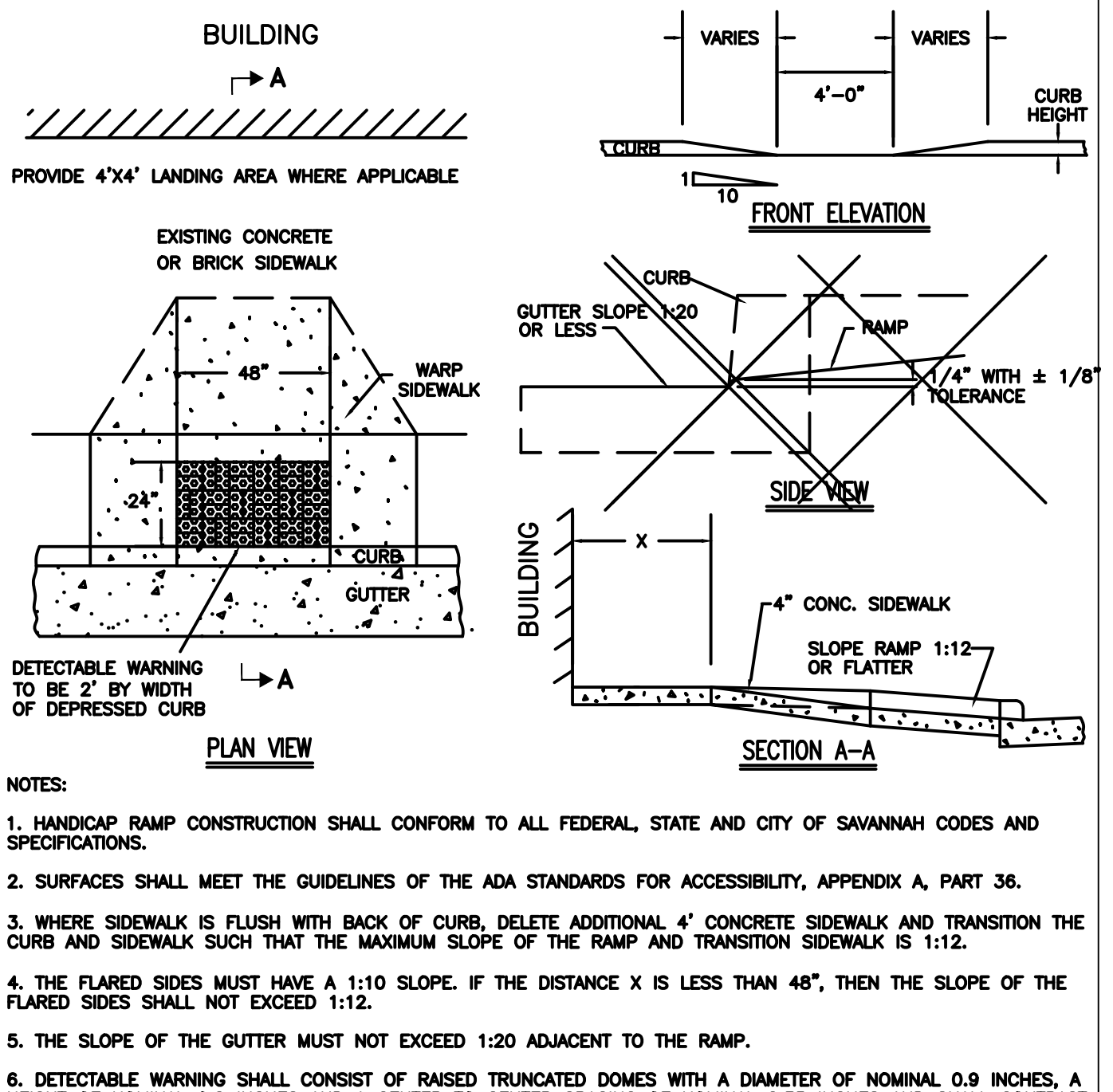
**STANDARD CONSTRUCTION DETAILS**  
**CURB AND GUTTER DETAILS**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P02  
 SCALE: N.T.S.  
 DATE: FEBRUARY 2009



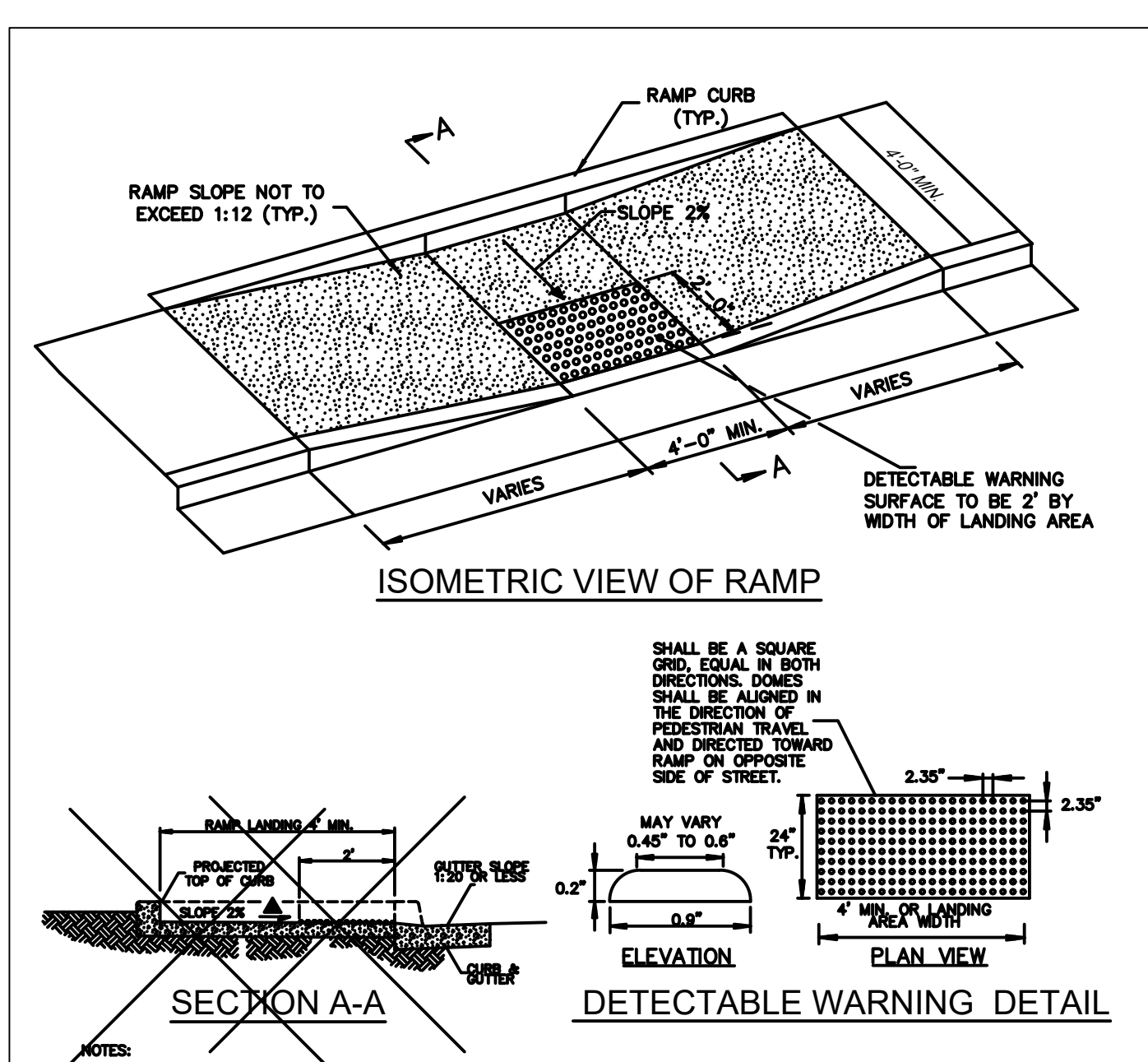
**STANDARD CONSTRUCTION DETAILS**  
**SIDEWALK AND WALKWAY DETAILS**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P03  
 SCALE: N.T.S.  
 DATE: FEBRUARY 2009



