

**MAYOR**  
Brian West

**CITY COUNCIL**  
Monty Parks Mayor pro tem  
Bill Garbett  
Spec Hosti  
Tony Ploughe  
Nick Sears  
Kathryn Williams



**CITY MANAGER**  
Bret Bell

**ASST CITY MANAGER**  
Michelle Owens

**CLERK OF COUNCIL**  
Jan LeViner

**CITY ATTORNEY**  
Edward M. Hughes  
Tracy O'Connell

## **CITY OF TYBEE ISLAND**

### **AGENDA**

### **REGULAR MEETING OF TYBEE ISLAND CITY COUNCIL**

### **October 10, 2024 at 6:30 PM**

*Please silence all cell phones during Council Meetings*

#### Opening Ceremonies

- Call to Order
- Invocation
- Pledge of Allegiance

#### Announcements

#### Recognitions and Proclamations

1. Retired Educators Proclamation

#### Consideration of Items for Consent Agenda

#### Consideration of the approval of the minutes of the meetings of the Tybee Island City Council

2. Minutes, City Council Meeting, September 12, 2024

#### Citizens to be Heard: Please limit comments to 4 minutes.

3. Keith Gay: STR Audit

If there is anyone wishing to speak to anything on the agenda other than the Public Hearings, please approach the podium. Please limit your comments to 4 minutes.

#### Consideration of Approval of Consent Agenda

#### Public Hearings

4. Approval of a minor combination subdivision of three lots into two lots. Owner: Billy Navon. Location: 0 5th Avenue. Zoning: C-2 and R-1-B
5. Approval of a site plan for the redevelopment of the Wastewater Treatment Plant. Owner: City of Tybee Island. 923 Bay Street. Zoning: R-1/NEP

**P.O. Box 2749 – 403 Butler Avenue, Tybee Island, Georgia 31328-2749**  
**(866) 786-4573 – FAX (866) 786-5737**  
**[www.cityoftybee.org](http://www.cityoftybee.org)**



Consideration of Local Requests & Applications – Funding, Special Events, Alcohol License

- 6. Trelor Park Beach Party Inc, 1311 Butler Ave  
Entertainment and Alcohol License Request: Liquor/Beer/Wine--Sunday Sales for consumption on premises only. Entertainment during weekend brunch, weekday happy hour/live acoustic music

Consideration of Bids, Contracts, Agreements, and Expenditures

- 7. Merchant Processing Application and Agreement: Cardconnect
- 8. MOU – DNR on Beach Restoration \$4,000,000 Appropriation
- 9. Awarding of RFP 2024-779 Historic District Consultant
- 10. Legislative Services Annual Agreement: Civic Forward Strategies, LLC (Tom Gehl, Principal)
- 11. End of Fiscal Year Budget Amendment

Consideration of Ordinances, Resolutions

- 12. A Resolution to Accept a National Fish And Wildlife Grant Agreement to Undertake the Final Design and Permitting Of Projects In The Back River

Council, Officials and City Attorney Considerations and Comments

Executive Session

Discuss litigation, personnel and real estate

Possible vote on litigation, personnel and real estate discussed in executive session

Adjournment

*Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities are required to contact Jan LeViner at 912.472.5080 promptly to allow the City to make reasonable accommodations for those persons.*

**\*PLEASE NOTE:** Citizens wishing to speak on items listed on the agenda, other than public hearings, should do so during the citizens to be heard section. Citizens wishing to place items on the council meeting agenda must submit an agenda request form to the City Clerk’s office by Thursday at 5:00PM prior to the next scheduled meeting. Agenda request forms are available outside the Clerk’s office at City Hall and at [www.cityoftybee.org](http://www.cityoftybee.org).



**THE VISION OF THE CITY OF TYBEE ISLAND**

*“is to make Tybee Island the premier beach community in which to live, work, and play.”*



**THE MISSION OF THE CITY OF TYBEE ISLAND**

*“is to provide a safe, secure and sustainable environment by delivering superior services through responsible planning, preservation of our natural and historic resources, and partnership with our community to ensure economic opportunity, a vibrant quality of life, and a thriving future.”*

**File Attachments for Item:**

1. Retired Educators Proclamation



**PROCLAMATION  
GEORGIA RETIRED EDUCATORS ASSOCIATION**

**WHEREAS: More than 145,000 retired educators have devoted their time and talents to public education in our state, fostering the academic development of millions of outstanding citizens in the State of Georgia; and**

**WHEREAS: For sixty-seven years, the Georgia Retired Educators Association has dedicated its efforts to improving the welfare of retired educators, and it has provided opportunities for them to become involved in community activities; and**

**WHEREAS: It is appropriate that a day be designated for citizens to express their appreciation for the contributions that retired educators have made and continue to make for the betterment of human lives and for society; and**

**WHEREAS: The Governor of the State of Georgia has proclaimed the day of Sunday, November 3, 2024, as Retired Educators Day in Georgia; and**

**WHEREAS: Local churches and businesses will recognize those lasting contributions made by retired educators in this community; now**

**THEREFORE: I, Brian West, Mayor and the City Council Members of the City of Tybee Island do hereby proclaim the day of November 3, 2024, as "RETIRED EDUCATORS DAY" and I call upon the citizens of the City of Tybee Island to observe that day in an appropriate manner honoring retired educators. Given unto my hand and seal at Tybee Island, Georgia, on this 26<sup>th</sup> day of September 2024.**

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**BRIAN WEST, MAYOR  
City of Tybee Island**



**P.O. Box 2749 – 403 Butler Avenue, Tybee Island, Georgia 31328-2749**  
**(866) 786-4573 – FAX (866) 786-5737**  
**[www.cityoftybee.org](http://www.cityoftybee.org)**

Item #1.



**File Attachments for Item:**

2. Minutes, City Council Meeting, September 12, 2024

Mayor West called the meeting to order at 6:30PM, September 12, 2024. Those in attendance were Nick Sears, Monty Parks, Spec Hosti, Kathryn Williams, Tony Ploughe and Bill Garbett. Also attending were Bret Bell, City Manager; Michelle Owens, Assistant City Manager; Bubba Hughes, City Attorney, Tracy O'Connell, City Attorney; and Jan LeViner, City Clerk.

### **Opening Ceremonies**

Call to Order

Tribute to 911

Invocation: Sheron Burgess, American Legion Auxiliary Post 154

Pledge of Allegiance

### **Consideration of Items for Consent Agenda**

- Minutes, City Council Meeting, August 22, 2024
- Agenda Request: Tybee Festival Association/Tybee Pirate Fest: Special Event Alcohol License Request-Beer and Wine October 11-13, 2024
- 2024 Certified Local Government Grant for Fort Screven National Register Historic District and the North Campbell Neighborhood
- Agreement for Fire Service Mutual Aid, Chatham County and Tybee Island, term of five (5) years from the date of execution and may be renewed for additional terms upon mutual agreement of the Parties.
- Professional Services Agreement: City of Tybee Island and Jeffrey Kenney, MD. Yearly stipend, \$6,000.

### **Consideration of Boards, Commissions and Committee Appointments**

#### **Historic Preservation Commission Vacancy**

- Jacilyn Ledford
- Cynthia Howze
- Stephen Mennella

**Bill Garbett** made a motion to accept the recommendation of the HPC of Jacilyn Ledford.

**Kathryn Williams** seconded. Vote was unanimous to approve, 6-0.

### **Invited Guests and Staff Reports. Please limit to 10 minutes.**

**Dale Williams** approached Mayor and Council to discuss **Beach Safety** on the Island. Mr. Williams did a short presentation regarding beach safety on not only the south-end but also the entire beach. (attached). Mayor West thanked Mr. Williams for his presentation.

### **Citizens to be Heard**

**Dawn Shay** approached Mayor and Council. Ms. Shay spoke in support of Mr. Williams and his recommendation for a Task Force. Mayor West thanked Ms. Shay.

**Kathryn Williams** made a motion to approve the consent agenda. **Monty Parks** seconded. Vote was unanimous to approve, 6-0.

### **Council, Officials and City Attorney Considerations and Comments**

**Spec Hosti** discussed the **Financing of Polk and Solomon**. Mr. Hosti made reference to the Campground Fund and asked if the City can use a portion of that money to repay the General Fund. Mr. Hughes responded, it is his opinion the City could use those funds for that purpose.

He also stated that once the Camp Ground is paid for, it will belong to the City and they would be required to compensate the City for the use of that property. **NO ACTION TAKEN.**

**Spec Hosti** made a motion to adjourn to executive sessions to discuss real estate, personnel and litigation. **Tony Ploughe** seconded. Vote was unanimous to approve, 6-0.

**Spec Hosti** made a motion to return to regular session. **Monty Parks** seconded. Vote was unanimous to approve, 6-0.

**Monty Parks** made a motion to adjourn. **Spec Hosti** seconded. Vote was unanimous to approve, 6-0.

Meeting was adjourned at 8:35PM.

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Janet LeViner, MMC  
Clerk of Council

**File Attachments for Item:**

4. Approval of a minor combination subdivision of three lots into two lots. Owner: Billy Navon.  
Location: 0 5th Avenue. Zoning: C-2 and R-1-B



# STAFF REPORT

CITY COUNCIL MEETING: October 10, 2024

**REQUESTED ACTION:** Approval of a minor combination subdivision of three lots into two lots.

**LOCATION:** 0 5<sup>th</sup> Avenue

**PIN:** 40003 11014

**APPLICANT:** Billy Navon

**OWNER:** Billy Navon

**EXISTING USE:** Three vacant lots

**PROPOSED USE:** Two vacant lots; one for future residential use and one for future commercial uses

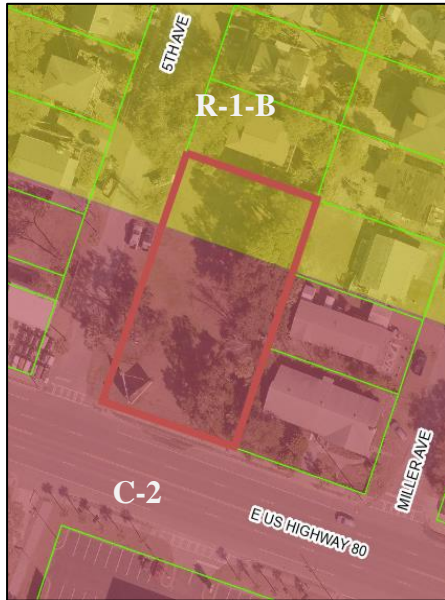
**ZONING:** C-2 and R-1-B

**USE PERMITTED BY RIGHT:** N/A

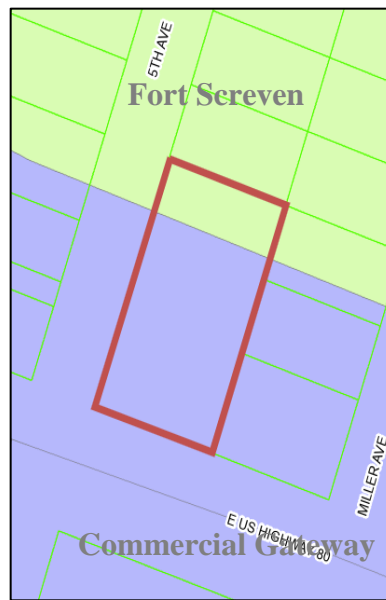
**COMMUNITY CHARACTER MAP:** Commercial Gateway and Fort Screven

**PROPOSAL:** The applicant is requesting to combine three lots (170, 171, and 172) of 0.17 acres each into two lots. The lot line for lot 170 will be adjust southward by two feet while the lots of remainder of 171 and all of lot 172 will be combined into one lot (lot 171). The property is currently platted as HAYLEY'S COVE SUB lots 170-172, with each lot being 0.17 acres.

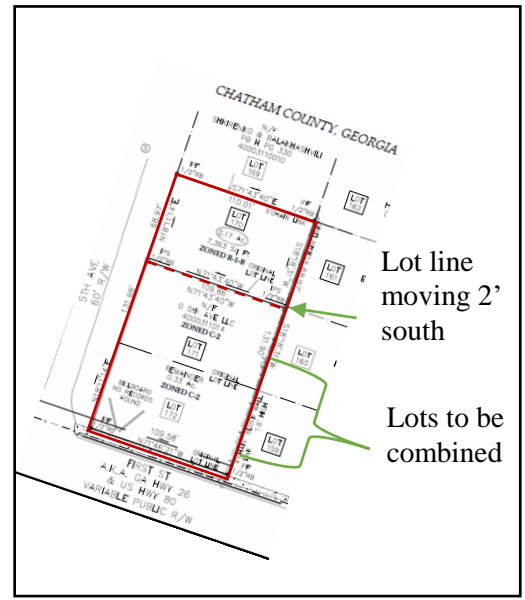
**PLANNING COMMISSION:** The Planning Commission recommended approval of the proposed minor subdivision by a vote of 4-3 at the September 16, 2024 regular meeting.



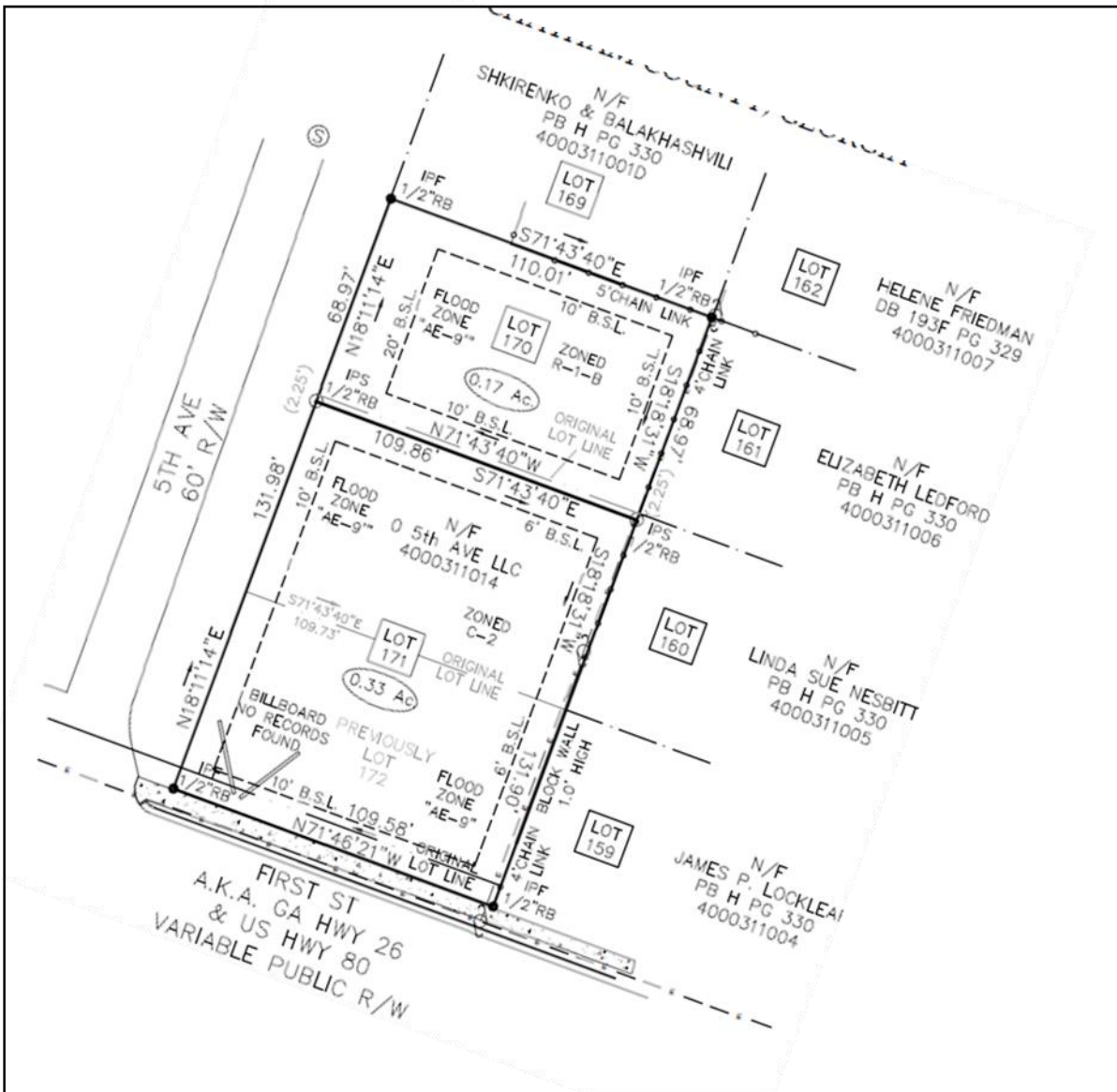
Map 1: Zoning



Map 2: Community Character Areas



Map 3: Minor Plat Configuration



Map 4: Proposed minor subdivision

**LAND DEVELOPMENT CODE (LDC) ANALYSIS.** The proposed combination subdivision meets the requirements for new lots in the each zoning district, including the 60' lot width requirement. The minor subdivision is compliant with the plat submittal requirements of **Section 10-050 – Minor subdivisions** as the lots front an existing public street, do not require a new street, with water and sewer available.

The minor subdivision also meets the standards for subdivision proposals as laid out in **Section 5-151 - Standards for subdivision proposals:**

- All subdivision proposals shall be consistent with the need to minimize flood damage.
- All subdivision proposals shall have public utilities and facilities such as sewer, gas, electrical and water systems located and constructed to minimize flood damage.
- All subdivision proposals shall have adequate drainage provided to reduce exposure to flood hazards.
- Base flood elevation data shall be provided for subdivision proposals and other proposed development.

Any future development of the C-2 zoned lot will require a site plan review, and possible special review, depending on the proposed use in accordance with the requirements of the LDC. Tree preservation and drainage analysis will

occur during the permitting application phase. No development requirements of the LDC are waived, modified, or varied by the approval of this final plat.

**TYBEE ISLAND 2021-2026 COMPREHENSIVE PLAN UPDATE ANALYSIS.** This site falls into two character areas of the Comprehensive Plan: Fort Screven to the north and Commercial Gateway to the south. The zoning district boundaries line up, while not exact, with the boundaries of the character areas for these lots. The Commercial Gateway Character Area generally follows the lines of the C-2 zoning district for these lots. The Fort Screven Historic District echoes the boundary of the R-1-B zoning district boundary for these lots. The character areas are described herein:

*The **Commercial Gateway Character Area** is the gateway to all other character areas in the city. It is the main corridor on and off the Island, and includes a wide mix of uses that varies along its route. The mix of neighborhood commercial uses include shopping, crafts and art, restaurants, and eco-tourism, while there are rentals and homes of various sizes and types scattered throughout the area as well. It is a key area for all people on the Island, including residents and visitors.*

*The **Fort Screven Historic District** includes Officers Row and all of historic Ft. Screven, which represents significant historic, cultural and natural resources. The neighborhood is a unique area that includes many uses, including some new, larger scale development, traditional cottages, townhomes/condominiums, public uses such Jaycee Park, the Tybee Post Theater and the Community Center, historic sites, narrow streets, old growth street trees and public parking. The area is listed on the National Register of Historic Places as the Fort Screven Historic District.*

<b>Comprehensive Plan – Community Character Area Commercial Gateway</b>		
<i>Recommended Development Strategies</i>		<i>Meets Strategy Y/N or N/A</i>
1.	Encourage commercial and mixed use development and redevelopment along the US 80 commercial corridor	Y
2.	Discourage down-zoning within the US 80 commercial corridor	Y
3.	Establish standards for a maximum percentage of residential use on a per parcel basis to encourage mixed use	N/A
4.	Enhance pedestrian movements with streetscape improvements	N/A
5.	Allow for the appropriate mix of retail, residential, and tourism related uses consistent with the Plan vision	Y
6.	Implement traffic calming measures and parking improvements	N/A
7.	Establish noise and sight buffers between commercial uses and adjacent residential area	N/A

<b>Comprehensive Plan – Community Character Area Fort Screven</b>		
<i>Recommended Development Strategies</i>		<i>Meets Strategy Y/N or N/A</i>
1.	Continue to preserve or restore historic structures whenever possible.	Y
2.	Provide appropriate incentives for historic restoration projects as feasible in this area	N/A
3.	Identify potential opportunities for adaptive reuse rather than new construction when feasible	N/A
4.	Support an improved bicycle and pedestrian environment with connected facilities.	N/A
5.	Consider adoption of architectural standards for historic structures.	N/A



**STAFF FINDING.** The proposed minor subdivision meets the requirements of the Land Development Code of Tybee Island. Staff recommends approval.

**STAFF CONTACT**

Patricia Sinel, AICP, CFM, CNU-A  
Community Development Director  
[Patricia.Sinel@cityoftybee.gov](mailto:Patricia.Sinel@cityoftybee.gov)  
912-472-5031

**ATTACHMENTS**

- A. Subdivision application
- B. Subdivision plat
- C. SAGIS map



CITY OF TYBEE ISLAND
SUBDIVISION OF LAND APPLICATION

FEE
MAJOR SUBDIVISION \$500
MINOR SUBDIVISION \$125

Address or location of subject property: 0 5th Ave. Tybee Island GA 31328

PZ2024-0010

PIN# 40003 11014

Applicant Name: Billy Navon

Mailing address: 0 5th Ave. Tybee Island GA 31328

Phone/Email: billynavon@yahoo.com 912-786-4430

Brief description of the land development activity and use of the land thereafter to take place on the property:

Relocating a home from 15 15th street to the smaller rear lot. The two commercial lots towards HWY 80 will be recombined into 1

Is Applicant the Property Owner? [x] Yes [ ] No

If Applicant is the Property Owner, Proof of Ownership is attached: [x] Yes

If Applicant is other than the Property Owner, a signed affidavit from the Property Owner granting the Applicant permission to conduct such land development is attached hereto. [x] Yes

Names and addresses of all adjacent property owners are attached: [x] Yes

If within two (2) years immediately preceding the filing of the Applicant's application for a zoning action, the Applicant has made campaign contributions aggregating to more than \$250 to the Mayor and any member of Council or any member of the Planning Commission, the Applicant and the Attorney representing the Applicant must disclose the following:

- a. The name of the local government official to whom the campaign contribution or gift was made;
b. The dollar amount of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of the application for this zoning action, and the date of each contribution;
c. An enumeration and description of each gift having a value of \$250 or more made by the Applicant to the local government official during the two (2) years immediately preceding the filing of the application for this zoning action.

Disclosure of Campaign Contributions form attachment hereto: [x] Yes

[Signature]
Signature of Applicant

July 22, 2024
Date

NOTE: Other specific data is required for each type of Subdivision of Land.

Fee Amount \$125.00 Check Number Date

City Official

NOTE: This application must be accompanied by following information:

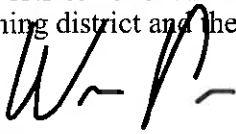
- x   8 copies, no smaller than 11 x 17, of the proposed subdivision with the building setback lines.
- x   8 copies, no smaller than 11 x 17, of the engineered drainage and infrastructure plan.
- x   The name(s) of all proposed new street(s) or private drive(s).
- x   8 copies, no smaller than 11 x 17, of the existing tree survey and tree removal plan.

The Planning Commission may require elevations or other engineering drawings covering the proposed subdivision.

The Mayor and Council will not act upon a subdivision until the drainage and infrastructure plan has met the approval of the City's engineering consultant.

The Applicant certifies that he/she has read the requirements for Major/Minor Subdivision and has provided the required information to the best of his/her ability in a truthful and honest manner.

All new lots established within subdivisions shall conform to the lot area as set forth in the general provisions for each zoning district and the lot width shall be a minimum of 60 feet at the building line.



Signature of Applicant

July 22, 2024

Date



CITY OF TYBEE ISLAND

CONFLICT OF INTEREST IN ZONING ACTIONS

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you within the past two (2) years made campaign contributions or gave gifts having an aggregate value of \$250.00 or more to a member of the City of Tybee Island Planning Commission, or Mayor and Council or any local government official who will be considering the rezoning application?

YES \_\_\_\_\_ NO  X

IF YES, PLEASE COMPLETE THE FOLLOWING SECTION:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS OF \$250.00 OR MORE	GIFTS OF \$250.00 OR MORE	DATE OF CONTRIBUTION

IF YOU WISH TO SPEAK CONCERNING THE ATTACHED REZONING APPLICATION, THIS FORM MUST BE FILED WITH THE ZONING ADMINISTRATOR FIVE (5) DAYS PRIOR TO PLANNING COMMISSION MEETING IF CAMPAIGN CONTRIBUTIONS OR GIFTS IN EXCESS OF \$250.00 HAVE BEEN MADE TO ANY MEMBER OF THE PLANNING COMMISSION OR MAYOR AND COUNCIL.

Signature William Navon

Printed Name William Navon

Date July 22, 2024

**O 5<sup>th</sup> Ave LLC.  
PO Box 585  
O 5<sup>th</sup> Ave  
Tybee Island. GA 3128  
912-786-4430**

To the City of Tybee Island

This letter is to authorize Roberts Engineering to submit permits on behalf of O 5<sup>th</sup> Ave LLC.

Please feel free to contact me with any questions.

Thank You



William Navon

912-786-4430

tammyfunkyfish@yahoo.com

**MINOR SUBDIVISION**  
**LANDS OF 0 5th AVE LLC,**  
**TOTAL OF 0.50 ACRES OF LAND**  
**LOT 170 & LOT 171**  
**WARD ONE,**  
**5th G.M.D., TYBEE ISLAND,**  
**CHATHAM COUNTY, GEORGIA**

**SURVEYORS CERTIFICATE:**

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by applicable local jurisdictions for recording as evidenced by approval signature heron. Such approval should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulations for Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

*Peter Durand*

08/29/2024

PETER DURAND, GA RLS 3213



Durand Land Surveying Inc.

184 Apache Road  
 Brunswick, GA 31525  
 (912) 399-2720

peterdurand@bellsouth.net  
 durandlandsurveying.com

Prepared for:  
**RONEN &  
 BILLY  
 NAVON**

Survey of:  
**LANDS OF 0 5th AVE LLC,  
 TOTAL OF 0.17 ACRES OF LAND  
 LOT 170 & PORTION OF LOT 171  
 WARD ONE,  
 5th G.M.D., TYBEE ISLAND,  
 CHATHAM COUNTY, GEORGIA**

Started Survey: 01/23/2023  
 Completed Survey: 06/26/2024  
 EOC: 1' in N/A  
 Angle Error: 03"  
 Adj.: SEE NOTES: 3)  
 Plat Date: 08/29/2024  
 Plat EOC: 1 in INFINITY  
 Eqpt: Geodimeter 610  
 Field Book: 58  
 Job#: 23-011A

**LEGEND:**

- IPF Iron Pin Found
- IPS Iron Pin Set 1/2" RB
- ☒ CMF Conc. Mon. Found
- CMS Conc. Mon. Set
- ⊗ PP Power Pole

**Notes:**

- 1)References: Obtained from Clerk of Courts Chatham County & sagis.org.  
 Deed Books: 246B PG 696 & 2106 PG 491  
 Plat Books: MB "A" PAG 99, B "F" PG 173A
- 2) Grid North and All Bearings Shown Reflect GA State Plane East Zone and were obtained from GPS via NGS OPUS Solution Report using Ashtech Z-Extreme L1, L2, Static.
- 3) Radial Survey with Redundant Measurements having a positional tolerance of 0.05'.
- 4) This survey was performed without the benefit of a complete and thorough Title Abstract.
- 5) Referring to FIRM Map 13051C0213G Dated 08/16/2018 this property lies within Flood Zone "AE-9" and is in a Flood Hazard Area.
- 6) Wetland Location was Not made a part of this Survey.
- 7) Minor Subdivision of a portion of an existing Parcel being Tax Parcel ID No. 40003 11014 .

APPROVED BY THE TYBEE ISLAND CITY MANAGER

BRET BELL

CITY MANAGER

DATE

APPROVED BY COMMUNITY DEVELOPMENT DIRECTOR:

PATRICIA SINEL

COMMUNITY DEVELOPMENT DIRECTOR

DATE

APPROVED BY THE TYBEE ISLAND MAYOR AND COUNCIL

MAYOR

DATE

ALL STREETS, RIGHTS OF WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER

DATE

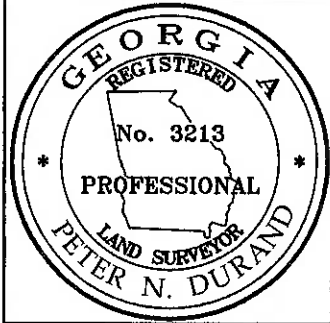
OWNER

DATE

**SHEET 1 OF 2**

# MINOR SUBDIVISION

LANDS OF 0 5th AVE LLC,  
TOTAL OF 0.50 ACRES OF LAND  
LOT 170 & LOT 171  
WARD ONE,  
5th G.M.D., TYBEE ISLAND,  
CHATHAM COUNTY, GEORGIA



Durand Land Surveying Inc.  
184 Apache Road  
Brunswick, GA 31525  
(912) 399-2720  
peterdurand@bellsouth.net  
durandlandsurveying.com

Prepared for:  
**RONEN &  
BILLY  
NAVON**

Survey of:  
LANDS OF 0 5th AVE LLC,  
LOT 170 - 0.17 ACRES  
LOT 171 - 0.33 ACRES  
WARD ONE,  
5th G.M.D., TYBEE ISLAND,  
CHATHAM COUNTY, GEORGIA

Started Survey: 01/23/2023  
Completed Survey: 06/26/2024  
EOC: 1" in N/A  
Angle Error: 03"  
Adj.: SEE NOTES: 3)  
Plat Date: 08/29/2024  
Plat EOC: 1 in INFINITY  
Eqpt: Geodimeter 610  
Field Book: 58 Page 12  
Job#: 23-011A - Page 19 -



**LEGEND:**

- IPF Iron Pin Found
- IPS Iron Pin Set 1/2" RB
- ⊠ CMF Conc. Mon. Found
- CMS Conc. Mon. Set
- ⊕ PP Power Pole

**ZONING**

**R-1-B**  
MIN LOT AREA 6,600 SQ FT  
TWO FAMILY & MULTI FAMILY NOT PERMITTED

FRONT - 20'  
REAR - 10'  
SIDE - 10'  
MAX STRUCTURE HEIGHT 35'

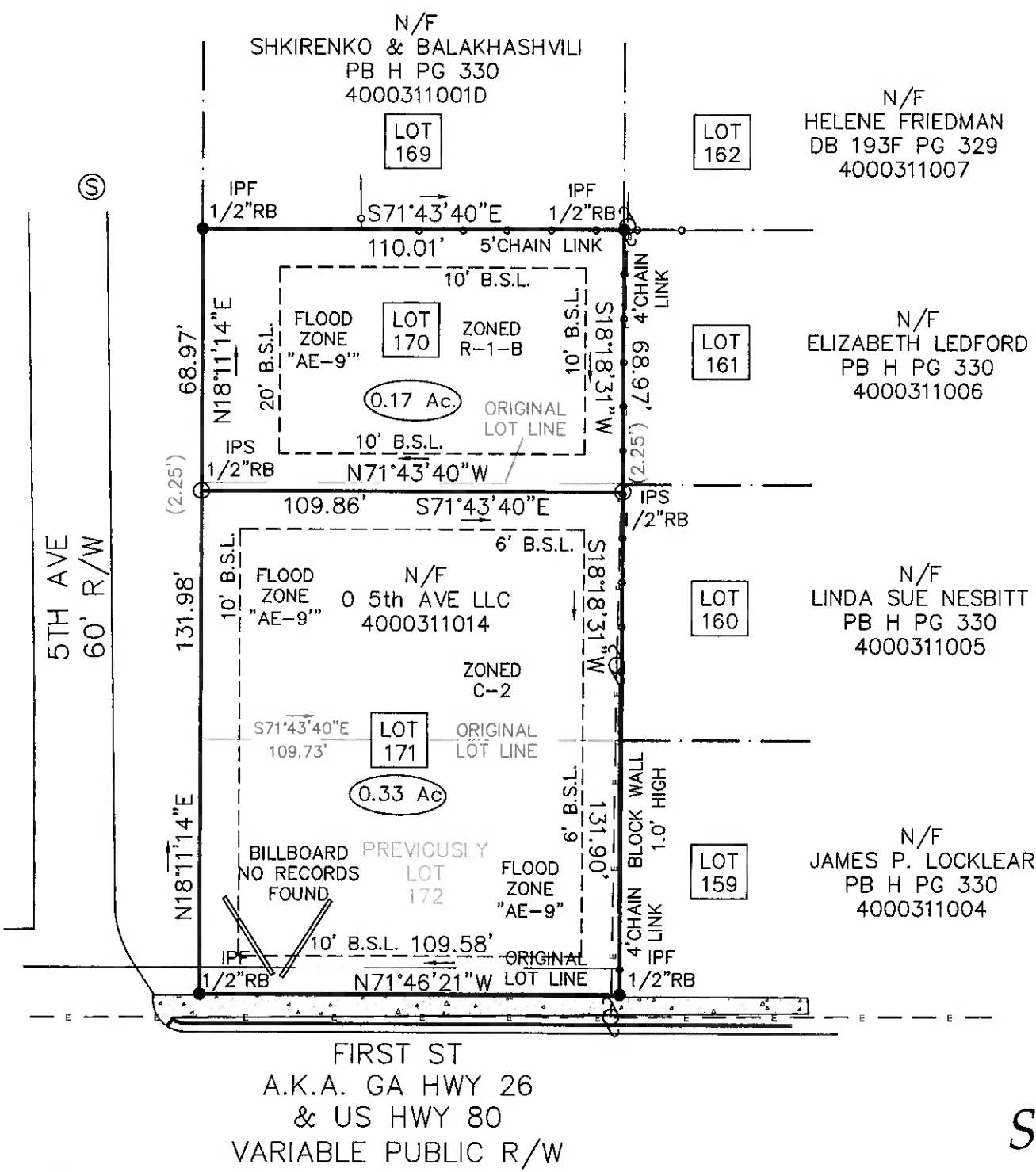
**C-2**  
MIN LOT AREA  
(NOT APPLICABLE TO COMMERCIAL USES)

FRONT - 10'  
REAR - 6'  
SIDE - 6'  
MAX STRUCTURE HEIGHT 35'

PROVIDED VIA EMAIL DATED  
AUG 26, 2024.

It is not the intent of the surveyor to  
interpret or make conclusion regarding  
the zoning designation hereon.

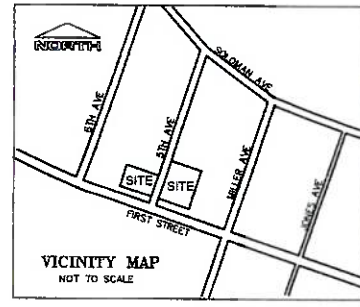
For a full list of restrictions please contact  
Planning and Zoning department located  
at 403 Butler Avenue  
Tybee Island, GA 31328  
Phone 912-472-5033



Scale: 1" = 40'

**SHEET 2 OF 2**

Item #4.



# TOPOGRAPHIC SURVEY

LANDS OF 601 HWY 80 LLC & 0 5th AVE LLC,  
0.84 ACERS OF LAND  
WARD ONE,  
5th C.M.D., TYBEE ISLAND,  
CHATHAM COUNTY, GEORGIA

**DURAND LAND SURVEYING INC.**  
184 Apache Road Brunswick, GA 31525 Phone: (912) 399-2720  
peterdurand@bellsouth.net durandlandsurveying.com



PREPARED FOR:  
**RONEN & BILLY NAVON**

ALTAIRUS LAND TITLE SURVEY OF:  
0.84 ACRES OF LAND  
WARD ONE,  
5th C.M.D., TYBEE ISLAND,  
CHATHAM COUNTY,  
GEORGIA



REVISIONS

REV 1	
REV 2	
REV 3	
REV 4	

**SHEET 1 OF 1**  
Started Survey 01/23/2023  
Completed Survey 12/14/2023  
EOC 1' in N/A  
Angle Error 35"  
Adj. - SEE NOTES 3)  
Plat Date 12/14/2023  
Plat EOC 1' in N/A  
Eqpt: Geodimeter  
Field Book 5  
Job# 23-011

**LEGEND:**

IPF Iron Pin Found	PP Powerpole
IPS Iron Pin Set 1/2" RB	Light
CMF Conc. Men. Found	Sign
CM5 Conc. Men. Set	Flag Pole
TEL. Communications Box	TBM Temporary Benchmark
TRANS Power Transformer	x f a = Spot Elevation
AC Airconditioner	
TV Cable TV Box	Underground Gas
Natural Gas Valve	Underground Tel
SSMH Sewer Manhole	Underground Electric
Approximate Sewer Manhole	Overhead Electric
Catch Basin	Underground Water
Grate Inlet	Underground Sewer
Water Valve	
WM Water Meter	
Fire Hydrant	
Irrigation Control Valve	

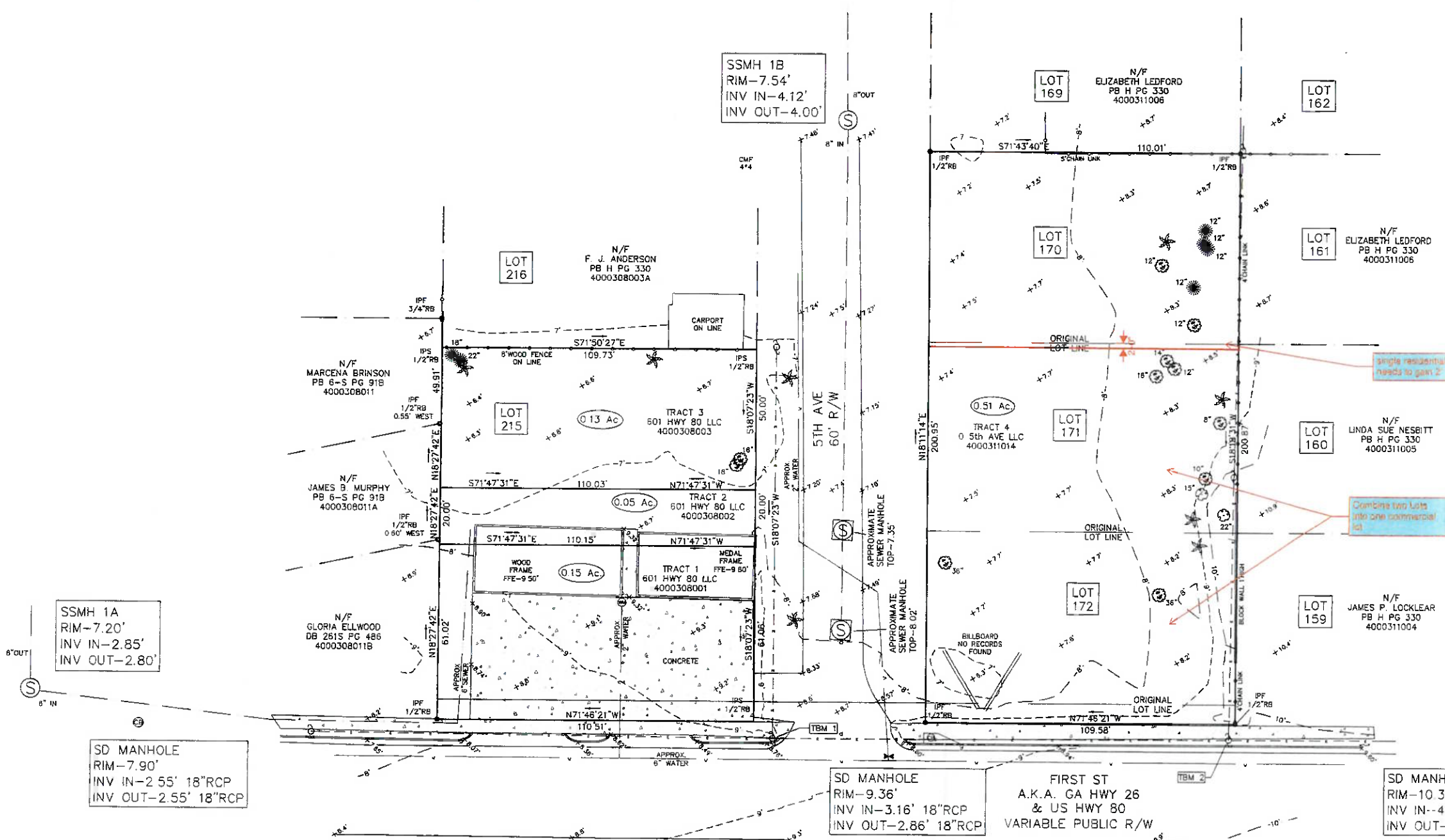
**TREE LEGEND:**

★	PALM
●	MAGNOLIA
●	PINE
●	LIVE OAK
●	WATER OAK
●	PECAN
●	GUM
●	HICKORY
●	CEDAR

- Notes:**
- 1) Topographic Survey of existing Parcel being Tax Parcel ID No. 40003 07003 a.k.a. 602 First St or 602 E. HWY 80.
  - 2) References: Obtained from Clerk of Courts Chatham County & sagis.org. Deed Books: 246B PG 696 & 2106 PG 491 Plat Books: MB "A" PAC 99, B "F" PG 173A
  - 3) Grid North and All Bearings Shown Reflect GA State Plane East Zone, Elevations Reflect NAVD86, and were obtained from GPS via NGS OPUS Solution Report using Ashtech Z-Extreme L1, L2, Static.
  - 4) Radial Survey with Redundant Measurements having a positional tolerance of 0.05'.
  - 5) This survey was performed without the benefit of a complete and thorough Title Abstract.
  - 6) Referring to FRM Map 13051C0213G Dated 08/16/2018 this property lies within Flood Zone "AE-9" and is in a Flood Hazard Area.
  - 7) Wetland Location was Not made a part of this Survey.
  - 8) Approximate Underground 6" Sewer as per Scott Meredith of the City of Tybee Island on 02/08/2023. Approximate Underground 8" Sewer and Underground 6" & 2" Water as per Diana of the City of Tybee Island on 12/12/2023. Other Underground Utilities may exist. Call 811 before you dig.
  - 9) This is Not a Recombination Survey and is Not intended for Recording.

**SURVEYORS CERTIFICATE:**  
As required by subsection (d) of O.C.G.A. Section 13-6-67, this plat has been prepared by a land surveyor. One or more of the applicable local jurisdictions do not require approval of this type of plat. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Regulations for Land Surveyors and as set forth in O.C.G.A. Section 13-6-67.

*Peter Durand* 12/21/2023  
Peter Durand, GA RLS 3313



SSMH 1B  
RIM-7.54'  
INV IN-4.12'  
INV OUT-4.00'

SSMH 1A  
RIM-7.20'  
INV IN-2.85'  
INV OUT-2.80'

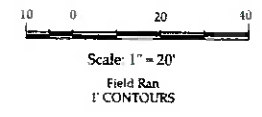
SD MANHOLE  
RIM-7.90'  
INV IN-2.55' 18"RCP  
INV OUT-2.55' 18"RCP

SD MANHOLE  
RIM-9.36'  
INV IN-3.16' 18"RCP  
INV OUT-2.86' 18"RCP

FIRST ST  
A.K.A. GA HWY 26  
& US HWY 80  
VARIABLE PUBLIC R/W

SD MANHOLE  
RIM-10.31'  
INV IN-4.11' 18"RCP  
INV OUT-4.11' 18"RCP

**TEMPORARY BENCHMARKS**  
TBM1 - 11.00' NAIL IN PP NAVD88  
TBM2 - 11.00' NAIL IN PP NAVD88





**NOTES**

- THE PROPOSED HOUSE WILL BE CONSTRUCTED ON STILTS.
- THE DRAINAGE PATTERN WILL NOT BE DISTURBED AND NO FILL WILL BE ADDED TO THE SITE.
- THE DRIVEWAY AREA WILL NEED TO BE EXCAVATED TO ALLOW FOR NEW GRAVEL TO MATCH EXISTING GRADE

**GENERAL NOTES**

- INTENDED USE:**  
THE PROPOSED DEVELOPMENT WILL CONSIST OF A SINGLE TWO-STORY BUILDING BEING RELOCATED FROM 15 15TH STREET. THE PROPOSED RELOCATED HOUSE LOT WILL BE CONSTRUCTED WITH A DRIVEWAY AND STAIRWAY. THE REMAINDER OF THE LOT WILL CONSIST OF GRASS AS EXISTING. NO TREES ARE PROPOSED TO BE REMOVED.
- OWNER/DEVELOPER:**  
5TH AVE, LLC  
5TH AVENUE  
TYBEE ISLAND, GA 31328  
BILLYNAVON@YAHOO.COM
- SITE COVERAGE:**  
TOTAL AREA: 7,503 SF  
TOTAL IMPERVIOUS: 2,330 SF (31.05%)  
• BUILDINGS: 1,756 SF  
• DRIVEWAY: 474 SF  
• STAIRWAY: 100 SF  
TOTAL PERVIOUS: 5,173 SF (68.95%)  
• OPEN SPACE: 5,173 SF
- SITE DESCRIPTION:**  
LEGAL DESCRIPTION: LOT 1,2,3 HAYLEY'S COVE SUB OF LOTS 170-172 & PT LOT 173 WD 1 TYBEE  
  
PROPERTY ADDRESS:  
0 5TH AVENUE  
TYBEE ISLAND, GA 31328
- DEVELOPMENT STANDARDS:**  
ZONING: R-1-B SINGLE FAMILY RESIDENTIAL  
MAXIMUM BUILDING HEIGHT: 35-FOOT  
SETBACKS:  
FRONT YARD: 20 FEET  
SIDE YARD: 10 FEET  
REAR YARD: 10 FEET
- PROPOSED UTILITIES:**  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED ON 5TH AVENUE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE CONNECTED TO THE EXISTING PUBLIC SEWER
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 13051C0213G THE SITE IS LOCATED IN ZONE AE (ELEV. 9 FEET)



REVISIONS



**ROBERTS**  
CIVIL ENGINEERING  
11 HUNTERS BLVD. SUITE 100 | TYBEE ISLAND, GA 31328  
WWW.ROBERTSCIVILENGINEERING.COM

**SITE PLAN**

**TYBEE ISLAND HOUSE RELOCATION**  
**TYBEE ISLAND, GA**  
PREPARED FOR:  
5TH AVE, LLC

DATE: 05/28/24  
PROJECT NUMBER: 23527

DRAWN BY: OAG

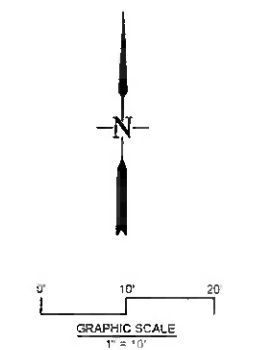
CHECKED BY: JLV

SCALE: 1"=10' (10% PLAT) (NOT TO SCALE)

**SP**

SHEET

Item #4.



PARID: 40003 11014  
 0 5TH AVENUE LLC

0 5TH AVE

**Most Current Owner**

Current Owner	Co-Owner	Care Of	Mailing Address
0 5TH AVENUE LLC			P.O. BOX 2497 TYBEE ISLAND GA 31328

**Digest Owner (January 1)**

Owner	Co-Owner	Address 1	Address 2	City	State	Zip
0 5TH AVENUE LLC		P.O. BOX 2497		TYBEE ISLAND	GA	31328

**Parcel**

Status	ACTIVE
Parcel ID	40003 11014
Category Code	9000 - Commercial Vac Land
Bill #	3018984
Address	0 5TH AVE
Unit # / Suite	
City	TYBEE ISLAND
Zip Code	31328-
Neighborhood	20500.00 - T500 TYBEE TO BULL R
Total Units	
Zoning	C-2
Class	C3 - Commercial Lots
Appeal Status	

**Legal Description**

Legal Description	LOT 1,2,3 HAYLEY'S COVE SUB OF LOTS 170-172 & PT LOT 173 WD 1 TYBEE .51AC
Acres	.51
Deed Book	2563
Deed Page	0024

**Inspection**

Inspection Date	Reviewer ID
11/07/2023	LALOWRIM
06/15/2020	RKRYZAK
06/20/2016	MWTHOMAS
11/28/2012	MWTHOMAS

**Sales**

Item #4.	Date	Sale	Sale	Instrument Book -	Grantor	Grantee
----------	------	------	------	-------------------	---------	---------

Price	Validity	Page		
10/08/2021 700,000 Q	WD	2563 - 0024	TLG REAL ESTATE INVESTMENTS LLC	0 5TH AVENUE LLC
12/18/2018 475,000 Q	WD	1516 - 93	SHANGHAI EAST LLC	TLG REAL ESTATE INVESTMENTS
08/27/2018 0	U QC	1437 - 678	CHU GREGORY	SHANGHAI EAST LLC

**Land**

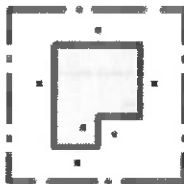
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Line Number	1
Land Type	S - SQUARE FOOT
Land Code	G2 - GENERAL COMMERCIAL 2
Square Feet	22,216
Acres	.51
Influence Factor 1	-20
Influence Reason 1	
Influence Factor 2	
Influence Reason 2	

**Appraised Values**

---

Tax Year	Land	Building	Appraised Total	Reason
2024	684,300	0	684,300	APPEAL DECISION
2023	684,300	0	684,300	APPEAL DECISION
2022	684,300	0	684,300	
2021	206,900	0	206,900	
2020	204,800	0	204,800	
2019	204,800	0	204,800	
2018	204,800	0	204,800	
2017	204,800	0	204,800	
2016	204,800	0	204,800	
2015	204,800	0	204,800	



Sorry no sketch available for this record

Item	Area

Item #4.





Recorded: 10/8/2021 4:47:00 PM  
Fee Amt: \$725.00 Page 1 of 2  
Transfer Tax: \$700.00  
Chatham, Ga. Clerk Superior Court  
Tammie Mosley Clerk Superior Court

Participant ID: 0928286603

**BK 2563 PG 24 - 25**

Return Recorded Document to:  
Mahoney Cole & Coursey, PC  
337 Commercial Drive, Suite 500  
Savannah, GA 31406

**WARRANTY DEED**

**STATE OF GEORGIA**

**COUNTY OF CHATHAM**

File #: 211005TH

This Indenture made this 8th day of October 2021 between TLG Real Estate Investments, LLC, a Georgia Limited Liability Company of the County of Chatham, State of Georgia, as party of the first part, hereinafter called Grantor, and 0 5th Avenue, LLC, a Georgia Limited Liability Company, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

**WITNESSETH** that: Grantor, for and in consideration of the sum of **TEN AND 00/100'S (\$10.00)** Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, all of Grantor's right, title and interest in and to the following described property, to-wit:

**ALL** that certain lot, tract or parcel of land situate, lying and being in the State of Georgia, County of Chatham and being known and designated as Lots 1, 2, and 3, Hayley's Cove Subdivision as recorded in Plat Record Book 31-S, Page 78, in the Office of the Clerk of Superior Court of Chatham County, Georgia, to which express reference is hereto made for a more particular description of the metes, bounds and dimensions of the property herein conveyed. Said lots having a physical address of 0 5th Avenue, Tybee Island, Georgia 31328 with a Property Identification Number of 4-0003-11-014.

This Deed is given subject to all easements and restrictions of record, if any.


**TO HAVE AND TO HOLD** the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**.

**AND THE SAID** Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

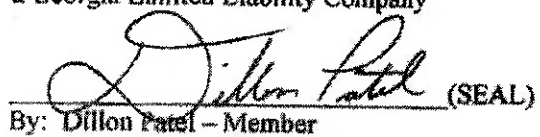
IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

TLG Real Estate Investments, LLC  
a Georgia Limited Liability Company

  
\_\_\_\_\_

Witness

  
By: Dillon Patel - Member (SEAL)

  
\_\_\_\_\_

Notary Public

  
By: Akash Patel - Member (SEAL)

KAREN F. JARRELL  
NOTARY PUBLIC  
Chatham County  
State of Georgia  
My Comm. Expires August 13, 2023



**ROBERTS**  
CIVIL ENGINEERING

St Simons Island | Savannah | Jacksonville | Charleston | Baxley

[www.robertscivilengineering.com](http://www.robertscivilengineering.com)

August 1, 2024

City of Tybee Island

Tybee Island, GA 31328

RE: 0 5<sup>th</sup> Ave Plat Submittal

To whomever it may concern,

I hope this letter finds you well. Roberts Civil Engineering, as well as the owner of the property at 0 5<sup>th</sup> Avenue in Tybee would like to request approval of a revised subdivision plat for the existing three parcels. We are proposing that the three parcels are restructured into two parcels. The residential parcel in the rear will gain roughly 2' in order to provide for the required setbacks for a future single-family home. The commercial lots will be combined into one single lot.

There are no plans in development for the commercial lot at this time. The idea behind combining the two lots would be to allow for more room for drainage and infrastructure when a use is decided on and planned for. Due to not having any development plans for the commercial property, no drainage or infrastructure plans are provided at this time. No trees are planned to be removed throughout the parcels at this time. Please let me know if you have any questions.

Sincerely,

*Kennon Stroud*

Project Manager

**Re: Tybee Home Relocation**

Downer Davis <dkdjr071419@yahoo.com>

Wed 3/27/2024 8:32 AM

To:Owen Gannon <ogannon@robertscivilengineering.com>

Cc:Jessica Vick <jvick@robertscivilengineering.com>;Kennon Strowd <kstrowd@robertscivilengineering.com>;Lisa Schaaf <lschaaf@cityoftybee.org>

To all:

In my review of drainage plans for stand-alone single family lots, I do not require stormwater management (detention, retention, flow rate reduction, etc...), unless positive outfall is not provided to a drainage system.

For my review of single-family stand-alone lots, it would be an unusual situation where I required pre runoff information. As you advised of structure raising, I am assuming you're working on such a lot in one of Tybee's older or minor subdivisions.

Feel free to call or contact me otherwise. (Please email or text if I don't answer.) For further response, it is necessary you copy Lisa Schaff (copied above). If you want to send a sketch or other information, I'll gladly participate in answering other predesign questions. If you do contact me further, please advise if this will be a simple raising in the same exact footprint and advise of any new or extended features, outside of the building footprint; ac, stairs, porches, ....

Downer Davis  
912 -695-7262

On Tuesday, March 26, 2024 at 06:47:05 PM EDT, Owen Gannon <ogannon@robertscivilengineering.com> wrote:

Good evening,

I am working on a project on Tybee Island where our client is relocating an existing house to a vacant lot. The lot is currently grass covered and the runoff (attached below) is extremely low.

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1	4.10	0.02	0.005	0.33
2	4.86	0.05	0.008	0.58
10	7.49	0.28	0.026	1.84
25	9.39	0.49	0.043	3.01
50	11.00	0.69	0.059	4.10
100	12.70	0.91	0.077	5.35

In the post-developed conditions, we are proposing to add a landscape bed to slow down the runoff, but it remains higher than the pre-developed in the smaller storms. Is this something you would take exception to during review?



Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1	4.10	0.05	0.009	0.65
2	4.86	0.10	0.015	1.02
10	7.49	0.28	0.038	2.62
25	9.39	0.44	0.057	4.00
50	11.00	0.58	0.075	5.25
100	12.70	0.73	0.095	6.64

Thank you,

**Owen Gannon**

Project Engineer

*Your Success is our Mission!*

O: 912.298.7006 | M: 978.514.3378

OUR LOCATIONS



**DAVIS ENGINEERING**  
PO Box 1663 Tybee Island, Georgia 31328

August 20, 2024

Patricia Sinel  
Community Development / Planning and Zoning  
City of Tybee Island  
P.O. Box 2749  
Tybee Island, GA 31328 Phone (912) 786-4573 Fax: (912) 786-9539

RE: 0 5<sup>th</sup> Avenue Minor Subdivision

Dear Ms. Sinel: :

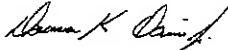
This property has adequate outfall from the rear (east), to the 5th Street frontage (west).

The property is currently a 3 lot minor subdivision I concurred with almost 20 years ago. The purpose stated for the proposed, slightly widened, north lot is residential, and for the remaining larger lot in the northwest corner of 5<sup>th</sup> Avenue and HWY 80 is commercial.

This application does not include any land disturbance or new construction. Both of these proposed lots will require approval of a drainage plan as part of the building application process. I am not aware of any basis for me to require a drainage plan for any of this property in this application. Reviewing drainage and other improvements will be more appropriate when specific development layouts are provided.

Please advise if you have any questions.

Sincerely,



Downer K. Davis, Jr., P.E.

2250070B



**PLANNING COMMISSION  
NOTICE OF DETERMINATION**

Meeting date: September 16, 2024

1. **Project Name/Description: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - Zone C-2 and R-1-B - William Navon.**

Action Requested: **SUBDIVISION OF LAND MINOR**

Appeal	Subdivision: Sketch Plan Approval ___ Conceptual ___ Preliminary Plan Approval ___ Final Plat Approval ___ Minor Subdivision <u>X</u> Major Subdivision ___
Special Review	
Site Plan Approval	
Variance	
Map Amendment	
Text Amendment	

Petitioner has met all documentation requirements, all external approval requirements, and all code requirements, except for the following:

The Planning Commission Motion on Petition:  Approval  Denial  Continued

Action on Motion:

COMMISSIONER	FOR	AGAINST	COMMENTS
Butler		X	
McGruder	X		CHAIR
Nooney	X		VICE CHAIR - SECOND
Matkowski		X	
Livingston	X		
Rodriguez	X		MOTION
Roberts		X	

Planning Commission Chair: Elaine McGruder

Date: Sept. 18, '24

Community Development Director: [Signature]

Date: 17 SEP 2024

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez-Beebe



**CITY MANAGER**

Bret Bell

**COMMUNITY DEVELOPMENT DIRECTOR**

Patricia Sinel

**CITY ATTORNEY**

Edward M. Hughes/ Tracy O'Connell

**Planning Commission Meeting  
SYNOPSIS  
September 16, 2024**

**Chair Elaine McGruder** called the meeting to order at 6:30PM, September 16, 2024. Those in attendance were **Anna Butler, Marie Rodriguez-Beebe, Beau Livingston, Robert Matkowski, Michelle Nooney** and **David Roberts**.

**Opening Ceremonies**

Pledge of Allegiance

**Consideration of Minutes:**

**June 17, 2024**, meeting minutes. **Robert Matkowski** made a motion to approve. **Vice Chair Michelle Nooney** seconded. The vote to approve was unanimous.

**Disclosures/Recusals:**

There were none.

**Old Business:**

There was none.

**New Business :**

**SUBDIVISION OF LAND MINOR:** requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - Zone C-2 and R-1-B - William Navon. **Marie Rodriguez-Beebe** made a motion to approve. **Michelle Nooney** seconded. Voting in favor were **Marie Rodriguez-Beebe, Michelle Nooney** and **Beau Livingston**. Voting against was **Anna Butler, Robert Matkowski** and **David Roberts**. **Elaine McGruder** broke the tie by voting in favor. Motion to approve, 4-3.

**SITE PLAN APPROVAL:** requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island. **Beau Livingston** made a motion to approve. **Robert Matkowski** seconded. The vote was unanimous to approve, 6-0.

**Adjournment: 7 :30pm**

**Lisa L. Schaaf**

MAYOR  
Brian West

CITY COUNCIL  
Monty Parks Mayor pro tem  
Bill Garbett  
Spec Hosti  
Tony Ploughe  
Nick Sears  
Kathryn Williams



CITY MANAGER  
Bret Bell

ASST CITY MANAGER  
Michelle Owens

CLERK OF COUNCIL  
Jan LeViner

CITY ATTORNEY  
Edward M. Hughes  
Tracy O'Connell

CITY OF TYBEE ISLAND  
**AMENDED**  
**PUBLIC HEARING NOTICE**  
**AMENDMENT**

The Mayor and Council of the City of Tybee Island will hold a Public Hearing at the Public Safety Building, 78 Van Horne, on Thursday, October 10, 2024, at 6:30pm.

The Purpose of this Hearing is as follows:

**SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - zone C-2 and R-1-B - William Navon.**

**SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.**

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall.

**P.O. Box 2749 – 403 Butler Avenue, Tybee Island, Georgia 31328-2749**  
**(912) 786-4573 – FAX (912) 786-5737**  
**[www.cityoftybee.org](http://www.cityoftybee.org)**

Ad Preview

**AMENDED  
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2/2



**Order Confirmation**  
Not an Invoice

<b>Account Number:</b>	758733
<b>Customer Name:</b>	City Of Tybee Island
<b>Customer Address:</b>	City Of Tybee Island Po Box 2749  Tybee Island GA 31328-2749
<b>Contact Name:</b>	City Of Tybee Island
<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/20/2024
<b>Order Number:</b>	10595600
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	2.0000
<b>Line Count:</b>	21.0000
<b>Height In Inches:</b>	0.0000

Print

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/25/2024 - 09/25/2024	Govt Public Notices
SAV savannahnow.com	1	09/25/2024 - 09/25/2024	Govt Public Notices

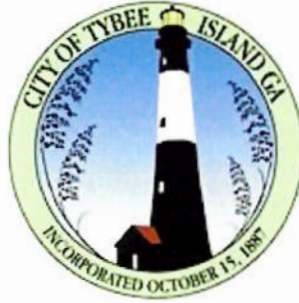
As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$35.00
Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
----------------------------------	----------------

**MAYOR**  
Brian West

**CITY COUNCIL**  
Monty Parks Mayor pro tem  
Bill Garbett  
Spec Hosti  
Tony Ploughe  
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Kathryn Williams



**CITY MANAGER**  
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**ASST CITY MANAGER**  
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**CITY OF TYBEE ISLAND**

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Item #4.



- Page 36 -





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<b>Customer Address:</b>	City Of Tybee Island Po Box 2749  Tybee Island GA 31328-2749
<b>Contact Name:</b>	City Of Tybee Island
<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/17/2024
<b>Order Number:</b>	10583267
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	2.0000
<b>Line Count:</b>	19.0000
<b>Height in Inches:</b>	0.0000

Print

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/20/2024 - 09/20/2024	Govt Public Notices
SAV savannahnow.com	1	09/20/2024 - 09/20/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$35.00
Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
----------------------------------	----------------

1/2

Ad Preview

## PUBLIC HEARING NOTICE

The Mayor and Council of the City of Tybee Island will hold a Public Hearing at the Public Safety Building, 78 Van Horne, on Thursday, October 10, 2024, at 6:30pm.

The Purpose of this Hearing is as follows:

SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5th Avenue - 40003 11014 - zone C-1 and R-2 - William Navon.

SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall.

2/2

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez



**CITY MANAGER**

Bret Bell

**COMMUNITY  
DEVELOPMENT DIRECTOR**

Patricia Sinel

**CITY ATTORNEY**

Edward M. Hughes/ Tracy O'Connell

**AMENDED**

**Planning Commission Meeting AGENDA**

**SEPTEMBER 16, 2024 – 6:30 p.m.**

*For City Council Meeting October 10, 2024 – 6:30 p.m.*

**Call to order:**

**Pledge of Allegiance:**

**Consideration of Minutes:**  
**Minutes of June 17, 2024**

**Disclosures/Recusals:**

**Old Business:**

**New Business:**

1. **SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - Zone C-2 and R-1-B - William Navon.**
2. **SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.**

**Adjournment:**

*Lisa L. Schaaf*

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, or the facilities are required to contact Jan LeViner at 912.472.5080 promptly to allow the City to make reasonable accommodations

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez-Beebe



**CITY MANAGER**  
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9/16



**Order Confirmation**  
Not an Invoice

<b>Account Number:</b>	758733
<b>Customer Name:</b>	City Of Tybee Island
<b>Customer Address:</b>	City Of Tybee Island Po Box 2749  Tybee Island GA 31328-2749
<b>Contact Name:</b>	City Of Tybee Island
<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/03/2024
<b>Order Number:</b>	10545707
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	1.0000
<b>Line Count:</b>	35.0000
<b>Height In Inches:</b>	0.0000

Print

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/06/2024 - 09/06/2024	Govt Public Notices
SAV savannahnow.com	1	09/06/2024 - 09/06/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$35.00
Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
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**Ad Preview**

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NOTICE**

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MINOR: requesting to  
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lots - 0 5th Avenue - 40003  
11014 - zone C-1 and R-2 -  
William Navon.**

**SITE PLAN APPROVAL:  
requesting to redevelop the  
wastewater treatment  
plant maintenance facility -  
923 Bay Street - 40021 08001  
- Zone R-1/NEP - City of  
Tybee Island.**

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall

**File Attachments for Item:**

5. Approval of a site plan for the redevelopment of the Wastewater Treatment Plant. Owner: City of Tybee Island. 923 Bay Street. Zoning: R-1/NEP



# STAFF REPORT

CITY COUNCIL MEETING: October 10, 2024

**REQUESTED ACTION:** Approval of a site plan for the redevelopment of the Wastewater Treatment Plant (WWTP) Maintenance Facility.

**LOCATION:** 923 Bay Street

**PIN:** 40021 08001

**APPLICANT:** City of Tybee Island (Thomas & Hutton)

**OWNER:** City of Tybee Island

**EXISTING USE:** WWTP Maintenance Facility

**PROPOSED USE:** WWTP Maintenance Facility

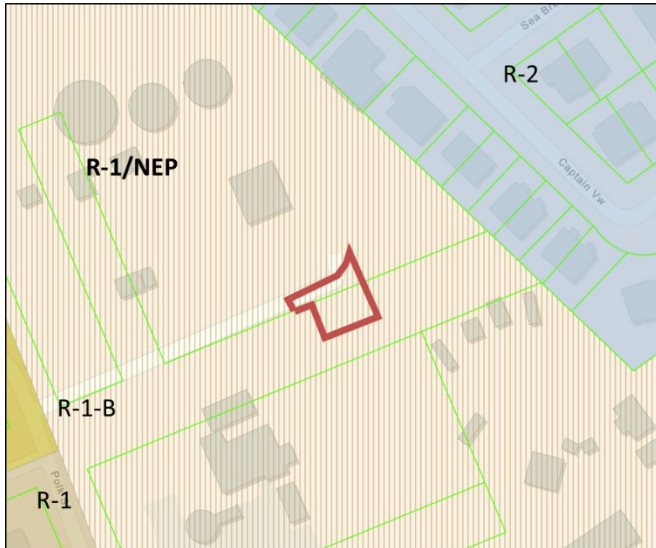
**ZONING:** R-1/NEP

**USE PERMITTED BY RIGHT:** Yes

**COMMUNITY CHARACTER MAP:** North Beach/Maritime District

**PROPOSAL:** The applicant is requesting to redevelop the existing WWTP Maintenance Facility using the same footprint as the existing WWTP Maintenance Facility. R-

**PLANNING COMMISSION:** The Planning Commission recommended approval of the site plan by a vote of 6-0 at the September 16, 2024 regular meeting.



Map 1: Zoning Map



Map 2: Community Character Map

B





Map 3: Location Map



Picture 1: Existing structure

**SITE PLAN ANALYSIS.** The proposed structure uses the same building footprint as the existing maintenance structure. Additional improvements include the addition of ADA parking (meeting accessibility requirements), new fencing, sidewalk connection, and gravel storage. The structure is over 140 feet from the closest residential lot. Water and sewer are available onsite. No trees are expected to be impacted and drainage will remain unchanged as this is a developed property.

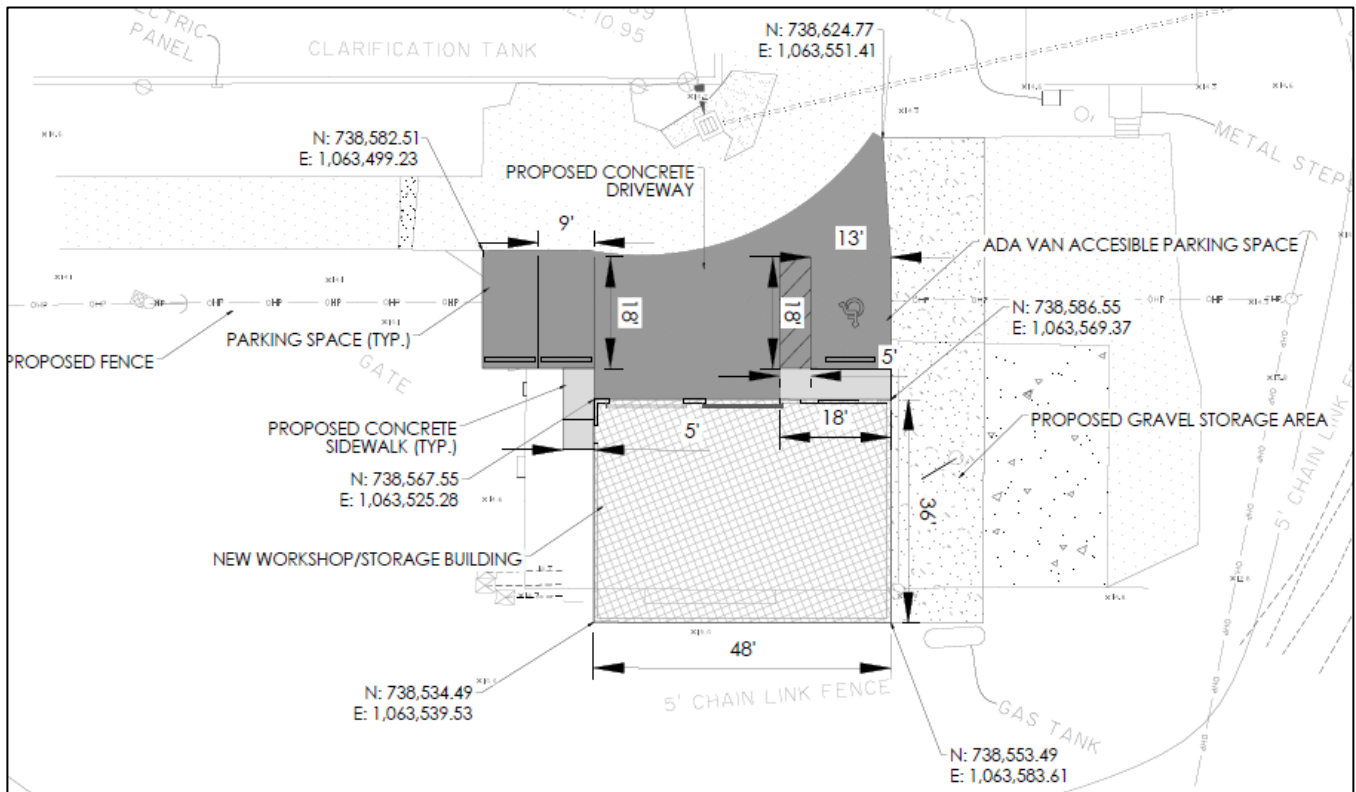


Figure 1: Proposed Site Plan

**LAND DEVELOPMENT CODE (LDC) ANALYSIS.** The site falls into the R-1 Single Family Residential zoning district which allows for residential uses compatible and supporting low impact educational, religious, and public institutions. Public utility structures are permitted in the R-1 zoning district. This site is also in the North End Parks

and Public overlay (NEP) which allows for the development of properties in a manner that integrates public uses, open space, municipal uses, and recreational uses compatibly into a residential area. Municipal and public safety uses are permitted in the NEP overlay.

Per **Section 5-080. - Site plan approval**, in considering a site plan, the mayor and council may consider whether the proposed development will be unreasonably detrimental to adjacent or nearby uses and whether the proposed development will adversely impact existing conditions in the overall neighborhood, including but not limited to:

- The impact or lack thereof on available resources and utilities.
- Whether the proposed development is of a scale and mass so as to be compatible with the character of the neighborhood.
- Whether the proposed development is consistent with the character area under the master plan.
- Density considerations for the neighborhood including demands on infrastructure, traffic, and other relevant factors.

No permitting requirements of the LDC are waived, modified, or varied by the approval of this site plan.

**TYBEE ISLAND 2021-2026 COMPREHENSIVE PLAN UPDATE ANALYSIS.** This site falls into the North Beach/Maritime District character area of the Comprehensive Plan. The character area is described herein:

*The **North Beach/Maritime District** is a varied area that covers much of the northern end of the Island. It features a mix of uses and is less densely developed than other areas. It includes commercial, recreational, public/government uses and buildings, and a mix of residential styles and homes set on narrow streets, as well as the River's End Campground. In addition to these developed portions, the area also includes extensive undeveloped environmentally sensitive areas with multi-use trails and public water access.*

<b>Comprehensive Plan – Community Character Area North Beach Maritime District</b>		
<i>Recommended Development Strategies</i>		<i>Meets Strategy Y/N or N/A</i>
1.	Allow for the development of retail, restaurants and services for seasonal and year round populations	Y
2.	Ensure preservation of old growth trees, parks and green space.	N/A
3.	Support continued development of bicycle infrastructure, including bike lanes and multi-use trails.	N/A
4.	Consider the potential for additional parking within this area with transportation to other areas of the Island.	N/A
5.	Improve the pedestrian and bicycle environment	N/A

The Comprehensive Plan also reports on the following issues that may be alleviated by this proposed development:

- The City is inherently limited in space for growth of physical structures: housing, park space, utilities or other developments are constrained by the physical footprint of the island, much of which is already built-out or is environmentally sensitive.
- The City needs to continue upgrading and replacing wastewater and sewer infrastructure.
- The City Continue funding substructure for water/sewer plant upgrades and new facilities.

**STAFF FINDING.** The proposed site plan meets the requirements of the Land Development Code of Tybee Island. Staff recommends approval.

**STAFF CONTACT**

Patricia Sinel, AICP, CFM, CNU-A  
Community Development Director  
[Patricia.Sinel@cityoftybee.gov](mailto:Patricia.Sinel@cityoftybee.gov)  
912-472-5031

**ATTACHMENTS**

- A. Subdivision application
- B. Subdivision plat
- C. SAGIS property card and map
- D. Planning Commission NOD
- E. Planning Commission Synopsis
- F. Public Notices



**CITY OF TYBEE ISLAND**  
**SITE PLAN APPROVAL APPLICATION**

Fee  
**Commercial \$500**  
**Residential \$250**

40021 08001

Address or location of subject property: 923 BAY STREET, TYBEE ISLAND, GA 31328

PIN# 40021 08001 Applicant's Name: SAKILE MORGAN

Mailing Address: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405

Phone/Email: morgan.s@tandh.com PZ2024-0011

Brief description of the land development activity and use of the land thereafter to take place on the property:  
The City of Tybee Island is proposing the redevelopment of a wastewater treatment plant maintenance facility, located off Bay Street in Tybee Island, Georgia. Additionally, the proposed improvements include the addition of on-site parking bays, ADA van accessible parking, the removal and replacement of a connecting driveway and the provision of a gravel storage area.

Property Owner's Name TYBEE ISLAND CITY OF TOWN HALL Address: 403 BUTLER AVE., TYBEE ISLAND, GA 31328

Phone/Email: peter.gulbranson@cityoftybee.org

Is Applicant the Property Owner?      Yes   X   No

If Applicant is the Property Owner, Proof of Ownership is attached:   N/A   Yes

If Applicant is other than the Property Owner, a signed affidavit from the Property Owner granting the Applicant permission to conduct such land development is attached hereto.   X   Yes

Current Zoning of Property R1-/NEP Current Use R1-/NEP, NORTH END PARKS & PUBLIC OVERLAY

Names and addresses of all adjacent property owners are attached:   X   Yes

If within two (2) years immediately preceding the filing of the Applicant's application for a zoning action, the Applicant has made campaign contributions aggregating to more than \$250 to the Mayor and any member of Council or any member of the Planning Commission, the Applicant and the Attorney representing the Applicant must disclose the following:

- a. The name of the local government official to whom the campaign contribution or gift was made;
- b. The dollar amount of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of the application for this zoning action, and the date of each contribution;
- c. An enumeration and description of each gift having a value of \$250 or more made by the Applicant to the local government official during the two (2) years immediately preceding the filing of the application for this zoning action.

S.Morgan 08/29/2024  
Signature of Applicant Date

NOTE: Other specific data is required for each type of Site Plan Approval.

Fee Amount \$      Check Number      Date   9/3/2024  

City Official





## CITY OF TYBEE ISLAND

### CONFLICT OF INTEREST IN ZONING ACTIONS DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you within the past two (2) years made campaign contributions or gave gifts having an aggregate value of \$250.00 or more to a member of the City of Tybee Island Planning Commission, or Mayor and Council or any local government official who will be considering the rezoning application?

YES \_\_\_\_\_ NO   x  

IF YES, PLEASE COMPLETE THE FOLLOWING SECTION:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS OF \$250.00 OR MORE	GIFTS OF \$250.00 OR MORE	DATE OF CONTRIBUTION

IF YOU WISH TO SPEAK CONCERNING THE ATTACHED REZONING APPLICATION, THIS FORM MUST BE FILED WITH THE ZONING ADMINISTRATOR FIVE (5) DAYS PRIOR TO PLANNING COMMISSION MEETING IF CAMPAIGN CONTRIBUTIONS OR GIFTS IN EXCESS OF \$250.00 HAVE BEEN MADE TO ANY MEMBER OF THE PLANNING COMMISSION OR MAYOR AND COUNCIL.

Signature   S.Morgan  

Printed Name   SAKILE MORGAN  

Date   08/29/2024

## Lisa Schaaf

---

**From:** Downer Davis <dkdjr071419@yahoo.com>  
**Sent:** Tuesday, September 3, 2024 1:03 PM  
**To:** Patricia Sinel  
**Cc:** Lisa Schaaf  
**Subject:** Re: New Sewer & Water Building

As the impervious footprint hasn't increased, there should be no increased runoff from this project. I agree that my further review is not necessary or likely to be productive.

Downer

[Sent from Yahoo Mail for iPhone](#)

On Friday, August 30, 2024, 12:25, Patricia Sinel <patricia.sinel@cityoftybee.gov> wrote:

Downer:

For your review. It should have the same footprint as before. This is Pete's project so not sure how much concurrence is needed.

Thank you,

Patricia

**Patricia Sinel, AICP, CFM, CNU-A**

Community Development Director

[Community Development Department](#)

**City of Tybee Island, Georgia**

Office: 912-472-5031





# SITE DEVELOPMENT PLANS OF WWTP MAINTENANCE FACILITY

CITY OF TYBEE ISLAND  
CHATHAM COUNTY, GEORGIA

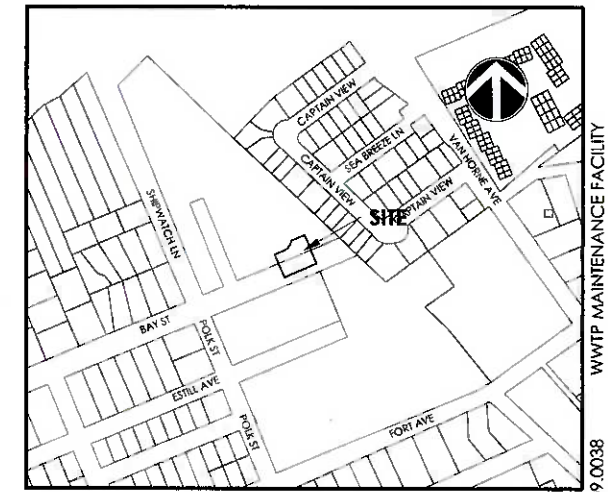
PREPARED FOR:  
CITY OF TYBEE ISLAND  
403 BUTLER AVENUE  
TYBEE ISLAND, GEORGIA 31328

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AUGUST 30, 2024

J-27209.0038

PREPARED BY:



VICINITY MAP  
SCALE: 1" = 300'

J-27209.0038  
08/30/24  
WWTP MAINTENANCE FACILITY

Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
G0.1	GENERAL NOTES & INDEX
EX1.1	EXISTING CONDITIONS PLAN
CD1.1	DEMOLITION PLAN
G1.1	ACCESSIBILITY PLAN
C1.1	SITE LAYOUT PLAN
C1.2	FENCING LAYOUT PLAN
C2.1	PAVING, GRADING & DRAINAGE PLAN
C3.1	PAVING, GRADING & DRAINAGE DETAILS
C3.2	PAVING, GRADING & DRAINAGE DETAILS
EC0.1	EROSION CONTROL NOTES
EC0.2	EROSION CONTROL NOTES
EC0.3	EROSION CONTROL NOTES
EC0.4	EROSION CONTROL NOTES
EC1.1	EROSION CONTROL PLANS

REVISION HISTORY			
REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY	
SUBMITTED TO	DATE





# GENERAL NOTES

- THE PROJECT AREA IS LOCATED WITHIN THE NORTH END PARKS & PUBLIC OVERLAY R 1/NEP ZONING DISTRICT; THE TOTAL PROJECT AREA IS 0.20 ACRES; THE PROJECT DISTURBED AREA IS 0.20 ACRES.
- THE PROPERTY IS WITHIN FLOOD ZONE X AS SHOWN ON THE CHATHAM COUNTY GEORGIA FLOOD INSURANCE RATE MAP 13031C PANEL Q103; LAST REVISED AUGUST 16, 2018.
- TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION PROVIDED BY THOMAS & HUTTON. ALL TOPOGRAPHIC INFORMATION IS BASED ON CONVENTIONAL SURVEY DATA. ELEVATIONS SHOWN ARE BASED ON NAVD 83 UNLESS OTHERWISE NOTED. COORDINATES AND DIMENSIONS SHOWN ARE BASED ON THE GEORGIA STATE PLANE EAST ZONE NAD83 COORDINATE SYSTEM.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CONSTRUCTION PLANS AND SPECIFICATIONS.
- EACH FUTURE ROAD WILL BE CLEANED UP AND RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES DURING CONSTRUCTION.
- CONTRACTOR MUST PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. COORDINATE ANY NECESSARY ROADWAY CLOSURES WITH THE CITY OF TYBEE AND POLICE DEPARTMENTS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING CONTINUOUS ACCESS FOR LANDOWNERS AT ALL TIMES DURING CONSTRUCTION.
- ALL EXISTING UTILITY FACILITIES ARE SHOWN DIMENSIONALLY ON THE CONSTRUCTION DRAWINGS, AND ARE NOT NECESSARILY ACCURATE IN LOCATIONS AS TO PLAN OR ELEVATION. UTILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY UNDER THE REQUIREMENT. EXISTING UTILITIES FACILITIES MEAN ANY UTILITY EXISTING ON THE PROJECT IN ITS ORIGINAL, RELOCATED, OR NEWLY INSTALLED POSITION. CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UNDERGROUND FACILITIES, EVEN WHEN SUCH FACILITIES ARE NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND FOR ADJUSTING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR. NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES FROM INFORMATION PROVIDED ON PLANS.
- IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AND ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR WILL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMEDIAL OPERATION.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL INCLUDE IN THEIR BID ALL NECESSARY BRACING, SHIELDING AND SHUTTERING TO COMPLETE THE PROJECT AND TO PROTECT THE CONSTRUCTION WORKERS AND ALL ADJACENT STRUCTURES, TREES, AND LANDSCAPE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIR AND COST TO RETURN AREA TO ORIGINAL CONDITION.
- ALL UTILITY POLES ADJACENT TO PROPOSED CONSTRUCTION MUST BE SECURED PRIOR TO ANY ADJACENT DISTURBANCE AND THE CONSTRUCTION PROCEDURE MUST BE ACCEPTABLE TO THE UTILITY COMPANY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UTILITIES WITH UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO DESIGN AND PROVIDE PLAN FOR SECURING POLES TO THE CITY AND UTILITY PROVIDER FOR APPROVAL.
- CONTROL OF STORMWATER THROUGHOUT THE CONSTRUCTION PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE EXISTING DRAINAGE CONFIGURANCES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL PENALTIES, CLAIMS AND FEES IMPOSED ON THE OWNER AS A RESULT OF DAMAGE CAUSED BY ACTIONS OF THE CONTRACTOR OR THEIR EMPLOYEES OR SUBCONTRACTORS SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- ALL SUITABLE MATERIAL EXCAVATED SHALL BE USED ON SITE. ANY EXCESS MATERIAL SUITABLE OR UNSUITABLE SHALL BE DISPOSED IN ACCORDANCE WITH THE CONTRACTOR'S EXPENSE.
- SEE EROSION CONTROL SHEET, NOTES AND DETAILS FOR EROSION AND POLLUTION CONTROL MEASURES TO BE IMPLEMENTED. CONTRACTOR SHALL FOLLOW ALL NPDES PERMITS CONDITIONS AS SET FORTH IN THE CAJ-NP-100002 LATEST EDITION. CONTRACTOR SHALL APPOINT OUTSIDE QUALIFIED PERSONNEL FOR DAILY, WEEKLY, AND MONTHLY NPDES INSPECTION AND REPORTING.
- THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH THE EROSION AND SEDIMENTATION ACT OF 1972, AS AMENDED, AND THE NPDES GENERAL STORM WATER PERMIT. PROVISIONS SHALL BE MADE DURING CONSTRUCTION TO PREVENT SEDIMENT WASHING INTO CREEKS, SALT MARSHES AND ADJACENT FLOODPLAIN. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. SEE EROSION CONTROL NOTES FOR FURTHER DETAIL.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE INSTALLATION OF THE FANAL. THE CONTROL MEASURES SHALL REMAIN FUNCTIONAL UNTIL THE CONSTRUCTION DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE EROSION.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE THEIR OWN INTERPRETATION OF ALL SUBSIDIARY AND SUPPLEMENTARY

- DATA AVAILABLE AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED, WASTED, GRADED, AND COMPACTED. THE INFORMATION SHOWN ON THESE PLANS IN NO WAY GUARANTEES THE AMOUNT OR NATURE OF THE MATERIALS TO BE ENCOUNTERED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND MEASURES AS NECESSARY TO MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2009 LATEST EDITION. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO OWNER FOR REVIEW AND ACCEPTANCE NO LATER THAN 2 WEEKS PRIOR TO STARTING CONSTRUCTION.
- ALL WORK SHALL CONFORM TO APPLICABLE STATE, COUNTY AND MUNICIPAL REQUIREMENTS AND CODES.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION AND IMPROVEMENTS TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF FACILITIES.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DEPOSITED IN AN ACCEPTABLE WASTE DISPOSAL AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR EXISTING WATER & SEWER SERVICES DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.
- ALL DAMAGE CAUSED BY CONTRACTOR OR SUBCONTRACTORS DURING CONSTRUCTION IS TO BE REPAIRED TO ORIGINAL CONDITIONS AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO PAY ALL FINES, PENALTIES & FEES AND HOLD HARMLESS OWNER.
- ALL STORM DRAIN (CULVERT) JOINTS SHALL BE WRAPPED TWICE WITH FIBER FABRIC (MINIMUM 140 IN) OR EQUIVALENT SEE SPECIFICATIONS FOR WIDTH AND OVERLAP.
- CONTRACTOR SHALL CONFIRM PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION AND KEEP A COPY OF ALL PERMITS ON SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION ACTIVITIES WITH LOCAL UTILITY COMPANIES AND ADJACENT PROPERTY OWNERS. CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF UNDERGROUND UTILITIES AND COORDINATION OF PROTECTION OF UTILITIES WITH THE UTILITY PROVIDER. UTILITIES LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE UTILITY ONE CALL NUMBER 1-800-368-5841 FOR A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION. TO VERIFY ALL EXISTING UTILITIES AFFECTED BY THE WORK & NOTIFY OWNER OF ANY DISCREPANCIES.
- ALL PROTECTIVE BARRIERS, IF REQUIRED, SHALL BE INSTALLED PRIOR TO ANY CLEARING, ACTIVE AND MAINTAINED UNLESS INSTRUCTED BY THE OWNER OR ENGINEER TO DO OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND TRIMMING OF UTILITY EASEMENTS AS REQUIRED TO INSTALL THE IMPROVEMENTS AS SHOWN ON THE PLAN.
- DISCHARGE OF HIGHLY CONTAMINATED WATER INTO SURROUNDING AREAS OR STORM DRAINAGE SYSTEM IS PROHIBITED. DISPOSAL OF HIGHLY CONTAMINATED WATER SHALL COMPLY WITH THE REQUIREMENTS OF GEORGIA EPCO AND AWWA STANDARD C-651 LATEST REVISION. IF REQUIRED BY THE ENGINEER, A REMEDIATION PLAN SHALL BE USED TO MINIMIZE THE DISCHARGE.
- CONTRACTOR INTENDS TO OBTAIN A RIGHT OF WAY PERMIT PRIOR TO PERFORMING CONSTRUCTION ACTIVITIES IN CITY'S RIGHT OF WAY.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN ACCEPTABLE BACKFLOW PREVENTION DEVICE AND THE STOPVALVE METER OBTAINED FROM THE CITY OF PLANTWATERS, CONVEYANCE AND DISTRIBUTION DEPARTMENT.
- AN ACCEPTABLE WATER SUPPLY FOR THE PROTECTION OF THE TEMPORARY OR PERMANENT SHALL BE MADE AVAILABLE AS SOON AS POSSIBLE TO THE CONTRACTOR.
- ANY SIGNIFICANT EROSION OR COLLAPSE OF CONDUIT WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES APPLICABLE TO THE WORK.
- LOADING UNLOADING AND STORAGE OF CONTAMINATED MATERIAL AND EQUIPMENT SHALL NOT BE DONE ON PUBLIC RIGHT OF WAY WITHOUT OWNER APPROVAL BY THE CITY OF PLANTWATERS.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION BARRIERS AROUND PERIMETER OF SITE PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL ADJUST THESE LOCATIONS AS REQUIRED FOR COMPLETION OF WORK. TEMPORARY CONSTRUCTION BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PERMITS AND ANY ADDITIONAL PAYMENTS SHALL BE MADE. TEMPORARY CONSTRUCTION BARRIERS SHALL BE AN INCH CHAIN LINK FENCE.