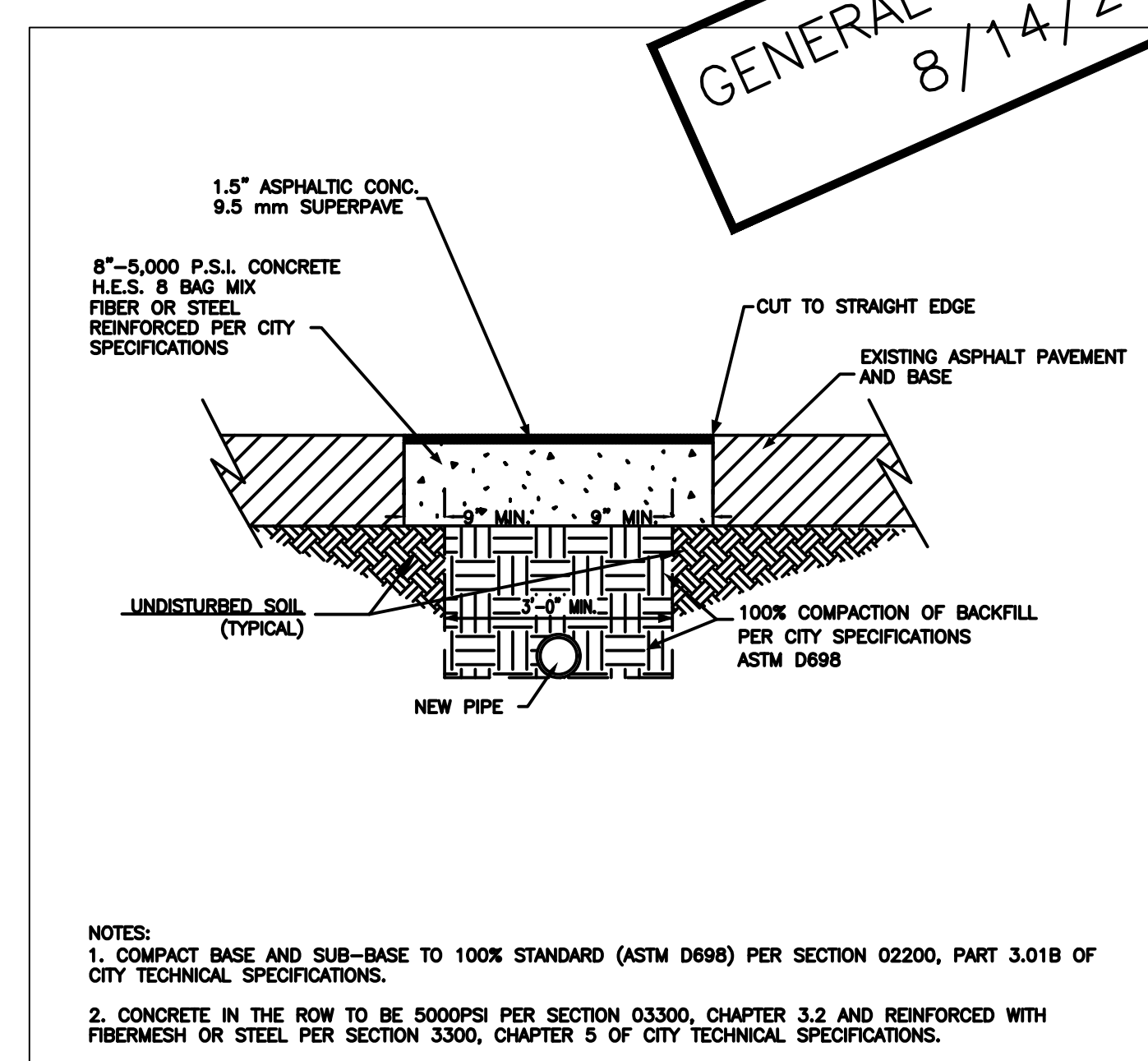
**STANDARD CONSTRUCTION DETAILS**  
**CONCRETE SWALE WITH FILLETS**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P04  
 SCALE: N.T.S.  
 DATE: FEBRUARY 2009



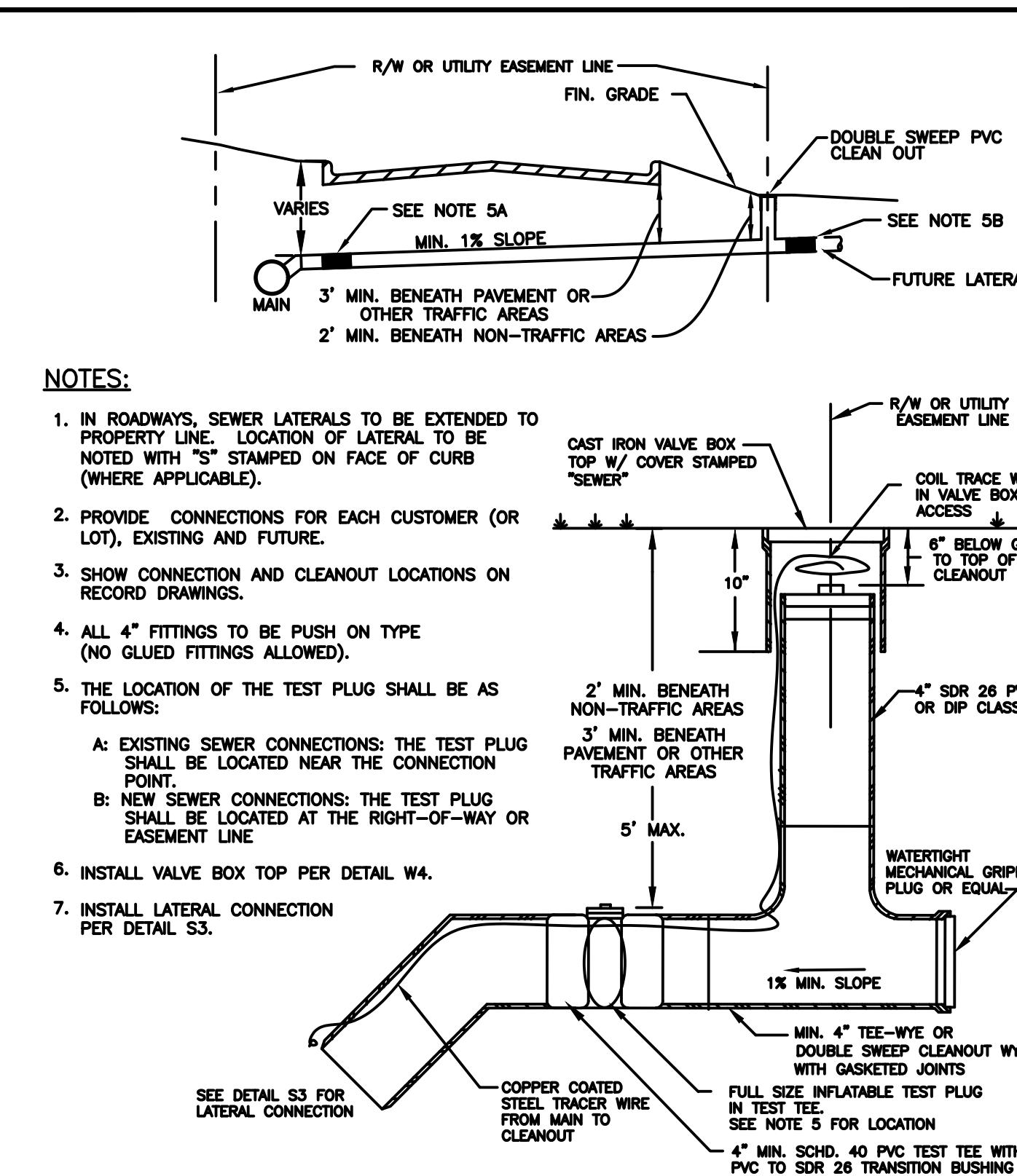
**STANDARD CONSTRUCTION DETAILS**  
**HANDICAP RAMP**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P06  
 SCALE: N.T.S.  
 DATE: JANUARY 2009



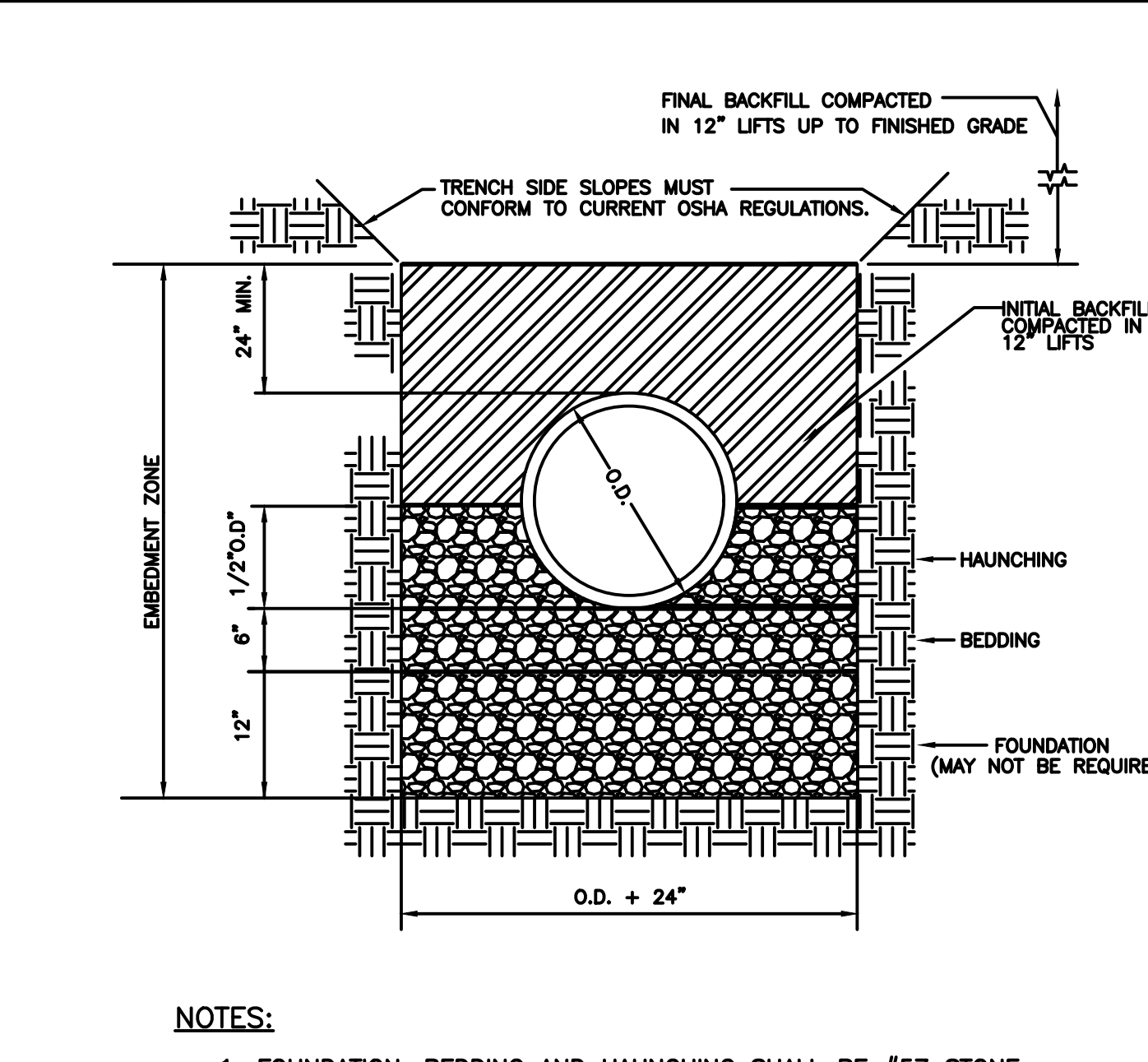
**STANDARD CONSTRUCTION DETAILS**  
**TYPE B HANDICAP RAMP**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P06B  
 SCALE: N.T.S.  
 DATE: FEBRUARY 2009



**STANDARD CONSTRUCTION DETAILS**  
**BITUMINOUS PAVEMENT REPLACEMENT**  
 CITY OF SAVANNAH  
 PLATE NUMBER: P07  
 SCALE: N.T.S.  
 DATE: MARCH 2012



**STANDARD CONSTRUCTION DETAILS**  
**SANITARY SERVICE LATERAL**  
 CITY OF SAVANNAH  
 PLATE NUMBER: S2  
 SCALE: N.T.S.  
 DATE: JAN 2017



**STANDARD CONSTRUCTION DETAILS**  
**STANDARD PIPE BEDDING**  
 CITY OF SAVANNAH  
 PLATE NUMBER: S16  
 SCALE: N.T.S.  
 DATE: JAN 2017

**GENERAL DEVELOPMENT**  
 8/14/24



GEORGIA  
 401 EAST BAY STREET HOTEL  
 P.I.N. 20004 19006  
 SAVANNAH  
 MISCELLANEOUS DETAILS



DATE: xx/xx/xx  
 DRAWN BY: JH  
 CHECKED BY: TH  
 DRAWING NUMBER: C6 OF C8

**NOTES:**

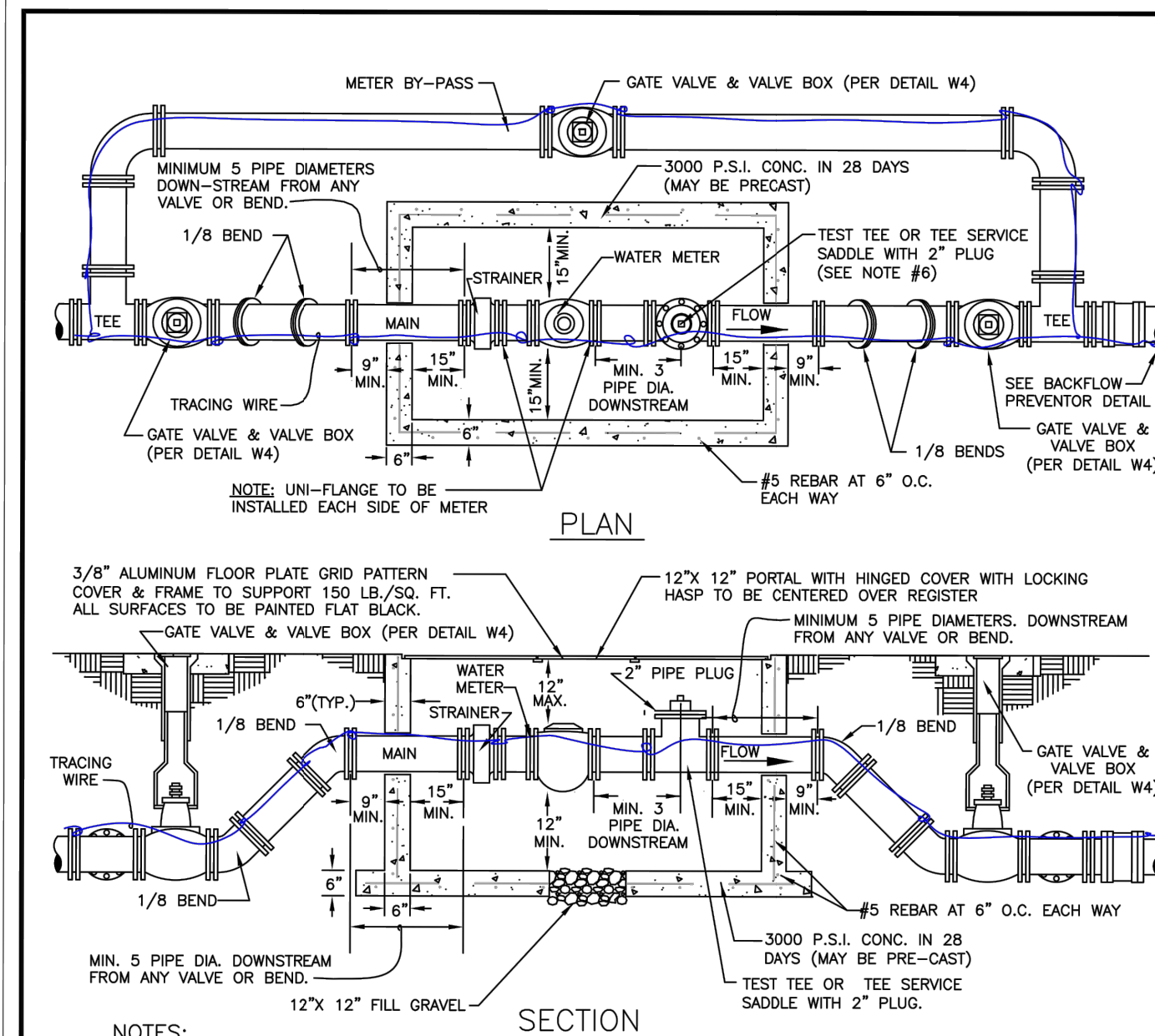
1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF SAVANNAH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
3. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW-PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
4. ALL ABANDONED SANITARY SEWER LINES SHALL BE PLUGGED.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
6. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