INDEX  
SCALE: 1" = 50' XREF

## ABBREVIATIONS

SYM	DESCRIPTION	SYM	DESCRIPTION	SYM	DESCRIPTION	SYM	DESCRIPTION
EM	EXISTING	FM	FORCE MAIN (SANITARY SEWER)	OC	ON CENTER	SS	SANITARY SEWER
BTM	BOTTOM	FP	FINISH PAD	PC	POINT OF CURVE	TC	TOP OF CURB
CB	CATCH BASIN	FPW	FIRE PROTECTION	PH	POST HYDRANT	TH	THROAT ELEVATION
CI	CURB INLET	FR	FRAME	PT	POINT OF TANGENT	TO	TOP OF OUTLET
CO	CLEANOUT	GR	GRASS INLET	PVC	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT
CPP	CORRUGATED PLASTIC PIPE	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
DM	DRAINAGE	HDPPE	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TYP	TYPICAL
DI	DITCH INLET	HI	H-HOOD INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET
DIP	DUCTILE IRON PIPE	INV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
DI	DRAINAGE	JR	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	WI	WATER VALVE
ES	END SECTION	LF	LINEAR FEET	R/W	RIGHT OF WAY	WV	WATER VALVE
FES	FLARED END SECTION	MA	MAXIMUM	SD	STORM DRAINAGE	WI	WATER INLET
FG	FRESH GRADE	MIN	MINIMUM	SDMH	STORM DRAINAGE MANHOLE		
FI	FIRE HYDRANT	MN	MANHOLE	SF	SQUARE FEET		

### DRAINAGE LEGEND

	EXISTING	PROPOSED
PIPE	---	---
DITCH	---	---
CURB INLET (CATCH BASIN) (CB)		
CURB INLET (CATCH BASIN) (CB)		
CURB INLET (CATCH BASIN) (CB)		
CURB INLET (CATCH BASIN) (CB)		

### OTHER UTILITIES LEGEND

	EXISTING
NATURAL GAS	
TELEPHONE	
UNDERGROUND TELEPHONE	
ELECTRICITY	
UNDERGROUND ELECTRICITY	

### GENERAL INFORMATION

COUNTY	CHATHAM COUNTY	OWNER	CITY OF TYBEE ISLAND 401 BUTLER AVENUE TYBEE ISLAND, GA 31428 912.786.4573	ENGINEER	CITY OF TYBEE ISLAND 401 BUTLER AVENUE TYBEE ISLAND, GA 31428 912.786.4573
TOWN	CITY OF TYBEE ISLAND				
ZONING	NORTH END PARKS & PUBLIC OVERLAY R 1/NEP				

NO.	REVISIONS	BY	DATE

NO.	REVISIONS	BY	DATE



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www.thomasandhutton.com

**GENERAL NOTES & INDEX**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY, GEORGIA

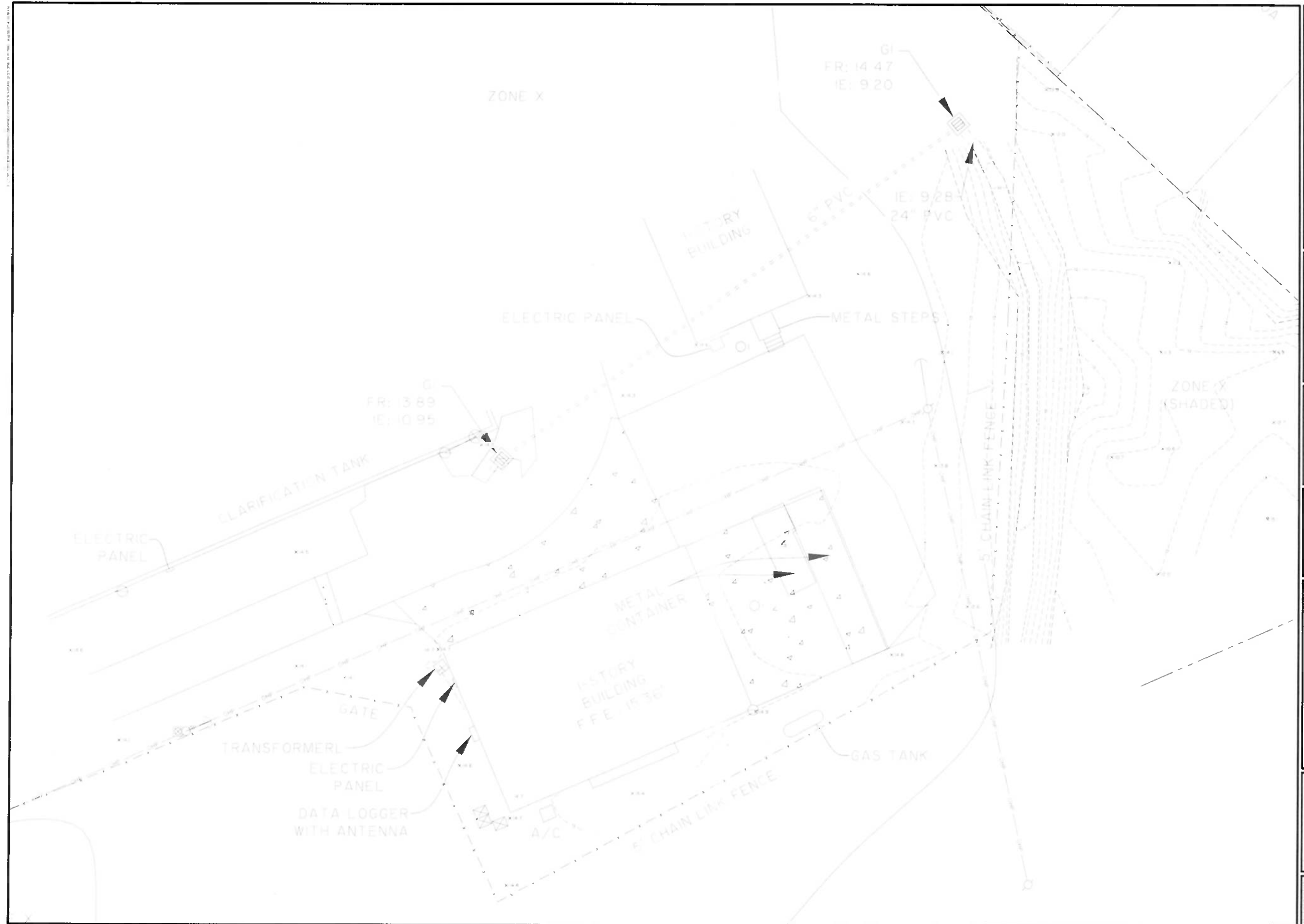
**CLIENT/OWNER:**  
CITY OF TYBEE ISLAND  
401 BUTLER AVENUE  
TYBEE ISLAND, GEORGIA 31428

**GRAPHIC SCALE**  
1 INCH = 50 FEET

DATUM: NAD83  
VERT: NAVD83

JOB NO.: 2018-001  
DATE: 08.20.18  
DRAWN: TAM  
DESIGNED: TAM  
REVIEWED: EMS  
APPROVED: EMS  
SCALE

**G0.1**




NO.	REVISIONS	BY	DATE



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 www.thomasonhutton.com

**EXISTING CONDITIONS PLAN**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION**  
 CITY OF TYBE ISLAND  
 CHATHAM COUNTY, GEORGIA

**CLIENT/OWNER:**  
 CITY OF TYBE ISLAND  
 411 BUTLER AVE. EAST  
 TYBE ISLAND, GEORGIA 31328



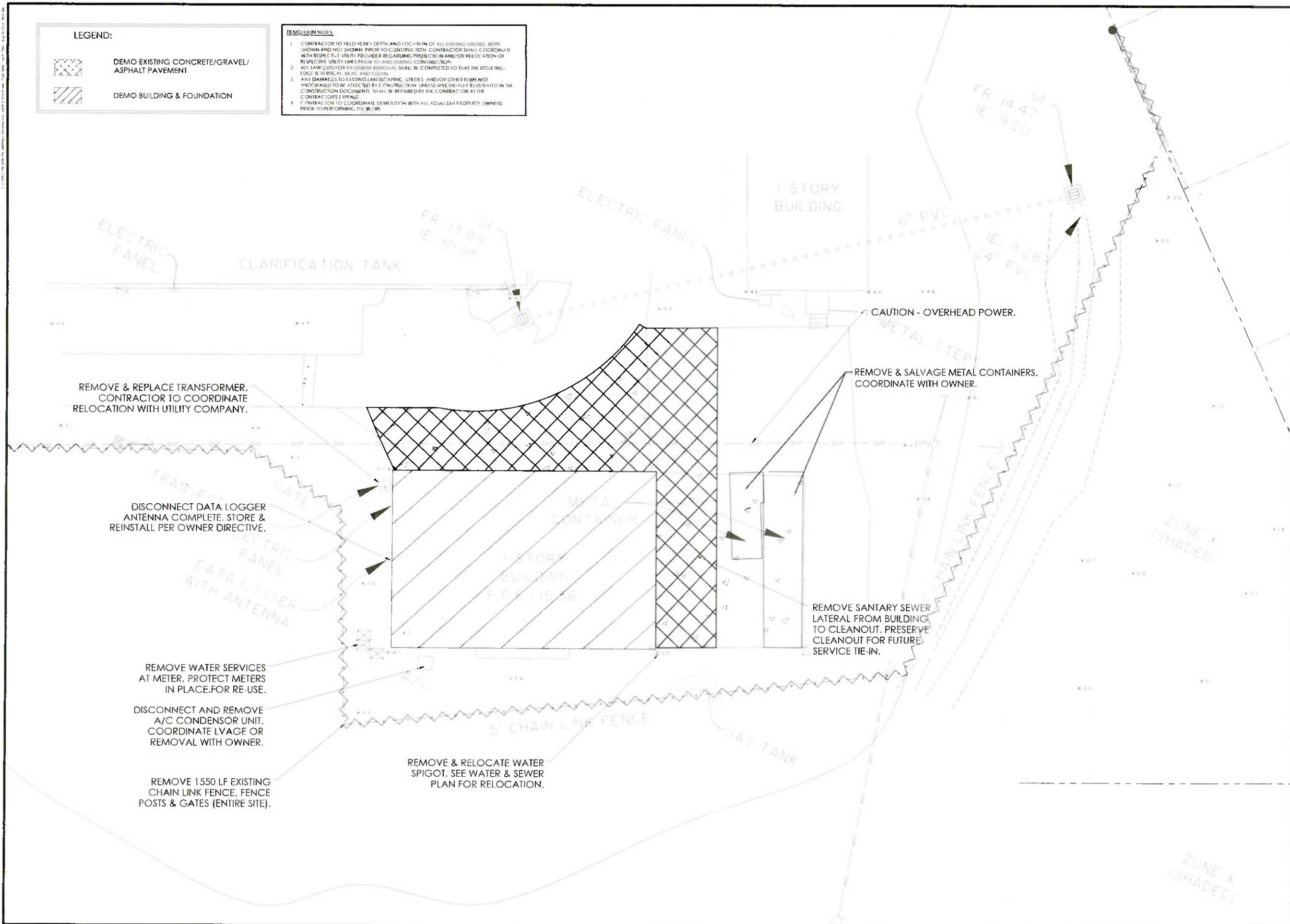
DATE	08/24/24
DRAWN	SAAZ
DESIGNED	
REVIEWED	PIA
APPROVED	PIA
SCALE	1" = 10'

**EX1.1**

LEGEND:

-  DEMO EXISTING CONCRETE/GRAVEL/ ASPHALT PAVEMENT
-  DEMO BUILDING & FOUNDATION

- DEMOLITION NOTES:**
1. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES, BOTH SHOWN AND NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY PROVIDER REGARDING PROTECTION AND/OR RELOCATION OF RESPECTIVE UTILITIES PRIOR TO AND DURING CONSTRUCTION.
  2. ALL SAW CUTS FOR PAVEMENT REMOVAL SHALL BE COMPLETED SO THAT THE RESULTING EDGE IS VERTICAL, NEAT, AND CLEAN.
  3. ANY DAMAGES TO EXISTING LANDSCAPING, UTILITIES, AND/OR OTHER ITEMS NOT ANTICIPATED TO BE AFFECTED BY CONSTRUCTION UNLESS SPECIFICALLY ILLUSTRATED IN THE CONSTRUCTION DOCUMENTS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  4. CONTRACTOR TO COORDINATE DEMOLITION WITH ALL ADJACENT PROPERTY OWNERS PRIOR TO PERFORMING THE WORK.



NO.	REVISIONS	BY	DATE

NO.	REVISIONS	BY	DATE



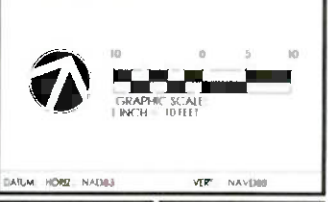
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 Savannah, GA 31406 • 912.234.5300  
 www.thomasandhutton.com

**DEMOLITION PLAN**

WWTP MAINTENANCE FACILITY

PROJECT LOCATION:  
 CITY OF FIBER BLAND  
 CHATHAM COUNTY, GEORGIA

CLIENT/OWNER:  
 CITY OF FIBER BLAND  
 400 BUTLER AVENUE  
 FIBER BLAND, GEORGIA 31128

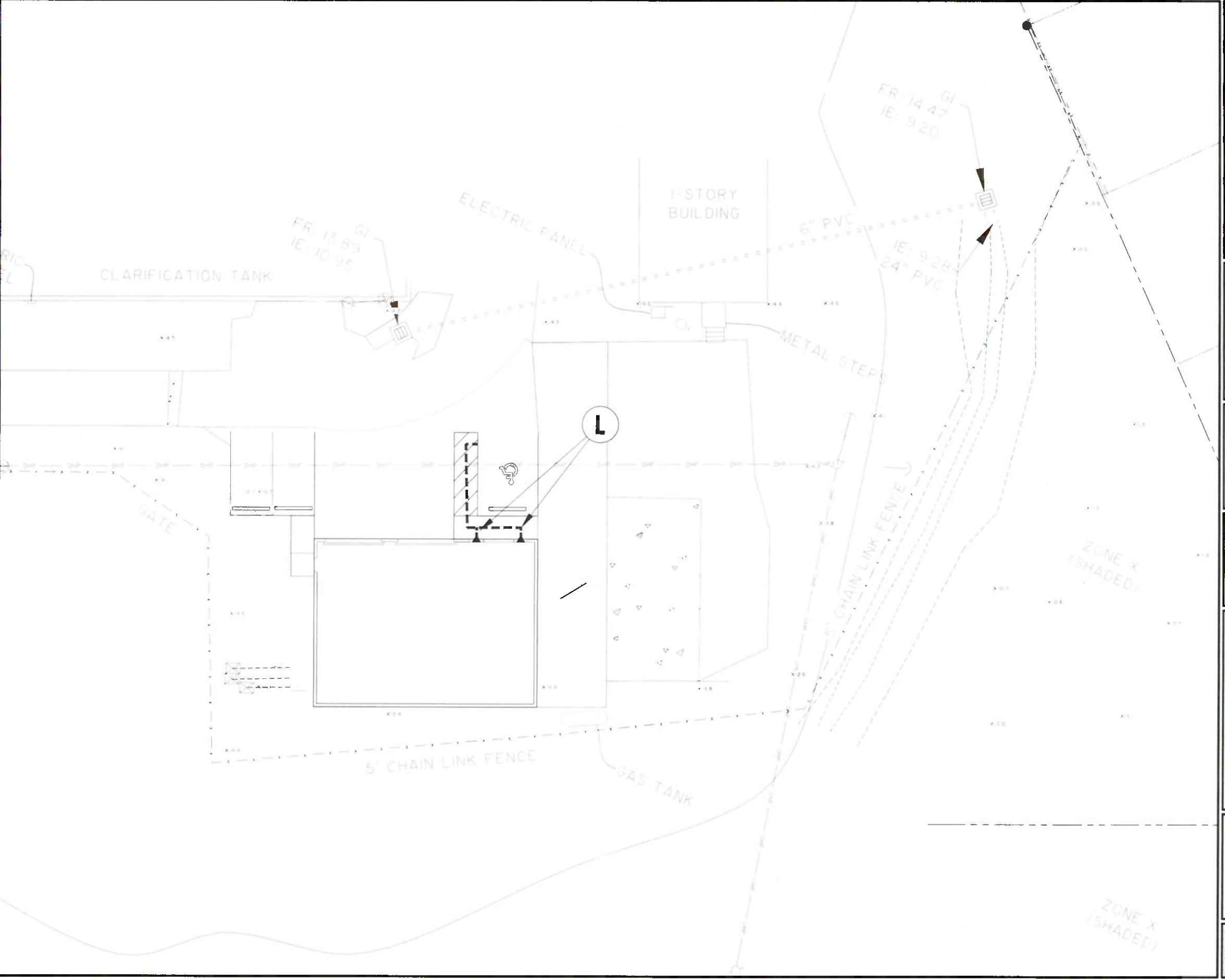


DATE:	08/20/24
DRAWN:	SAM
DESIGNED:	EM
REVIEWED:	EM
APPROVED:	AM
SCALE:	1" = 10'

**CD1.1**



- NOTES**
- 1. ACCESSIBLE ROUTE - EXTERIOR**  
 MINIMUM CLEAR WIDTH IS 3' IF ACCESSIBLE ROUTE HAS LESS THAN 8" CLEAR WITHIN THEN PARKING SPACES AT LEAST 2'x2' SHALL BE LOCATED EVERY 200' OR LESS INTERSECTING SIDEWAYS MEET THE REQUIREMENTS. LONGITUDINAL DRAINAGE SLOPE MAY NOT EXCEED 1/8" UNLESS RAMP IS INSTALLED DRAIPS MAY NOT EXCEED 1/8" SLOPE. CROSS SLOPE MAY NOT EXCEED 2%. RAMP IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH.
  - 2. FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS**  
 A. 0 TO 1/4" NO REQUIREMENTS  
 B. 1/4" TO 1/2" SEVEL WITH 1:2 SLOPE  
 C. LARGER THAN 1/2" CONFORM TO REQUIREMENTS FOR RAMP
  - 3. RAMPS**  
 A. MAX RAMP SLOPE 8.33% (1:12)  
 B. RAMP STEEPER THAN 8.33% ARE NOT ACCEPTABLE  
 C. MAX RISE FOR ANY RAMP RUN IS 30" (AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 360")  
 D. MAX CROSS SLOPE OF RAMP 2% (8:50)
  - 4. HANDRAILS**  
 A. REQUIRED ON BOTH SIDES (MIN. 36" CLEAR BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6"  
 B. PROVIDE MINIMUM 12" LONG HANDRAIL EXTENSIONS AT TOP AND BOTTOM LANDINGS.  
 C. PROVIDE MINIMUM 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO RAMP IF RAMP HAS DROP-OFFS.  
 D. ROUTER BETWEEN BUILDINGS WITH ONLY DWELLING UNITS DO NOT HAVE TO HAVE HANDRAILS.  
 E. STAIRS NOT ALLOWED AS PART OF ACCESSIBLE ROUTE BUT IF ADJACENT TO ROUTE OR PART OF TENANT SPACE MUST MEET REQUIREMENTS FOR STAIR RAILS.
  - 5. LANDINGS**  
 A. RAMP SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP  
 B. LANDINGS SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT  
 C. LANDING LENGTH SHALL BE MINIMUM 6' CLEAR  
 D. IF RAMP CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 6'x3'  
 E. ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.
  - 6. CURB AND SIDEWALK RAMPS**  
 A. MAX SLOPE OF CURB RAMP 8.33%  
 B. MAX SLOPE OF SIDE FLARES 10%  
 C. MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 8%  
 D. MIN WIDTH 36" (NOT INCLUDING SIDE FLARES)  
 E. DETECTABLE WARNING IS REQUIRED ON CURB RAMPS IN PUBLIC RIGHTS OF WAY AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP ON FLUSH SURFACE. DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.
  - 7. PAVEMENT MARKINGS**  
 AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK MARKING TO DEMONSTRATE ACCESSIBLE PEDESTRIAN ROUTE)
  - 8. PARKING SPACES**  
 A. MINIMUM 8' WIDE ACCESSIBLE PARKING SPACE  
 B. MINIMUM 5' WIDE ACCESSIBLE AT STANDARD SPACES  
 C. MINIMUM 8' WIDE ACCESSIBLE AT VAN ACCESSIBLE SPACES  
 D. MAXIMUM 2% (8:50) SLOPE IN ANY DIRECTION
  - 9. ACCESSIBLE ROUTES**  
 MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICC/ANSI A117.1-2009



**LEGEND**

- ACCESSIBLE ROUTE
- ▲ ACCESSIBLE BUILDING ENTRANCE
- Ⓛ LANDING

NO.	REVISIONS	BY	DATE



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 Savannah, GA 31401 • 912.734.5300  
 www.thomashutton.com

**ACCESSIBILITY PLAN**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
 CITY OF TREE BLAND  
 CHATHAM COUNTY, GEORGIA

**CLIENT/OWNER:**  
 CITY OF TREE BLAND  
 408 BURTLE A. FINE  
 TREE BLAND, GEORGIA 31128

DATUM: NAD83 HORIZ: NAD83 VERT: NAVD83

GRAPHIC SCALE  
 1 INCH = 10 FEET

DATE:	7/20/18
DATE:	08/30/24
DRAWN:	SAM
DESIGNED:	
REVIEWED:	KMS
APPROVED:	KMS
SCALE:	1" = 10'

**G1.1**

PERMIT SET ONLY - NOT FOR CONSTRUCTION







**HATCH LEGEND**

	PROPOSED LIGHT DUTY CONCRETE
	PROPOSED GRAVEL AREA
	PROPOSED SIDEWALK
	BUILDING FOOTPRINT

NO.	REVISIONS	BY	DATE

NO.	REVISIONS	BY	DATE



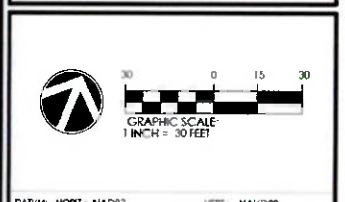
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 Savannah, GA 31406 • 912.234.5300  
 www.thomasonhutton.com

**FENCING LAYOUT PLAN**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
 CITY OF TYBEE ISLAND  
 CHATHAM COUNTY, GEORGIA

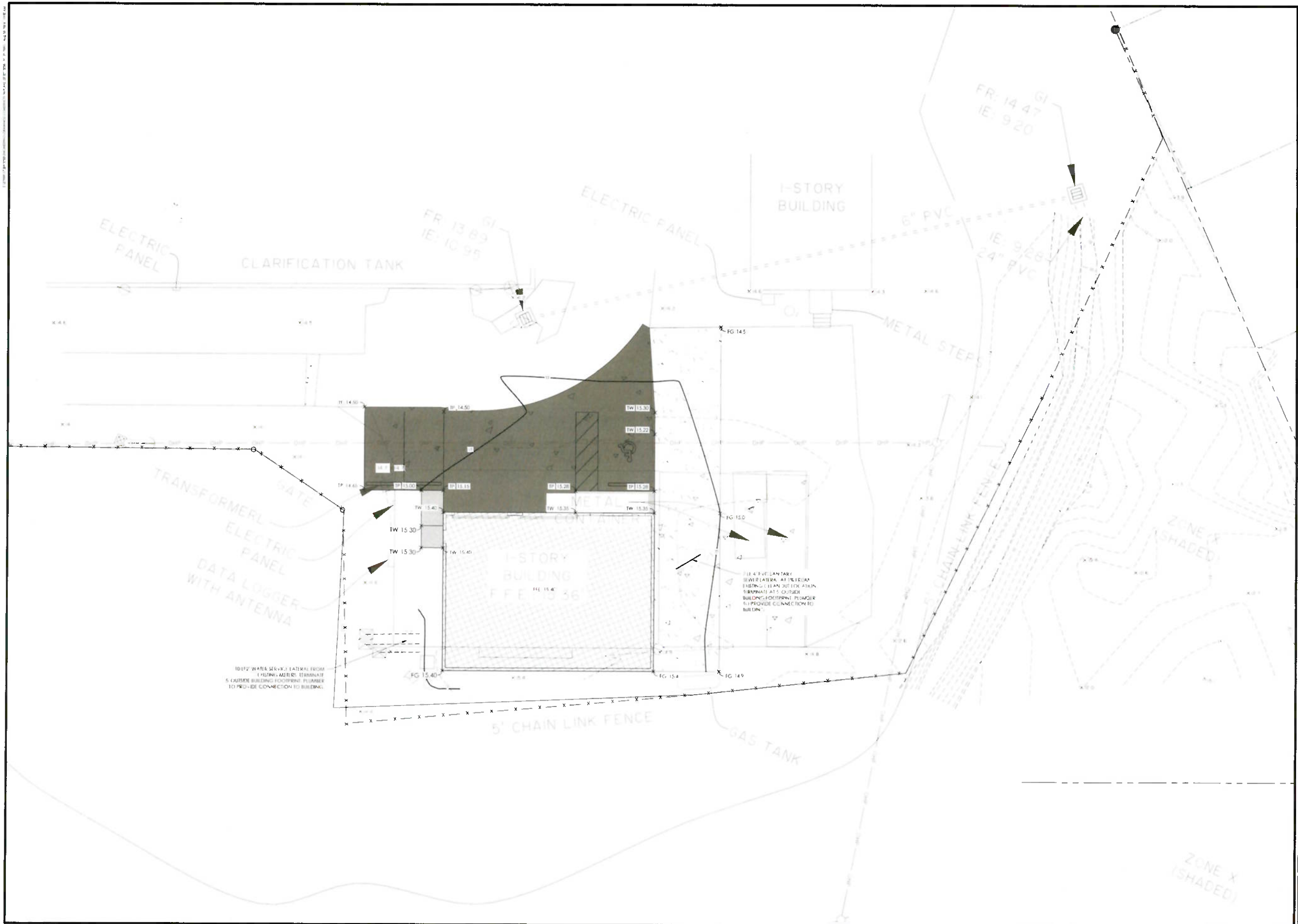
**CLIENT/OWNER:**  
 CITY OF TYBEE ISLAND  
 403 BUTLER AVENUE  
 TYBEE ISLAND, GEORGIA 31328



JOB NO.	27209 0008
DATE	06/26/24
DRAWN	SAAM
DESIGNED	
REVIEWED	KMAS
APPROVED	KMAS
SCALE	1" = 30'

**C1.2**





NO.	REVISIONS	BY	DATE

NO.	REVISIONS	BY	DATE



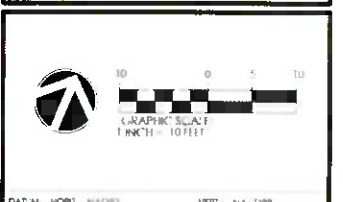
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 Savannah, GA 31405 • 912.334.5300  
 www.thomashutton.com

**PAVING, GRADING & DRAINAGE PLAN**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
 CITY OF THREE ISLANDS  
 CHATHAM COUNTY, GEORGIA

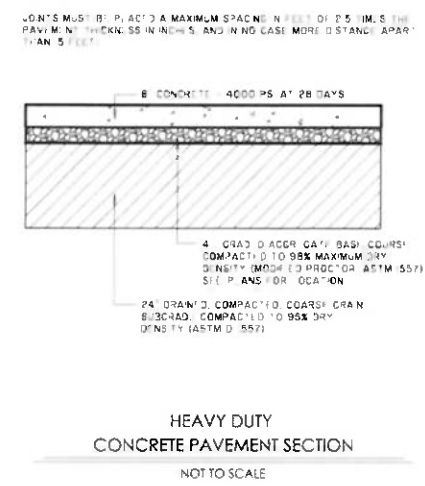
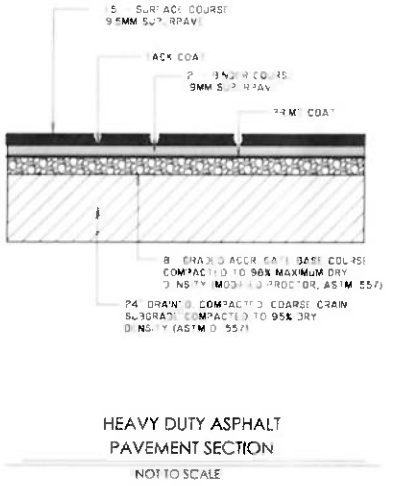
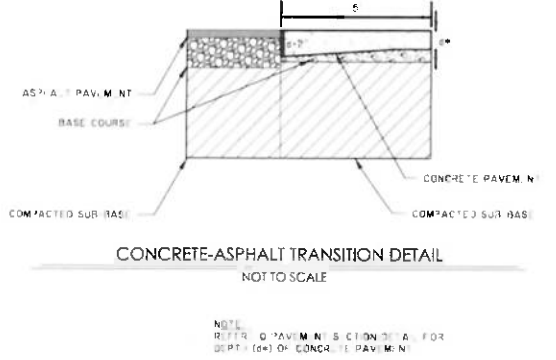
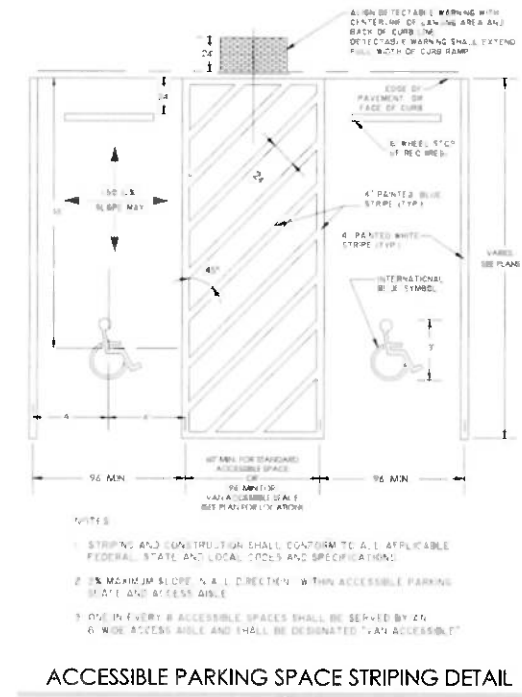
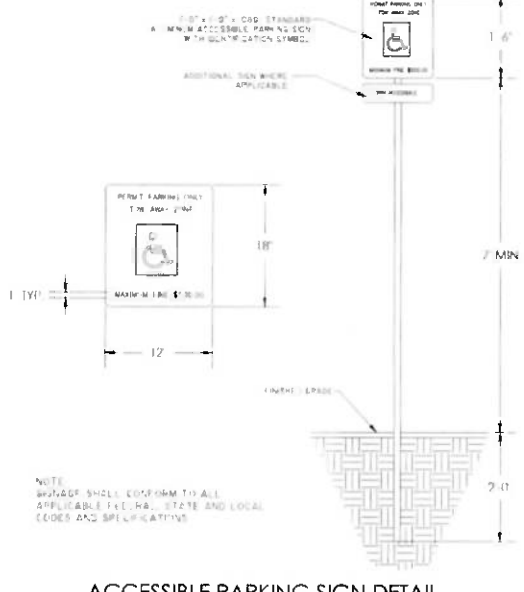
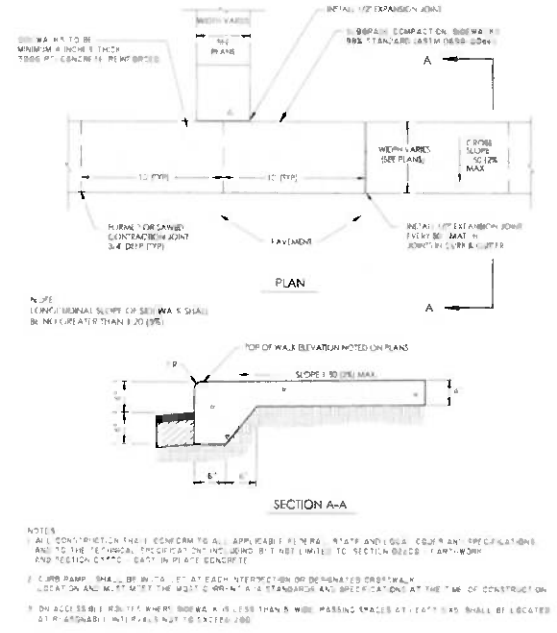
**CLIENT/OWNER:**  
 CITY OF THREE ISLANDS  
 401 BUDGET AVENUE  
 THREE ISLANDS, GEORGIA 31326



DRAWN	DATE	APP'D	DATE

**C2.1**

PERMIT SET ONLY - NOT FOR CONSTRUCTION



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Lawrenceville, GA 30045 • 770.224.5300  
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**PAVING GRADING & DRAINAGE DETAILS**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
CITY OF THREE ISLANDS  
CHATHAM COUNTY, GEORGIA

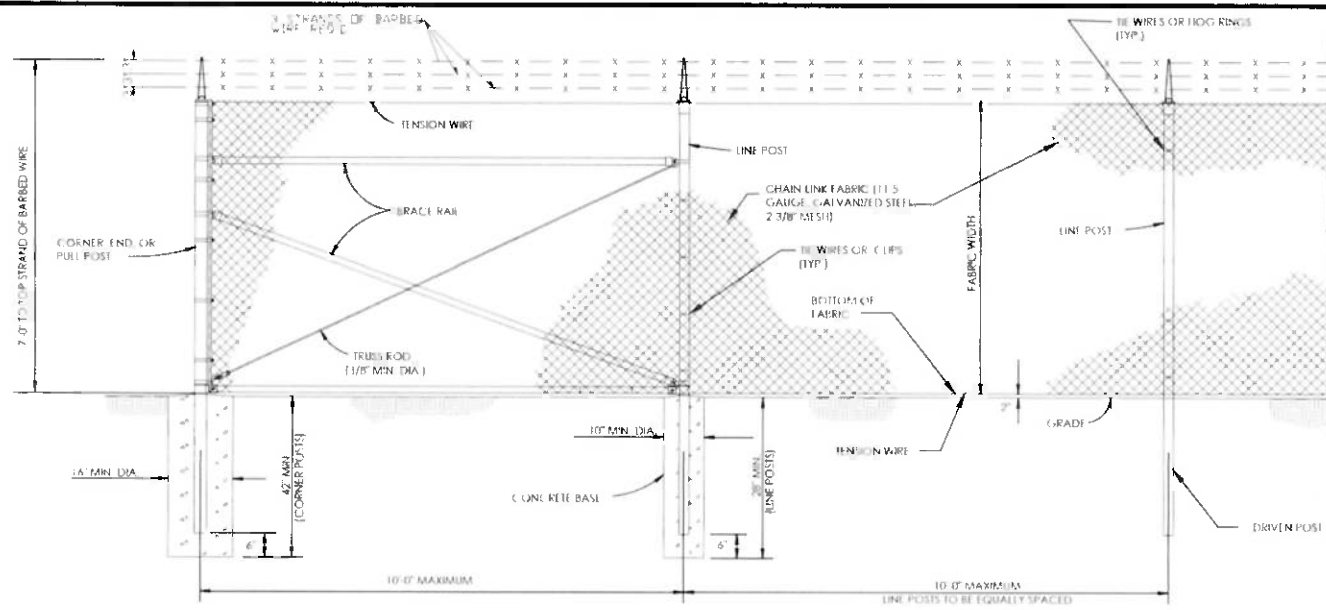
**CLIENT/OWNER:**  
CITY OF THREE ISLANDS  
403 BUTLER AVENUE  
THREE ISLANDS, GEORGIA 31120



JOB NO.	20220010
DATE	08/08/24
DRAWN	SAA
DESIGNED	SAA
REVIEWED	RMS
APPROVED	RMS
SCALE	AS SHOWN

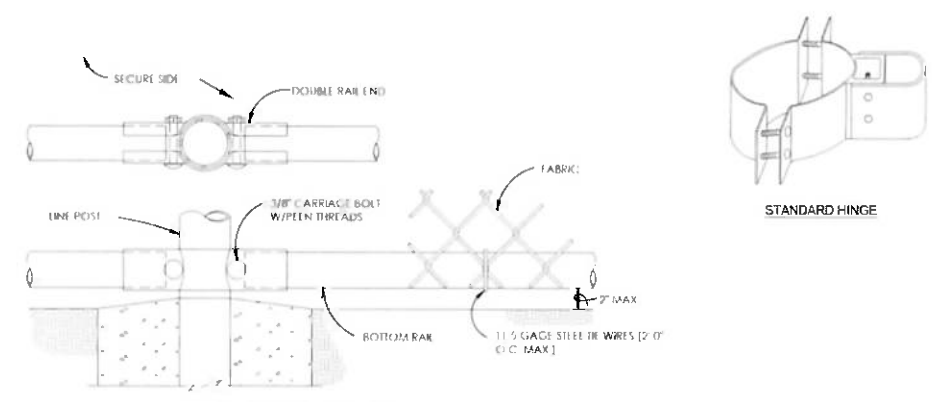
**C3.1**





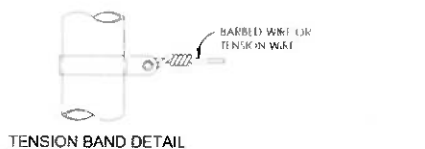
NOTE: THERE SHALL BE NO GAPS BETWEEN FENCE OR BETWEEN GATE LEAVES THAT ARE WIDE ENOUGH TO ALLOW PASSAGE OF UNAUTHORIZED PERSONS.