**SANITARY SEWER GENERAL NOTES**

STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**S17**



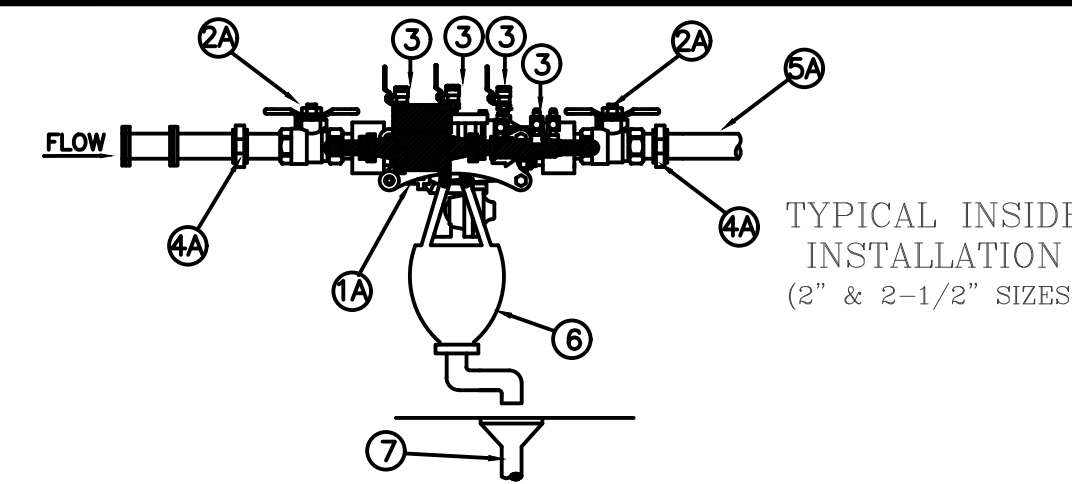
- NOTES:**
1. METER (CLASS II) SHALL HAVE U.L. APPROVED STRAINERS.
  2. COMPLETE BY-PASS ASSEMBLY IS REQUIRED ON ALL METERS.
  3. VALVES SHALL BE MECHANICAL JOINT OR FLANGED GATE VALVES.
  4. ALL JOINTS FROM TEE TO TEE SHALL BE RESTRAINED.
  5. INSPECTION LID SHALL BE INSTALLED SUCH THAT ALL METER REGISTERS CAN BE READ WITHOUT REMOVING THE ENTIRE METER PIT LID.
  6. THE TEST TEE OR TEE SERVICE SADDLE SHALL NOT BE REQUIRED IF THE METER IS EQUIPPED WITH A TEST PORT.
  7. THE METER PIT SHALL BE SIZED AS REQUIRED TO HOUSE THE EQUIPMENT.
  8. OPTIONAL QUARTZITE OR CDR VAULT CAN BE USED.

**WATER METER INSTALLATION 3" AND LARGER**

STANDARD  
CONSTRUCTION  
DETAILS

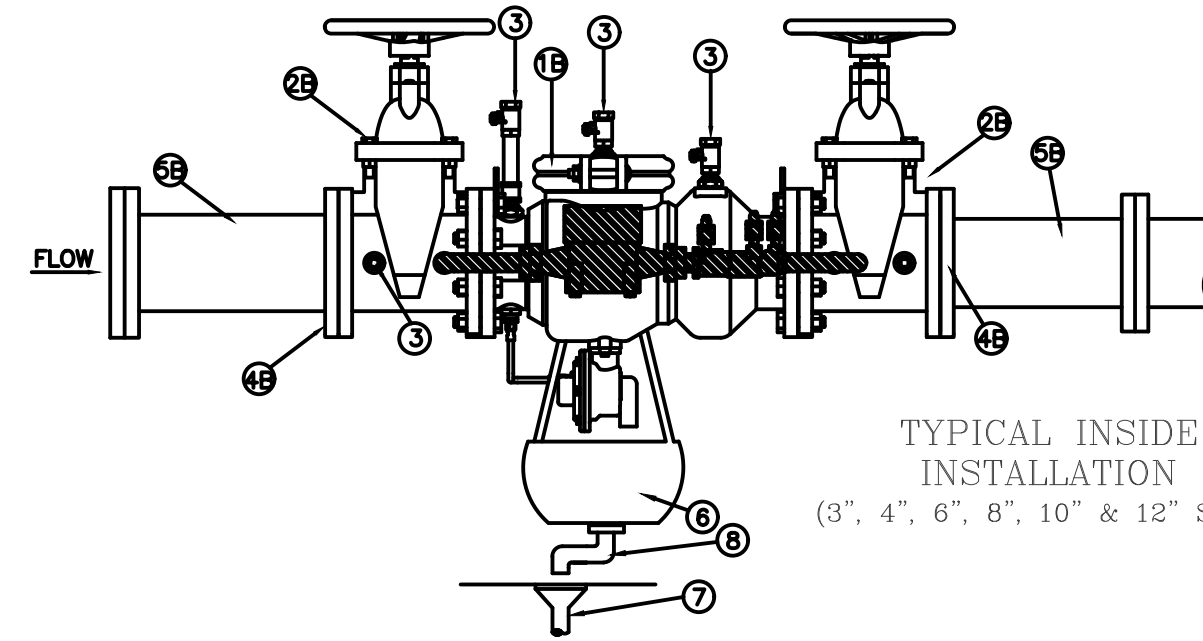


SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W5B**



**MATERIALS**

ITEM	QUAN	DESCRIPTION
1A	1	REDUCED PRESSURE ZONE DEVICE W/ DETECTOR & DETECTOR CHECK
1B	1	REDUCED PRESSURE ZONE DEVICE W/ DETECTOR & DETECTOR CHECK
2A	2	BALL VALVES (2" & 2-1/2")
2B	2	OS&Y RESILIENT GATE VALVES (3" & LARGER)
3	4	TEST COCKS W/ NO-LEAD BRASS PLUGS
4A	2	NO-LEAD BRASS UNIONS (2" AND 2-1/2")
4B	2	RESTRAINED FLANGE ADAPTERS (3" AND LARGER)
5A	1	NO-LEAD BRASS OR COPPER (2" & 2-1/2"), CUT TO FIT.
5B	1	DUCTILE IRON PIPE (3" & LARGER), CUT TO FIT.
6	1	AIR GAP DRAWN
7	1	FLOOR DRAIN SIZED PER MANUFACTURER RECOMMENDATION
8	1	DUCTILE IRON PIPE, CUT TO FIT