CHAIN-LINK SECURITY FENCE DETAIL  
NO SCALE

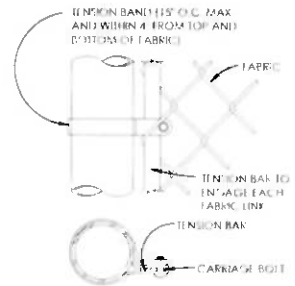


BOTTOM RAIL DETAILS  
NO SCALE

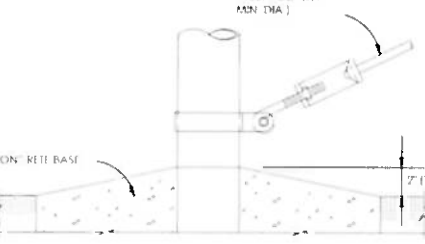
USE AND SECTION	STEEL POST AND FOOTING SCHEDULE	
	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)
	POST DIAMETER	POST FOOTING HOLE DIAMETER (4X POST DIAMETER, MINIMUM)
CORNER, END & PULL POSTS		
TUBULAR (ROUND)	2.50\"/>	



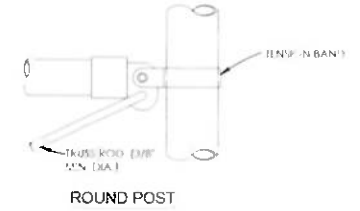
TENSION BAND DETAIL



BRACE RAIL ATTACHMENT

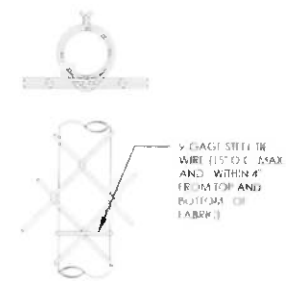


TRUSS ROD AND BAND



ROUND POST

END OR GATE POST DETAIL



ROUND POST

FASTENING DETAILS  
NO SCALE

NOTES:

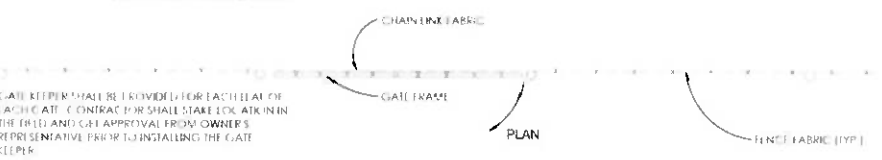
1. DETAILS SHOWN ARE TO CLARIFY REQUIREMENTS AND ARE NOT INTENDED TO LIMIT OTHER TYPES OF FENCE SECTIONS AND METHODS OF INSTALLATION.
2. WIRE RAILS, RAILS, AND BRACE RAILS SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE. CHAIN LINK FABRIC SHALL BE PLACED ON THE OPPOSITE SIDE OF THE SECURE AREA.
3. C-SECTION POSTS SHALL BE INSTALLED SO THAT THE VOID INSIDE THE POST IS COMPLETELY FILLED WITH CONCRETE UP TO THE TOP OF THE FOUNDATION.
4. BOTTOM RAIL SHALL BE ATTACHED TO DOUBLE RAIL ENDS USING 1/2\"/>

FENCE LEGEND:

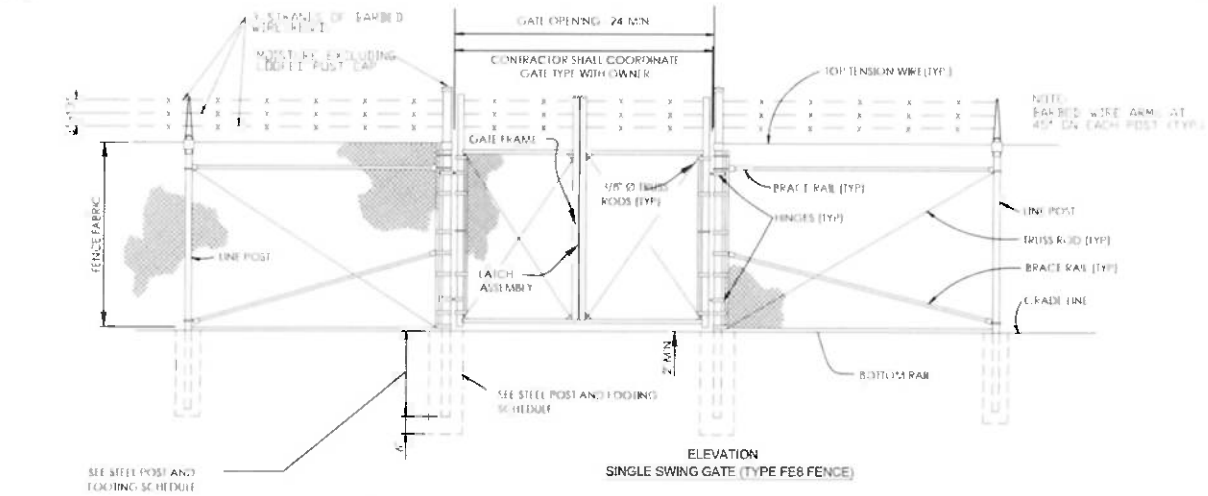
- TYPE F8: CHAIN LINK FENCE
- TWB: FENCE WITH TOP TENSION WIRE AND BOTTOM RAIL (FINAL NUMBER IS FABRIC WIDTH IN INCHES)
- LINE 1: 3 STRANDS (CONCRETE PROJECT) SHALL BE
- F8 TWB RA: CHAIN LINK SECURITY FENCE WITH TOP WIRE 3 STRANDS OF BARBED WIRE AND BOTTOM WIRE AN 1 1/4 INCH FABRIC WIDTH

NOTES:

1. DETAILS SHOWN ARE TO CLARIFY REQUIREMENTS AND ARE NOT INTENDED TO LIMIT OTHER TYPES OF FENCE SECTIONS AND METHODS OF INSTALLATION.
2. SWING GATES SHALL BE CONSTRUCTED WITH KNIFE BOX LATCH ASSEMBLY AND GATE KEEPERS.
3. ALL GATE FRAMES SHALL BE A MINIMUM 1.90\"/>

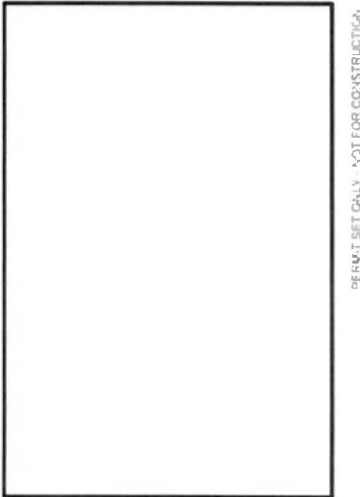


PLAN



ELEVATION  
SINGLE SWING GATE (TYPE F8 FENCE)

NOTE: CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW BY OWNER PRIOR TO ORDERING MATERIALS.



STANDARD HINGE

NO.	REVISIONS	BY	DATE



**THOMAS & HUTTON**  
50 Park of Commerce Way  
Marietta, GA 30066 • 912.214.5300  
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PAVING GRADING & DRAINAGE DETAILS

WWTP MAINTENANCE FACILITY

PROJECT LOCATION:  
CITY OF TALLASSEE  
CHATHAM COUNTY, GEORGIA

CLIENT/OWNER:  
CITY OF TALLASSEE  
400 BUTLER AVENUE  
TALLASSEE, GEORGIA 31706



DATE: 08-20-24	SCALE: 1\"/>
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C3.2

**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST - STAND ALONE CONSTRUCTION PROJECTS**

SWCD: COASTAL  
PROJECT NAME: WWTP MAINTENANCE FACILITY  
CITY/COUNTY: SAVANNAH/CHATHAM

ADDRESS: TYBEE ISLAND, GEORGIA 31328, ----  
DATE ON PLANS: 08/30/24  
NAME AND EMAIL OF PERSON FILLING OUT CHECKLIST: KEVIN M. SMITH smith.k@lanoh.com

**ATTACHED** YES 1 THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED. (THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THE ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED) (PERMIT IV.D.1 PG.31)

PLEASE FIND THE CURRENT STAND ALONE EROSION, SEDIMENTATION AND POLLUTION CONTROL CHECKLIST ATTACHED.

**ALL** YES 2 LEVEL II CERTIFICATION NUMBER ISSUED BY THE COMMISSION, SIGNATURE AND SEAL OF THE CERTIFIED DESIGN PROFESSIONAL, SIGNATURE, SEAL AND LEVEL II NUMBER MUST BE ON EACH SHEET PERTAINING TO ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED

PLEASE FIND ON EACH SHEET OF THIS PLAN THE GSWCC LEVEL II CERTIFICATION NUMBER, SIGNATURE AND SEAL FOR MR. KEVIN M. SMITH, PE.

**ECOJ** YES 3 LIMITS OF DISTURBANCE SHALL BE NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE EPD DISTRICT OFFICE. IF EPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST 4 OF THE BMPs LISTED IN APPENDIX 1 OF THIS CHECKLIST AND THE EPD APPROVAL LETTER. (A COPY OF THE WRITTEN APPROVAL BY EPD MUST BE ATTACHED TO THE PLAN FOR THE PLAN TO BE REVIEWED) (PERMIT IV.D.3 PG.30)

LIMITS OF DISTURBANCE DO NOT EXCEED 50 ACRES. TOTAL DISTURBANCE OF THE SITE DEVELOPMENT PROJECT IS 0.20 ACRES.

**ECOJ** YES 4 THE NAME AND PHONE NUMBER OF 24 HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS (PERMIT III.1.c PG.12, III.2.a PG.14, III.3.B PG.15)

403 BUTLER AVENUE /CITY OF TYBEE ISLAND /912 472 5041

**ECOJ** YES 5 PROVIDE THE NAME, ADDRESS, EMAIL ADDRESS AND PHONE NUMBER OF PRIMARY PERMITTEE (PERMIT III.1.c PG.12, III.3.a PG.14, III.3.B PG.15)

403 BUTLER AVENUE  
TYBEE ISLAND, GEORGIA 31328  
CITY OF TYBEE ISLAND  
912 472 5041

**ECOJ** YES 6 NOTE TOTAL AND DISTURBED ACREAGE OF THE PROJECT OR PHASE UNDER CONSTRUCTION (PERMIT IV.D.2.c PG.30)

TOTAL PARCEL ACREAGE IS 5.73 ACRES  
TOTAL DISTURBED ACREAGE FOR THE PROJECT IS 0.20 ACRES

**ECOJ** YES 7 PROVIDE THE GPS LOCATION OF THE CONSTRUCTION EXPIR FOR THE SITE. GIVE THE LATITUDE AND LONGITUDE IN DECIMAL DEGREES (PERMIT III.1.g PG.12, III.3.g PG.15)

CONSTRUCTION EXITS ARE LOCATED AT  
LAT: N 32° 01' 26.41" [32.0240], LONG: W 80° 51' 7.92" [80.8522]

**ALL** YES 8 INITIAL DATE OF THE PLAN AND THE DATES OF ANY REVISIONS MADE TO THE PLAN INCLUDING THE ENTITY WHO REQUESTED THE REVISIONS

PLEASE FIND THE INITIAL DATE OF THE PLAN AND ALL REVISIONS ON THE COVER SHEET AS WELL AS EACH INDIVIDUAL SHEET OF THE PLAN

**ECOJ** YES 9 DESCRIPTION OF THE NATURE OF CONSTRUCTION ACTIVITY AND EXISTING CONDITIONS (PERMIT IV.D.2.a PG.29)

THE CONSTRUCTION ACTIVITY AT THE SITE WILL INVOLVE THE DEMOLITION AND RECONSTRUCTION OF THE EXISTING MAINTENANCE FACILITY. THE ADDITION OF ON-SITE PARKING BAYS, REMOVE AND REPLACE EXISTING DRIVEWAY AND THE ADDITION OF A GRAVEL STORAGE AREA. THE EXISTING ELEVATIONS RANGE FROM 14 TO 9.

**COVER** YES 10 PROVIDE VICINITY MAP SHOWING SITE LOCATION TO SURROUNDING AREAS INCLUDING DESIGNATION OF SPECIFIC PHASE, IF NECESSARY (PERMIT IV.D.2.a PG.29)

PLEASE FIND THE VICINITY MAP LOCATED ON THE COVER SHEET OF THE PLAN

**ECOJ** YES 11 IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, ETC. WHICH MAY BE AFFECTED (PERMIT IV.D.2.b PG.30)

THIS PROJECT DISCHARGES TO THE CITY OF TYBEE ISLAND DRAINAGE SYSTEM AND THE RECEIVING WATER IS CHIMNEY CREEK

**ECOJ** YES 12 DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE SITE WAS VISITED PRIOR TO DEVELOPMENT OF THE ES&PC PLAN AS STATED ON PART IV PAGE 19 OF THE PERMIT

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR AUTHORIZED AGENT UNDER MY SUPERVISION

KEVIN M. SMITH PE  
GSWCC LEVEL II DESIGN PROFESSIONAL  
CERTIFICATION #0000012473  
EXPIRATION DATE: 07/11/2027

**ECOJ** YES 13 DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE PERMITTEE'S ES&PC PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BMPs AND SAMPLING TO MEET PERMIT REQUIREMENTS AS STATED ON PART IV PAGE 19 OF THE PERMIT

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

KEVIN M. SMITH PE  
GSWCC LEVEL II DESIGN PROFESSIONAL  
CERTIFICATION #0000012473  
EXPIRATION DATE: 07/11/2027  
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR AUTHORIZED AGENT UNDER MY SUPERVISION

**ECOJ** YES 14 CLEARLY NOTE THE STATEMENT THAT THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION (PERMIT IV.A.5 PG.25)

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION

**DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION**  
DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION

DATE OF INSPECTION: \_\_\_\_\_

I CERTIFY THE SITE WAS \_\_\_\_\_ WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # \_\_\_\_\_

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN

THIS SITE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

**ECOJ** YES 15 CLEARLY NOTE THE STATEMENT THAT NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSH AND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS (PERMIT IV.B.1) (IV) PG.19-24)

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSH AND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

**ECOJ** YES 16 PROVIDE A DESCRIPTION OF ANY BUFFER ENCROACHMENTS AND INDICATE WHETHER A BUFFER VARIANCE IS REQUIRED

THERE WILL BE NO BUFFER ENCROACHMENTS AS PART OF THE PROJECT. THIS A BUFFER VARIANCE IS NOT REQUIRED.

**ECOJ** YES 17 CLEARLY NOTE THE STATEMENT THAT AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL (PERMIT IV.C PG.26)

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL

**ECOJ** YES 18 CLEARLY NOTE THE STATEMENT THAT WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT (PERMIT IV.D.3.c(1) PG.30)

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT

**ECOJ** YES 19 CLEARLY NOTE THE STATEMENT THAT THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES

**ECOJ** YES 20 CLEARLY NOTE THE STATEMENT THAT EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

**ECOJ** YES 21 CLEARLY NOTE THE STATEMENT "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING" (PERMIT IV.D.3.c(1) PG.28)

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING

**ECOJ** YES 22 ANY CONSTRUCTION ACTIVITY WHICH DISCHARGES STORM WATER INTO AN IMPAIRED STREAM SEGMENT OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS ANY PORTION OF AN IMPAIRED STREAM SEGMENT MUST COMPLY WITH PART B.C. OF THE PERMIT. INCLUDE THE COMPLETED APPENDIX 1 LISTING ALL THE BMPs THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT (PART B.C.2.A - V PG.19-21)

THE SITE DOES NOT DISCHARGE WITHIN 1 LINEAR MILE UPSTREAM OF AN IMPAIRED STREAM SEGMENT

**ECOJ** YES 23 IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 22 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOI, THE ES&PC PLAN MUST ADDRESS ANY SITE SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN (PART B.C.1 PG.15)

N/A

**ECOJ** YES 24 BMPs FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES, WASHOUT OF THE TRUCK AT THE CONSTRUCTION SITE IS PROHIBITED (PERMIT IV.D.3.c(1) PG.31)

NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.

**ECOJ** YES 25 PROVIDE BMPs FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS (PERMIT IV.D.3.c(1) PG.31)

NO PETROLEUM WILL BE STORED ON SITE. THE CONTRACTOR SHALL USE A MOBILE MAINTENANCE VEHICLE FOR FUELING AND MAINTENANCE OF EQUIPMENT. EMERGENCY PROCEDURES FOR SPILLS SHALL BE KEPT IN THE CONSTRUCTION TRAILER INCLUDING EMERGENCY CONTACT NUMBERS. ANY LEAKS OR SPILLS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTAIN, CONTROL AND REMEDIATE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES, ORDINANCES AND LAWS.

REGULARLY INSPECT FOR CRACKS OR LEAKAGE IN CONTAINERS/TANKS

**SPILL CLEANUP AND CONTROL PRACTICES**

- LOCAL STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS
- FOR SPILLS THAT IMPACT SURFACE WATER (LAVES A SHEEN ON SURFACE WATER) THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS
- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1500 GALLONS OF PETROLEUM IS STORED ON SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 600 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL

**ECOJ** YES 26 DESCRIPTION OF THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED

**SILT FENCE AND CHECK DAMS WILL BE DEPLOYED TO PREVENT SEDIMENTS FROM ENTERING THE STORMWATER SYSTEM DURING CONSTRUCTION.**

**ECOJ** YES 27 DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE (PERMIT IV.D.3.c(2) PG.30)

THE CONTRACTOR IS TO PROVIDE COVER FOR BUILDING MATERIALS, PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZER, PESTICIDES, HERBICIDES, DETERGENTS, AND SANITARY WASTE THAT ARE STORED ON SITE BY USING PLASTIC SHEETING AS COVER AND PROTECTION FROM PRECIPITATION. THE ABOVE PRODUCTS WILL BE STORED IN A LOCATION THAT WOULD MINIMIZE THE RISK OF EXPOSURE TO STORM WATER.

**ECOJ** YES 28 DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES (PERMIT IV PG.24)

**POLLUTANT PREVENTION**  
THE FOLLOWING MATERIALS ARE EXPECTED ON SITE DURING CONSTRUCTION: PETROLEUM BASED FUELS AND LUBRICANTS FOR EQUIPMENT, ADDITIVES FOR SOIL STABILIZATION, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, CONCRETE PRODUCTS, ASPHALT, TAR, LUMBER, PAINTS/STAIN/FINISHING TREATMENTS, PAINT SOLVENTS, CLEANING SOLVENTS, PLASTICS AND METAL PIPES. PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF

- GOOD HOUSEKEEPING**
- QUANTITIES ON SITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB
  - PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE
  - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER'S LABELS LEGIBLE AND VISIBLE
  - PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS
  - THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL

**PRODUCT SPECIFIC PRACTICES**  
FERTILIZER/HERBICIDES/PESTICIDES/DETERGENTS - THESE WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS. DO NOT DISCHARGE WASH WATER INTO STORM WATER SYSTEM. INSTALL CURBS OR Dikes AROUND STORAGE AREA TO PROTECT AGAINST SPILLS. LIMIT USE OF DETERGENTS ON SITE.

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ON SITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

**ECOJ** YES 29 DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR THE MAJOR PORTIONS OF THE SITE (IE, INITIAL PERIMETER AND SEDIMENT STORAGE BMPs, CLEARING AND GRUBBING ACTIVITIES, EXCAVATION ACTIVITIES, UTILITY ACTIVITIES, TEMPORARY AND FINAL STABILIZATION) (PERMIT IV.D.2.b PG.27)

A SPECIFIED WORK SCHEDULE IS NEEDED TO COORDINATE THE TIMING OF LAND DISTURBING ACTIVITIES WITH THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.

THE PURPOSE OF THE SCHEDULE IS TO REDUCE ON-SITE EROSION AND OFF-SITE SEDIMENTATION BY PERFORMING LAND DISTURBING ACTIVITIES AND INSTALLING EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH A PLANNED SCHEDULE.

IN PLANNING CONSTRUCTION WORK, IT MAY BE HELPFUL TO OUTLINE ALL LAND DISTURBING ACTIVITIES NECESSARY TO COMPLETE THE PROPOSED PROJECT. THEN LIST ALL PRACTICES NEEDED TO CONTROL EROSION AND SEDIMENTATION ON THE SITE. THESE TWO LISTS CAN THEN BE COMBINED IN LOGICAL ORDER TO PROVIDE A PRACTICAL AND EFFECTIVE CONSTRUCTION SEQUENCE SCHEDULE THAT BECOMES PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN.



**THOMAS & HUTTON**  
50 Park of Commerce Way  
Savannah, GA 31405 • 912.234.5300  
www.thomasandhutton.com

**EROSION CONTROL NOTES**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY, GEORGIA

**CLIENT/OWNER:**  
CITY OF TYBEE ISLAND  
403 BUTLER AVENUE  
TYBEE ISLAND, GEORGIA 31328



DATE	08/30/24
DRAWN	SAM
DESIGNED	
REVIEWED	KMS
APPROVED	KMS
SCALE	1" = 1'

**ECO.1**

PERMIT SET ONLY - NOT FOR CONSTRUCTION



**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST - STAND ALONE CONSTRUCTION PROJECTS**

SWCD COASTAL  
PROJECT NAME WWP MAINTENANCE FACILITY  
CITY/COUNTY SAVANNAH/CHATHAM

ADDRESS TYBEE ISLAND, GEORGIA 31328  
DATE ON PLANS 08/30/24  
NAME AND EMAIL OF PERSON FILLING OUT CHECKLIST KEVIN M. SMITH smthk@randh.com

CONSTRUCTION ACTIVITY	SCHEDULE CONSIDERATION
1. OBTAIN ALL PLAN APPROVALS AND OTHER APPLICABLE PERMITS	
2. LOCATE WORK LIMITS AND MARK THE TIES AND BUFFER AREAS FOR PRESERVATION	
3. HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION	
4. CONSTRUCTION AT EGRESS CONSTRUCTION ENTRANCE, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS	EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
5. SEDIMENT TRAPS AND BASINS, BASIN TRAPS, SEDIMENT TRENCHES, AND OUTLET PROTECTION	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ACCESSIBLE. INSTALL ADDITIONAL TRAPS AND BARRELS AS NEEDED DURING GRADING.
6. RUNOFF CONTROL, DIVERSIONS, PERMEABLE CURBS, WATER BARS, AND OUTLET PROTECTION	INSTALL KEY PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF CONTROL MEASURES DURING GRADING.
7. PERIMETER CONVEYANCE SYSTEMS, STABLE STRIP ALONGS, STORM DRAINAGE CHANNELS, INLET AND OUTLET PROTECTION, SLOTTED DRAINAGE	WHERE NECESSARY, STABLE STRIP ALONGS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL SLOTTED CONVEYANCE SYSTEM WITH RUNOFF CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
8. LAND CLEARING AND GRADING, SITE PREPARATION CUTTING, FILLING AND GRADING, SEDIMENTATION TRAPS, BARRELS, DIVERSIONS, DRAINAGE SURFACE ROUGHENING	BEGIN MAJOR CLEARING AND GRADING AFTER PRINCIPAL SEDIMENT AND RUNOFF CONTROL MEASURES ARE INSTALLED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES. MARK TREES AND BUFFER AREAS FOR PRESERVATION.
9. SURFACE STABILIZATION, TEMPORARY AND PERMANENT SEEDING, MULCHING, SPROUING, RIPRAP	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.
10. BUILDING CONSTRUCTION, BUILDINGS UTILITIES, PAVING	INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE.
11. LANDSCAPING AND FINAL STABILIZATION, SOFTSCAPING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SPROUING, RIPRAP	LATE CONSTRUCTION PHASE. STABILIZE ALL OPEN AREAS, INCLUDING BERM AND SLOPE AREAS. REVEGETATE AND STABILIZE ALL TEMPORARY CONTROL MEASURES.

ACTIVITY	MONTH											
	1	2	3	4	5	6	7	8	9	10	11	12
PERMIT BMPs												
SITE CLEARING												
TEMPORARY EROSION CONTROL BMPs												
SITE GRADING												
TEMPORARY GRASSING												
UTILITY INSTALLATION												
ROAD CONSTRUCTION												
SITE PAVING												
BUILDING CONSTRUCTION												
PERMANENT GRASSING												
FINAL STABILIZATION, BMP REMOVAL												

31. PROVIDE COMPLETE REQUIREMENTS OF INSPECTION AND RECORD KEEPING BY THE PRIMARY PRACTICE OR TIERARY PERMITEE (PART IV D 4 (g) PG. 31-33)

**INSPECTIONS AND RECORD KEEPING**

**A. TIERARY PERMITEE**

1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A TIERARY PERMITEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE TIERARY PERMITEE SHALL INSPECT: (a) ALL AREAS OF THE TIERARY PERMITEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT; (b) ALL LOCATIONS AT THE TIERARY PERMITEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING; THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINAL STABILIZED ON EVERY 24 HOURS (EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY, AND NON-WORKING FEDERAL HOLIDAY). THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMITS SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IN ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS AT PROPRIATE FOR THE REGION.

3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITEE) SHALL INSPECT THE FOLLOWING AT LEAST ON EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER (UNLESS SUCH SIX (6) DAYS ARE SUNDAY OR ANY FEDERAL HOLIDAY IN WHICH CASE SATURDAY NON-WORKING SUNDAY OR ANY FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (a) DISTURBED AREAS OF THE TIERARY PERMITEE'S CONSTRUCTION SITE; (b) AREAS ASSESS BY THE PRIMARY PERMITEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (c) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE TIERARY PERMITEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS.

APPROPRIATE FOR THE REGION, THE PERMITEE MUST COMPLY WITH PART IV D 4 (g) (4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

4. CERTIFIED PERSONNEL (PROVIDED BY PRIMARY PERMITEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (OR UNTIL A NOTICE OF TERMINATION IS SUBMITTED) TO THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF: (a) THE POTENTIAL FOR POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S); (b) EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).

5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POSITION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE PLAN SHALL BE REVISED AS APPROPRIATE, NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. THE PRIMARY PERMITEE MUST AMEND THE PLAN IN ACCORDANCE WITH PART IV D 4 (b) (5). WHEN A SECONDARY PERMITEE NOTIFIES THE PRIMARY PERMITEE OF ANY PLAN DEFICIENCIES.

6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (IE INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV D 4 (g) (5) OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL DEFICIENCIES OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN, WHERE THE DEFICIENCIES NOT IDENTIFIED IN THE REPORT SHALL BE IDENTIFIED IN A REPORT THAT CONTAINS A CORRECTIVE ACTION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V C 2 OF THIS PERMIT.

AN INSPECTION AND STABILIZATION INSPECTION AND MAINTENANCE REPORT SHEET IS ATTACHED. SHOULD THE INSPECTION REVEAL ANY DEFICIENCIES, A COPY SHALL BE SENT TO:

KEVIN M. SMITH, P.E.  
THOMAS & HUTTON  
P.O. BOX 2777  
SAVANNAH, GEORGIA 31402  
(912) 771-4054

**1. SAMPLE TYPE** ALL SAMPLING SHALL BE CONDUCTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED). THE GUIDANCE DOCUMENT TITLED "NIDES STORM WATER SAMPLING GUIDANCE DOCUMENT" (EPA 833-B-97-007) AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

2. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

3. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.

4. MANUAL, AUTOMATIC, OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DIRECTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.

5. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THE PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV E OF THE PERMIT.

**2. SAMPLING POINTS** THERE WILL BE 2 STORM WATER SAMPLING LOCATIONS. THE SAMPLING LOCATION WILL BE THE UPSTREAM AND DOWNSTREAM POINTS PER NIDES PERMIT (GA 10000) FOR CONSTRUCTION ACTIVITIES. THE PRIMARY PERMITEE MUST COMPLETE ALL SAMPLING:

1. FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITEE WITH A TOTAL PLANNED DISTURBANCE EQUAL TO OR GREATER THAN ONE (1) ACRE AND TIERARY PERMITEE WITH A TOTAL PLANNED DISTURBANCE EQUAL TO OR GREATER THAN FIVE (5) ACRES MUST SAMPLE ALL RECEIVING WATER(S) OR ALL OUTFALLS (OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALLS) SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS DURING THE FOLLOWING MINIMUM GUIDELINES:

A. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONTINUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (IE THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.

B. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONTINUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (IE THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

C. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).

D. CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENT IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.

E. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

F. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

G. PERMITEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS OVER UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL UNITS OR A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL. 100% OF THE SOIL SURFACE IS UNIFORMELY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LAND-CAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSPRING MATERIALS IN PLANNED LANDSCAPED AREAS) OR GROUND COVER PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).

H. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING ORIENTALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHEN THE STORM WATER RUN OFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN ARTICLE 3, CHAPTER 4, WHICHEVER IS APPLICABLE.

**3. SAMPLING FREQUENCY**

1. THE PRIMARY PERMITEE WITH A TOTAL PLANNED DISTURBANCE EQUAL TO OR GREATER THAN ONE (1) ACRE AND TIERARY PERMITEE WITH A TOTAL PLANNED DISTURBANCE EQUAL TO OR GREATER THAN FIVE (5) ACRES MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE PER EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT THE PERMITEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN TWENTY FIVE (25) MINUTES OR AS SOON AS POSSIBLE.

2. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THE PERMIT) OR ARE BEYOND THE PERMITEE'S CONTROL, THE PERMITEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.

3. SAMPLING BY THE PERMITEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION.

B. IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THE PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOTICE OF TERMINATION OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST.

C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED. OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPs ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED.

D. WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITEE IN ACCORDANCE WITH PART IV D 4 (g) MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE AND.

E. EXISTING CONSTRUCTION ACTIVITIES (IE THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

\* NOTE THAT THE PERMITEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

**REPORTING**

1. THE APPLICABLE PERMITEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART IV C BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT UPON WRITTEN NOTIFICATION. EPD MAY REQUEST THE APPLICABLE PERMITEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGES OF THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V C 2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOTICE IS SUBMITTED IN ACCORDANCE WITH PART VI.

2. ALL SAMPLING REPORT SHALL INCLUDE THE FOLLOWING INFORMATION:

(a) THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS.

(b) THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS.

(c) THE DATE(S) ANALYSES WERE PERFORMED.

(d) THE TIME(S) ANALYSES WERE INITIATED.

(e) THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES.

(f) REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED.

3. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INCLUDING READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS.

4. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU" AND

5. CERTIFY IN STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

6. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT, CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THE PERMIT. THE PERMITEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE OFFICE OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE IS SUBMITTED IN ACCORDANCE WITH PART VI. IF AN ELECTRONIC SUBMITTAL IS PROVIDED BY EPD THEN THE WRITTEN CORRESPONDENCE MAY BE SUBMITTED ELECTRONICALLY, IF REQUIRED. A PAPER COPY MUST ALSO BE SUBMITTED BY RETURN RECEIPT, CERTIFIED MAIL OR SPECIAL SERVICE.

EPD OFFICE: COASTAL DISTRICT, BRUNSWICK OFFICE  
GEORGIA ENVIRONMENTAL PROTECTION DIVISION  
400 COMMERCIAL CENTER DRIVE  
BRUNSWICK, GA 31525-8687  
912 774 7284

**EROSION CONTROL NOTES**

**WWTP MAINTENANCE FACILITY**

PROJECT LOCATION:  
CITY OF TYBEE ISLAND  
CHATHAM COUNTY, GEORGIA

CLIENT/COWNER:  
CITY OF TYBEE ISLAND  
401 BUREAU AVENUE  
TYBEE ISLAND, GEORGIA 31328

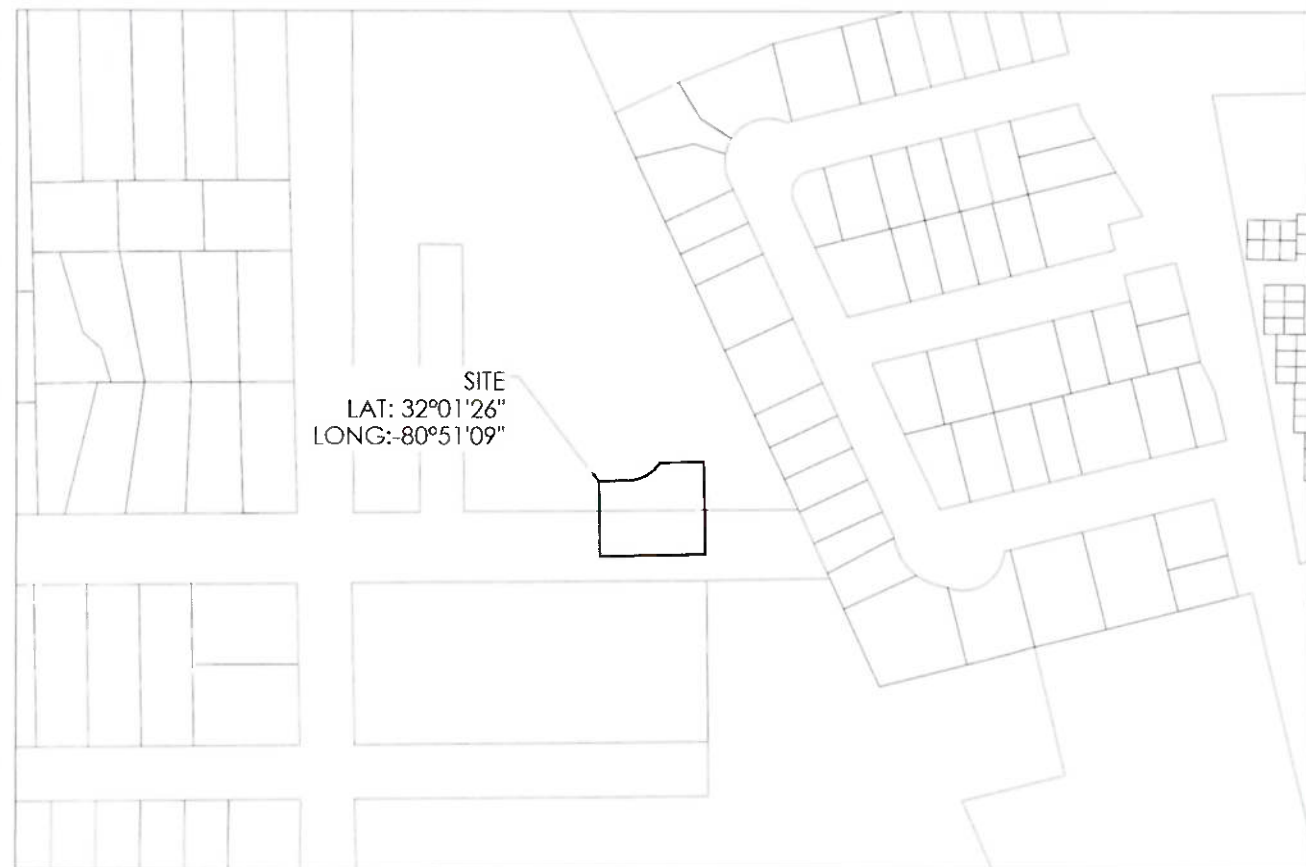
DISTRICT: COASTAL DISTRICT  
DATE: 08-30-24  
DESIGNED: SMA  
REVIEWED: SMA  
APPROVED: SMA  
SCALE: 1"=1'

**EC0.2**



# EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST - STAND ALONE CONSTRUCTION PROJECTS

SWDC COASTAL PROJECT NAME: **WWTP MAINTENANCE FACILITY** ADDRESS: **TYBEE ISLAND, GEORGIA 31328,----**  
 CITY/COUNTY: **SAVANNAH/CHATHAM** DATE ON PLANS: **08/30/24**  
 NAME AND EMAIL OF PERSON FILLING OUT CHECKLIST: **KEVIN M. SMITH smith.k@tandh.com**



SITE  
 LAT: 32°01'26"  
 LONG: -80°51'09"

**EC03 YES** 32. PROVIDE COMPLETE DETAILS FOR RETENTION OF RECORDS AS PER PART IV.F PG.38 OF THE PERMIT.

**RETENTION OF RECORDS**

- THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.
  - COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD
  - A COPY OF THE ES&PC PLAN REQUIRED IN PERMIT NO. GAR 100001
  - THE DESIGN PROFESSIONALS REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 IN PERMIT NO. GAR 100001
  - COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD
  - A COPY OF THE ES&PC PLAN REQUIRED IN PERMIT NO. GAR 100001
  - THE DESIGN PROFESSIONALS REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 IN PERMIT NO. GAR 100001
  - A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY PERMIT NO. GAR 100001
  - A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4 OF PERMIT NO. GAR 100001
  - A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2 IN PERMIT NO. GAR 100001
  - DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.1.4.2 IN PERMIT NO. GAR 100001
- COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI OF THE GAR 100001. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

**EC03 YES** 34. A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE SEDIMENT STORAGE REQUIREMENTS AND INITIAL PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs ARE THE SAME. THE PLAN MAY COMBINE ALL OF THE BMPs INTO A SINGLE PHASE. (PERMIT IV.D.3 PG.38)

**INITIAL PHASE** - THE INITIAL PHASE OF THE ES&PC PLAN WILL INCLUDE THE INSTALLATION OF THE CONSTRUCTION EXIT AND SILT FENCE TYPE NS AND TYPE SS SILT FENCE. EROSION CONTROL DITCHES WILL BE CONSTRUCTED AND MAINTAINED DURING SILENCE. DUST CONTROL AND MULCHING WILL BE IMPLEMENTED AS NECESSARY.

**INTERMEDIATE PHASE** - THE INTERMEDIATE GRADING AND DRAINAGE BMPs WILL INCLUDE THE MAINTENANCE OF ALL SILT FENCE, STORM DRAIN OUTLET PROTECTION WILL BE INSTALLED AT DISCHARGE LOCATIONS, DUST CONTROL, MULCHING, AND TEMPORARY SEEDING WILL BE IMPLEMENTED AS NECESSARY.

**FINAL PHASE** - THE FINAL GRADING AND DRAINAGE BMPs WILL INCLUDE THE MAINTENANCE OF ALL SILT FENCE, STORM DRAIN OUTLET PROTECTION WILL BE MAINTAINED AT DISCHARGE LOCATIONS, PERMANENT SEEDING WILL BE IMPLEMENTED FOR SITE STABILIZATION. ONCE THE SITE IS STABILIZED, ALL TEMPORARY BMPs ARE TO BE REMOVED.

**ALL YES** 37. GRAPHIC SCALE AND NORTH ARROW

GRAPHIC SCALE AND NORTH ARROW ARE LOCATED ON EACH PLAN SHEET.

**EC01 YES** 38. METERS AND PROPOSED CONTOUR LINES WITH CONTOUR LINES DRAWN AT AN INTERVAL IN ACCORDANCE WITH THE FOLLOWING:

MAP SCALE	GROUND SLOPE	CONTOUR INTERVALS FT.
1 INCH = 100 FT. OR LARGER SCALE	FLAT 0 - 2% ROLLING 2 - 8% STEEP 8% +	0.5 OR 1 1 OR 2 2.5 OR 10

EXISTING AND PROPOSED CONTOURS ARE PROVIDED ON ALL ES&PC PLANS. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS. CONTOURS ARE BASED ON NAVD88 DATUM.

**EC03 YES** 39. USE OF ALTERNATIVE BMPs WHOSE PERFORMANCE HAS BEEN DOCUMENTED TO BE EQUIVALENT TO OR SUPERIOR TO CONVENTIONAL BMPs AS CERTIFIED BY A DESIGN PROFESSIONAL (UNLESS DISAPPROVED BY EPD OR THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION). PLEASE REFER TO THE ALTERNATIVE BMP GUIDANCE DOCUMENT FOUND AT WWW.GASWCC.ORG (PERMIT IV.D.3.A.(4) PG.32)

ALTERNATIVE BMPs WILL NOT BE USED AS PART OF THIS PROJECT.

**EC01 YES** 40. USE OF ALTERNATIVE BMPs FOR BUFFER AREAS. THE EQUIVALENT BUFFER SHALL BE AS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (CHAPTER 6) OR IN THE ALTERNATIVE BMP GUIDANCE DOCUMENT FOUND AT WWW.GASWCC.ORG (PERMIT IV.D.3.A.(4) PG.32)

ALTERNATIVE BMPs WILL NOT BE USED AS PART OF THIS PROJECT.

**EC03 YES** 41. DEFINITION OF THE APPLICABLE 27' BUFFER OR 50' BUFFER (WHICHEVER BUFFER APPLICABLE) FOR ALL WATER BODIES AND ANY ALTERNATE BUFFER REQUIRED BY THE LOCAL GOVERNING AUTHORITY, CREEK, RIVER, AND DEWATERED AREAS OF IMPACT. (PERMIT IV.D.2 PG.30)

PLEASE SEE THE PLAN FOR THE DEFINITION OF ALL BUFFERS ON THE PLANS.

**ALL YES** 42. DEFINITION OF THE NITRATES AND ALL STATE WATER BODIES LOCATED ON AN EXISTING PROJECT OF THE PROJECT SITE.

ALL WETLANDS AND STATE WATER BODIES 200 FEET OF THE PROJECT SITE ARE DELINEATED ON THE PLANS.

**ATTACHED YES** 43. DEFINITION AND A RANGE OF CONTRIBUTING DRAINAGE BASINS IN THE DISTRICT. (PERMIT IV.D.2 PG.30)

ALL CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE ARE CLEARLY DELINEATED IN THE POST-DEVELOPMENT EXHIBIT AS PART OF THE ATTACHED STORM WATER REPORT.

**ATTACHED YES** 44. FLOW HYDROLOGY STUDY AND MAPS OF DRAINAGE BASINS FOR BOTH PRE- AND POST-DEVELOPED CONDITIONS.

PLEASE SEE ATTACHED REPORT WITH DETAILS FOR PRE AND POST DEVELOPMENT HYDROLOGY.

**EC03 YES** 45. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. (PERMIT IV.D.2.D PG.32)

RUNOFF COEFFICIENT: PRE-CONSTRUCTION (IN BASIN BASIN 2) = 0.15  
 POST-CONSTRUCTION (IN BASIN BASIN 2) = 0.15

**N/A N/A** 46. STORM DRAIN PIPES AND VELOCITIES WITH APPROPRIATE OUTLET PROTECTION TO A DESIGNATED DISCHARGE WITHOUT EROSION AND DEWATER ALL DISCHARGE WATER TO A DESIGNATED DISCHARGE POINT.

THE PROPOSED INTERIM OUTLET DOES NOT BE IN LINE FROM PRE TO POST CONSTRUCTION. THE REQUIRED OUTLET PROTECTION IS PROVIDED.

**EC01 YES** 47. THE TYPES OF DISTURBANCE FOR EACH PHASE OF CONSTRUCTION.

PLEASE SEE THE PLAN FOR THE DEFINITION OF THE TYPES OF DISTURBANCE. INITIAL PHASE DISTURBANCE DISTURBANCE FOR INTERMEDIATE AND FINAL PHASES IS 0.2 ACRES.

**EC01 YES** 48. SOIL SERIES FOR THE PROJECT SITE AND BUFFER DELINEATION.

SOILS ARE DELINEATED ON THE EROSION CONTROL SHEETS. THE SOILS FOR THE SITE ARE LISTED IN THE TABLE BELOW.

SOIL SERIES LEGEND	
SOIL SERIES	SOIL DESCRIPTION
Ec	Kentucky Upper C Company

**EC01 YES** 49. PROVIDE A MINIMUM OF 67 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE DRAINING TO A TEMPORARY SEDIMENT BASIN, INTERMEDIATE DETENTION POND, AND/OR EXCAVATED INLET SEDIMENT TRAPS FOR EACH COMMON DRAINAGE LOCATION. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO AND DURING ALL EARTHWORK OPERATIONS. FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED. A WRITTEN JUSTIFICATION EXPLAINING THE DESIGN REVISIONS TO THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (CHAPTER 6) SHALL BE INCLUDED IN THE PLAN FOR EACH COMMON DRAINAGE LOCATION BY WHICH A SEDIMENT BASIN IS PROVIDED. A WRITTEN JUSTIFICATION AS TO WHY 67 CUBIC YARDS OF STORAGE IS NOT OBTAINABLE MUST ALSO BE GIVEN. WATERSHEDS WITHIN THE MANUAL MUST BE PROVIDED FOR STRUCTURAL BMPs AND ALL CALCULATIONS USED BY THE STORAGE DESIGN PROFESSIONAL TO OBTAIN THE REQUIRED SEDIMENT STORAGE WHEN USING EQUALLY EFFECTIVE METHODS WHEN DESIGNING FROM SEDIMENT BASINS AND BARRIERS MUST BE PROVIDED TO VERIFY CALCULATIONS. THAT WITHSTAND WATER FLOW AS THE SUBSTITUTED, IF EXISTING STRUCTURES THAT WITHSTAND WATER FLOW FROM THE SUBJECT ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DESIGN REVISION MUST BE INCLUDED IN THE PLAN. (PERMIT IV.D.3.C.(2) PG.31)

SEDIMENT STORAGE - THE PERMIT REQUIRES A MINIMUM OF 67 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE DRAINING.

**SEDIMENT STORAGE REQUIRED**  
 DRAINAGE AREA ACREAGE = 0.23  
 REQUIRED ON-SITE SEDIMENT STORAGE = 0.23 ac x 67 cu/yd/ac = 15.4 cu/yd

- PERMIT SHEET NOTE: 11 OF 36 SILENCE FOR STORAGE TIME IS 7.5 CY OF STORAGE / FT. 18.6 FT X 7.5 CY / FT = 139.5 CY OF SEDIMENT STORAGE. 139.5 CY X 0.047 CY/FT = 6.56 CY OF STORAGE PROVIDED.

**EC01 YES** 50. LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. USE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6 WITH LEGEND.

PLEASE SEE THE PLAN SHEET FOR THE LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA USING THE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6 WITH ACCOMPANYING LEGEND.

**EC03-6.2 YES** 51. PROVIDE DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES. SPECIFICATIONS MUST AT A MINIMUM MEET THE GUIDELINES SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.

PLEASE SEE THE DETAIL SHEET FOR DETAILED DRAWING FOR ALL STRUCTURAL PRACTICES WITH SPECIFICATIONS MEETING THE GUIDELINES SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.

**EC01 YES** 52. PROVIDE VEGETATIVE PLAN, NOTING ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES. INCLUDE SPECIES, PLANTING DATES AND SEEDING, FERTILIZER, LIMING AND MULCHING RATES. VEGETATIVE PLAN SHALL BE SITE SPECIFIC FOR APPROPRIATE TIME OF YEAR THAT SEEDING WILL TAKE PLACE AND FOR THE APPROPRIATE GEOGRAPHIC REGION OF GEORGIA.

N/A

**EC03 YES** 33. DESCRIPTION OF ANALYTICAL METHODS TO BE USED TO COLLECT AND ANALYZE THE SAMPLES FROM EACH LOCATION. (PERMIT IV.D.4.A-C PG.33-35)

STORM WATER SAMPLES ARE TO BE ANALYZED IN ACCORDANCE WITH METHODS AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 AND THE COMPLIANCE DOCUMENT TITLED "NITRATES STORM WATER SAMPLING GUIDANCE DOCUMENT" (EPA 833-B-97-001).

**EC03 YES** 34. APPROXIMATE RANGE FOR NITRATES VALUES AT ALL OFFICIAL SAMPLING POINTS WHERE APPLICABLE. (PERMIT IV.D.4.A.(4) PG.33)

STORM WATER IS TO BE SAMPLED FOR NITRATE-NITRGEN (NITR) AT THE OFFICIAL LOCATION. A DISCHARGE OF STORM WATER RUN OFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITIONS RESULT IN THE DISCHARGE OF THE DISCHARGE EXCEEDING 50% THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NO. GAR 100001. THE NITRATES UPON THE DISTURBED AREA OF 50 ACRES FOR THE PROJECT SITE. THE SURFACE WATER DRAINAGE AREA OF LESS THAN 4.99 SQUARE MILES AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES. APPENDIX B WAS USED TO DETERMINE THE NITRATES ALLOWABLE AND DOWNSTREAM SAMPLING WILL BE PERFORMED FOR THIS PROJECT.

**Appendix B**  
 Nephelometric Turbidity Unit (NTU) Table  
 Warm Water (Supporting Warm Water Fisheries)

NTU	0-10	10-20	20-30	30-40	40-50	50-60	60-70	70-80	80-90	90-100
0-10	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8	0.9	1.0
10-20	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8	1.9	2.0
20-30	2.1	2.2	2.3	2.4	2.5	2.6	2.7	2.8	2.9	3.0
30-40	3.1	3.2	3.3	3.4	3.5	3.6	3.7	3.8	3.9	4.0
40-50	4.1	4.2	4.3	4.4	4.5	4.6	4.7	4.8	4.9	5.0
50-60	5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0
60-70	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0
70-80	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0
80-90	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0
90-100	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0

SAMPLING POINT SUMMARY					
SAMPLING POINT	PROJECT AREA (AC)	SURFACE WATER DRAINAGE AREA (SQ. AC)	SAMPLING TYPE	RECEIVING WATER	NTU VALUE
1	0.23	0.23	OFFICIAL	WARM	30

**EC01 YES** 35. DELINEATE ALL SAMPLING LOCATIONS, PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS DISCHARGED. (PERMIT IV.D.4.A.(1) PG.33)

PLEASE SEE PLAN SHEETS FOR DELINEATION OF SAMPLING LOCATIONS, PERENNIAL, INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS DISCHARGED.



**THOMAS & HUTTON**  
 50 Park of Commerce Way  
 Savannah, GA 31406 • 912.234.5300  
 www.thomasandhutton.com

**EROSION CONTROL NOTES**

**WWTP MAINTENANCE FACILITY**

**PROJECT LOCATION:**  
 CITY OF TYBEE ISLAND  
 CHATHAM COUNTY, GEORGIA

**CLIENT/OWNER:**  
 CITY OF TYBEE ISLAND  
 403 BUTLER AVENUE  
 TYBEE ISLAND, GEORGIA 31328



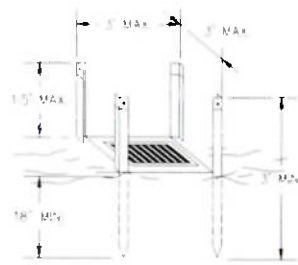
DATUM: NAD83  
 VERT: NAVD88

DATE: 08/30/24	EC0.3
DRAWN: SAAM	
DESIGNED:	
APPROVED: KMS	
SCALE: 1"=10'	

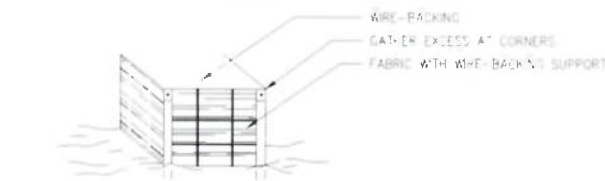
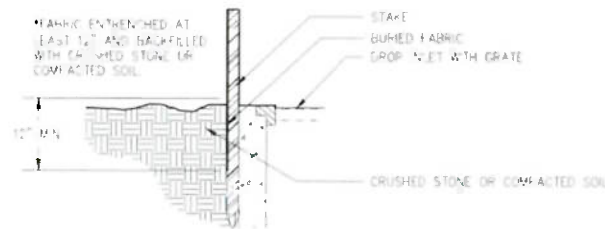
PERMIT SET ONLY - NOT FOR CONSTRUCTION

# FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

## STEEL FRAME AND SILT FENCE INSTALLATION

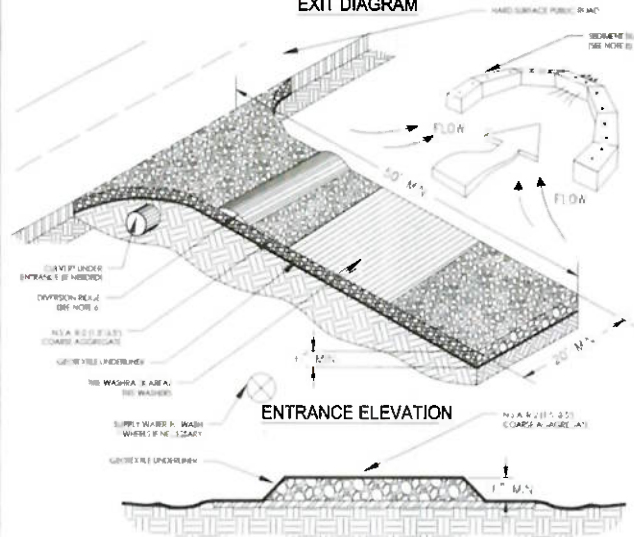


- NOTES**
- DESIGN IS FOR SLOPES NO GREATER THAN 2% (NOT DESIGNED FOR CONCENTRATED FLOW)
  - THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART)
  - THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP
  - THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL



# Co CRUSHED STONE CONSTRUCTION EXIT

## EXIT DIAGRAM

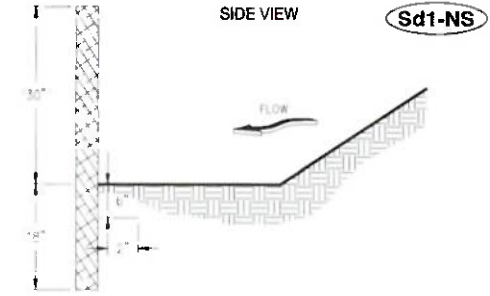


## ENTRANCE ELEVATION

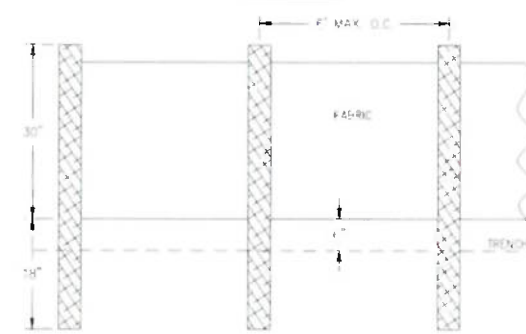
- NOTES**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS
  - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND DRAINAGE FOR POSITIVE DRAINAGE
  - AGGREGATE SIZE SHALL BE 1/4" ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE)
  - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6"
  - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VERTICAL CURVES, BUT NO LESS THAN 20'
  - A DIVERSION HOLE SHOULD BE CONSTRUCTED OPEN GRADE TOWARD FAIRWAY AREA IS GREATER THAN 2%
  - INSTALL FILL UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES
  - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN AFFILIATED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE)
  - WASHES AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCES. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVES MUD AND DIRT
  - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT

# SILT FENCE - TYPE NON-SENSITIVE

## SIDE VIEW



## FRONT VIEW



- NOTES**
- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN
  - HEIGHT IS TO BE SHOWN ON THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN

# EROSION CONTROL LEGEND

DESCRIPTION	PLAN SYMBOL
CRUSHED STONE	Co-S
CONCRETE	Co
DIRT CONTROL	Du
DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	Da1
DISTURBED AREA STABILIZATION (TEMPORARY VEGETATION)	Da2
DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	Da3
DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)	Da4
PERFORATED HALF ROUND PIPE	Rt-P
SILT FENCE TYPE 1	Sd1-S
SILT FENCE TYPE 2 (WITH FABRIC WITH FRAME)	Sd2-F
SILT FENCE TYPE 3 (GRAVEL)	Sd2-G
SILT FENCE TYPE 4 (GRAVEL)	Sd2-P
SILT FENCE TYPE 5	Sd1-NS
TRAIL PROTECTION	Tr
LIMITS OF DISTURBANCE	LOB
DEFENCE	DEF
EXISTING CONTOUR	EX
PROPOSED CONTOUR	PO

# DUST CONTROL

DEFINITION: CONTROL OF SURFACE AND AIR MOVEMENT OF DUST ON AND OFF SITE AND DUSTY ACTIVITY

PURPOSE: PREVENT THE MOVEMENT OF DUST FROM EXPOSED SURFACES AND PREVENT THE MOVEMENT OF AIRBORNE SUSPENSIONS THAT MAY BE HARMFUL TO HUMANS

TEMPORARY METHODS	PERMANENT METHODS
MUCKING	PERMANENT VEGETATION
TEMPORARY VEGETATIVE COVER	TOPSOILING
SPRAY ON ADHESIVES	STONE COVER
TILLAGE	
REGRADE	
BARBERS	
CALCIUM CHLORIDE	

INSTALLATION: APPLY ACCORDING TO APPROVED PLAN IF SHOWN. MUCKING OF DISTURBED AREAS AND TRACKING WITH DEVICES SUCH AS ASPHALT CURBS OR TERRAZZO ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION. COVER SURFACES WITH CRUSHED STONE OR GRAVEL. APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOST APPLICABLE SPRAY ON ADHESIVES TO MINIMIZE SOIL AND MUCK SOILS AND DUST SOURCE TAGS

TABLE 1: SPRAY ON ADHESIVE APPLICATION RATES

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION RATE (GAL / ACR)
ANIONIC ASPHALT MULSION	7:1	COARSE SPRAY	1700
CATIONIC ASPHALT MULSION	7.5:1	FINE SPRAY	235
RESIN WAX MULSION	4:1	FINE SPRAY	300

MAINTENANCE: PERFORM DAILY ON SURFACE AFTER SPRAYING. SUPPLY MUCKING SURFACE COVERING AS NEEDED

E2

OCT. 2008  
THOMAS & HUTTON  
ENGINEERING CO.

Du

DUST CONTROL

NOT TO SCALE



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# EROSION CONTROL NOTES

## WWTP MAINTENANCE FACILITY

PROJECT LOCATION:  
CITY OF TYBE ISLAND  
CHATHAM COUNTY, GEORGIA

CLIENT/OWNER:  
CITY OF TYBE ISLAND  
433 BUTLER AVENUE  
TYBE ISLAND, GEORGIA 31328



DATUM: HOBBS NAD83 VERT: NAVD83

DATE: 08/30/14  
DRAWN: JAM  
DESIGNED: JAM  
REVIEWED: JAM  
APPROVED: JAM  
SCALE: 1" = 1'

**EC0.4**



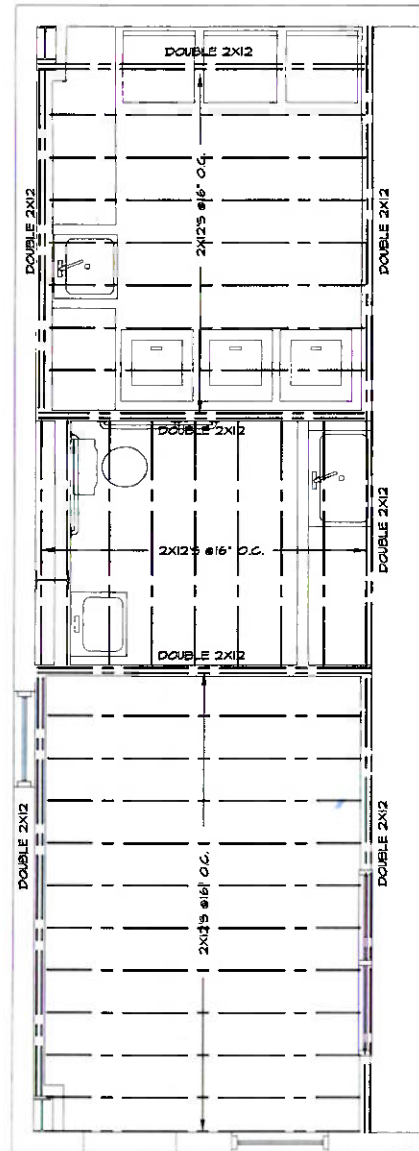




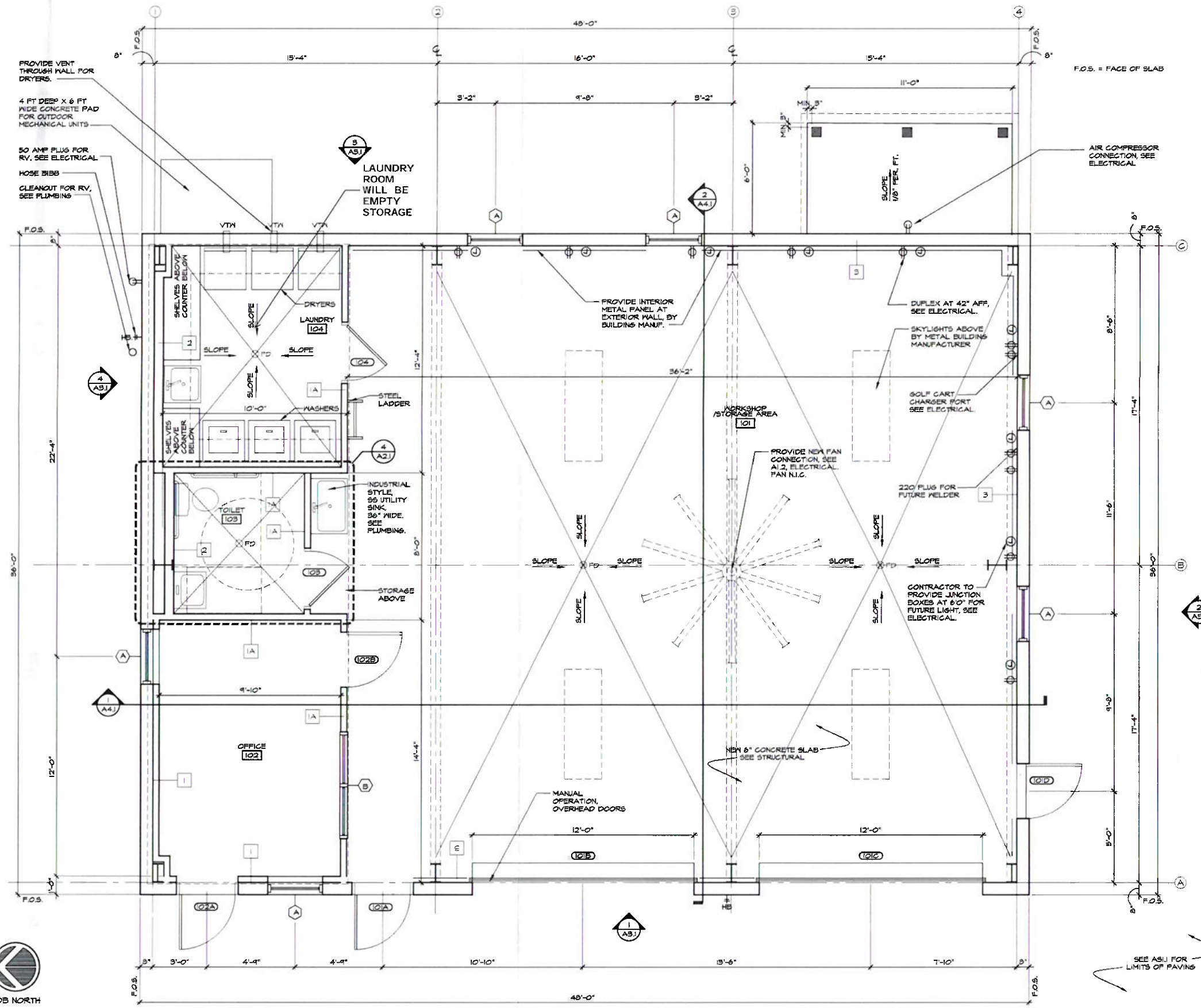
**GENERAL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA PUBLIC SAFETY REQUIREMENTS AND ADEQUATELY DIVERTING PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION SITE.
2. ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.
3. BUILDER IS RESPONSIBLE FOR ALL SPECIAL PERMITTING FOR DUMPSTERS, WALKWAY CLOSINGS, PARKING SPACE CLOSINGS, AND HEAVY EQUIPMENT USAGE. CONTRACTOR RESPONSIBLE FOR COORDINATING ALL INSPECTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.
5. ALL DOORS ARE TO BE 6" FROM FACE OF WALL UNLESS OTHERWISE SPECIFIED.
6. ALL PLUMBING WALLS ARE TO BE 6" METAL STUD WALL UNLESS OTHERWISE SPECIFIED.

**NOTES**  
SCALE: N.T.S.



**2** MEZZANINE FRAMING PLAN  
SCALE: 3/8" = 1'-0"



**1** FLOOR PLAN  
SCALE: 3/8" = 1'-0"



39 E 35TH ST  
SAVANNAH, GA 31401  
T 912 447 5665  
F 912 447 8381  
WWW.GREENLINEARCH.COM

**NEW WORKSHOP/STORAGE BUILDING**  
**WWTP FACILITY**  
TYBEE ISLAND, GEORGIA

SEE ARCHITECT'S FLOOR PLAN  
FLOOR PLAN



RELEASED FOR CONSTRUCTION  
JOB NO: 21.039  
ISSUE DATE: 02.28.2022  
DRAWN: TST



PARID: 40021 08001  
 TYBEE ISLAND CITY OF

923 BAY ST

**Most Current Owner**

Current Owner	Co-Owner	Care Of	Mailing Address
TYBEE ISLAND CITY OF	TOWN HALL		PO BOX 2749 TYBEE ISLAND GA 31328

**Digest Owner (January 1)**

Owner	Co-Owner	Address 1	Address 2	City	State	Zip
TYBEE ISLAND CITY OF	TOWN HALL	PO BOX 2749		TYBEE ISLAND	GA	31328

**Parcel**

Status	ACTIVE
Parcel ID	40021 08001
Category Code	327 - Governmental Building
Bill #	2973968
Address	923 BAY ST
Unit # / Suite	
City	TYBEE ISLAND
Zip Code	31328-
Neighborhood	20500.00 - T500 TYBEE TO BULL R
Total Units	
Zoning	R-1/NEP
Class	E1 - Exempt - Public Property
Appeal Status	

**Legal Description**

Legal Description	LTS 1 THRU 37 OCEAN PK BAY WD TYBEE EASEMENT PLAT BOOK 50 PG 211
Acres	7.13
Deed Book	
Deed Page	

**Permits**

Permit #	Permit Date	Status	Type	Amount
220273	05/20/2022	Complete	NC - NEW CONSTRUCT	\$250,000.00
220140	03/15/2022	Complete	RF - ROOF	\$44,000.00

**Inspection**

Inspection Date	09/15/2023	Reviewer ID	PSMILLER
Item #5.	2020		SMSCOTT

07/28/2015

ALCUMMIN

07/30/1992

STAFF

**Land**

---

Line Number 1  
 Land Type A - ACREAGE  
 Land Code G2 - GENERAL COMMERCIAL 2  
 Square Feet 310,583  
 Acres 7.13  
 Influence Factor 1  
 Influence Reason 1  
 Influence Factor 2  
 Influence Reason 2

**Commercial Building**

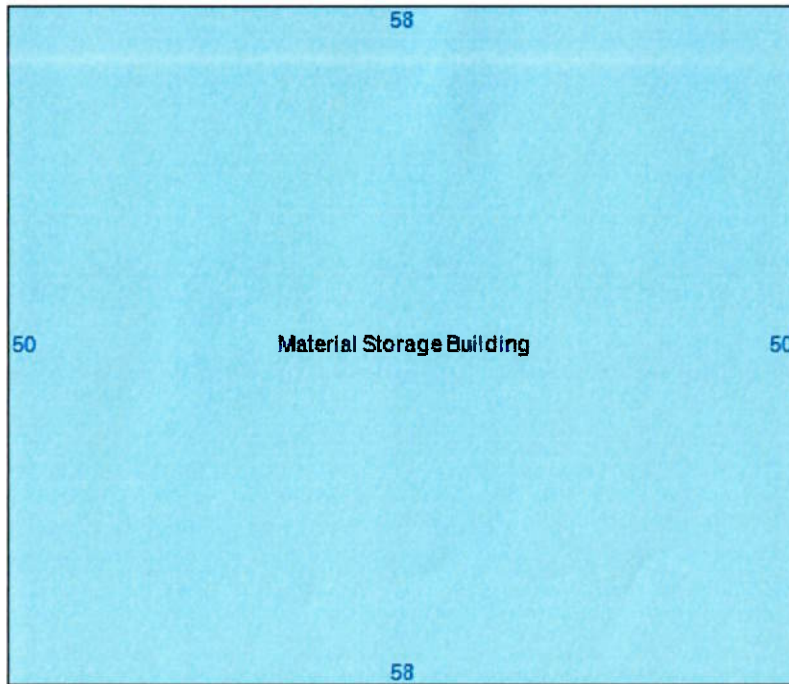
---

Card 1  
 Actual Year Built 1990  
 Effective Year Built  
 Main Occupancy 391 : Material Storage Building  
 Quality / Condition 2 / A-AVERAGE  
 Units  
 Total Area 2,900  
 Basement Area  
 Finished Basement Area No

**Appraised Values**

---

Tax Year	Land	Building	Appraised Total	Reason
2024	427,800	365,400	793,200	
2023	427,800	17,300	445,100	
2022	427,800	14,200	442,000	
2021	427,800	12,300	440,100	
2020	207,000	187,000	394,000	
2019	207,000	187,000	394,000	
2018	207,000	187,000	394,000	
2017	207,000	187,000	394,000	
2016	207,000	187,000	394,000	
2015	207,000	187,000	394,000	

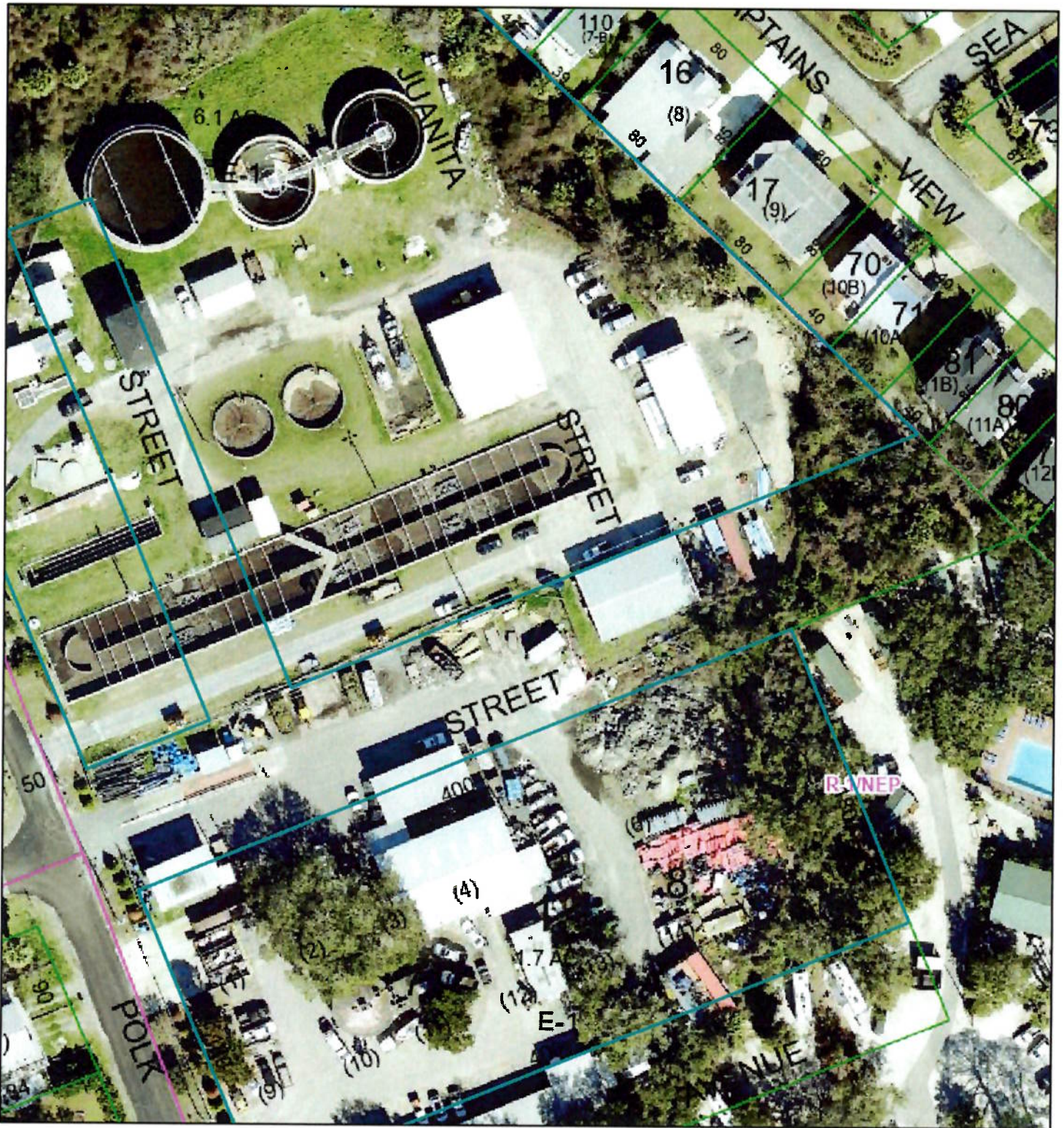


Item	Area
Material Storage Building	2900



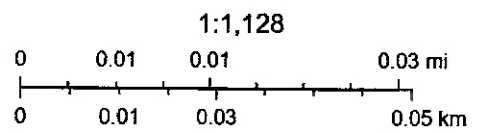


# SAGIS Map Viewer



9/4/2024, 5:00:02 PM

-  Zoning
-  Property Boundaries (Parcels)



SAGIS

Item #5.

- Page 72 -





**PLANNING COMMISSION  
NOTICE OF DETERMINATION**

Meeting date: September 16, 2024

**Project Name/Description: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.**

Action Requested: **SITE PLAN APPROVAL**

Appeal	Subdivision: Sketch Plan Approval ___ Conceptual ___ Preliminary Plan Approval ___ Final Plat Approval ___ Minor Subdivision ___ Major Subdivision ___
Special Review	
Site Plan Approval X	
Variance	
Map Amendment	
Text Amendment	

Petitioner has met all documentation requirements, all external approval requirements, and all code requirements, except for the following:

The Planning Commission Motion on Petition:  Approval  Denial  Continued

Action on Motion:

COMMISSIONER	FOR	AGAINST	COMMENTS
Butler	X		
McGruder			CHAIR
Nooney	X		VICE CHAIR
Matkowski	X		SECOND
Livingston	X		MOTION
Rodriguez	X		
Roberts	X		

Planning Commission Chair: Elaine McGruder

Date: Sept. 18, '24

Community Development Director: [Signature]

Date: 17 SEP 2024

**MAYOR**  
Brian West

**CITY COUNCIL**  
Monty Parks Mayor pro tem  
Bill Garbett  
Spec Hosti  
Tony Ploughe  
Nick Sears  
Kathryn Williams



**CITY MANAGER**  
Bret Bell

**ASST CITY MANAGER**  
Michelle Owens

**CLERK OF COUNCIL**  
Jan LeViner

**CITY ATTORNEY**  
Edward M. Hughes  
Tracy O'Connell

**CITY OF TYBEE ISLAND**

## **PUBLIC HEARING NOTICE**

The Mayor and Council of the City of Tybee Island will hold a Public Hearing at the Public Safety Building, 78 Van Horne, on Thursday, October 10, 2024, at 6:30pm.

The Purpose of this Hearing is as follows:

**SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - zone C-1 and R-2 - William Navon.**

**SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility -- 923 Bay Street -- 40021 08001 -- Zone R-1/NEP -- City of Tybee Island.**

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall.

**P.O. Box 2749 – 403 Butler Avenue, Tybee Island, Georgia 31328-2749**  
**(912) 786-4573 – FAX (912) 786-5737**  
**[www.cityoftybee.org](http://www.cityoftybee.org)**

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez-Beebe



**CITY MANAGER**

Bret Bell

**COMMUNITY  
DEVELOPMENT DIRECTOR**

Patricia Sinel

**CITY ATTORNEY**

Edward M. Hughes/ Tracy O'Connell

**Planning Commission Meeting  
SYNOPSIS  
September 16, 2024**

**Chair Elaine McGruder** called the meeting to order at 6:30PM, September 16, 2024. Those in attendance were **Anna Butler, Marie Rodriguez-Beebe, Beau Livingston, Robert Matkowski, Michelle Nooney** and **David Roberts**.

**Opening Ceremonies**

Pledge of Allegiance

**Consideration of Minutes:**

**June 17, 2024**, meeting minutes. **Robert Matkowski** made a motion to approve. **Vice Chair Michelle Nooney** seconded. The vote to approve was unanimous.

**Disclosures/Recusals:**

There were none.

**Old Business:**

There was none.

**New Business :**

**SUBDIVISION OF LAND MINOR:** requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - Zone C-2 and R-1-B - William Navon. **Marie Rodriguez-Beebe** made a motion to approve. **Michelle Nooney** seconded. Voting in favor were **Marie Rodriguez-Beebe, Michelle Nooney** and **Beau Livingston**. Voting against was **Anna Butler, Robert Matkowski** and **David Roberts**. **Elaine McGruder** broke the tie by voting in favor. Motion to approve, 4-3.

**SITE PLAN APPROVAL:** requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island. **Beau Livingston** made a motion to approve. **Robert Matkowski** seconded. The vote was unanimous to approve, 6-0.

**Adjournment: 7 :30pm**

**Lisa L. Schaaf**



**Order Confirmation**  
**Not an Invoice**

<b>Account Number:</b>	758733
<b>Customer Name:</b>	City Of Tybee Island
<b>Customer Address:</b>	City Of Tybee Island Po Box 2749  Tybee Island GA 31328-2749
<b>Contact Name:</b>	City Of Tybee Island
<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/17/2024
<b>Order Number:</b>	10583267
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	2.0000
<b>Line Count:</b>	19.0000
<b>Height in Inches:</b>	0.0000

Print

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/20/2024 - 09/20/2024	Govt Public Notices
SAV savannahnow.com	1	09/20/2024 - 09/20/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$35.00
Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
----------------------------------	----------------

1/2



Ad Preview

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2/2

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CITY COUNCIL  
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Bill Garbett  
Spec Hosti  
Tony Ploughe  
Nick Sears  
Kathryn Williams



CITY MANAGER  
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CITY OF TYBEE ISLAND  
AMENDED  
**PUBLIC HEARING NOTICE**  
**AMENDMENT**

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<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/20/2024
<b>Order Number:</b>	10595600
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	2.0000
<b>Line Count:</b>	21.0000
<b>Height In Inches:</b>	0.0000

Print

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/25/2024 - 09/25/2024	Govt Public Notices
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Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
----------------------------------	----------------

Ad Preview

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PUBLIC HEARING NOTICE  
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2/2

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez



**CITY MANAGER**

Bret Bell

**COMMUNITY  
DEVELOPMENT DIRECTOR**

Patricia Sinel

**CITY ATTORNEY**

Edward M. Hughes/ Tracy O'Connell

**AMENDED**

**Planning Commission Meeting AGENDA**

**SEPTEMBER 16, 2024 – 6:30 p.m.**

*For City Council Meeting October 10, 2024 – 6:30 p.m.*

**Call to order:**

**Pledge of Allegiance:**

**Consideration of Minutes:**  
**Minutes of June 17, 2024**

**Disclosures/Recusals:**

**Old Business:**

**New Business:**

1. **SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - Zone C-2 and R-1-B - William Navon.**
2. **SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.**

**Adjournment:**

*Lisa L. Schaaf*

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting, or the facilities are required to contact Jan LeViner at 912.472.5080 promptly to allow the City to make reasonable accommodations

**PLANNING COMMISSION**

Anna Butler  
Beau Livingston  
Robert J. Matkowski  
Elaine McGruder  
Michelle Nooney  
David Roberts  
Marie Rodriguez-Beebe



**CITY MANAGER**  
Bret Bell  
**COMMUNITY DEVELOPMENT DIRECTOR**  
Patricia Sinel  
**CITY ATTORNEY**  
Edward M. Hughes  
/Tracy O'Connell

**PUBLIC HEARING NOTICE**

The Planning Commission of the City of Tybee Island will hold a Public Hearing at the Public Safety Building, 78 Van Horne, on Monday, September 16, 2024, at 6:30pm.

The Purpose of this Hearing is as follows:

**SUBDIVISION OF LAND MINOR: requesting to combine three lots into two lots - 0 5<sup>th</sup> Avenue - 40003 11014 - zone C-1 and R-2 - William Navon.**

**SITE PLAN APPROVAL: requesting to redevelop the wastewater treatment plant maintenance facility – 923 Bay Street – 40021 08001 – Zone R-1/NEP – City of Tybee Island.**

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall.



**Order Confirmation**  
Not an Invoice

<b>Account Number:</b>	758733
<b>Customer Name:</b>	City Of Tybee Island
<b>Customer Address:</b>	City Of Tybee Island Po Box 2749  Tybee Island GA 31328-2749
<b>Contact Name:</b>	City Of Tybee Island
<b>Contact Phone:</b>	9127864573
<b>Contact Email:</b>	
<b>PO Number:</b>	

<b>Date:</b>	09/03/2024
<b>Order Number:</b>	10545707
<b>Prepayment Amount:</b>	\$ 0.00

<b>Column Count:</b>	1.0000
<b>Line Count:</b>	35.0000
<b>Height In Inches:</b>	0.0000

**Print**

Product	#Insertions	Start - End	Category
SAV Savannah Morning News	1	09/06/2024 - 09/06/2024	Govt Public Notices
SAV savannahnow.com	1	09/06/2024 - 09/06/2024	Govt Public Notices

As an incentive for customers, we provide a discount off the total order cost equal to the 3.99% service fee if you pay with Cash/Check/ACH. Pay by Cash/Check/ACH and save!

Total Cash Order Confirmation Amount Due	\$35.00
Tax Amount	\$0.00
Service Fee 3.99%	\$1.40
Cash/Check/ACH Discount	-\$1.40
Payment Amount by Cash/Check/ACH	\$35.00
Payment Amount by Credit Card	\$36.40

<b>Order Confirmation Amount</b>	<b>\$35.00</b>
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**Ad Preview**

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MINOR: requesting to  
combine three lots into two  
lots - 0 5th Avenue - 40003  
11014 - zone C-1 and R-2 -  
William Navon.**

**SITE PLAN APPROVAL:  
requesting to redevelop the  
wastewater treatment  
plant maintenance facility -  
923 Bay Street - 40021 08001  
- Zone R-1/NEP - City of  
Tybee Island.**

Anyone wishing to speak to this issue may do so. It will be necessary to sign a Disclosure form before the Hearing. The form is available at City Hall

**File Attachments for Item:**

6. Treylor Park Beach Party Inc, 1311 Butler Ave

Entertainment and Alcohol License Request: Liquor/Beer/Wine--Sunday Sales for consumption on premises only. Entertainment during weekend brunch, weekday happy hour/live acoustic music

MAYOR  
Brian West

CITY COUNCIL  
Monty Parks, Mayor Pro Tem  
Bill Garbett  
Spec Hosti  
Tony Ploughe  
Nick Sears  
Kathryn Williams



CITY OF TYBEE ISLAND

CITY MANAGER  
Bret Bell

ASST CITY  
MANAGER  
Michelle Owens

CLERK OF COUNCIL  
Janet LeViner

CITY ATTORNEY  
Edward M. Hughes  
Tracy O'Connell

Council Meeting Date for Request: October 10, 2024

Item: Entertainment and Alcohol License Request: Liquor/Beer/Wine- Sunday Sales-For Consumption on Premises only

Entertainment during weekend brunch 10am-2pm; weekday happy hour 4pm-6pm; outside under patio roof; live acoustic music outside

Explanation: Treylor Park Beach Party Inc. 1311 Butler Ave (location of former Chamaco's and Social Club)

Paper Work:  X  Attached\*  
  Audio/Video Presentation\*\*

\* **Electronic submissions are requested but not required. Please email to [jleviner@cityoftybee.org](mailto:jleviner@cityoftybee.org).**

\*\* **Audio/video presentations *must* be submitted to the IT department at City Hall by 4:00PM on the Thursday prior to the scheduled meeting.**

Submitted by: Sharon S. Shaver

Phone / Email: 472-5072 / sshaver@cityoftybee.org

Comments: \_\_\_\_\_  
\_\_\_\_\_

Date given to Clerk of Council October 3, 2024

P.O. Box 2749 – 403 Butler Avenue, Tybee Island, Georgia 31328-2749  
(866) 786-4573 – FAX (866) 786-5737  
[www.cityoftybee.org](http://www.cityoftybee.org)



Item #6.