**REDUCED PRESSURE DETECTOR ASSEMBLY FOR INSIDE FIRE SYSTEM**

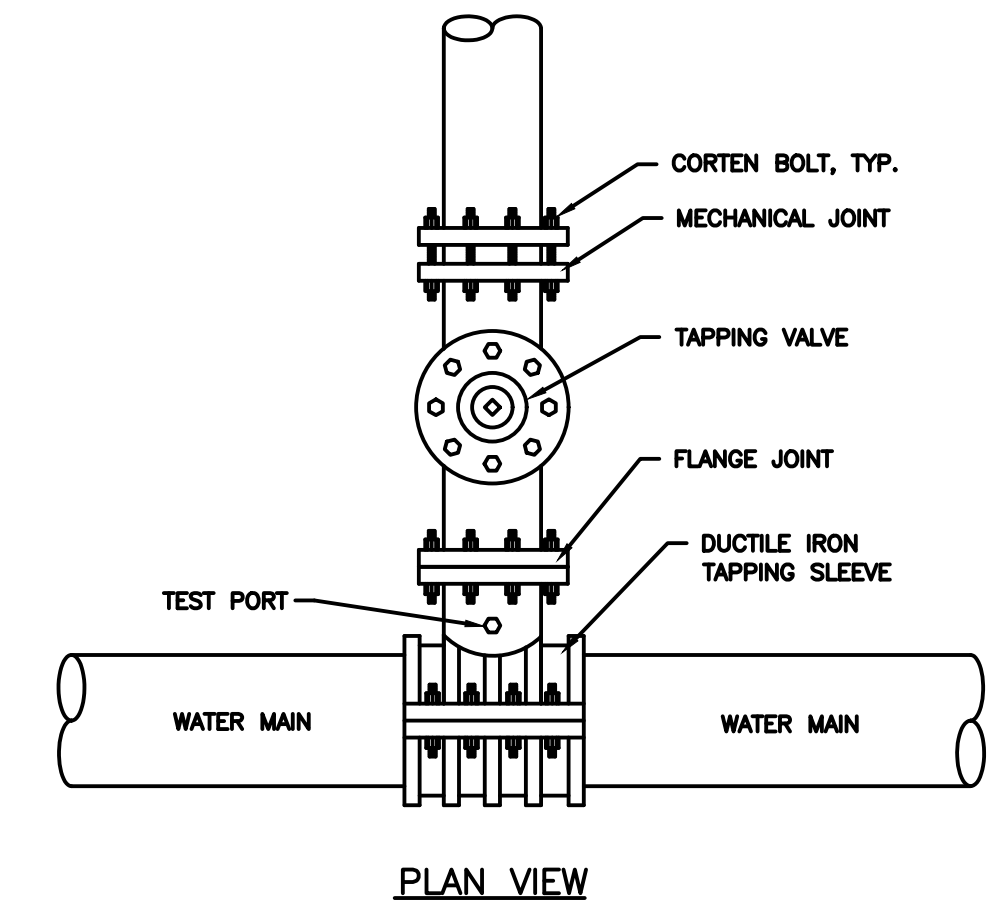
STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W22**

**NOTE:**

1. THE TAPPING SLEEVE AND VALVE MUST BE INSTALLED IN A MANHOLE. (SEE DETAILS W25C & W25D FOR THE MANHOLE DETAILS)

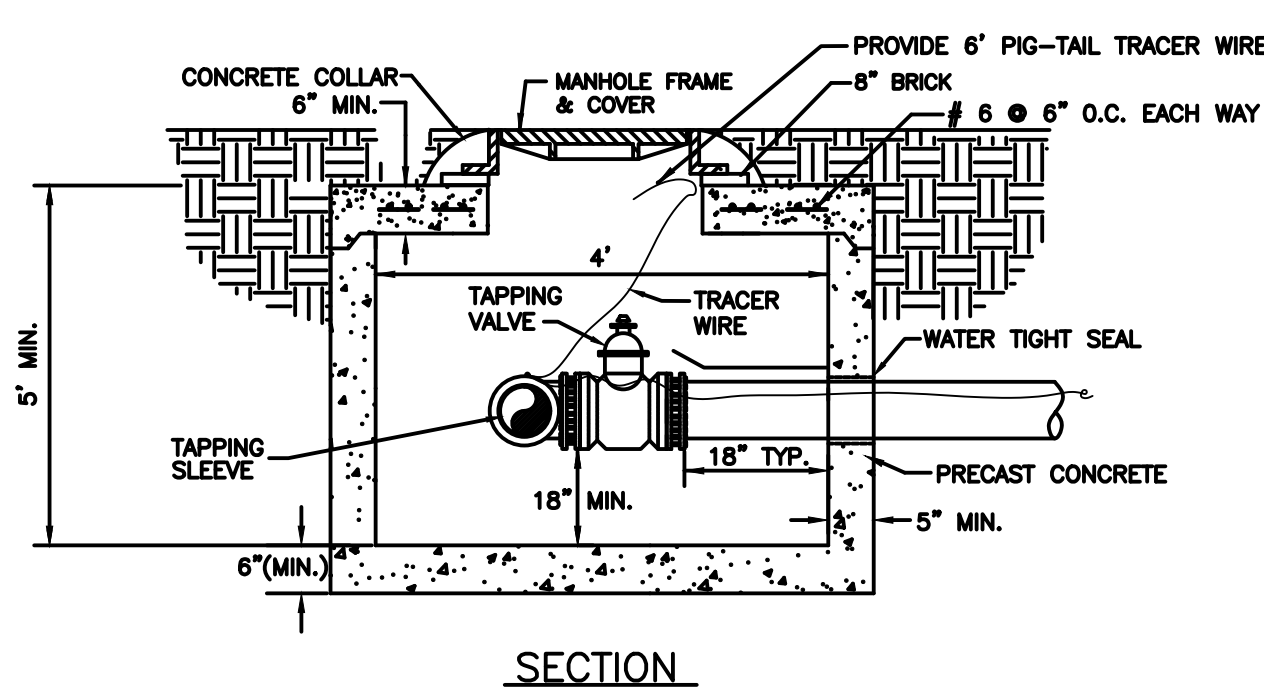


**TYPICAL TAPPING SLEEVES & TAPPING VALVE**

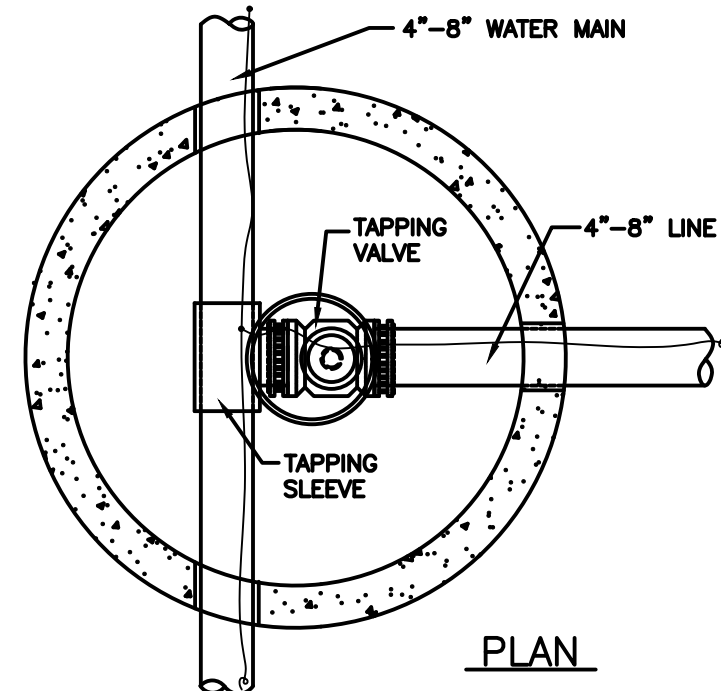
STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W24**



**SECTION**



**PLAN**

**NOTES:**

1. MANHOLE FRAME AND COVER PER DETAIL W27.
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE OPERATING NUT.
5. POLYPROPYLENE MANHOLE STEPS SHALL BE PROVIDED AT 12" O.C. FOR MANHOLES GREATER THAN 5 FEET DEEP.
6. CONNECT TO EXIST TRACER WIRE WITH SPLICE CONNECTION.
7. TAPPING SLEEVE AND VALVE PER DETAIL W24.