## CITY OF TYBEE ISLAND BUSINESS AND ALCOHOL LICENSE APPLICATION



Application is hereby made for a license to do business within the City of Tybee Island as a dealer in alcoholic beverages as indicated below:

LICENSE CLASSIFICATION	FEE	CHECK	Notice: The applicant for a license shall be a citizen of the United States, a resident of Chatham County, and owner of the business or if a corporation, partnership or other legal entity is the owner, a substantial and major stockholder or the applicant may be the manager of the business charged with the regular operation of said business on the premises for which the license is issued.
Retail Beer/Wine – Package Sales Only, Consumption on Premises Prohibited	1490.	<input type="checkbox"/>	
Retail Beer/Wine – Sale by Drink for Consumption on Premises Only	1130.	<input checked="" type="checkbox"/>	
Retail Liquor – Sale by Package Only, Consumption on Premises Prohibited	1690.	<input type="checkbox"/>	
Retail Liquor – Sale by Drink for Consumption on Premises Only	2300.	<input checked="" type="checkbox"/>	
Retail Liquor – Sale by Package & Drink both in One Building under One Ownership	2,000	<input type="checkbox"/>	
Sunday Sales – Sale by Drink for Consumption on Premises Only	150	<input checked="" type="checkbox"/>	
Sunday Sales – Package Sales Only	50	<input type="checkbox"/>	
Wholesale Beer	765	<input type="checkbox"/>	
Wholesale Liquor	1,500	<input type="checkbox"/>	
Wholesale Wine	150	<input type="checkbox"/>	
Distiller, Brewer, or Manufacturer of Alcoholic Beverages	300	<input type="checkbox"/>	
Special Event – Public or Private Property - Beer, Wine (no current license) per event	50	<input type="checkbox"/>	
Special Event – Public or Private Property - Beer, Wine (no current license) 3 days	100	<input type="checkbox"/>	
Special Event – Public or Private Property - Beer, Wine (holding current license) per event	10	<input type="checkbox"/>	

Business Name <u>Treglar Park Beach Party</u>			
Business Location <u>1311 Butler Ave Tybee Island Ga 31328</u>			
Mailing Address <u>2 E Bryan St Savannah Ga 31401 Suite 426</u>			
Phone <u>310 463 4631</u>		Email <u>W.W.Wildernyc@gmail.com</u>	
Federal ID#: <u>88-1957579</u>	Sales Tax ID: <u>20299879293</u>	NAICS Code:	
Business Type(Circle One): Sole Proprietor Partnership Corporation(State) <input checked="" type="checkbox"/> Date <u>5/2/22</u> LC Non-Profit Other: _____			

Names and Home Addresses of Owners, Partners or Corporate Officers with Ten Percent (10%) Interest in Business				
Names (attach additional pages if necessary)	Date of Birth	Home Addresses	City, State, Zip	Social Security #
<u>William W Wilder III</u>		<u>190 Bald Cypress Ln</u>	<u>Bloomington Ga 31302</u>	

**Security Assistance Plan**

What measures are taken to mitigate/control underage drinking? all staff will be serve safe along with bar cards. All staff will be check IDs

Please state whether you will be using Security Guards: No If so, how many? \_\_\_\_\_ How often / Seasonal dates? \_\_\_\_\_

Do you use off-duty police officers to provide security? No Number: \_\_\_\_\_ Frequency? \_\_\_\_\_

**Per City Ordinance (6-2021) All licensees are required to have proof of their employees, those serving or pouring alcohol, current certificates of completion from an alcohol server training program on file with licensee.**

Is the building capacity notice clearly posted? Where? Yes behind bar

How is occupancy load enforced? It will be enforced by Manager with a sticker

**International Fire Code 2018 ed: [BE] 1004.9 Posting of occupant load.** Every room or space that is an assembly occupancy shall have the *occupant load* of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space, for the intended configurations. Posted signs shall be of an *approved* legible permanent design and shall be maintained by the owner or the owner’s authorized agent.

If special event, date(s) of event \_\_\_\_\_ Name of event: \_\_\_\_\_

Names of landlord of the business location Jim Sheffield Address 10 Bradley Pines Dr Phone 912 713 2228

What other business is conducted at this location? None

Has applicant, any person connected with, or any person having an interest in this business:

- o ever been convicted of any violation of law other than for a traffic violation? 2016 DUI
- o ever served time in prison or other correctional institution? No
- o ever had an alcohol beverage license suspended or revoked at any time in any location? No

(if answer is yes, give details) \_\_\_\_\_

If this application is for RENEWAL of an existing license, enter License Number of existing license N/A

If business is an eating establishment, are SUNDAY sales of alcoholic beverages contemplated? Yes

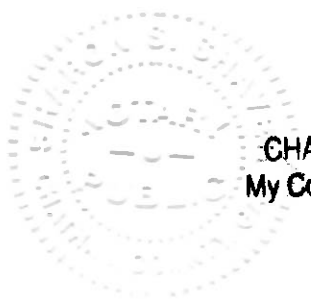
o Proof of liquor liability insurance: Please attach the current declaration page or certificate of insurance showing the required liquor liability insurance coverage.

**ALL OF THE FOREGOING INFORMATION IS HEREBY GIVEN AND ALL OF THE FOREGOING STATEMENTS ARE HEREBY MADE ON OATH WILLFULLY, KNOWINGLY, AND ABSOLUTELY, AND THE SAME IS AND ARE HEREBY SWORN TO ME TO BE TRUE UNDER PENALTY OF LAW.**

Applicant Signature [Signature] Date 9/30/24

Sworn to and subscribed before me this 30 day of September 2024  
[Signature] Notary Public

Approval	Signature	Date
City Manager		
Zoning		



**Sharon S Shaver  
NOTARY PUBLIC  
CHATHAM COUNTY, GEORGIA  
My Commission Expires 12/04/2027**



# CITY OF TYBEE ISLAND ENTERTAINMENT LICENSE APPLICATION

Fee \$50

A late penalty of 10% shall be assessed for a renewal payment made after March 31.

Business Name <i>Taylor Park Beach Party</i>		
Business Location <i>1311 Butler Ave Tybee Island Ga 31302</i>		
Mailing Address <i>2 E Bryan St #420 Savannah Ga 31401</i>		
Business Phone: <i>310 463 1621</i>	Alternate Phone:	Email:
Describe music/entertainment, i.e. acoustic, etc.: <i>live acoustic music outside</i>		
List hours of entertainment: <i>Weekend Brunch 10am - 2pm / Weekday happy hour 4pm - 6pm</i>		
Describe location of music/entertainment on the property, i.e. inside, outside, both, etc.: <i>outside under parker roof</i>		
Describe efforts to mitigate music/entertainment impacts may have on neighboring properties: <i>Stay within Guidelines of local Noise Ordinance</i>		

Contact information for the designated manager or contact person available twenty-four hours a day for any operational issues. The license holder must notify the City of Tybee Island immediately of any change to this designated contact information.

Name <i>Trey Wilder</i>	Physical Address <i>190 Bold Cypress Ln Blount County Ga 31808</i>	Phone <i>310-463-1621</i>
----------------------------	---	------------------------------

Has this business, owner or manager connected with this business been cited or charged with any violation of Georgia Law, Federal Law, Local Ordinance, or any Rule or Regulation of the State Revenue Commissioner or any Rule or Regulation of the City or County within the past 12 months? (circle one) YES or NO (If YES, list details below)

*No*

Applicant Signature *[Signature]* Date *9/30/04*

Printed Name *William W Wilder III (Trey)*

403 Butler Avenue, P.O. Box 2749, Tybee Island, Georgia 31328-2749

(912) 786-4573 (912) 472-5072

[www.cityoftybee.org](http://www.cityoftybee.org)





**BACKGROUND CHECK REQUIREMENTS FOR ALCOHOL LICENSE**

PRIOR TO OR AT THE TIME OF SUBMITTING AN APPLICATION, THE APPLICANT FOR A LICENSE OR PERMIT ISSUED UNDER THE TERMS OF THIS ARTICLE AND THE OWNER OF THE PROPOSED BUSINESS OR A PRINCIPAL OFFICER OR MEMBER, THEREOF, AND /OR A MANAGER OF SUCH BUSINESS DESIGNATED BY SUCH OFFICER OR MEMBER, SHALL SUBMIT THEMSELVES FOR FINGERPRINTING AS PROVIDED BY LAW AND IN ACCORDANCE WITH CITY PROCEDURES AS DIRECTED BY THE CITY MANAGER.

**ORDINANCE NO. 6-2019, Sec. 6-5. - Reporting to City/Police - Licensee.**

BE IT FURTHER UNDERSTOOD THAT THE PURPOSE OF OBTAINING THIS INFORMATION IS TO SATISFY THE REQUIREMENTS SET FORTH BY THE MAYOR AND COUNCIL OF THE CITY OF TYBEE ISLAND, REGARDING AN ALCOHOL LICENSE APPLICATION.

-----  
Applicant: William W Wilder III

Business/Event Name: Treylor Park Beach Party

Approved  Denied

B.M. Whitley A.A.  
Assistant Chief of Police

10/02/2024 Date

Return approved/denied form:

Sharon S. Shaver  
City Licensing Coordinator



**File Attachments for Item:**

7. Merchant Processing Application and Agreement: Cardconnect



# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: 9/18/24  
Re: Payment Processing Agreement for Online Facility Reservation System

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### Title

Payment Processing Agreement for Online Facility Reservation System

### Action

Approval of a Card Connect Agreement and Merchant Processing Application with CardPointe to allow the public to make and pay for online reservation of City facilities.

### Background

In 2023, City Staff began utilizing CivicRec software on the City's website to allow for the online reservation of City-managed facilities, such as the Guard House, Memorial Park pavilions, and beach. The addition of CardPointe will allow the public to now also pay rental fees when they make that reservation online.

### Facts and Findings

1. The city currently uses CivicPlus for website hosting services, and CivicRec is a program offered by CivicPlus.
2. The City has received feedback from residents and visitors about expanding services offered for online reservations of City facilities and other permits.
3. An online system benefits staff by increasing productivity, simplifying processes, and enhancing overall service quality for both residents, City staff and visitors.

### Funding

CardPointe will assess a 3% card processing fee to the customer during the online payment. There is no direct cost to the City. The monthly fees for using the program will come from out of budget line 100-1320-52-1200 (Contract Services / Software).

### Purchasing Notes

Tybee's online facility reservation platform, CivicRec, has established integration with four payment gateway companies. Three of those companies were responsive to the City's request to negotiate a payment gateway agreement. Of the three, just one company – CardPointe -- could meet the City's contract terms. CardPointe's 3% processing fee is in line with industry standards, and close to the 2.9% rate assessed for other credit card processing fees in the City. The contract was reviewed and approved by the City Attorney's Office.

### Alternatives

1. Recommended Action Approval of the Card Connect Agreement and Merchant Processing Application with CardPointe, which includes a 3% credit card processing fee assessed to customers.
2. Renegotiate contract to assess credit card processing fees to City Government, estimated at \$1,700 annually. If Council chooses this option, City Manager would investigate City payment of all customer credit card processing fees to stay consistent across the organization.

# City of Tybee Island

3. Prohibit online payments.

Recommendation

That Council adopts Alternative 1.

# Merchant Processing Application and Agreement



Please review the information below and sign if everything looks right. If you have any questions please contact your representative.

## BUSINESS DETAILS

### CONTACT INFORMATION

First Name	<input type="text" value="Robyn"/>	Last Name	<input type="text" value="Rosner"/>
Email	<input type="text" value="rrosner@cityoftybee.org"/>	Phone Number	<input type="text" value="912-472-5045"/>

### BUSINESS INFORMATION

NOTE: Failure to provide accurate information may result in a withholding of merchant funding per IRS regulations. (See Part IV, Section A.4 of your Program Guide for further information.)

Business Legal Name	<input type="text" value="City of Tybee Island"/>	DBA Name	<input type="text"/>
Tax Filing Name	<input type="text" value="City of Tybee Island"/>	Tax Filing Method	<input checked="" type="checkbox"/> EIN <input type="checkbox"/> SSN
Tax ID (EIN)	<input type="text" value="58-6000661"/>		
Type of Ownership	<input checked="" type="checkbox"/> Government <input type="checkbox"/> Individual / Sole Proprietor <input type="checkbox"/> LLC <input type="checkbox"/> Non-Profit Org <input type="checkbox"/> Private Corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Public Corporation <input type="checkbox"/> Tax Exempt		
Stock Exchange (Only applicable for Public Corporations)	<input type="checkbox"/> NYSE or NASDAQ <input type="checkbox"/> Other/Not Applicable		Stock Ticker Symbol <input type="text" value=""/> (NYSE or NASDAQ)
Industry (MCC)	<input type="text" value="9399"/>	Business Description	<input type="text" value="Local Government"/>
Industry Options	<input type="checkbox"/> Quasi Cash	Business Start Date	<input type="text"/>
Website	<input type="text" value="www.cityoftybee.org"/>	Business Phone	<input type="text" value="912-786-4573"/>

### BUSINESS ADDRESS

Street Address 1	<input type="text" value="403 Butler Avenue"/>		
Street Address 2	<input type="text"/>	City	<input type="text" value="Tybee Island"/>
State	<input type="text" value="Georgia"/>	ZIP	<input type="text" value="31328"/>
Country	<input type="text" value="USA"/>		

### BUSINESS LEGAL MAILING ADDRESS

Street Address 1	<input type="text" value="P.O. Box 2749"/>		
Street Address 2	<input type="text"/>	City	<input type="text" value="Tybee Island"/>
State	<input type="text" value="Georgia"/>	ZIP	<input type="text" value="31328"/>
Country	<input type="text" value="USA"/>		

## OWNER INFORMATION

Please provide the following information for each individual who owns, directly or indirectly, 25% or more of the equity interest of your business, or who have significant responsibility to control, manage, or direct your business.

### BUSINESS OWNER INFORMATION

First Name	<input type="text"/>	Last Name	<input type="text"/>	Street Address 1	<input type="text"/>			
Title	<input type="checkbox"/> CEO <input type="checkbox"/> CFO <input type="checkbox"/> COO <input type="checkbox"/> LLC Member <input type="checkbox"/> Owner <input type="checkbox"/> Partner <input type="checkbox"/> President <input type="checkbox"/> Secretary <input type="checkbox"/> Treasurer <input type="checkbox"/> Vice President			Street Address 2	<input type="text"/>	City	<input type="text"/>	
% Ownership	<input type="text"/>	%	Personal Guarantee	<input type="checkbox"/> Yes	State	<input type="text"/>	ZIP	<input type="text"/>
SSN	<input type="text"/>	Date of Birth	<input type="text"/>					
Mobile Phone	<input type="text"/>							
Email	<input type="text"/>							

### ADDITIONAL BUSINESS OWNER (1)

First Name	<input type="text"/>	Last Name	<input type="text"/>	Street Address 1	<input type="text"/>			
% Ownership	<input type="text"/>	%	SSN	<input type="text"/>	Street Address 2	<input type="text"/>	City	<input type="text"/>
Date of Birth	<input type="text"/>	Mobile Phone	<input type="text"/>					
			State	<input type="text"/>	ZIP	<input type="text"/>		
			Country	<input type="text"/>				

**ADDITIONAL BUSINESS OWNER (2)**

First Name	<input type="text"/>	Last Name	<input type="text"/>	Street Address 1	<input type="text"/>		
% Ownership	<input type="text"/> %	SSN	<input type="text"/>	Street Address 2	<input type="text"/>	City	<input type="text"/>
Date of Birth	<input type="text"/>	Mobile Phone	<input type="text"/>	State	<input type="text"/>	ZIP	<input type="text"/>
				Country	<input type="text"/>		

**ADDITIONAL BUSINESS OWNER (3)**

First Name	<input type="text"/>	Last Name	<input type="text"/>	Street Address 1	<input type="text"/>		
% Ownership	<input type="text"/> %	SSN	<input type="text"/>	Street Address 2	<input type="text"/>	City	<input type="text"/>
Date of Birth	<input type="text"/>	Mobile Phone	<input type="text"/>	State	<input type="text"/>	ZIP	<input type="text"/>
				Country	<input type="text"/>		

**ADDITIONAL BUSINESS OWNER (4)**

First Name	<input type="text"/>	Last Name	<input type="text"/>	Street Address 1	<input type="text"/>		
% Ownership	<input type="text"/> %	SSN	<input type="text"/>	Street Address 2	<input type="text"/>	City	<input type="text"/>
Date of Birth	<input type="text"/>	Mobile Phone	<input type="text"/>	State	<input type="text"/>	ZIP	<input type="text"/>
				Country	<input type="text"/>		

**BANKING AND PROCESSING**

**DEPOSIT BANK ACCOUNT**

Bank Name	<input type="text"/>		
Account Type	<input type="checkbox"/> Checking <input type="checkbox"/> Savings		
Routing Number	<input type="text"/>	Account Number	<input type="text"/>

**WITHDRAWAL BANK ACCOUNT**

Withdrawal account is not required if it is the same as the Deposit account.

Bank Name	<input type="text"/>		
Account Type	<input type="checkbox"/> Checking <input type="checkbox"/> Savings		
Routing Number	<input type="text"/>	Account Number	<input type="text"/>

**PROCESSING VOLUME**

Average Monthly Card Volume	\$	<input type="text"/>	/ month
Average Transaction Amount	\$	<input type="text"/>	

**PRODUCT / SERVICE DELIVERY WINDOWS**

On average, Products / Services are delivered in

0-7 Days  8-14 Days  15-30 Days  30+ Days

**MODE OF TRANSACTION**

In Person	<input type="text"/>	%
Telephone	<input type="text"/>	%
Online	<input type="text"/>	%
<b>Must total 100%</b>		

**THIRD PARTY PROVIDER**

Do you use any third party provider (TPP) to store, process or transmit cardholder data? (Examples include but are not limited to web hosting companies, Electronic Data Capture, Loyalty programs, software)

Yes  No

If so, please provide third party provider information:

TPP Name	<input type="text"/>
TPP Email	<input type="text"/>
TPP Phone	<input type="text"/>

**EQUIPMENT**

**NEW ORDERS**

Product Name	Network	Qty	Price *	Frequency
<input type="text"/>	<input type="text"/>	<input type="text"/>	\$ <input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	\$ <input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	\$ <input type="text"/>	<input type="text"/>

Clover Menu Requested

\* Price does not include tax and shipping & handling.



**SHIP EQUIPMENT TO**

<b>Ship To Attention</b>	<input type="text"/>	<b>Ship To Email</b>	<input type="text"/>
<b>Street Address 1</b>	<input type="text"/>		
<b>Street Address 2</b>	<input type="text"/>	<b>City</b>	<input type="text"/>
<b>State</b>	<input type="text"/>	<b>ZIP</b>	<input type="text"/>
<b>Country</b>	<input type="text"/>		

**MERCHANT SERVICES**

**AMERICAN EXPRESS**

**Amex Program**    Amex OptBlue    Amex ESA

**Amex ESA SE**      **IATA/ARC Number**  

**DISCOVER**

**Discover Program**    Discover Full ACQ    Discover EASI

**Discover EASI SE**  

**Discover Industry Options**

Enable Incremental Authorizations

Debt Repayment Program

**PRICING INFORMATION**

**PRICING**

**Discount Frequency**    Monthly    Daily

**Funding Rollup**    Net Fees and Deposits    Separate Fees and Deposits    Individual Batches

**DUES & ASSESSMENTS**

**Dues & Assessments**

In addition to the fees described in this Merchant Application and Agreement, you must pay us all Card Organization Charges. "Card Organization Charges" means all fees, charges, liabilities, or obligations that a Card Organization imposes on us (1) in connection with your acceptance of its payment types, (2) in connection with the transactions processed under your MID, (3) as a result of your acts or omissions, or (4) as a result of the acts or omissions of others that act on your behalf or that provide services to you. Card Organization Charges are not subject to the consequential damages exclusion in Section 28 of the Program Guide and include but are not limited to: assessments (including but not limited to dues, issuer reimbursements, fines, penalties, and fraud recovery losses); fees established by the Card Organizations (including but not limited to access fees, switch fees, and file fees); adjustments; and Chargebacks.

**PROGRAM**

**Merchant Surcharge Program**

A Surcharge is an additional fee that you add to relevant transactions as permitted by the Card Organization Rules and applicable laws (together, Applicable Laws). By choosing to assess a Surcharge and participate in this "Merchant Surcharge Program" (MSP), you agree that you are solely responsible for: (1) complying with all Applicable Laws and the Your Payments Acceptance Guide (which is contained in your Program Guide); (2) properly and clearly disclosing the existence and amount of any Surcharge to Cardholders in accordance with Applicable Laws; and (3) ensuring any Surcharge you add to a transaction does not exceed the limit provided in the Card Organization Rules. MSP is provided to you only by Processor and not by Bank.

You also agree that: (1) you are assessing a Surcharge on Cardholders for certain Credit Card transactions in an amount equal to the Surcharge Rate reflected below; (2) you will pay us the Discount Fees for Credit Card and Debit Card transactions on gross sales for all of the transactions that you submit (without reduction for refunds, returns, or chargebacks); (3) you will pay us the Transaction Fee (the fixed charge per transaction reflected below for each Debit Card transaction) for each sale and refund that you submit, as well as any other fees or charges reflected in this merchant processing agreement and which are not replaced by the MSP; (4) you will not assess a Surcharge for the portion of the transaction that is tip on paper, and you will be responsible to pay us the Discount Fee for the gross amount of all tips on paper; (5) you will be responsible to refund Cardholders any Surcharge you assess in the amount billed on such transaction; (6) you will not assess a Surcharge for card not present transactions on cardholders whose billing ZIP code corresponds to states or US territories where Surcharging is prohibited by Applicable Law (including but not limited to, Connecticut, Massachusetts, Puerto Rico), you will be responsible to pay us the Discount Fee for such transactions, and you will comply with Applicable Laws any time you apply the MSP; and (7) we may change or cancel this Merchant Surcharge Program upon notice to you. We disclaim all warranties regarding the MSP; it is provided to you on an "as-is, with all faults" basis. Your use of the MSP does not: (1) guarantee compliance with any laws, Card Organization Rules, or applicable standards (including the PCI DSS), (b) affect your obligation to comply with laws, Card Organization Rules, and applicable standards (including the PCI DSS), or (3) guarantee protection against a Data Incident.

Visa Credit Card Discount Fee	<input type="text" value="2.9126"/>	<input type="text" value=""/>	%	Consumer Surcharge Rate Billed by Merchant	<input type="text" value="3.00"/>	<input type="text" value=""/>	%
Mastercard Credit Card Discount Fee	<input type="text" value="2.9126"/>	<input type="text" value=""/>	%	Debit Card Transaction Fee	<input type="text" value="\$ 0.25"/>	<input type="text" value=""/>	/ Each
Discover Credit Card Discount Fee	<input type="text" value="2.9126"/>	<input type="text" value=""/>	%				
Amex Credit Card Discount Fee	<input type="text" value="2.9126"/>	<input type="text" value=""/>	%				
Debit Card Discount Fee	<input type="text" value="1.25"/>	<input type="text" value=""/>	%				

**TIERED**

Discount Fees	Credit	Non-PIN Debit	Discount Fees	Credit	Non-PIN Debit
Visa Qualified	<input type="text"/> %	<input type="text"/> %	Discover Qualified	<input type="text"/> %	<input type="text"/> %
Visa Mid-Qualified	<input type="text"/> %	<input type="text"/> %	Discover Mid-Qualified	<input type="text"/> %	<input type="text"/> %
Visa Non-Qualified	<input type="text"/> %	<input type="text"/> %	Discover Non-Qualified	<input type="text"/> %	<input type="text"/> %
Mastercard Qualified	<input type="text"/> %	<input type="text"/> %	Amex Qualified	<input type="text"/> %	
Mastercard Mid-Qualified	<input type="text"/> %	<input type="text"/> %	Amex Mid-Qualified	<input type="text"/> %	
Mastercard Non-Qualified	<input type="text"/> %	<input type="text"/> %	Amex Non-Qualified	<input type="text"/> %	

**INTERCHANGE PLUS**

Pass Through Interchange — You will be charged the applicable interchange rate from Mastercard, Visa, Discover and American Express as well as the Discount Fees listed below. Interchange Rates are variable and are determined by how your transactions clear, and are subject to change.

**Passthrough Interchange Costs**    Gross Interchange    Net Interchange

Discount Fees	Credit / Non-PIN Debit
Visa Qualified	<input type="text"/> %
Mastercard Qualified	<input type="text"/> %
Discover Qualified	<input type="text"/> %
Amex Qualified	<input type="text"/> %

**BILL BACK**

**Non-Qualified Surcharge Fee** (excluding interchange pass-through fees, see Section 26.1) Applies to Non-qualified MC, Visa, Discover, American Express OptBlue Credit and/or Non-PIN Debit Transactions.

%

Discount Fees	Credit	Non-PIN Debit
Visa Qualified	<input type="text"/> %	<input type="text"/> %
Mastercard Qualified	<input type="text"/> %	<input type="text"/> %
Discover Qualified	<input type="text"/> %	<input type="text"/> %
Amex Qualified	<input type="text"/> %	

**SWIPED/NON-SWIPED**

(If selected, the discount fees below apply to all payment types and brands accepted unless otherwise noted in this agreement)

Swiped or Dipped Discount Fee  
(% of gross transactions)    %

Swiped or Dipped Transaction Fee    \$

Non-Swiped or Non-Dipped Discount Fee  
(% of gross transactions)    %

Non-Swiped or Non-Dipped Transaction Fee    \$

**FLAT RATE**

Discount Fees	Credit / Non-PIN Debit
Visa Qualified	<input type="text"/> 3 %
Mastercard Qualified	<input type="text"/> 3 %
Discover Qualified	<input type="text"/> 3 %
Amex Qualified	<input type="text"/> 3 %

**AUTHORIZATION & TRANSACTION FEES**

Authorization Fees (All Card Types)	<input type="text"/> \$	/ Each
ACH Batch Fee	<input type="text"/> \$	/ Each
Voice Authorization Fee	<input type="text"/> \$	/ Each
Address Verification Fee (AVS)	<input type="text"/> \$	/ Each
Transaction Fees (All Card Types)**	<input type="text"/> \$	/ Each

\*\*Transaction Fees (All Card Types) and Gateway Transaction Fee will be added together and billed on your merchant statement as "Trans Fee".

**PIN DEBIT**

Discount Fee	<input type="text"/> %
Transaction Fee	<input type="text"/> \$ / Each

**CLOVER FEES**

Clover Platform Fee	<input type="text"/> \$ / Monthly
---------------------	-----------------------------------

**EBT**

FNS#	<input type="text"/>
Transaction Fee	<input type="text"/> \$ / Each

**VOYAGER**

Authorization Fee	<input type="text"/> \$ / Each
Sales Discount	<input type="text"/> %

**WRIGHT EXPRESS**

Discount Fee	<input type="text"/>	%
Transaction Fee	\$ <input type="text"/>	/ Each
Chargeback Fee	\$ <input type="text"/>	/ Each
Retrieval Fee	\$ <input type="text"/>	/ Each

**CARDPOINTE AND GATEWAY FEES**

Setup Fee	\$ <input type="text"/>	(One Time)
CardPointe Monthly Platform Fee	\$ <input type="text"/>	/ Monthly
Gateway Monthly Fee	\$ <input type="text"/>	/ Monthly
Gateway Transaction Fee**	\$ <input type="text"/>	/ Each

\*\*Gateway Transaction Fee and Transaction Fees (All Card Types) will be added together and billed on your merchant statement as "Trans Fee".

**TRANSARMOR**

TransArmor Data Protection

TransArmor Monthly Fee \$  / Monthly

**MONTHLY AND MISCELLANEOUS FEES**

Application Fee	\$ <input type="text"/>	(One Time)	Regulatory Product Fee	\$ <input type="text"/>	/ Monthly
Minimum Processing Fee	\$ 15	/ Monthly	PCI Non-Compliance Fee	\$ 29.95	/ Monthly
DDA Rejects	\$ 25	/ Each	Wireless Fee	\$ <input type="text"/>	/ Monthly
Statement Fee	\$ <input type="text"/>	/ Monthly	Wireless Activation Fee	\$ <input type="text"/>	(One Time)
Chargeback Fee	\$ 25	/ Each	AMEX North Program Cost Fee	<input type="text"/>	%
Retrieval Fee	\$ <input type="text"/>	/ Each	PCI Annual Fee	\$ <input type="text"/>	/ Annual
Annual Membership Fee	\$ <input type="text"/>	/ Annual	PCI Concierge Monthly Fee	\$ <input type="text"/>	/ Monthly

## CONFIRMATION

### EARLY TERMINATION FEE

The initial term of this Agreement is three years from the date of your approval by our Credit Department (the Initial Term). If you terminate this Agreement before the end of the then current term or otherwise stop processing your transactions with us, you will be charged this Early Termination Fee. After the Initial Term, subject to Part IV, Section A.3, this Agreement shall automatically extend for an additional period of one year each (each an Extended Term).

Early Termination Fee

\$ 0

Client Initials

### PERSONAL GUARANTEE

In exchange for CardConnect LLC, Wells Fargo Bank, N.A., (a member of Visa USA, Inc. and Mastercard International, Inc.), and TeleCheck Services, LLC (the Guaranteed Parties) acceptance of, as applicable, the Agreement, and/or the Equipment Agreement and/or the TeleCheck/TRS Solutions Agreement, the undersigned unconditionally and irrevocably guarantees the full payment and performance of Client's obligations under the foregoing agreements, as applicable, as they now exist or as modified from time to time, whether before or after termination or expiration of such agreements and whether or not the undersigned has received notice of any amendment of such agreements. The undersigned waives notice of default by Client and agrees to indemnify the Guaranteed Parties for any and all amounts due from Client under the foregoing agreements. The Guaranteed Parties shall not be required to first proceed against Client to enforce any remedy before proceeding against the undersigned. This is a continuing personal guaranty and shall not be discharged or affected for any reason. The undersigned understands that this is a Personal Guaranty of payment and not of collection and that the Guaranteed Parties are relying upon this Personal Guaranty in entering into the foregoing agreements, as applicable.

Signature

Date

### AGREEMENT APPROVAL

Client certifies that all information set forth in this completed Merchant Processing Application is true and correct and that Client has received a copy of the Program Guide and Confirmation Page, which is part of this Merchant Processing Application, and by this reference incorporated herein. Client acknowledges and agrees that we, our Affiliates and our third party subcontractors and/or agents may use automatic telephone dialing systems to contact Client at the telephone number(s) Client has provided in this Merchant Processing Application and/or may leave a detailed voice message in the event that Client is unable to be reached, even if the number provided is a cellular or wireless number or if Client has previously registered on a Do Not Call list or requested not to be contacted Client for solicitation purposes. Client hereby consents to receiving commercial electronic mail messages from us, our Affiliates and our third party subcontractors and/or agents from time to time. Client further agrees that Client will not accept more than 20% of its card transactions via mail, telephone or Internet order. However, if your Application is approved based upon contrary information stated in Banking and Processing section above, you are authorized to accept transactions in accordance with the percentages indicated in that section. This signature page also serves as a signature page to the TeleCheck Solutions Agreement appearing in the Third Party Section of the Program Guide, if selected, the undersigned Client being "You" and "Your" for the purposes of the TeleCheck Solutions Agreement.

By signing below, each of the undersigned authorizes us, our Affiliates and our third party subcontractors and/or agents to verify the information contained in this Application and to request and obtain from any consumer reporting agency and other sources, including bank references, personal and business consumer reports and other information and to disclose such information amongst each other for any purpose permitted by law. If the Application is approved, each of the undersigned also authorizes us, our Affiliates and our third party subcontractors and/or agents to obtain subsequent consumer reports and other information from other sources, including bank references, in connection with the review, maintenance, updating, renewal or extension of the Agreement or for any other purpose permitted by law and disclose such information amongst each other. Each of the undersigned furthermore agrees that all references, including banks and consumer reporting agencies, may release any and all personal and business credit financial information to us, our Affiliates and our third party subcontractors and/or agents. Each of the undersigned authorizes us, our Affiliates and our third party subcontractors and/or agents to provide amongst each other the information contained in this Merchant Processing Application and Agreement and any information received subsequent thereto from all references, including banks and consumer reporting agencies for any purpose permitted by law. It is our policy to obtain certain information in order to verify your identity while processing your account application.

As part of our approval, processing services, continuing fraud prevention and account review processes, the undersigned consents to the use of information gathered online or that you submit to us, and/or automated electronic computer security screening, by us or our third party vendors.

Client authorizes FDMS and Bank and their affiliates to debit Client's designated bank account via Automated Clearing House (ACH) for costs associated with equipment hardware, software and shipping.

You further acknowledge and agree that you will not use your merchant account and/or the Services for illegal transactions, for example, those prohibited by the Unlawful Internet Gambling Enforcement Act, 31 U.S.C. Section 5361 et seq, as may be amended from time to time, or processing and acceptance of transactions in certain jurisdictions pursuant to 31 CFR Part 500 et seq, and other laws enforced by the Office of Foreign Assets Control (OFAC). To help the government fight the funding of terrorism and money laundering activities, Servicers obtain, verify, and record certain information including your full name, physical address, and any other information needed for identity verification purposes while processing this MPA, as described in the USA Patriot Act.

Client certifies, under penalties of perjury, that the federal taxpayer identification number and corresponding filing name provided herein are correct. Client agrees to all the terms of this Merchant Processing Application and Agreement. This Merchant Processing Application and Agreement will not take effect until Client has been approved and this Agreement has been accepted by Processor and Bank. Acceptance by Processor and Bank will occur upon the earlier of the execution of this Merchant Processing Application and Agreement by Processor and Bank, or the commencement of the provision of the Services by Processor and Bank.

### SIGN YOUR AGREEMENT

Signature

Date

### CARDCONNECT LLC

Application Approved By:

Signature

Title

Date

### WELLS FARGO BANK N.A. (A MEMBER OF VISA USA, INC. AND MASTERCARD INTERNATIONAL, INC.)

By: First Data Merchant Services LLC, pursuant to a limited power of attorney

Signature

### PROCESSOR INFORMATION

Name	CardConnect LLC
Address	1000 Continental Drive, Suite 300, King of Prussia PA, 19406
URL	www.cardconnect.com
Customer Service (Phone)	1-877-828-0720

**File Attachments for Item:**

8. MOU – DNR on Beach Restoration \$4,000,000 Appropriation





# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: September 30, 2024  
Re: Beach Renourishment MOU with State of Georgia

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### Title

MOU with State of Georgia Concerning Beach Renourishment Appropriation

### Action

Adoption of a Memorandum of Understanding with the Georgia Department of Natural Resources to receive a \$4 million appropriation for the State's share of the planned 2026 beach renourishment.

### Background

Like all barrier islands, Tybee's Island's beach experiences steady erosion from wave and wind action. Under natural conditions, sediment would flow north to south to nourish Tybee's ocean-facing shoreline. However, the Savannah River shipping channel, which undergoes regular dredging, limits this natural transfer of sand. As a result, the US Army Corps of Engineers began nourishing Tybee's beach with sand since 1974, with renourishments occurring every six to seven years since.

### Facts and Findings

1. The Army Corps of Engineers will conduct the next beach renourishment in 2026. This \$20 million project requires a 40% local match totaling \$8 million.
2. Following negotiation and lobbying by the City of Tybee and our consultants, AWR Strategic and Civic Forward Strategies, the Georgia General Assembly passed a FY2025 Budget with a \$4 million allocation to cover half of the local match.
3. The USACE is planning and designing the nourishment project and will request City funds at each stage of the project. The City anticipates major funding will be required in late 2025 as the Corps prepares to bid the dredging project.
4. This MOU is a five-year agreement, which will cover from present through the renourishment period and allow funds to become available when needed.

### Funding

The City of Tybee is in development of a funding plan for the balance of the local match, totaling \$4 million, which will include the use of hotel-motel tax proceeds.

### Purchasing Notes

N/A

Alternatives

1. Sign the MOU with the State of Georgia to receive the State allocation.
2. Provide other direction to fund the local match of the beach renourishment.

Recommendation

Council adopts Alternative 1.

**INTERGOVERNMENTAL AGREEMENT  
BY AND BETWEEN  
THE GEORGIA DEPARTMENT OF NATURAL RESOURCES  
AND CITY OF TYBEE ISLAND, GEORGIA**

**THIS INTERGOVERNMENTAL AGREEMENT** (the “Agreement”) is made by and between the **GEORGIA DEPARTMENT OF NATURAL RESOURCES**, an agency of the State of Georgia (hereinafter referred to as the “Department”), and the **CITY OF TYBEE ISLAND, GEORGIA** (hereinafter referred to as the “City”).

**W I T N E S S E T H:**

**WHEREAS**, the City is the owner of a certain portion of real property known as Tybee Island Beach, (hereinafter “Premises”); and

**WHEREAS**, the Georgia General Assembly in 2024 appropriated \$4,000,000 (hereinafter “Funds”) to the Department to be used by the City for beach restoration; and

**WHEREAS**, pursuant to 1983 GA. CONST., ART. 9, SEC. 3, PARA. 1, the Department and the City may contract for any period not exceeding 50 years with each other for the provision of services, or for the joint or separate use of facilities or equipment; and

**NOW, THEREFORE**, for and in consideration of the mutual public benefit and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. On or after July 1, 2024, the City may submit to the Department a request for payment of the Funds. Upon receipt of the City’s request, the Department shall cause the Funds to be paid to the City for use by the City in connection with its beach nourishment activities on the Premises.
2. The City agrees that the Funds shall be used to help fund Tybee’s cost share of the next planned beach nourishment by the U.S. Army Corps of Engineers. If the City’s planned beach nourishment is canceled or not completed, the City shall return any balance remaining from the Funds to the Department. The City shall make all records regarding expenditures of the Funds available for auditing purposes to the Department or as directed by the Department.
3. It is understood and agreed by the parties that the Department shall have no liability to the City relating in any way to the Premises.

4. This Agreement shall be for a term of five (5) years beginning on July 1, 2024 and ending at 11:59 P.M., prevailing legal time in Atlanta, Georgia, on the day immediately preceding the fifth (5<sup>th</sup>) anniversary of the effective date hereof.

5. Each party hereby certifies that it has complied with, and will continue to comply with during the term of this Agreement, the applicable provisions of the Georgia Security and Immigration Compliance Act, O.C.G.A. § 13-10-90 *et seq.*

6. The parties represent that they have the right, power and authority to enter into this Agreement and that no further approvals, permissions, or consents of any sort from any persons or entities are necessary for them to enter into this Agreement.

7. No modification of or amendment to this Agreement shall be binding on either party hereto unless such modification or amendment shall be in writing and signed by authorized representatives of both the Department and the City.

**IN WITNESS WHEREOF**, the Department and the City, acting by and through their duly authorized hereinafter named officers, have caused these presents to be signed, sealed and delivered all as of the date hereof.

**GEORGIA DEPARTMENT OF NATURAL RESOURCES**

By: Artica Gaston  
Walter Rabon or Designee  
Commissioner

**CITY OF TYBEE ISLAND, GEORGIA**

By: \_\_\_\_\_  
Brian West  
Mayor, City of Tybee Island

**File Attachments for Item:**

9. Awarding of RFP 2024-779 Historic District Consultant





# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: 10/2/2024  
Re: Awarding of RFP 2024-779 Historic District Consultant

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### Title

Fort Screven and North Campbell Historic District Consultant Contract

### Action

Awarding of RFP 2024-779 Historic District Consultant Project to Ward Architecture + Preservation in the amount of \$30,000.

### Background

In February 2024, Tybee Island Historic Preservation Commission submitted a City Council supported application for the 2024 CLG Grant program through the Georgia Department of Community Affairs Historic Preservation Division Fund. Tybee Island HPC was publicly awarded the grant on July 29, 2024.

The City received \$18,000 in grant funding to complete a project titled “Develop a Local Historic District for the Fort Screven National Register Historic District and the North Campbell Neighborhood,” and was able to begin work on the grant project on August 7, 2024. Staff issued an RFP to seek consultants to assist with the completion of this project, and received one response before the submission deadline.

### Facts and Findings

1. The City has previously worked with the responding consultant, completing several successful historic preservation projects on Tybee Island.
2. The consultant is local to the Savannah/Tybee Island Area.
3. The consultant has extensive knowledge of Tybee Island and the historic preservation efforts.

### Funding

This is a \$30,000.00 project, partially funding by the CLG Grant from HPD. The project will span over two fiscal years, and is currently in the budget for FY 24-25. The City is responsible for paying for the project up front, and will be reimbursed by DCA at various milestones throughout the project. The City’s overall contribution to the project is \$12,000, with a portion of in-kind services/labor factored in.

The costs associated with this project will come from budget line 100-1320-52-1260 (Main Street).

### Purchasing Notes

Upon legal and DCA review of the RFP packet, this project was publicly posted on the City’s bid website, as well as publicized on print and digital advertising means. Staff received one response to the RFP by the submission deadline, from Ward Architecture + Preservation.

# City of Tybee Island

The review committee consisted of five people, including city staff, a member of the City's Historic Preservation Commission, and an advisor from the Tybee Island Historical Society. All criteria evaluation forms are available in this packet.

## Alternatives

1. Recommended Action: Awarding of the RFP 2024-779 Historic District Consultant Project to consultant company Ward Architecture + Preservation.
2. Put the project back out for RFP again, causing delays in the project schedule from DCA.
3. Decline the response.

## Recommendation

That Council adopts Alternative 1.

# Historic Preservation Consulting Services Proposal

## LOCAL HISTORIC DISTRICT

Tybee Island, Georgia | RFP No. 2024-779



### Offeror:



**Ward Architecture + Preservation**

625 East 44th Street

Savannah, Georgia 31405

[www.wardarch.com](http://www.wardarch.com)

912 | 596-4240



With

**QUATREFOIL CONSULTING**

312 East 54<sup>th</sup> Street

Savannah, Georgia, 31405

[www.quatrefoilsavannah.com](http://www.quatrefoilsavannah.com)

912 | 547-1940

*This proposal outlines the terms and conditions of our agreement. Ward Architecture, PC (DBA Ward Architecture + Preservation) with Quatrefoil Consulting Inc. shall perform the services outlined in the attached proposal. Ward Architecture, PC agrees to all terms, conditions, and provisions included in the solicitation and will furnish any or all items upon which prices are offered at the price set opposite each item within the agreement. This proposal is binding for 45 days from the closing date for the submission date of proposals.*

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# **SECTION A**

## **COVER LETTER**



October 1, 2024

Tybee Island Selection Committee  
c/o Melissa Freeman  
Tybee Island City Hall  
403A Butler Avenue  
Tybee Island, Georgia 31328

Purchasing Agent and Selection Committee,

**RE: Local Historic District - Consulting Services Proposal for Tybee Island, Chatham County, Georgia  
Introduction | Cover Letter**

Ward Architecture + Preservation with Quatrefoil Consulting Inc. is pleased to submit the following proposal in response to RFP No. 2024-779 to establish local historic districts for the Fort Screven National Register historic district and the North Campbell Neighborhood.

As specialists in the field of historic preservation, our firms are joining efforts to provide the most knowledgeable and qualified professionals for this project. Together, we bring over 40 years of experience working with Georgia’s historic properties with a particular focus on Tybee Island, Georgia. Our proficiency in local historic district planning extends to all facets of preservation practice while meeting all the requirements of the Historic Preservation Division (HPD) and Historic Preservation Fund (HPF) grants. Together, we have joined efforts to conduct Section 106 mitigation efforts to document resources on Tybee Island as well as several historic resource surveys following HPD standards and requirements.

Our project team brings a unique blend of experience and competence which exceed the Secretary of the Interior’s Professional Qualifications Standards (3 CFR Part 61). Robert A. Ciucevich is an expert on Tybee Island’s history and significant architecture having written Tybee Island: The Long Branch of the South, originally published in 2005, it has proven an invaluable resource to historians throughout the state. He conducted the Phase I and II historic resources surveys of the island in 2016-2017, and recently completed the successful nomination of the Savannah Beach Town Hall and Auditorium to the National Register of Historic Places (2022), among numerous individual properties on the island. Having performed over 40 HPD grant funded surveys throughout Georgia, he has a strong understanding of the grant requirements and stipulations.

As the former City Preservation Officer and Director of Historic Preservation for the Chatham County-Savannah Metropolitan Planning Commission (MPC), Sarah Ward has a local perspective and a keen insight into preservation planning needs of communities pursuing local historic district designation and design guidelines. Ms. Ward co-authored the Design Guidelines Manual for the South End Business Overlay District in an effort by the City of Tybee Island and Main Street businesses to help protect their historic identity and provide guidance on how to best preserve their resources and make alterations. Through this effort, input from numerous public meetings and workshops was collected to develop the design manual available to property owners and businesses. Successful efforts in attaining historic rehabilitation tax incentives for several Fort Screven resources gives her a deep understanding of the history of the area as well as its current condition. She investigated two individual properties within the Campbell Subdivision for NRHP eligibility providing her with a sound background on the historical development of this adjacent residential area.

Together, Ciucevich and Ward recently created a Photographic Architectural Record (PAR) of 26 historic resources for the City of Tybee Island to attain FEMA funds for addressing sea level rise. Understanding the coastal environment and its impacts to historic resources is essential in developing protections and guidelines for





development. Our partnership on previous preservation efforts has been such a success that we continue to look for projects where we can work together in the best interest of our clients. We have found that our collaborative style allows for each of our strengths in documentation, research, architectural analysis, local preservation planning, and public policy to deliver the best quality products.

In particular, we seek out projects to help preserve Tybee Island because it is a particularly special and vulnerable place due to pressures from development and the coastal environment. The architecture of the island is reflective of its local setting, historic uses as a military fort, and later as a resort destination. It is our hope that our team will surpass your expectations for establishing local districts to protect the historic resources within Fort Screven and the North Campbell Neighborhood.

We look forward to being a part of this exciting endeavor and appreciate the opportunity to submit the following proposal which is binding for 60 days from the closing date for the submission date of proposals.

Thank you,

A handwritten signature in black ink that reads "Sarah P. Ward". The signature is written in a cursive, flowing style.

Sarah P. Ward, AICP  
Preservation Principal and President/CEO

# **SECTION B**

## **PROJECT APPROACH & METHODOLOGY**

## Project Approach & Methodology

The project seeks to establish a local historic district or districts for the Fort Screven National Register Historic District and the North Campbell Neighborhood. These adjacent historic developments are located on the northern end of the island and the study area is identified on Exhibit A of the RFP. Project components are identified and defined in the methodology below.

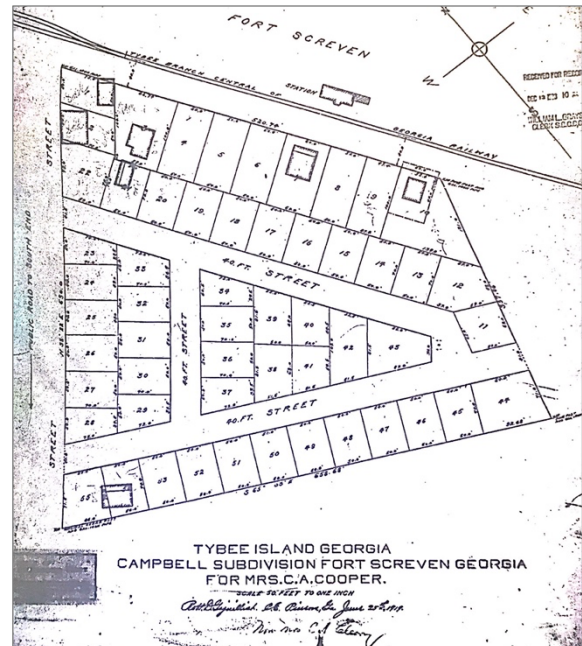
### BACKGROUND

The Fort Screven Historic District is listed in the National Register of Historic Places (NRHP). It encompasses 205 acres along the northern tip of the island containing the former coastal defense facility established by the U.S. Army Corps of Engineers in 1897, expanded through 1946, and the Tybee Lighthouse complex, built in 1867 (Figure 1). The NRHP Nomination prepared in 1980 (designated in 1982) identified approximately 106 existing historic buildings. The Phase II Tybee Island Historic Resources Survey completed in 2017 by Robert Ciucevich with Quatrefoil Consulting, identified 83 historic resources remaining within the Fort Screven NRHP district at that time.

The North Campbell Neighborhood is comprised of the Campbell Subdivision laid out in an A-shape in 1919 (Figure 2). This neighborhood is bound by North Campbell Avenue to the west, Solomon Avenue to the north, Logan Street to the south and marshlands on the east. This area developed as a residential neighborhood immediately adjacent to Fort Screven serving as the entryway to the fort at Gate No.1 near the main Guard House along Van Horn Street. It contains approximately 18 structures that are 50 years of age or older.



**Figure 1.** Detail of Fort Screven "Property/Sketch" Map, 1941 (Courtesy of the Tybee Island Historical Society).



**Figure 2.** Campbell Subdivision, Fort Screven, Georgia. Plat prepared by Gignilliat, C.E. June 25, 1919 for Mrs. C.A. Cooper (Plat Record Book 2M, Page 279).

## SCOPE OF SERVICES

The project will include the following five (5) phases to establish a local historic district and develop design guidelines to preserve the historic character of the Fort Screven NRHP Historic District and North Campbell Neighborhood. All work will be undertaken in accordance with the Secretary of the Interior's Standards for Archaeology and Historic Preservation, which includes the Standards for Preservation Planning and the Standards for the Treatment of Historic Properties.

1. A **historic windshield survey** of the proposed area identifying all buildings 50 years of age or older and defining the best boundaries for a local district(s).
2. A **developmental history** of the district(s).
3. **Preparation of nomination documents** for the local historic districts to include the above findings, design guidelines and an updated ordinance.
4. **Education and public engagement** about proposed local district(s) and design guidelines obtaining input and feedback for inclusion in the ordinance and supporting documents.
5. **Nomination of local historic district(s) for designation** through the established public hearing process.

### Phase 1 | Historic Windshield Survey

Ward Architecture + Preservation with Quatrefoil Consulting, will begin with a preliminary analysis of the survey area noting historic resources that are adjacent to the Fort Screven historic district and North Campbell neighborhood to determine the most appropriate boundaries for the local historic district. An index of all properties that are 50 years of age or older (constructed before 1975) will be created and used for the basis of a reconnaissance-level or "windshield" field survey. A preliminary public information meeting will be conducted during this phase to introduce the team and bring awareness and support for the survey effort.

Currently, 101 historic resources are anticipated within the two historic neighborhoods. This is an approximate total based on the information available using the *City of Tybee Island Historic Resources Survey Phase II* completed by Quatrefoil Consulting in 2017. Field survey will define this total, accounting for any changes or demolitions that have occurred since 2017. Properties identified for inclusion in the local district (based on age, historic integrity, and significance) will be noted on a map and district boundaries determined using the *Georgia Historic Resources Survey Manual* (March 2023) and the *National Park Service Bulletin 24*. Based on this evaluation, the historical development conducted in Phase 2, and consultation with the Client, it will be determined if one large district or two distinct districts should be established.

A detailed index identifying each resource, address, architectural style, building type, date of construction and status in the National Register of Historic Places (NRHP) will be prepared. Historical characteristics of the setting, streetscape, scale, height, building materials and ancillary features will be captured to develop design guidelines specific to the district, along with sample photographs. This document, map, and all deliverables for the project will be submitted to the City's Grant Administrator for the project.

### Phase 2 | Developmental History

Background research will be undertaken on each of the distinct areas and significant properties within the Fort Screven Historic District and North Campbell Neighborhood. This information will be used to determine the age of resources and their relationship to the district or neighborhood. The developmental history will help to establish a basis for historical significance in local district designation. A report with the methodology, reconnaissance survey index, historical development, and recommendations for future preservation will be provided as a document to help support the local district designation. This draft will be submitted to the City's Grant Administrator to demonstrate progress on the project.

### Phase 3 | Preparation of Nomination Documents

Upon consultation with the City's Grant Administrator, community, and HPC, design guidelines will be developed in accordance with the Georgia Historic Preservation Division's (HPD) *Preparing Design Guidelines for a Historic District*, using the reconnaissance survey, background research, and developmental history. Historical characteristics of the setting, streetscape, scale, height, building materials and ancillary features will be defined and guidelines for their preservation will be established. Consultation with the Grant Administrator, community, and Tybee Island Historic Preservation Commission (HPC) will determine the most important aspects of preserving the historic character of the neighborhoods to guide the nomination, focusing initially on the review of demolition of known historic resources. Design guidelines for alterations, additions and new construction will be developed and considered as part of the district nomination (ordinance) or as guidance for property owners.

Results of this effort will be compiled into the draft ordinance for review and comment by the City Attorney via the City's Grant Administrator. Comments will be incorporated into the ordinance which will then be provided to the City's Grant Administrator for circulation to the Georgia HPD, Tybee Island HPC, Tybee Island Historical Society (TIHS), Planning Commission, and City Council.

### Phase 4 | Education and Public Engagement

Concurrent with drafting the design guidelines and ordinance in Phase 3 above, public input will be collected from property owners and residents for consideration and incorporation. This phase will include assisting city staff with a minimum of two community meetings or workshops to gain insight and input from property owners as well as to provide background on the significance of these historic neighborhoods and historic preservation strategies as redevelopment tools. Additional educational tools will be developed by the City's Grant Administrator, with assistance from our preservation team, will utilize social media and the city website, visual presentations, hard copy informational materials for distribution and public posting, and a walking tour.

### Phase 5 | Nomination of Local Historic District(s) for Designation

This phase will focus on finalizing the local historic district nominations and design guidelines for final designation at public meetings. Once the steps above have been completed, the district nomination(s) and design guidelines will be updated and recommendations from reviewing agencies and bodies incorporated into the nomination ordinance for review by the City Attorney. Once finalized, the local historic district nomination(s) and design guidelines will be presented to the Planning Commission and City Council for review, recommendation and approval.

# SECTION C

## PROJECT TEAM



## Project Team Members

Key personnel involved with the local historic district designation and all phases of the scope are provided below. Sarah Ward will serve as the project director for the team and the primary contact for the City's Grant Administrator. Firm descriptions and resumes are on the pages that follow in this section.

**Sarah P. Ward, AICP**  
**Project Director and Preservation Professional**  
Ward Architecture + Preservation

625 East 44<sup>th</sup> Street  
Savannah, Georgia 31405  
Cell: 912 | 596-4240  
Email: sward@wardarch.com

**Robert A. Ciucevich, MHP**  
**Preservation Professional**  
Quatrefoil Historic Preservation Consulting

312 East 54<sup>th</sup> Street  
Savannah, Georgia 31405  
Cell: 912 | 547-1940  
Email: racquatrefoil@aol.com

# SECTION D

## SELECTION CRITERIA

## Professional Qualifications



Ward Architecture + Preservation and Quatrefoil Historic Preservation Consulting are collaborating to bring you the most experienced and knowledgeable team of historic resource survey professionals in southeastern Georgia. Our combined staff bring over 50 years of experience in the field of Historic Preservation focused on Georgia's history.

Our partnership on previous survey projects has been such a success that we continue to seek out projects where we can work together in the best interest of our clients. We have found that our collaborative style allows for each of our strengths in survey, research, architectural analysis and national register planning to deliver the best quality products. This allows us to focus on the goals of the project while providing additional quality control measures by utilizing our preservation technicians who are experienced writers and architectural historians.

Descriptions of our firms are on the following two pages which outline our origins and capabilities. We look forward to working with the City of Tybee Island to establish its first local historic district(s).



Ward Architecture, PC (doing business as Ward Architecture + Preservation) is a small firm focused on preservation of historic resources through planning and rehabilitation solutions to meet our client’s needs and provide compatible and appropriate results for our built environment. Based in Savannah, Georgia, our clientele includes government agencies and communities, property owners, and preservation-minded real estate developers in coastal Georgia. Our services and products include historic resource surveys, local historic district guidelines, historical research and building conditions assessments, rehabilitation plans, design and construction documents, historic preservation tax credit applications, National Register of Historic Places nominations, and documentation of historic structures.

Formed from a family partnership in 2010, our business is comprised of individual expertise in architecture and historic preservation providing a solid foundation for collaboration with clients and consultants. The firm leadership has over 24 years of experience in the field of historic preservation, design, and architecture focused in Georgia, South Carolina, and Florida. Our staff has participated in numerous successful cultural and historic resource surveys throughout coastal Georgia and Florida. Experience with identification and survey of historic resources, the National Register of Historic Places, and Section 106 of the National Historic Preservation Act, provides a strong foundation for documentation and protection of historic properties. All staff members maintain Master of Fine Arts Degrees in Historic Preservation and exceed the National Park Service Professional Qualification Standards for historic preservation published in the Code of Federal Regulations, 36 CFR Part 61.

Our location in the Ardsley Park-Chatham Crescent National Register historic district within Savannah, Georgia, provides our firm and team of specialized consultants a strong foundation for understanding historic resources. Our firm is licensed to practice architecture in the states of Georgia and South Carolina with a business tax certificate for the City of Savannah. Proficiency in software programs such as AutoCAD, Revit, ArcMAP, Adobe Suite, and Microsoft Office products enable Ward Architecture to provide accurate and detailed reports. Drafting capabilities allow for the precise documentation of historic structures, their site, and architectural details.

## QUATREFOIL CONSULTING



Quatrefoil Consulting has been at the forefront of the historic preservation field in Georgia since 1995. Our professional staff members have completed a diverse range of projects and participated in historic preservation-related activities on behalf of cities, counties, federal agencies, community groups, and private individuals.

All staff members meet the qualifications and standards set forth in the Secretary of the Interior’s *Standards and Guidelines for Archeology and Historic Preservation* (36 CFR, Part 66, Appendix C). Our staff members have dealt extensively with a variety of issues complying with federal and state historic preservation laws, grants, guidelines, and procedures such as the *U.S. Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, the Section 106 review process, and the National Register of Historic Places (NR) Criteria for Evaluation.

Quatrefoil Consulting is a full-service historic preservation firm with 29 years of experience serving communities and local governments throughout the state. Our staff has conducted a significant number of surveys and analysis projects that have involved the identification, evaluation, and documentation of commercial, residential, institutional, and industrial resources. Additionally, we have extensive related experience participating in local preservation efforts such as writing preservation plans, working with local preservation ordinances, coordinating public workshops, promoting historic preservation locally and regionally, preparing design guidelines, completing federal and state tax credit applications, and evaluating local designations.

Quatrefoil Consulting was established as a sole proprietorship in 1995 by Robert A. Ciucevich, providing quality historic preservation planning consulting services to the coastal and southeast Georgia area. With professional and business contacts throughout Georgia, Quatrefoil Consulting has expanded to meet the growing regional demand for a mobile, full service historic preservation planning firm. The home office of Quatrefoil Consulting is located in Savannah, Georgia and is licensed to practice historic preservation in the state of Georgia with a business tax certificate for the City of Savannah.



**SARAH P. WARD, AICP, LEED AP**  
 Preservation Principal + President



Sarah Ward, AICP is the CEO and Preservation Principal for Ward Architecture + Preservation. She specializes in historic building assessments, rehabilitation plans, historic tax credits, national preservation standards & guidelines, documentation and research. Sarah has over 24 years of preservation experience in the Southeast.

**PROFESSIONAL EXPERIENCE**

- 2013 - Present      Preservation Principal & President/CEO: Ward Architecture + Preservation, Savannah, Georgia.
- 2005 - 2013        Director of Historic Preservation, City Preservation Officer, Historic Preservation Planner, and Historic Preservation Specialist: Metropolitan Planning Commission, Savannah, Georgia. Staff to the Historic District Board of Review (HDBR) and local historic districts.
- 2003 - 2005        Senior Architectural Historian: Archaeological Consultants Inc., Sarasota, Florida. A cultural resource management (CRM) firm specializing in historic resource survey.
- 2001 - 2003        Preservation Specialist: Design, Development, & Preservation Division of the City of Charleston, South Carolina. Staff to the Board of Architectural Review (BAR).
- 2000 - 2001        Preservation Planning Consultant: Coastal Heritage Society, Savannah, Georgia.

**EDUCATION**

- M.F.A.      2001      Savannah College of Art and Design (SCAD), Savannah, Georgia, *Historic Preservation*
- B.A.        1998      University of Tennessee, Knoxville, *Art History*

**HONORS & AFFILIATIONS**

- Fox Theatre Institute: Preservation Grant Committee, 2018 - present
- Historic Savannah Foundation Preservation Award: *Fort Screven Bowling Alley at Library at 5 Cedarwood Drive, Louis S. Harford House at 208 West 40<sup>th</sup> Street, and Brunner-Heitman-Park House at 12 West 38<sup>th</sup> Street (2023); Emma Miscally House at 920 East Anderson Street and Persse Pharmacy and Corner Store at 1813-1821 Bull Street (2022); Benjamin Wilson House at 432 Abercorn Street (2021); Enlisted Men’s Barracks at 15 Meddin Drive, Tybee Island (2020); Brigham Apartments at 245 Bull Street, Fort Screven Commissary and Quartermaster’s Office at 34 Van Horn Street, and Curry-Miller-Byrd Boarding House at 16 Izlar Avenue (2019); 20 West Taylor Street and 217 West 36<sup>th</sup> Street (2018); Hermes’-Gottlieb’s Bakery at 1601 Bull Street (2017); 148 Price Street, Savannah (2016).*
- Tybee Island Historical Society: *2020 Excellence in Historic Preservation* award for the Fort Screven Commissary and Quartermaster’s Office and the Enlisted Men’s Barracks.
- Georgia Trust for Historic Preservation: *2018 Excellence in Rehabilitation* award for the Hermes’-Gottlieb’s Bakery at 1601 Bull Street, Savannah.
- Savannah Chapter of the American Institute of Architects: *Citation of Excellence*.





**ROBERT A. CIUCEVICH, MHP**  
Principal & Owner | Quatrefoil Consulting

**PROFESSIONAL SUMMARY**

Robert A. Ciucevich is the principal and owner of Quatrefoil Historic Preservation Consulting, a full-service historic preservation consulting firm founded by Mr. Ciucevich in 1995 in his hometown of Savannah, Georgia. Our professional staff members have completed a diverse range of projects and participated in historic preservation related activities on behalf of cities, counties, federal agencies, community groups, and private individuals. Mr. Ciucevich has over 29 years of experience in the field of historic preservation focused in Georgia and neighboring states. He has considerable expertise and experience in conducting historic resources surveys, preparation of National Register of Historic Places nominations, historic preservation tax incentives, Section 106 Review, evaluations of significance based on local and national criteria, and research and documentation. Mr. Ciucevich’s professional experience and education exceeds the National Park Service Professional Qualification Standards for historic preservation published in the Code of Federal Regulations, 36 CFR Part61.

**PROFESSIONAL EXPERIENCE**

- 1995 - Present Principal and owner of Quatrefoil Historic Preservation Consulting, Savannah, Georgia.
- 2000 - 2003 Historic Preservation Planner, Middle Georgia Regional Development Center, Macon, Georgia.
- 1994 - 1995 Free-lance historic preservation consultant, Athens, Georgia.

**EDUCATION**

- M.H.P. 1998 University of Georgia, Athens, Georgia, Historic Preservation, *Historic Preservation*
- B.A. 1990 University of Georgia, Athens, Georgia, *Political Science*

**RECENT HONORS & AFFILIATIONS**

- Historic Preservation Division, Georgia Department of Natural Resources, *2007 Preservation Achievement Award*
- Tybee Island Historical Society, *2006 Preservation Achievement Award*
- Alpha Chapter of Sigma Pi Kappa (University of Georgia), *2011 Alumni Achievement Award/Preservation Professional*
- Tybee Island Historical Society Board of Directors 2010 - 2011
- Historic Savannah Foundation, *Preservation Award for the Heyward Apartments (2013), 401 East Waldburg Street (2013), Abrahams-Levy Cottage, Tybee Island (2018), and 12 West Oglethorpe/Husk, Savannah (2018)*

## Specialized Experience & Technical Competence

Together, Ward Architecture + Preservation and Quatrefoil Consulting have the most experience working to preserve Tybee Islands historic resources of any professional team. Sarah Ward and Bob Ciucevich have worked on numerous historic rehabilitation tax incentive projects on Tybee Island and continue to seek out preservation projects on the island due to our desire to see the retention of its historic character as a unique and special place. Ciucevich has worked to individually designate many "Raised Tybee Cottages" to the National Register of Historic Places (NRHP), a unique building type that he identified and defined for the Georgia Historic Preservation Division. The NRHP designation, individual or through a district, allows property owners to obtain state and federal tax incentives when undertaking a substantial rehabilitation of a historic property following the Secretary of the Interior's Standards for Rehabilitation. Sarah Ward has worked extensively in the Fort Screven National Register historic district to obtain these incentives on several properties in need of significant preservation work serving as a catalyst for surrounding improvements. Through these efforts, Ciucevich and Ward have an unmatched knowledge and understanding of the architectural features and characteristics which define the north end of Tybee Island. Sample projects highlighting our efforts are listed below and summarized on the following pages.

1. **Tybee Island Historic Resources Survey, Phase I and II, Chatham County, Georgia.** Similar to the Tybee Island Local Historic District Consultant request, Tybee Island surveys were federal grant funded projects administered by the state historic preservation office that required meeting specific deadlines, methodology measures, and coordination and approval from the Georgia Historic Preservation Division. Due to the number of resources, the survey was divided into two phases: the first phase documenting the south end of the island and the second phase documenting the north end, north of Butler Avenue. The Phase II survey report specifically recommended that a local historic district be established for the north end of the island, including Fort Screven and resources along Highway 80.
2. **Design Guidelines for the South End Business Overlay District, Tybee Island, Georgia.** This project, also partially funded by the National Park Services through Georgia's Historic Preservation Division grant program, required extensive community workshops and official public meetings by the Historic Preservation Commission, Planning Commission, and City Council. Efforts focused on listening to community concerns to retain the historic character of the commercial area while balancing the need for flexibility and limiting government oversight.
3. **Tybee Island Photographic Permanent Archival Record (PAR), Chatham County, Georgia.** The Federal Emergency Management Agency issued grant proposals to provide assistance to the City of Tybee Island and property owners to help alter buildings vulnerable to impacts from sea level rise and flooding. As a federally funded undertaking, this required mitigation to document all historic properties 50-years old or older creating an archival record of their existing condition prior to modifications (elevation).

**CITY OF TYBEE ISLAND HISTORIC RESOURCE SURVEY**



City of Tybee Island, Chatham County, Georgia

Phases I and II | 835 Historic Resources

Field Work & Report Completed 2016 - 2017



**DESCRIPTION**

Quatrefoil Historic Preservation Consulting conducted a comprehensive Historic Resource Survey of Tybee Island, Georgia in two phases from 2016 - 2017. This multi-phased survey documented and identified 835 historic resources on the entire island including three historic districts listed in the National Register of Historic Places (NRHP). Properties 40 years of age or older retaining historic integrity were documented, surveyed, and recorded through the Georgia’s Natural, Archaeological, and Historic Resource GIS (GNAHRGIS) database. Phase I of the survey encompassed the section of the island traditionally associated with the resort, which is made up of the South End and central section of the island south of Second Street. Phase II focused on the resources on the island’s North End including those properties along Highway 80 and the Fort Screven National Register Historic District. The resulting survey, including the methodology, developmental history, survey results, analysis, and recommendations, was presented to the local Tybee Island Historic Preservation Commission to assist with their planning goals, identify any properties that could be considered historic, and make recommendations on NRHP eligibility as well as future survey opportunities. Resulting recommendations included the establishment of two local historic districts, a National Register historic district encompassing the South End and central resort area, and a NRHP Multiple Property Nomination for the “Raised Tybee Cottage” building type unique to the island. This project was partially funded by the National Park Service through grants administered by the Historic Preservation Division of the Georgia Department of Community Affairs.

**REFERENCE**

Sarah Jones  
 Executive Director  
 Tybee Island Historical Society  
 (912) 786-5801  
 Sarah@tybeelighthouse.org

## DESIGN GUIDELINES FOR THE SOUTH END BUSINESS OVERLAY DISTRICT

City of Tybee Island, Chatham County, Georgia  
Completed 2019



### DESCRIPTION

Ward Architecture + Preservation partnered with Lominack Kolman Smith Architects to develop a preservation ordinance and design guidelines for the South End Business Overlay District on Tybee Island, Georgia. This effort was undertaken to assist the Tybee Island Historic Preservation Commission and Tybee Island Development Authority/Main Street program with the protection and preservation of the island’s historic commercial corridor along Tybrisa and adjacent streets. As commercial properties are particularly vulnerable to changes and heavy use, guidance was developed to identify significant characteristics that define the area and all historic resources 50 years of age or older through a reconnaissance-level survey and extensive community workshops. Through an extensive public meeting process with property owners, Main Street Board, Tybee Island Historical Society, Tybee Island Historic Preservation Commission, Planning Commission, and City Council, an ordinance was developed and adopted requiring review and approval of demolition and relocation requests of historic properties identified during the reconnaissance. A Design Guidelines Manual was developed for the South End Business Overlay District to assist property owners with preserving materials, making alterations, and constructing additions within the district. These efforts were partially funded by the National Park Service and administered through the Georgia’s Historic Preservation Division grants program available to Certified Local Governments.

### REFERENCE

George Shaw, Planning Manager  
City of Tybee Island  
403 Butler Avenue  
Tybee Island, Georgia 31328  
gshaw@cityoftybee.org  
(912) 472-5031



**TYBEE PERMANENT ARCHITECTURAL RECORD (PAR)**  
 City of Tybee Island, Chatham County, Georgia  
 Completed 2022



**DESCRIPTION**

Quatrefoil Consulting and Ward Architecture + Preservation created a photographic permanent architectural record of historic resources for the City of Tybee Island, Georgia as part of grant application and for multiple properties on Tybee Island to help mitigate potential adverse effects. This work was the result of a Federal Emergency Management Agency (FEMA) grant to elevate structures out of the flood plain in the coastal setting. This federal undertaking required compliance with Section 106 of the Historic Preservation Act of 1966 and the Statewide Programmatic Agreement through the Georgia Historic Preservation Division (HPD). Through this effort, 26 properties were fully documented per the *Georgia Guidelines for Establishing a Photographic Permanent Archival Record*. This included exterior photographs of all sides of the property, a sketch roof plan, maps, physical description, and evaluation of historical significance printed on archival paper and stored in archival folders as well as a digital record of each property to be stored with the City of Tybee Island and the HPD. This project was part of an ongoing effort by the City of Tybee Island to address adverse effects outlined in the *Tybee Island Sea-Level Rise Adaptation Plan* published in 2016.

**REFERENCE**

George Shaw, Community Development Director  
 City of Tybee Island  
 403 Butler Avenue  
 Tybee Island, Georgia 31328  
 gshaw@cityoftybee.org  
 (912) 484 - 7821

# Schedule and Budget

## SCHEDULE

All information outlined in Section B (Project Approach and Methodology) will be provided to the Tybee Island Grant Administrator on the due dates as specified in the Local Historic District Consultant RFP. Our full time, professional staff of historic preservation planners have the experience to ensure that the project will be completed on time and within budget.

January 24, 2025	Phase 1: Local Historic Resources Inventory, Updated Index, Map, and Public Meeting.
March 7, 2025	Phase 2: Developmental History, including Background Research.
March 28, 2025	Phase 3: Preparation of Nomination including the final survey report, all work from Phases 1 and 2, significance, methodology, and recommendations.
May 23, 2025	Phase 3: Preparation of the Nomination including the first draft designation ordinance and preliminary design guidelines.
June-August 2025	Phase 4: Assist with public workshops and meetings for education and public engagement.
September 12, 2025	Phase 5: Incorporate all review and public comments and prepare final designation ordinance and design guidelines. Designation to occur in October through November 2025.

The project schedule as outlined above notes approximate task completion on a 12-month calendar and is based on an estimated starting date of **November 1, 2024**.

## BUDGET

**The services described in the preceding proposal will be provided for the fee of \$30,000.**

This fee is based on the amount of work necessary to complete the project goals at the schedule deadlines above. Ward Architecture and Quatrefoil Consulting will conduct a “windshield” reconnaissance survey of approximately 101 resources constructed before 1975 and determine a local historic district boundary or boundaries if two distinct districts are apparent. A report will be developed to establish the historical significance and designate the local historic district(s). This information will be used to assist with community workshops and public meetings to obtain important input from property owners, businesses, residents and review bodies. All will be incorporated into the final designation ordinance and design guidelines for the Fort Screven historic district and the North Campbell Avenue neighborhood.

The proposed budget is based on the identified five (5) phases of work:

- Phase 1: Windshield Survey
- Phase 2: Developmental History
- Phase 3: Preparation of Nomination Documents
- Phase 4: Education and Public Engagement
- Phase 5: Nomination of Local Historic District(s)

### Phase 1: Windshield Survey

Labor: 7 hours for survey x 2 Historic Preservation (HP) Planners	\$1,400.00
8 hours for index and building/boundary map x 2 HP Planners	\$1,600.00
10 hours for GNAHRGIS update x 2 HP Planners	\$2,000.00
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Total for Phase 1 (50 hours @ \$100/hour)	\$5,000.00



**Phase 2: Developmental History**

Labor: 10 hours for background research x 2 HP Planners	\$2,000.00
10 hours for report preparation x 2 HP Planners	\$2,000.00
<hr/>	
Total for Phase 2 (40 hours @ \$100/hour)	\$4,000.00

**Phase 3: Preparation of Nomination**

Labor: 55 hours x 2 Historic Preservation Planners	\$11,000.00
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Total for Phase 3 (110 hours @ \$100/hour)	\$11,000.00

**Phase 4: Education and Public Engagement**

Labor: 27.5 hours x 2 Historic Preservation Planners	\$5,500.00
Expenses: Visual aids, boards, hard copy materials	\$500.00
<hr/>	
Total for Phase 3 (55 hours @ \$100/hour plus expenses)	\$6,000.00

**Phase 5: Nomination of Local Historic District(s)**

Labor: 20 hours x 2 Historic Preservation Planners	\$4,000.00
<hr/>	
Total for Phase 3 (40 hours @ \$100/hour)	\$4,000.00

**Total for Local Historic District Consulting** **\$30,000.00**

## References

**Luciana M. Spracher, C.A.**

*Municipal Archives Director*  
City of Savannah  
P.O. Box 1027  
Savannah, Georgia 31402  
(912) 663-7075  
[Lspracher@savannahga.gov](mailto:Lspracher@savannahga.gov)

Project Description: National Register of Historic Places Designations for the Savannah Water Works Pump House and the Springfield Terrace School

**Susan Adler, MA**

*CEO & President*  
Historic Savannah Foundation  
321 E. York Street  
Savannah, Georgia 31401  
(912) 233-7787  
[sadler@myhsf.org](mailto:sadler@myhsf.org)

Project Description: National Register of Historic Places Designation for the Kiah Museum

**Mayor R. Allen Haywood**

*Sparta-Hancock Development Authority*  
City of Sparta  
P.O. Box H  
Sparta, GA 31087  
(706) 444-5753 office  
[spartamayor@bellsouth.net](mailto:spartamayor@bellsouth.net)

Project Description: Historic Resource Survey for Sparta, Georgia

## Project Understanding

As provided in Section B of this proposal, our team has a full understanding of the project requirements and the work necessary to designate the Fort Screven historic district and North Campbell neighborhood as local historic districts, either together as one or as two distinct areas. As a former municipal planner in Charleston, South Carolina and Savannah, Georgia and continued member of the American Institute of Certified Planners, Ms. Ward has first-hand experience in working with local historic districts both in their designation and everyday practice. Working with property owners, residents, and businesses is an essential part to any successful designation effort and is an integral part of this scope of work. The same is true for working with appointed commission members and elected offices. Both Mr. Ciucevich and Ms. Ward work continuously on state and federal designations of individual properties and historic districts and have a strong understanding of what makes these resources significant including their collective characteristics and architectural features. This information will be used to develop design guidelines specifically tailored to the local districts with community input.

## Quality Assurance

Together Ward Architecture + Preservation and Quatrefoil Consulting, Inc. have internal control measures for ensuring that our deliverables and products are of the highest quality. We are each small businesses whose reputations are dependent on “word-of-mouth” and recommendations from our clients. As such, it is extremely important that we work to exceed expectations, often extending our scopes to ensure their satisfaction. Having done over 40 HPD grant-funded projects, we are able to demonstrate our ability to meet quality requirements of Georgia’s Historic Preservation Division and their rigorous review process and deadlines. As planners, we are well-experienced in public meetings to help advocate for historic preservation and present preservation-related zoning changes. We are happy to provide full samples of any of our prior projects to further demonstrate our quality assurance to you.

# **SECTION E**

## **ATTACHMENTS**

ATTACHMENT A

CITY OF TYBEE - INSTRUCTIONS TO RESPONDENT SIGNATURE SHEET

The Respondent certifies that he/she has examined all documents contained in this RFP package, and is familiar with all aspects of the RFP and understands fully all that is required of the successful Respondent. The Respondent further certifies that his/her Proposal will not be withdrawn for sixty (60) days from the date on which his Proposal is submitted to the City.

The Respondent agrees, if awarded this Contract, he/she will:

- A. Furnish, upon receipt of an authorized City of Tybee Island Purchase Order, all items indicated thereon as specified in this RFP for the Proposal amount; or,
- B. Enter a contract with City of Tybee Island to do and/or furnish everything necessary to provide the service and/or accomplish the work as stated and/or specified in this RFP for the Proposal amount, and;

WARD ARCH + PRES  
COMPANY  
Smart Ward  
SIGNATURE  
(912) 596-4240  
TELEPHONE NUMBER

9-30-2024  
DATE  
President & CEO  
TITLE

**MINORITY/FEMALE BUSINESS DEVELOPMENT PROGRAM:** City of Tybee Island City Council established goals oriented to increase participation of minority and female owned businesses, through MBE/WBE certification and development. In order to accurately document participation, businesses submitting bids, quotes or proposals are encouraged to report ownership status. A minority or women business is defined as a business that is at least 51% owned and managed by minority or women.

A responder that is certified by any agency of the Federal Government or State of Georgia may submit a copy of their certification with their Proposal as proof of qualifications. Respondent that intends to engage in joint ventures or utilize sub-consultants must submit a report of Minority/Women Business Enterprise participation to Melissa Freeman, P.O. Box 2749, and City of Tybee Island, GA 31328.

African-American/Black \_\_\_ Asian American \_\_\_ Hispanic \_\_\_ Native American \_\_\_  
Alaskan Indian \_\_\_ Female

ATTACHMENT B

CONTRACTOR AFFIDAVIT under O.C.G.A. § 13-10-91(b) (1)

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of CITY OF TYBEE ISLAND has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91. Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

27-3952443 Co ID No: 2144532 (E-Verify)  
Federal Work Authorization User Identification Number

5-9-2023  
Date of Authorization

Sarah Ward  
Name of Contractor

\_\_\_\_\_  
Name of Project

WARD ARCHITECTURE PC  
Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

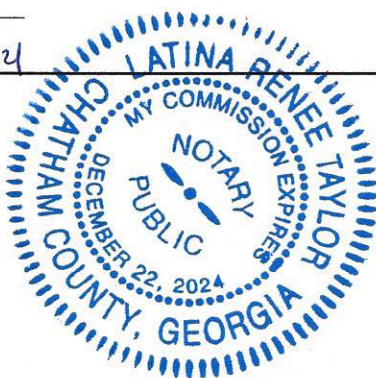
Executed on 9/30/24 in Sav (city), GA (state).

Sarah P. Ward  
Signature of Authorized Officer or Agent

SARAH P. WARD  
Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE 30<sup>th</sup> DAY OF Sept., 2024

Latina Renee Taylor  
NOTARY PUBLIC  
My Commission Expires: 12/22/24





ATTACHMENT C

O.C.G.A. § 50-36-1(e)(2) Affidavit

By executing this affidavit under oath, as an applicant for a(n) \_\_\_\_\_ contract for a public benefit as referenced in O.C.G.A. § 50-36-1, from the CITY OF TYBEE ISLAND, Georgia, the undersigned applicant verifies one of the following with respect to my application for a public benefit:

- 1) X I am a United States citizen.
- 2) \_\_\_\_\_ I am a legal permanent resident of the United States.
- 3) \_\_\_\_\_ I am a qualified alien or non-immigrant under the Federal Immigration and Nationality Act with an alien number issued by the Department of Homeland Security or other federal immigration agency.

My alien number issued by the Department of Homeland Security or other federal immigration agency is \_\_\_\_\_.

The undersigned applicant also hereby verifies that he or she is 18 years of age or older and has provided at least one secure and verifiable document, as required by O.C.G.A. § 50-36-1(e)(1), with this affidavit.

The secure and verifiable document provided with this affidavit can best be classified as: \_\_\_\_\_

In making the above representation under oath, I understand that any person who knowingly and willfully makes a false, fictitious, or fraudulent statement or representation in an affidavit will be guilty of a violation of O.C.G.A. § 16-10-20, and face criminal penalties as allowed by such criminal statute.

Executed in Savannah (city), Georgia (state).

Sarah P. Ward  
Signature of Applicant

SARAH P. WARD  
Printed Name of Applicant

SUBSCRIBED AND SWORN BEFORE ME ON THE 30<sup>th</sup> DAY OF September, 2024

Katrina Taylor  
NOTARY PUBLIC  
My Commission Expires: 12/22/2024



ATTACHMENT D

CITY OF TYBEE ISLAND VENDOR INFORMATION

Vendor Name: Ward Architecture + Presentation

Product or Services Provided: Consulting

Sales Contact Information

Contact: Sarah Ward Email: sward@wardarch.com

Phone: 912-596-4240 Fax: \_\_\_\_\_

Address: 625 East 44th Street, Savannah, GA 31405

Accounts Receivable Information

Contact: Sarah Ward Email: sward@wardarch.com

Phone: 912-596-4240 Fax: \_\_\_\_\_

Remittance Address: 625 East 44th Street, Savannah, GA 31405

Federal Tax Id #: 27-3952443

**Attach Copy of W-9 and Current Business License**

Provide Copy of Worker's Comp Coverage when providing any service involving labor on City property.  
Our terms are net 30

# Request for Taxpayer Identification Number and Certification

Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

**Give form to the  
requester. Do not  
send to the IRS.**

**Before you begin.** For guidance related to the purpose of Form W-9, see *Purpose of Form*, below.

<b>Print or type.</b> See <i>Specific Instructions</i> on page 3.	<b>1</b> Name of entity/individual. An entry is required. (For a sole proprietor or disregarded entity, enter the owner's name on line 1, and enter the business/disregarded entity's name on line 2.) <b>Sarah Ward</b>		
	<b>2</b> Business name/disregarded entity name, if different from above. <b>Ward Architecture PC</b>		
	<b>3a</b> Check the appropriate box for federal tax classification of the entity/individual whose name is entered on line 1. Check only <b>one</b> of the following seven boxes. <input type="checkbox"/> Individual/sole proprietor <input type="checkbox"/> C corporation <input checked="" type="checkbox"/> S corporation <input type="checkbox"/> Partnership <input type="checkbox"/> Trust/estate <input type="checkbox"/> LLC. Enter the tax classification (C = C corporation, S = S corporation, P = Partnership) _____ <b>Note:</b> Check the "LLC" box above and, in the entry space, enter the appropriate code (C, S, or P) for the tax classification of the LLC, unless it is a disregarded entity. A disregarded entity should instead check the appropriate box for the tax classification of its owner. <input type="checkbox"/> Other (see instructions) _____		
	<b>3b</b> If on line 3a you checked "Partnership" or "Trust/estate," or checked "LLC" and entered "P" as its tax classification, and you are providing this form to a partnership, trust, or estate in which you have an ownership interest, check this box if you have any foreign partners, owners, or beneficiaries. See instructions _____ <input type="checkbox"/> <i>(Applies to accounts maintained outside the United States.)</i>		
	<b>5</b> Address (number, street, and apt. or suite no.). See instructions. <b>625 East 44th Street</b>	<b>Requester's name and address (optional)</b>	
	<b>6</b> City, state, and ZIP code <b>Savannah, GA, 31405</b>		
	<b>7</b> List account number(s) here (optional)		

## Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

<b>Social security number</b>									
<b>or</b>									
<b>Employer identification number</b>									
2	7	-	3	9	5	2	4	4	3

**Note:** If the account is in more than one name, see the instructions for line 1. See also *What Name and Number To Give the Requester* for guidelines on whose number to enter.