**VALVE MANHOLE FOR 4"-8" TAPPING SLEEVES & VALVES**

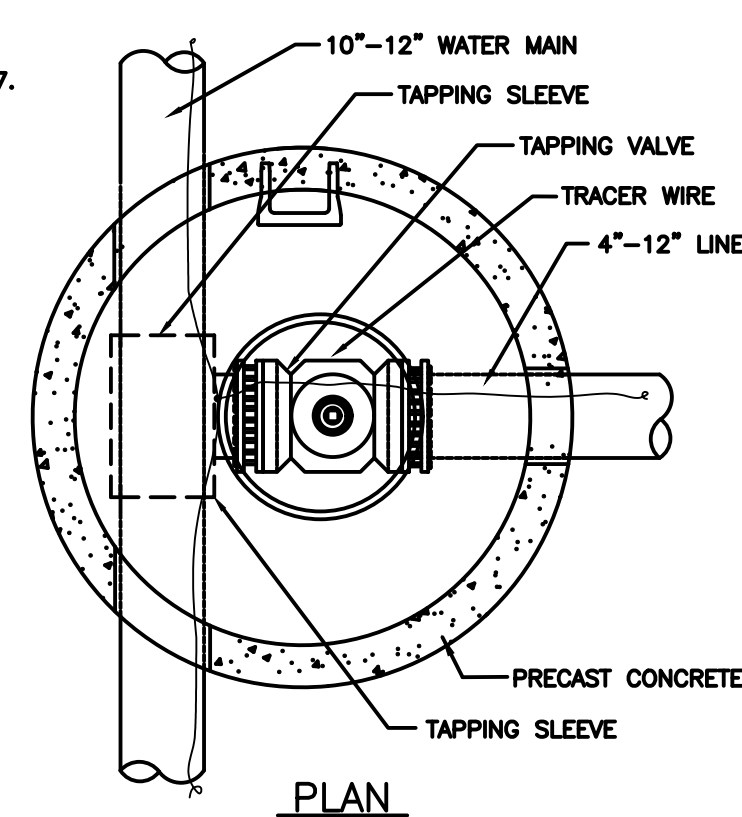
STANDARD  
CONSTRUCTION  
DETAILS



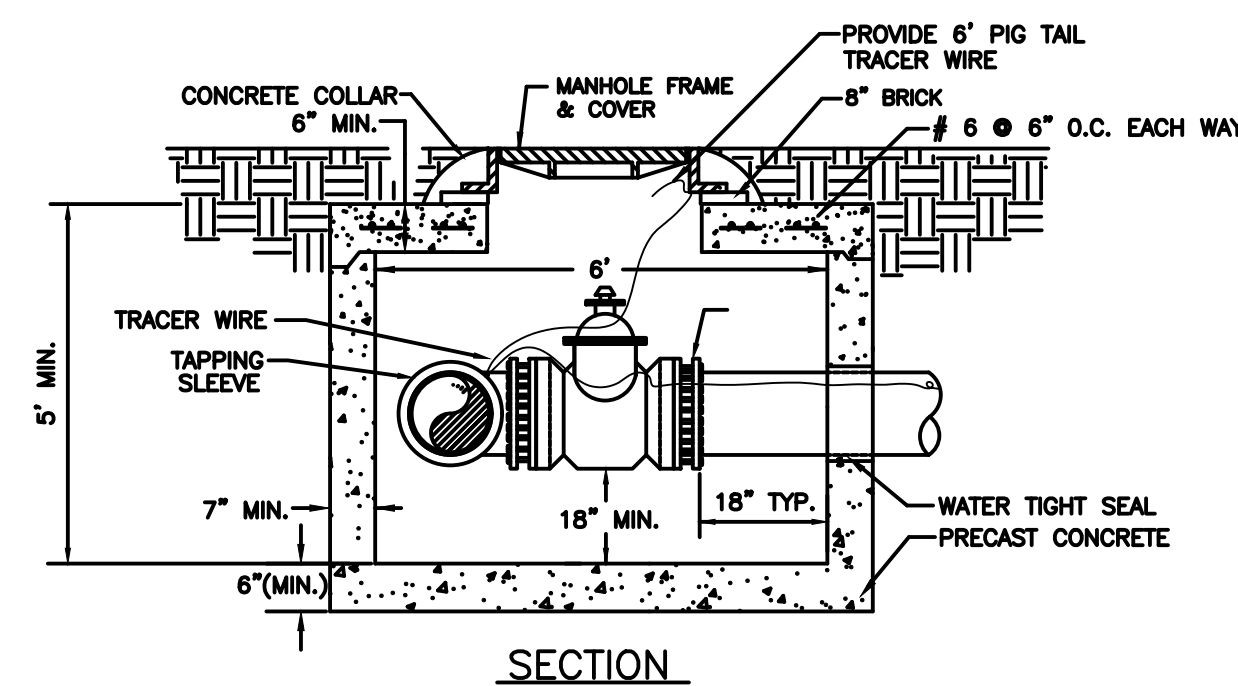
SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W25C**

**NOTES:**

1. MANHOLE FRAME AND COVER PER DETAIL W27.
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE OPERATING NUT.
5. POLYPROPYLENE MANHOLE STEPS SHALL BE PROVIDED AT 12" O.C. FOR MANHOLES GREATER THAN 5 FEET DEEP.
6. TAPPING SLEEVE AND VALVE PER DETAIL W24.
7. CONNECT TO EXIST TRACER WIRE W/ SPLICE CONNECTOR.



**PLAN**



**SECTION**

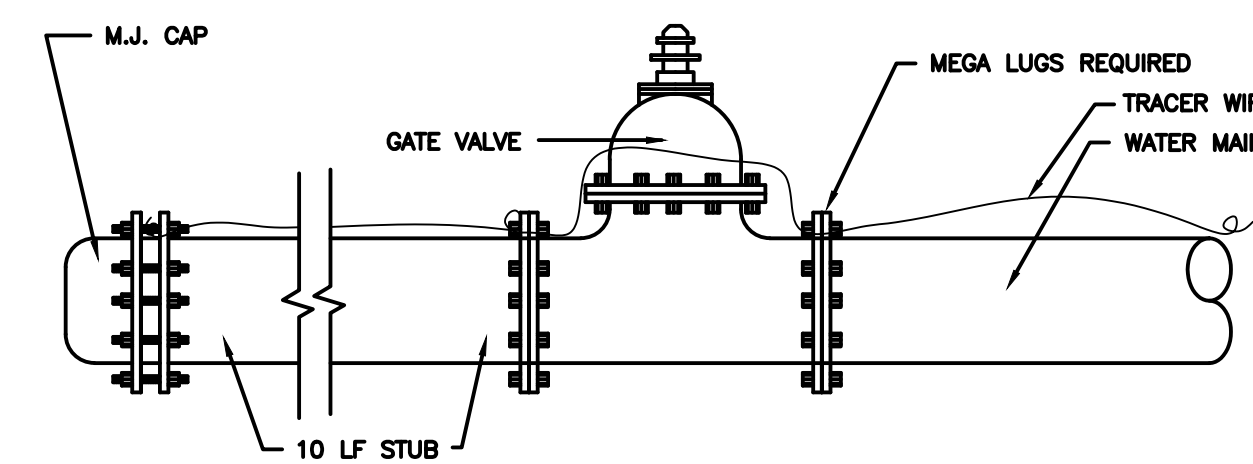
**VALVE MANHOLE FOR 10" & 12" TAPPING SLEEVES & VALVES**

STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W25D**

**GENERAL DEVELOPMENT**  
8/14/24



**NOTES:**

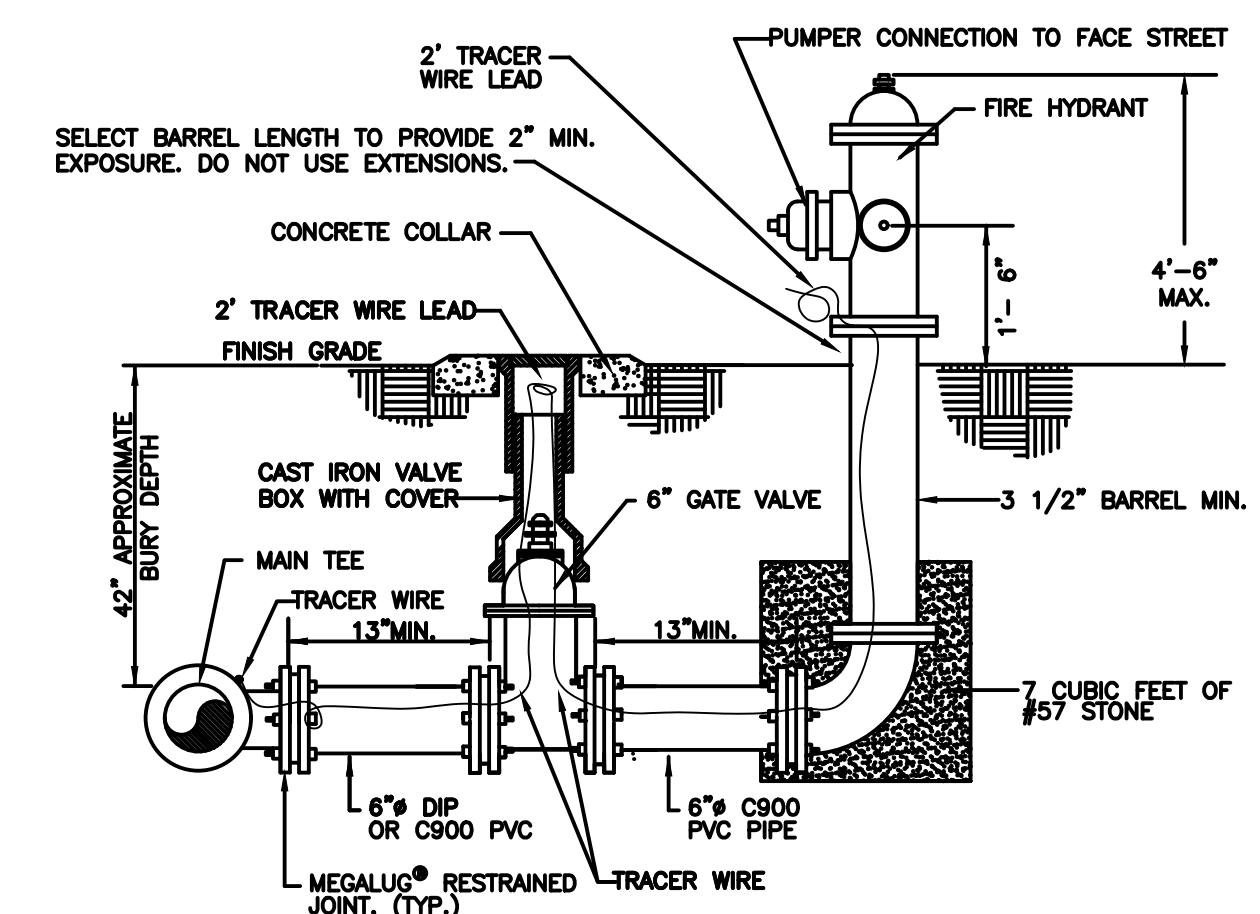
1. VALVES 4" AND LARGER SHALL BE INSTALLED IN A MANHOLE.
2. VALVES SMALLER THAN 4" SHALL BE INSTALLED IN A VALVE BOX. SEE DETAIL W4.
3. ALL JOINTS SHALL BE RESTRAINED (MEGALUG OR EQUIVALENT).
4. SEE DETAIL W32 FOR RESTRAINT REQUIREMENTS UPSTREAM OF THE VALVE.

**TYPICAL LINE STUB**

STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W34**



**NOTES:**

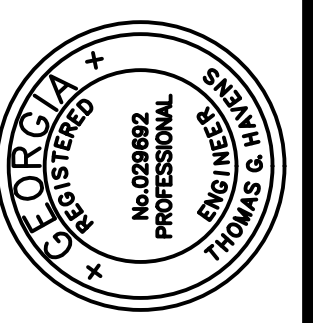
1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
2. VALVE BOX AND COLLAR INSTALLED PER DETAIL W4.
3. REMOVE CHAINS AFTER INSTALLATION OF NEW HYDRANT.
4. CONNECT TRACER WIRE TO WIRE ON MAIN W/ SPLICE CONNECTOR.

**FIRE HYDRANT FOR STANDARD BURY MAINS**

STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATED: JAN 2017  
PLATE NUMBER:  
**W36**



GEORGIA

401 EAST BAY STREET HOTEL  
P.I.N. 20004 19006

SAVANNAH



DATE: xx/xx/xx  
DRAWN BY: JH  
CHECKED BY: TH

DRAWING NUMBER  
**C7 OF C8**

**NOTES**

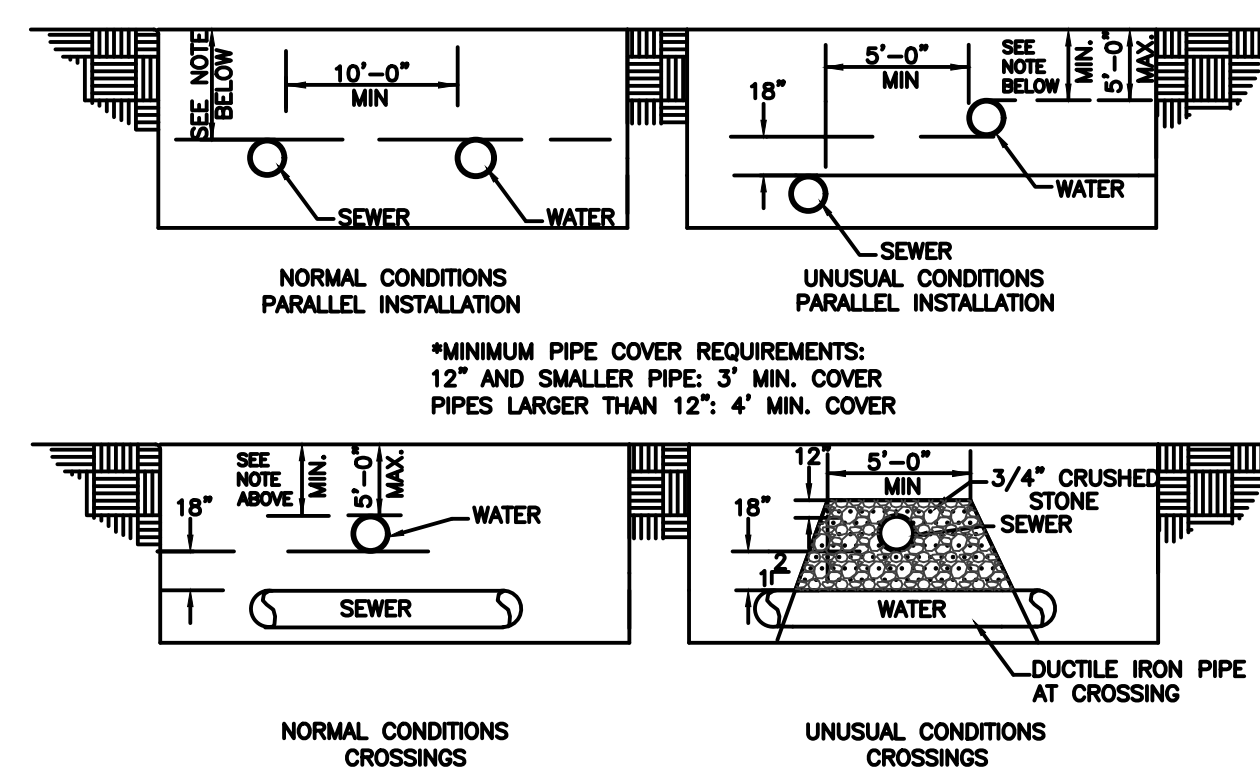
1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF SAVANNAH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE DEVELOPER/CONTRACTOR FROM THE WATER MAIN TO THE METERS. THE CITY OF SAVANNAH WILL ONLY MAKE THE WET TAP. THE CITY WILL NOT INSTALL THE WATER SERVICE LATERAL.
3. ALL MATERIALS USED AND COMING INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
4. IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTION TO THE CITY SYSTEM.
  - A. PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE A HAZARD TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPES, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
  - B. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, OR APPROVED EQUAL, WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
  - C. CLEAN THE INTERIORS OF ALL PIPES BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
  - D. FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. FLUSH NEW LINES WITH SUFFICIENT FLOW TO OBTAIN A FLUSHING VELOCITY OF 2.5 FT/SEC. FLUSH LINES UNTIL WATER RUNS FREE OF DEBRIS. COORDINATE FLUSHING ACTIVITIES WITH CITY PERSONNEL.
5. ANY METER OR HYDRANT REMOVED FROM THE SITE SHALL BE RETURNED TO THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
6. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
7. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
8. ALL ABANDONED WATER LINES SHALL BE CAPPED AT THE MAIN AND THE PIPES PLUGGED.
9. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE WATER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
10. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY WATER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
11. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

**WATER GENERAL NOTES**

STANDARD  
CONSTRUCTION  
DETAILS



SCALE: N.T.S.  
DATE: JAN 2017  
PLATE NUMBER:  
W44



**NOTES:**  
THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:

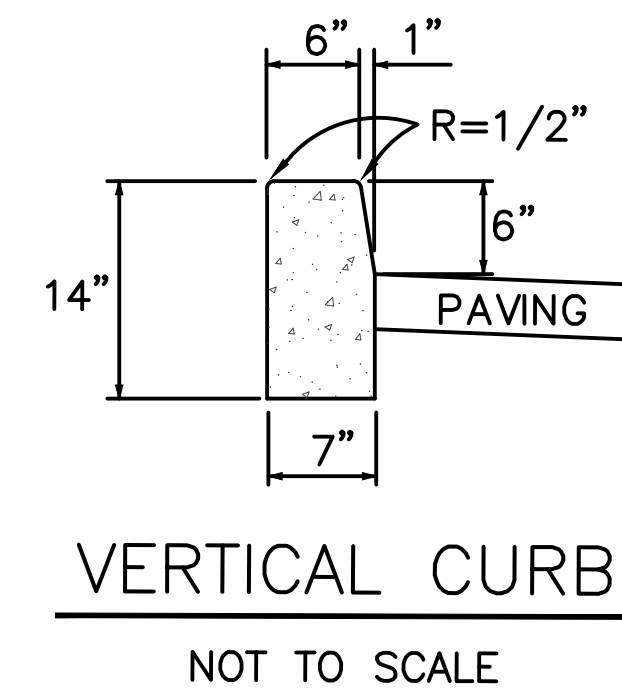
- A. PARALLEL INSTALLATION:**
1. NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
  2. UNUSUAL CONDITIONS: WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.
- B. CROSSINGS:**
1. NORMAL CONDITIONS: WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
  2. UNUSUAL CONDITIONS: IF A WATER MAIN MUST CROSS UNDER A SEWER, THE TOP OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER, THE WATER MAIN PIPE SHALL BE DUCTILE IRON PIPE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.

**MINIMUM WATER AND SEWER PIPE SEPARATION REQUIREMENTS**

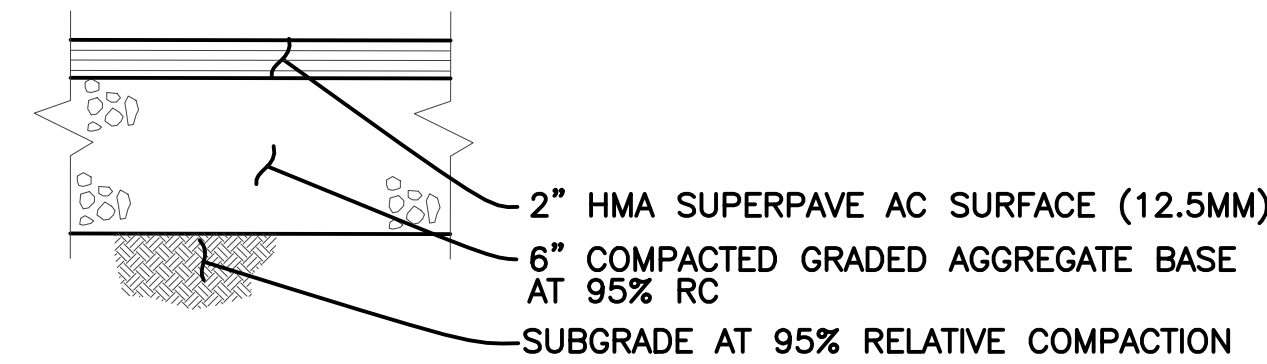
STANDARD  
CONSTRUCTION  
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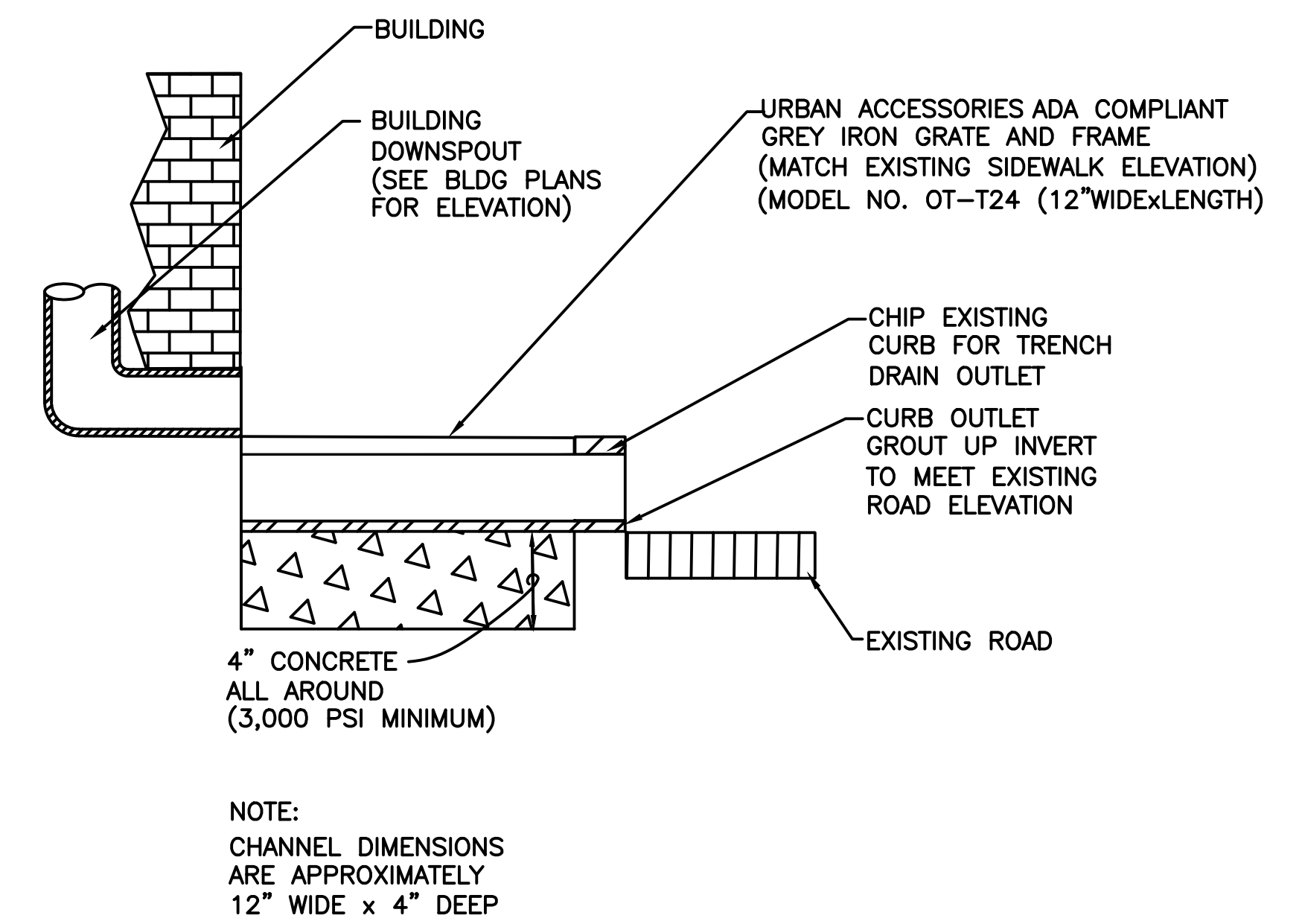
SCALE: N.T.S.  
DATE: JAN 2017  
PLATE NUMBER:  
WS1



**VERTICAL CURB**  
NOT TO SCALE



**ASPHALT CONCRETE STRUCTURAL SECTION (LIGHT DUTY)**  
NOT TO SCALE



**NOTE:**  
CHANNEL DIMENSIONS ARE APPROXIMATELY 12" WIDE x 4" DEEP

**SIDEWALK TRENCH DRAIN**  
NOT TO SCALE

GENERAL DEVELOPMENT  
8/14/24



GEORGIA  
401 EAST BAY STREET HOTEL  
P.I.N. 20004 19006  
SAVANNAH

MISCELLANEOUS DETAILS



DATE: xx/xx/xx  
DRAWN BY: JH  
CHECKED BY: TH  
DRAWING NUMBER: C8 OF C8