## Part II Certification

Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and, generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

<b>Sign Here</b>	Signature of U.S. person	Date <b>September 30, 2024</b>
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## General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

## What's New

Line 3a has been modified to clarify how a disregarded entity completes this line. An LLC that is a disregarded entity should check the appropriate box for the tax classification of its owner. Otherwise, it should check the "LLC" box and enter its appropriate tax classification.

New line 3b has been added to this form. A flow-through entity is required to complete this line to indicate that it has direct or indirect foreign partners, owners, or beneficiaries when it provides the Form W-9 to another flow-through entity in which it has an ownership interest. This change is intended to provide a flow-through entity with information regarding the status of its indirect foreign partners, owners, or beneficiaries, so that it can satisfy any applicable reporting requirements. For example, a partnership that has any indirect foreign partners may be required to complete Schedules K-2 and K-3. See the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

## Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS is giving you this form because they

must obtain your correct taxpayer identification number (TIN), which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid).
- Form 1099-DIV (dividends, including those from stocks or mutual funds).
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds).
- Form 1099-NEC (nonemployee compensation).
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers).
- Form 1099-S (proceeds from real estate transactions).
- Form 1099-K (merchant card and third-party network transactions).
- Form 1098 (home mortgage interest), 1098-E (student loan interest), and 1098-T (tuition).
- Form 1099-C (canceled debt).
- Form 1099-A (acquisition or abandonment of secured property).

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

**Caution:** If you don't return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding*, later.

**By signing the filled-out form**, you:

1. Certify that the TIN you are giving is correct (or you are waiting for a number to be issued);
2. Certify that you are not subject to backup withholding; or
3. Claim exemption from backup withholding if you are a U.S. exempt payee; and
4. Certify to your non-foreign status for purposes of withholding under chapter 3 or 4 of the Code (if applicable); and
5. Certify that FATCA code(s) entered on this form (if any) indicating that you are exempt from the FATCA reporting is correct. See *What Is FATCA Reporting*, later, for further information.

**Note:** If you are a U.S. person and a requester gives you a form other than Form W-9 to request your TIN, you must use the requester's form if it is substantially similar to this Form W-9.

**Definition of a U.S. person.** For federal tax purposes, you are considered a U.S. person if you are:

- An individual who is a U.S. citizen or U.S. resident alien;
- A partnership, corporation, company, or association created or organized in the United States or under the laws of the United States;
- An estate (other than a foreign estate); or
- A domestic trust (as defined in Regulations section 301.7701-7).

**Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding.** Payments made to foreign persons, including certain distributions, allocations of income, or transfers of sales proceeds, may be subject to withholding under chapter 3 or chapter 4 of the Code (sections 1441–1474). Under those rules, if a Form W-9 or other certification of non-foreign status has not been received, a withholding agent, transferee, or partnership (payor) generally applies presumption rules that may require the payor to withhold applicable tax from the recipient, owner, transferor, or partner (payee). See Pub. 515, *Withholding of Tax on Nonresident Aliens and Foreign Entities*.

The following persons must provide Form W-9 to the payor for purposes of establishing its non-foreign status.

- In the case of a disregarded entity with a U.S. owner, the U.S. owner of the disregarded entity and not the disregarded entity.
- In the case of a grantor trust with a U.S. grantor or other U.S. owner, generally, the U.S. grantor or other U.S. owner of the grantor trust and not the grantor trust.
- In the case of a U.S. trust (other than a grantor trust), the U.S. trust and not the beneficiaries of the trust.

**Foreign person.** If you are a foreign person or the U.S. branch of a foreign bank that has elected to be treated as a U.S. person (under Regulations section 1.1441-1(b)(2)(iv) or other applicable section for chapter 3 or 4 purposes), do not use Form W-9. Instead, use the appropriate Form W-8 or Form 8233 (see Pub. 515). If you are a qualified foreign pension fund under Regulations section 1.897(l)-1(d), or a partnership that is wholly owned by qualified foreign pension funds, that is treated as a non-foreign person for purposes of section 1445 withholding, do not use Form W-9. Instead, use Form W-8EXP (or other certification of non-foreign status).

**Nonresident alien who becomes a resident alien.** Generally, only a nonresident alien individual may use the terms of a tax treaty to reduce or eliminate U.S. tax on certain types of income. However, most tax treaties contain a provision known as a saving clause. Exceptions specified in the saving clause may permit an exemption from tax to continue for certain types of income even after the payee has otherwise become a U.S. resident alien for tax purposes.

If you are a U.S. resident alien who is relying on an exception contained in the saving clause of a tax treaty to claim an exemption from U.S. tax on certain types of income, you must attach a statement to Form W-9 that specifies the following five items.

1. The treaty country. Generally, this must be the same treaty under which you claimed exemption from tax as a nonresident alien.
2. The treaty article addressing the income.
3. The article number (or location) in the tax treaty that contains the saving clause and its exceptions.
4. The type and amount of income that qualifies for the exemption from tax.
5. Sufficient facts to justify the exemption from tax under the terms of the treaty article.

**Example.** Article 20 of the U.S.-China income tax treaty allows an exemption from tax for scholarship income received by a Chinese student temporarily present in the United States. Under U.S. law, this student will become a resident alien for tax purposes if their stay in the United States exceeds 5 calendar years. However, paragraph 2 of the first Protocol to the U.S.-China treaty (dated April 30, 1984) allows the provisions of Article 20 to continue to apply even after the Chinese student becomes a resident alien of the United States. A Chinese student who qualifies for this exception (under paragraph 2 of the first Protocol) and is relying on this exception to claim an exemption from tax on their scholarship or fellowship income would attach to Form W-9 a statement that includes the information described above to support that exemption.

If you are a nonresident alien or a foreign entity, give the requester the appropriate completed Form W-8 or Form 8233.

## Backup Withholding

**What is backup withholding?** Persons making certain payments to you must under certain conditions withhold and pay to the IRS 24% of such payments. This is called "backup withholding." Payments that may be subject to backup withholding include, but are not limited to, interest, tax-exempt interest, dividends, broker and barter exchange transactions, rents, royalties, nonemployee pay, payments made in settlement of payment card and third-party network transactions, and certain payments from fishing boat operators. Real estate transactions are not subject to backup withholding.

You will not be subject to backup withholding on payments you receive if you give the requester your correct TIN, make the proper certifications, and report all your taxable interest and dividends on your tax return.

**Payments you receive will be subject to backup withholding if:**

1. You do not furnish your TIN to the requester;
2. You do not certify your TIN when required (see the instructions for Part II for details);
3. The IRS tells the requester that you furnished an incorrect TIN;
4. The IRS tells you that you are subject to backup withholding because you did not report all your interest and dividends on your tax return (for reportable interest and dividends only); or
5. You do not certify to the requester that you are not subject to backup withholding, as described in item 4 under "*By signing the filled-out form*" above (for reportable interest and dividend accounts opened after 1983 only).

Item #9. 515 for more information on providing a Form W-9 or a

on of non-foreign status to avoid withholding.



Certain payees and payments are exempt from backup withholding. See *Exempt payee code*, later, and the separate Instructions for the Requester of Form W-9 for more information.

See also *Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding*, earlier.

## What Is FATCA Reporting?

The Foreign Account Tax Compliance Act (FATCA) requires a participating foreign financial institution to report all U.S. account holders that are specified U.S. persons. Certain payees are exempt from FATCA reporting. See *Exemption from FATCA reporting code*, later, and the Instructions for the Requester of Form W-9 for more information.

## Updating Your Information

You must provide updated information to any person to whom you claimed to be an exempt payee if you are no longer an exempt payee and anticipate receiving reportable payments in the future from this person. For example, you may need to provide updated information if you are a C corporation that elects to be an S corporation, or if you are no longer tax exempt. In addition, you must furnish a new Form W-9 if the name or TIN changes for the account, for example, if the grantor of a grantor trust dies.

## Penalties

**Failure to furnish TIN.** If you fail to furnish your correct TIN to a requester, you are subject to a penalty of \$50 for each such failure unless your failure is due to reasonable cause and not to willful neglect.

**Civil penalty for false information with respect to withholding.** If you make a false statement with no reasonable basis that results in no backup withholding, you are subject to a \$500 penalty.

**Criminal penalty for falsifying information.** Willfully falsifying certifications or affirmations may subject you to criminal penalties including fines and/or imprisonment.

**Misuse of TINs.** If the requester discloses or uses TINs in violation of federal law, the requester may be subject to civil and criminal penalties.

## Specific Instructions

### Line 1

You must enter one of the following on this line; **do not** leave this line blank. The name should match the name on your tax return.

If this Form W-9 is for a joint account (other than an account maintained by a foreign financial institution (FFI)), list first, and then circle, the name of the person or entity whose number you entered in Part I of Form W-9. If you are providing Form W-9 to an FFI to document a joint account, each holder of the account that is a U.S. person must provide a Form W-9.

- **Individual.** Generally, enter the name shown on your tax return. If you have changed your last name without informing the Social Security Administration (SSA) of the name change, enter your first name, the last name as shown on your social security card, and your new last name.

**Note for ITIN applicant:** Enter your individual name as it was entered on your Form W-7 application, line 1a. This should also be the same as the name you entered on the Form 1040 you filed with your application.

- **Sole proprietor.** Enter your individual name as shown on your Form 1040 on line 1. Enter your business, trade, or “doing business as” (DBA) name on line 2.

- **Partnership, C corporation, S corporation, or LLC, other than a disregarded entity.** Enter the entity’s name as shown on the entity’s tax return on line 1 and any business, trade, or DBA name on line 2.

- **Other entities.** Enter your name as shown on required U.S. federal tax documents on line 1. This name should match the name shown on the charter or other legal document creating the entity. Enter any business, trade, or DBA name on line 2.

- **Disregarded entity.** In general, a business entity that has a single owner, including an LLC, and is not a corporation, is disregarded as an entity separate from its owner (a disregarded entity). See Regulations section 301.7701-2(c)(2). A disregarded entity should check the appropriate box for the tax classification of its owner. Enter the owner’s name on line 1. The name of the owner entered on line 1 should never be the name of the disregarded entity. The name on line 1 should be the name shown on the tax return on which the income should be reported. For

example, if a foreign LLC that is treated as a disregarded entity for U.S. federal tax purposes has a single owner that is a U.S. person, the U.S. owner’s name is required to be provided on line 1. If the direct owner of the entity is also a disregarded entity, enter the first owner that is not disregarded for federal tax purposes. Enter the disregarded entity’s name on line 2. If the owner of the disregarded entity is a foreign person, the owner must complete an appropriate Form W-8 instead of a Form W-9. This is the case even if the foreign person has a U.S. TIN.

### Line 2

If you have a business name, trade name, DBA name, or disregarded entity name, enter it on line 2.

### Line 3a

Check the appropriate box on line 3a for the U.S. federal tax classification of the person whose name is entered on line 1. Check only one box on line 3a.

IF the entity/individual on line 1 is a(n) . . .	THEN check the box for . . .
• Corporation	Corporation.
• Individual or • Sole proprietorship	Individual/sole proprietor.
• LLC classified as a partnership for U.S. federal tax purposes or • LLC that has filed Form 8832 or 2553 electing to be taxed as a corporation	Limited liability company and enter the appropriate tax classification: P = Partnership, C = C corporation, or S = S corporation.
• Partnership	Partnership.
• Trust/estate	Trust/estate.

### Line 3b

Check this box if you are a partnership (including an LLC classified as a partnership for U.S. federal tax purposes), trust, or estate that has any foreign partners, owners, or beneficiaries, and you are providing this form to a partnership, trust, or estate, in which you have an ownership interest. You must check the box on line 3b if you receive a Form W-8 (or documentary evidence) from any partner, owner, or beneficiary establishing foreign status or if you receive a Form W-9 from any partner, owner, or beneficiary that has checked the box on line 3b.

**Note:** A partnership that provides a Form W-9 and checks box 3b may be required to complete Schedules K-2 and K-3 (Form 1065). For more information, see the Partnership Instructions for Schedules K-2 and K-3 (Form 1065).

If you are required to complete line 3b but fail to do so, you may not receive the information necessary to file a correct information return with the IRS or furnish a correct payee statement to your partners or beneficiaries. See, for example, sections 6698, 6722, and 6724 for penalties that may apply.

### Line 4 Exemptions

If you are exempt from backup withholding and/or FATCA reporting, enter in the appropriate space on line 4 any code(s) that may apply to you.

#### Exempt payee code.

- Generally, individuals (including sole proprietors) are not exempt from backup withholding.
- Except as provided below, corporations are exempt from backup withholding for certain payments, including interest and dividends.
- Corporations are not exempt from backup withholding for payments made in settlement of payment card or third-party network transactions.
- Corporations are not exempt from backup withholding with respect to attorneys’ fees or gross proceeds paid to attorneys, and corporations that provide medical or health care services are not exempt with respect to payments reportable on Form 1099-MISC.

The following codes identify payees that are exempt from backup withholding. Enter the appropriate code in the space on line 4.

1—An organization exempt from tax under section 501(a), any IRA, or a custodial account under section 403(b)(7) if the account satisfies the requirements of section 401(f)(2).

- 2—The United States or any of its agencies or instrumentalities.
- 3—A state, the District of Columbia, a U.S. commonwealth or territory, or any of their political subdivisions or instrumentalities.
- 4—A foreign government or any of its political subdivisions, agencies, or instrumentalities.
- 5—A corporation.
- 6—A dealer in securities or commodities required to register in the United States, the District of Columbia, or a U.S. commonwealth or territory.
- 7—A futures commission merchant registered with the Commodity Futures Trading Commission.
- 8—A real estate investment trust.
- 9—An entity registered at all times during the tax year under the Investment Company Act of 1940.
- 10—A common trust fund operated by a bank under section 584(a).
- 11—A financial institution as defined under section 581.
- 12—A middleman known in the investment community as a nominee or custodian.
- 13—A trust exempt from tax under section 664 or described in section 4947.

The following chart shows types of payments that may be exempt from backup withholding. The chart applies to the exempt payees listed above, 1 through 13.

IF the payment is for . . .	THEN the payment is exempt for . . .
• Interest and dividend payments	All exempt payees except for 7.
• Broker transactions	Exempt payees 1 through 4 and 6 through 11 and all C corporations. S corporations must not enter an exempt payee code because they are exempt only for sales of noncovered securities acquired prior to 2012.
• Barter exchange transactions and patronage dividends	Exempt payees 1 through 4.
• Payments over \$600 required to be reported and direct sales over \$5,000 <sup>1</sup>	Generally, exempt payees 1 through 5. <sup>2</sup>
• Payments made in settlement of payment card or third-party network transactions	Exempt payees 1 through 4.

<sup>1</sup> See Form 1099-MISC, Miscellaneous Information, and its instructions.

<sup>2</sup> However, the following payments made to a corporation and reportable on Form 1099-MISC are not exempt from backup withholding: medical and health care payments, attorneys' fees, gross proceeds paid to an attorney reportable under section 6045(f), and payments for services paid by a federal executive agency.

**Exemption from FATCA reporting code.** The following codes identify payees that are exempt from reporting under FATCA. These codes apply to persons submitting this form for accounts maintained outside of the United States by certain foreign financial institutions. Therefore, if you are only submitting this form for an account you hold in the United States, you may leave this field blank. Consult with the person requesting this form if you are uncertain if the financial institution is subject to these requirements. A requester may indicate that a code is not required by providing you with a Form W-9 with "Not Applicable" (or any similar indication) entered on the line for a FATCA exemption code.

A—An organization exempt from tax under section 501(a) or any individual retirement plan as defined in section 7701(a)(37).

B—The United States or any of its agencies or instrumentalities.

C—A state, the District of Columbia, a U.S. commonwealth or territory, or any of their political subdivisions or instrumentalities.

D—A corporation the stock of which is regularly traded on one or more established securities markets, as described in Regulations section 1.1472-1(c)(1)(i).

E—A corporation that is a member of the same expanded affiliated corporation described in Regulations section 1.1472-1(c)(1)(i).

F—A dealer in securities, commodities, or derivative financial instruments (including notional principal contracts, futures, forwards, and options) that is registered as such under the laws of the United States or any state.

G—A real estate investment trust.

H—A regulated investment company as defined in section 851 or an entity registered at all times during the tax year under the Investment Company Act of 1940.

I—A common trust fund as defined in section 584(a).

J—A bank as defined in section 581.

K—A broker.

L—A trust exempt from tax under section 664 or described in section 4947(a)(1).

M—A tax-exempt trust under a section 403(b) plan or section 457(g) plan.

**Note:** You may wish to consult with the financial institution requesting this form to determine whether the FATCA code and/or exempt payee code should be completed.

**Line 5**

Enter your address (number, street, and apartment or suite number). This is where the requester of this Form W-9 will mail your information returns. If this address differs from the one the requester already has on file, enter "NEW" at the top. If a new address is provided, there is still a chance the old address will be used until the payor changes your address in their records.

**Line 6**

Enter your city, state, and ZIP code.

**Part I. Taxpayer Identification Number (TIN)**

**Enter your TIN in the appropriate box.** If you are a resident alien and you do not have, and are not eligible to get, an SSN, your TIN is your IRS ITIN. Enter it in the entry space for the Social security number. If you do not have an ITIN, see *How to get a TIN* below.

If you are a sole proprietor and you have an EIN, you may enter either your SSN or EIN.

If you are a single-member LLC that is disregarded as an entity separate from its owner, enter the owner's SSN (or EIN, if the owner has one). If the LLC is classified as a corporation or partnership, enter the entity's EIN.

**Note:** See *What Name and Number To Give the Requester*, later, for further clarification of name and TIN combinations.

**How to get a TIN.** If you do not have a TIN, apply for one immediately. To apply for an SSN, get Form SS-5, Application for a Social Security Card, from your local SSA office or get this form online at [www.SSA.gov](http://www.SSA.gov). You may also get this form by calling 800-772-1213. Use Form W-7, Application for IRS Individual Taxpayer Identification Number, to apply for an ITIN, or Form SS-4, Application for Employer Identification Number, to apply for an EIN. You can apply for an EIN online by accessing the IRS website at [www.irs.gov/EIN](http://www.irs.gov/EIN). Go to [www.irs.gov/Forms](http://www.irs.gov/Forms) to view, download, or print Form W-7 and/or Form SS-4. Or, you can go to [www.irs.gov/OrderForms](http://www.irs.gov/OrderForms) to place an order and have Form W-7 and/or Form SS-4 mailed to you within 15 business days.

If you are asked to complete Form W-9 but do not have a TIN, apply for a TIN and enter "Applied For" in the space for the TIN, sign and date the form, and give it to the requester. For interest and dividend payments, and certain payments made with respect to readily tradable instruments, you will generally have 60 days to get a TIN and give it to the requester before you are subject to backup withholding on payments. The 60-day rule does not apply to other types of payments. You will be subject to backup withholding on all such payments until you provide your TIN to the requester.

**Note:** Entering "Applied For" means that you have already applied for a TIN or that you intend to apply for one soon. See also *Establishing U.S. status for purposes of chapter 3 and chapter 4 withholding*, earlier, for when you may instead be subject to withholding under chapter 3 or 4 of the Code.

**Caution:** A disregarded U.S. entity that has a foreign owner must use the appropriate Form W-8.



## Part II. Certification

To establish to the withholding agent that you are a U.S. person, or resident alien, sign Form W-9. You may be requested to sign by the withholding agent even if item 1, 4, or 5 below indicates otherwise.

For a joint account, only the person whose TIN is shown in Part I should sign (when required). In the case of a disregarded entity, the person identified on line 1 must sign. Exempt payees, see *Exempt payee code*, earlier.

**Signature requirements.** Complete the certification as indicated in items 1 through 5 below.

**1. Interest, dividend, and barter exchange accounts opened before 1984 and broker accounts considered active during 1983.** You must give your correct TIN, but you do not have to sign the certification.

**2. Interest, dividend, broker, and barter exchange accounts opened after 1983 and broker accounts considered inactive during 1983.** You must sign the certification or backup withholding will apply. If you are subject to backup withholding and you are merely providing your correct TIN to the requester, you must cross out item 2 in the certification before signing the form.

**3. Real estate transactions.** You must sign the certification. You may cross out item 2 of the certification.

**4. Other payments.** You must give your correct TIN, but you do not have to sign the certification unless you have been notified that you have previously given an incorrect TIN. "Other payments" include payments made in the course of the requester's trade or business for rents, royalties, goods (other than bills for merchandise), medical and health care services (including payments to corporations), payments to a nonemployee for services, payments made in settlement of payment card and third-party network transactions, payments to certain fishing boat crew members and fishermen, and gross proceeds paid to attorneys (including payments to corporations).

**5. Mortgage interest paid by you, acquisition or abandonment of secured property, cancellation of debt, qualified tuition program payments (under section 529), ABLE accounts (under section 529A), IRA, Coverdell ESA, Archer MSA or HSA contributions or distributions, and pension distributions.** You must give your correct TIN, but you do not have to sign the certification.

## What Name and Number To Give the Requester

For this type of account:	Give name and SSN of:
1. Individual	The individual
2. Two or more individuals (joint account) other than an account maintained by an FFI	The actual owner of the account or, if combined funds, the first individual on the account <sup>1</sup>
3. Two or more U.S. persons (joint account maintained by an FFI)	Each holder of the account
4. Custodial account of a minor (Uniform Gift to Minors Act)	The minor <sup>2</sup>
5. a. The usual revocable savings trust (grantor is also trustee)	The grantor-trustee <sup>1</sup>
b. So-called trust account that is not a legal or valid trust under state law	The actual owner <sup>1</sup>
6. Sole proprietorship or disregarded entity owned by an individual	The owner <sup>3</sup>
7. Grantor trust filing under Optional Filing Method 1 (see Regulations section 1.671-4(b)(2)(i)(A))**	The grantor*

For this type of account:	Give name and EIN of:
8. Disregarded entity not owned by an individual	The owner
9. A valid trust, estate, or pension trust	Legal entity <sup>4</sup>
10. Corporation or LLC electing corporate status on Form 8832 or Form 2553	The corporation
11. Association, club, religious, charitable, educational, or other tax-exempt organization	The organization
12. Partnership or multi-member LLC	The partnership
13. A broker or registered nominee	The broker or nominee
14. Account with the Department of Agriculture in the name of a public entity (such as a state or local government, school district, or prison) that receives agricultural program payments	The public entity
15. Grantor trust filing Form 1041 or under the Optional Filing Method 2, requiring Form 1099 (see Regulations section 1.671-4(b)(2)(i)(B))**	The trust

<sup>1</sup> List first and circle the name of the person whose number you furnish. If only one person on a joint account has an SSN, that person's number must be furnished.

<sup>2</sup> Circle the minor's name and furnish the minor's SSN.

<sup>3</sup> You must show your individual name on line 1, and enter your business or DBA name, if any, on line 2. You may use either your SSN or EIN (if you have one), but the IRS encourages you to use your SSN.

<sup>4</sup> List first and circle the name of the trust, estate, or pension trust. (Do not furnish the TIN of the personal representative or trustee unless the legal entity itself is not designated in the account title.)

\* **Note:** The grantor must also provide a Form W-9 to the trustee of the trust.

\*\* For more information on optional filing methods for grantor trusts, see the Instructions for Form 1041.

**Note:** If no name is circled when more than one name is listed, the number will be considered to be that of the first name listed.

## Secure Your Tax Records From Identity Theft

Identity theft occurs when someone uses your personal information, such as your name, SSN, or other identifying information, without your permission to commit fraud or other crimes. An identity thief may use your SSN to get a job or may file a tax return using your SSN to receive a refund.

To reduce your risk:

- Protect your SSN,
- Ensure your employer is protecting your SSN, and
- Be careful when choosing a tax return preparer.

If your tax records are affected by identity theft and you receive a notice from the IRS, respond right away to the name and phone number printed on the IRS notice or letter.

If your tax records are not currently affected by identity theft but you think you are at risk due to a lost or stolen purse or wallet, questionable credit card activity, or a questionable credit report, contact the IRS Identity Theft Hotline at 800-908-4490 or submit Form 14039.

For more information, see Pub. 5027, Identity Theft Information for Taxpayers.

Victims of identity theft who are experiencing economic harm or a systemic problem, or are seeking help in resolving tax problems that have not been resolved through normal channels, may be eligible for Taxpayer Advocate Service (TAS) assistance. You can reach TAS by calling the TAS toll-free case intake line at 877-777-4778 or TTY/TDD 800-829-4059.

**Protect yourself from suspicious emails or phishing schemes.**

Phishing is the creation and use of email and websites designed to mimic legitimate business emails and websites. The most common act is sending an email to a user falsely claiming to be an established legitimate enterprise in an attempt to scam the user into surrendering private information that will be used for identity theft.

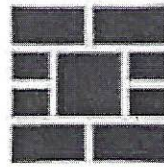
The IRS does not initiate contacts with taxpayers via emails. Also, the IRS does not request personal detailed information through email or ask taxpayers for the PIN numbers, passwords, or similar secret access information for their credit card, bank, or other financial accounts.

If you receive an unsolicited email claiming to be from the IRS, forward this message to [phishing@irs.gov](mailto:phishing@irs.gov). You may also report misuse of the IRS name, logo, or other IRS property to the Treasury Inspector General for Tax Administration (TIGTA) at 800-366-4484. You can forward suspicious emails to the Federal Trade Commission at [spam@uce.gov](mailto:spam@uce.gov) or report them at [www.ftc.gov/complaint](http://www.ftc.gov/complaint). You can contact the FTC at [www.ftc.gov/idtheft](http://www.ftc.gov/idtheft) or 877-IDTHEFT (877-438-4338). If you have been the victim of identity theft, see [www.IdentityTheft.gov](http://www.IdentityTheft.gov) and Pub. 5027.

Go to [www.irs.gov/IdentityTheft](http://www.irs.gov/IdentityTheft) to learn more about identity theft and how to reduce your risk.

## Privacy Act Notice

Section 6109 of the Internal Revenue Code requires you to provide your correct TIN to persons (including federal agencies) who are required to file information returns with the IRS to report interest, dividends, or certain other income paid to you; mortgage interest you paid; the acquisition or abandonment of secured property; the cancellation of debt; or contributions you made to an IRA, Archer MSA, or HSA. The person collecting this form uses the information on the form to file information returns with the IRS, reporting the above information. Routine uses of this information include giving it to the Department of Justice for civil and criminal litigation and to cities, states, the District of Columbia, and U.S. commonwealths and territories for use in administering their laws. The information may also be disclosed to other countries under a treaty, to federal and state agencies to enforce civil and criminal laws, or to federal law enforcement and intelligence agencies to combat terrorism. You must provide your TIN whether or not you are required to file a tax return. Under section 3406, payors must generally withhold a percentage of taxable interest, dividends, and certain other payments to a payee who does not give a TIN to the payor. Certain penalties may also apply for providing false or fraudulent information.

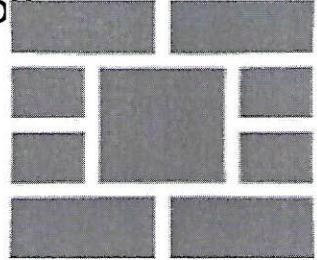


305 FAHM ST | PO BOX 1228 | SAVANNAH, GA 31402-1228 | (912) 651-6445

## 2024 BUSINESS TAX CERTIFICATE

Expires: December 31, 2024

WARD ARCHITECTURE PC  
dba WARD ARCHITECTURE & PRESERVATION  
625 E 44TH ST



Business Owner(s): SARAH WARD

Permit # PSL20150215 Additional Info:

NAICS: 541310 Tax Class: C

Classification: Architectural Services

**THIS CERTIFICATE MUST BE DISPLAYED PROMINENTLY IN THE BUSINESS**

PM ID: 33067

JB 4/5/2024 2:12:43PM

REVENUE DEPARTMENT  
305 FAHM ST  
PO BOX 1228  
SAVANNAH, GA 31402-1228  
(912) 651-6445

*Above is your 2024 City of Savannah Business Tax Certificate. Please post it in a prominent place at your business. A pocket-sized license card is below. Please be sure to keep this card on you at all times. If any information appearing on the certificate is incorrect, please contact the Revenue Department at the address or phone number above.*

SAVANNAH  
Revenue Department



2024 BUSINESS TAX CERTIFICATE  
Permit #PSL20150215 NAICS: 541310 (C)  
Architectural Services Additional Info:

WARD ARCHITECTURE PC  
dba WARD ARCHITECTURE & PRESERVATION

Item #9. H ST  
RD, Owner

WARD ARCHITECTURE, PC  
625 E 44TH ST  
SAVANNAH GA 31405



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
9/25/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b>  STERLING SEACREST PRITCHARD INC 2500 CUMBERLAND PKWY#400 ATLANTA GA 30339	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): (855) 235-8562 E-MAIL ADDRESS: Certificate@Hanover.com	<b>FAX (A/C, No):</b> (866) 828-2424
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b>  WARD ARCHITECTURE PC DBA WARD ARCHITECTURE & PRESERVATION 625 EAST 44TH STREET SAVANNAH GA 31405	<b>INSURER A:</b> Citizens Ins Co of America	<b>NAIC #</b> 31534
	<b>INSURER B:</b> Hanover Insurance Co	22292
	<b>INSURER C:</b> Hanover American Ins Co	36064
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
<b>INSURER F:</b>		

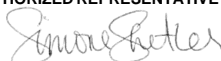
**COVERAGES****CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:	N	N	OBA H593684 03	05/17/2024	05/17/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> <b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> <b>EXCESS LIAB</b> <input checked="" type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$	N	N	OBA H593684 03	05/17/2024	05/17/2025	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000 \$
C	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	N	WZA H593496 03	05/17/2024	05/17/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
B	Architects & Engineers Prof Liab	N	N	LHA H610577 03	05/17/2024	05/17/2025	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER****CANCELLATION**

CITY OF TYBEE ISLAND 403 BUTLER AVENUE TYBEE ISLAND GA 31328 Item #9.	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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ATTACHMENT E  
PROPOSAL SHEET  
RFP 2024-779  
HISTORIC DISTRICT CONSULTANT

Please provide price per phase of the project.

Phase One: Local Historic Resources Inventory Update	\$ <u>5,000.00</u>
Phase Two: Developmental History	\$ <u>4,000.00</u>
Phase Three: Preparation of Nomination Documents	\$ <u>11,000.00</u>
Phase Four: Education and Public Engagement	\$ <u>6,000.00</u>
Phase Five: Nomination of LHD for Designation	\$ <u>4,000.00</u>
TOTAL PROJECT COST:	\$ <u>30,000.00</u>
COST PER ADDITIONAL MEETING(S) IF NECESSARY	\$ <u>200/hr</u>

Commented [T02]: Do you want them to price each phase?

WARD ARCH + PRES (Firm)

Sarah D. Ward (Signature)

President & CEO (Title)

9-30-2024 (Date)



ATTACHMENT F

CHECK LIST FOR SUBMITTING PROPOSAL

Sign below and submit this sheet with proposal

NOTE: All of the following items must be submitted with your Proposal to be considered "responsive". Remember to follow the Instructions in the RFP Documents.

SIGNED ADDENDUMS (IF APPLICABLE)	<u>X</u>
W-9	<u>X</u>
OCCUPATIONAL TAX CERTIFICATE	<u>X</u>
CERTIFICATE OF INSURANCE	<u>X</u>

COMPLETE AND SUBMIT ALL ATTACHMENTS TO THE PROPOSAL:

A. SIGNATURE SHEET	<u>X</u>
B. CONTRACTOR AFFIDAVIT	<u>X</u>
C. SAVE AFFIDAVIT	<u>X</u>
D. VENDOR INFORMATION	<u>X</u>
E. PROPOSAL SHEET	<u>X</u>
F. CHECK LIST	<u>X</u>

Sarah Ward, President & CEO  
NAME/TITLE

WARD ARCHITECTURE + PRESERVATION  
COMPANY NAME

625 E. 44th Street  
ADDRESS

Savannah / GA / 31405  
CITY/STATE/ZIP

912-596-4240  
PHONE NUMBER

sward@wardarch.com  
EMAIL

Sarah Ward  
SIGNATURE





# City of Tybee Island - Request for Proposal (RFP) Evaluation Form

## RFP 2024-779 Historic District Consultant

**Project Title:** Development of a Local Historic District for the Fort Screven National Register Historic District and the North Campbell Neighborhood

**RFP Number:** 2024-779

**Evaluator Name:** Holly Grell-Lawe, HPC Chair

**Date:** 10/2/2024

### Evaluation Criteria

Please evaluate each proposal based on the following criteria. Provide scores and comments for each section.

CRITERIA	POSSIBLE POINTS
Professional Qualifications	20
Specialized Experience and Technical Competence	20
Capacity to Accomplish the Required Services on Schedule and within Budget	20
Past Performance	15
Understanding of Project	15
Quality Assurance	10

#### 1. Professional Qualifications (0-20 Points)

Score: 20

Comments: The professional qualifications of the consultants are extensive, evident within the proposal, clearly established by their outstanding reputations in the historic preservation community, prior work for the City of Tybee Island, and their work on 40 HPD grant-funded historic preservation projects.

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**2. Specialized Experience and Technical Competence (0-20 Points)**

Score: 20

The consultants have extensive specialized experience and demonstrated technical competence in historic preservation, including the elements required for this project, such as historic resource surveys, design guidelines, research, nomination documentation, photographic architectural records, and public presentations. In addition, their previous historic preservation work on Tybee Island is highly notable and a potentially significant asset to this project.

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**3. Capacity to Accomplish the Required Services on Schedule and within Budget (0-20 Points)**

Score: 18

The positive, widespread reputations of the consultants is well known. They may well be in high demand and the current level of their existing project commitments is not fully known. However, the consultants' work on dozens of HPD grant-funded projects indicates that they are experienced with meeting non-negotiable activity timelines and schedules for deliverables. This provides confidence that the required services will be provided on schedule and within budget.

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**4. Past Performance (0-15 Points)**

Score: 15

Successful (and relevant) past performance is clearly established, including historic preservation related projects on Tybee Island, many of which this reviewer is familiar with. In addition, this reviewer has heard positive reviews of the consultants' work in informal conversations with persons who have used their services to help attain National Register listing for their historic property on Tybee, or to help access tax incentives for historic rehabilitation.

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**5. Understanding of Project (0-15 Points)**

Score: 15

Proposal indicates a solid understanding of local historic district designation, the processes involved, and the key factors for success, including public outreach and engagement.

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**6. Quality Assurance (0-10 Points)**

Score: 10

This reviewer has found the high quality of the consultants' deliverables for the three Tybee projects highlighted in the proposal (Historic Resource Surveys, Southend Design Guidelines, PARs for FEMA Elevation Grants) to be exemplary. Along with this, their experience in meeting the quality assurance demands of HPD in over 40 HPD grant-funded projects provides assurance of their internal controls and their focus on generating high quality products and results.

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Total Score (out of 100):**

98

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**Final Recommendation:**

- Highly Recommended
- Recommended
- Not Recommended

**Evaluator Comments:**

The consultants have impressive professional qualifications, extensive hands-on experience with all the elements embedded in each phase of this project, and a history of successful historic preservation related projects on Tybee. I am confident that this project would be well executed by them.

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**Evaluator Signature:** Holly Grell-Lawe      **Date:** 10/2/2024

*This evaluation form helps ensure an objective and thorough assessment of all RFP submissions for the City of Tybee Island.*



## City of Tybee Island - Request for Proposal (RFP) Evaluation Form

### RFP 2024-779 Historic District Consultant

**Project Title:** Development of a Local Historic District for Fort Screven National Register Historic District and the North Campbell Neighborhood

**RFP Number:** 2024-779

**Evaluator Name:** Sarah Jones **Date:** October 4, 2024

### Evaluation Criteria

Please evaluate each proposal based on the following criteria. Provide scores and comments for each section.

CRITERIA	POSSIBLE POINTS
Professional Qualifications	20
Specialized Experience and Technical Competence	20
Capacity to Accomplish the Required Services on Schedule and within Budget	20
Past Performance	15
Understanding of Project	15
Quality Assurance	10

#### 1. Professional Qualifications (0-20 Points)

Score: 20

Comments: Together, Sarah Ward and Bob Ciucevich form a team that combines academic rigor, practical experience, and a collaborative approach, making them highly qualified to lead the effort in establishing a local historic district.

## **2. Specialized Experience and Technical Competence (0-20 Points)**

Score: 20

Comments: Ward's deep understanding of architectural history and urban development allows her to assess the significance of both individual properties and districts as a whole, guiding the process from documentation through to formal designation. Ciucevich has led numerous historic district projects, including the preparation of National Register nominations and local historic district designation efforts. His work on Tybee Island's Historic Resource Survey has ensured the protection of Tybee Island's historic resources while also promoting economic development and neighborhood revitalization.

## **3. Capacity to Accomplish the Required Services on Schedule and within Budget (0-20 Points)**

Score: 20

Comments: Ward and Ciucevich have a proven ability to maximize their individual strengths to ensure both timely and cost-effective project delivery. Their combined experience in managing historic preservation projects of varying sizes and complexities ensures that they are well-equipped to handle the logistical and financial challenges that can arise during district designation processes.

## **4. Past Performance (0-15 Points)**

Score: 15

Comments: Ward and Ciucevich have a proven track record of delivering projects on schedule, a deep expertise in the preparation of thorough and accurate documentation for historic district nominations, and a strong collaboration with local governments and preservation boards, ensuring smooth project execution and regulatory approval.

## **5. Understanding of Project (0-15 Points)**

Score: 15

Comments: Ward and Ciucevich bring a deep and comprehensive understanding of the process required to establish a local historic district. Their approach is built on a nuanced understanding of the regulatory frameworks, community dynamics, and technical documentation required to ensure successful district designation.

## **6. Quality Assurance (0-10 Points)**

Score: 10

Comments: Ward and Ciucevich prioritize a thorough and systematic quality assurance (QA) process to ensure the highest standards are met throughout every phase of the local historic district designation project. Their QA approach includes careful planning, documentation, stakeholder communication, and compliance with regulatory standards.

**Total Score (out of 100):**

100

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**Final Recommendation:**

- Highly Recommended**
- Recommended
- Not Recommended

**Evaluator Comments:**

As the Executive Director of The Tybee Island Historical Society, I have had the privilege of working with Sarah Ward and Bob Ciucevich on numerous historic preservation projects over the past 15 years. In every instance, I have been highly satisfied with their professionalism, attention to detail, and commitment to preserving the historical and architectural integrity of each project. Their deep understanding of preservation processes, coupled with their ability to engage community stakeholders, has consistently led to the successful preservation projects always on time and within budget. Their collaborative approach has made them invaluable partners in achieving our preservation goals.

**Evaluator Signature:** \_\_\_\_\_  \_\_\_\_\_ **Date:** 10/04/2024

*This evaluation form helps ensure an objective and thorough assessment of all RFP submissions for the City of Tybee Island.*





# City of Tybee Island - Request for Proposal (RFP) Evaluation Form

## RFP 2024-779 Historic District Consultant

**Project Title:** Develop a Local Historic District (LHD) for the Fort Screven National Register Historic District (NRHD) and the North Campbell Neighborhood (NCN)

**RFP Number:** 2024-779

**Evaluator Name:** Cassidi Kendrick

**Date:** 10/2/2024

### Evaluation Criteria

Please evaluate each proposal based on the following criteria. Provide scores and comments for each section.

CRITERIA	POSSIBLE POINTS
Professional Qualifications	20
Specialized Experience and Technical Competence	20
Capacity to Accomplish the Required Services on Schedule and within Budget	20
Past Performance	15
Understanding of Project	15
Quality Assurance	10

#### 1. Professional Qualifications (0-20 Points)

Score: 20

**Comments:** The consultants very clearly define their experience and education that make them qualified to complete this project. This project is extensive as it is five phases and requires a diverse skillset with completing historic resource surveys, district/property designations and nominations, design guidelines, and working with the public/local government entities. They also highlight previous projects completed specifically focused on Tybee Island.

**2. Specialized Experience and Technical Competence (0-20 Points)**

Score: 20

Comments: The consultant demonstrates a strong level of specialized experience and technical competence in this proposal. They have a proven track record of successfully completing similar projects, some of which on Tybee Island. Their proposed methodology was comprehensive and concise, showcasing their understanding of the project and th need for attention to detail.

**3. Capacity to Accomplish the Required Services on Schedule and within Budget (0-20 Points)**

Score: 19

Comments: This proposal demonstrates the consultants ability to complete the project within the given budget, and on time with the schedule that is dictated in part by DCA. This project has hard deadlines and will require attention to set due dates. The consultant team indicates their ability to meet these deadlines based off several previously completed CLG Grant projects, with Tybee Island and across the state of Georgia.

**4. Past Performance (0-15 Points)**

Score: 15

Comments: The consultant team has successfully completed several historic preservation projects, not limited to district designations, historic resource surveys and other HPD funded projects.

**5. Understanding of Project (0-15 Points)**

Score: 15

Comments: The proposal showcased the consultant team's expertise in historic district planning, public engagement, and the complexities of historic preservation initiatives as a sensitive topic requiring extensive public engagement and community input. Their proposal demonstrates their understanding of the area and how previous projects completed on Tybee Island may be useful for the development of this project.

**6. Quality Assurance (0-10 Points)**

Score: 10

Comments: The Tybee Island HPC has previously worked with these consultants on several historic preservation projects outlined in the proposal. The consultants have been very professional, completed all deliverables and have showcased the ability to produce high quality work.

**Total Score (out of 100):**

99

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**Final Recommendation:**

- Highly Recommended
- Recommended
- Not Recommended

**Evaluator Comments:**

These consultants have an impressive portfolio of historic preservation work in the Tybee Island area and other parts of the country. Overall, their proposed approach to the completion of this project is well-aligned with the HPC's objectives of this CLG Grant project.

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**Evaluator Signature:** Cassidi Kendrick      **Date:** 10/2/2024

*This evaluation form helps ensure an objective and thorough assessment of all RFP submissions for the City of Tybee Island.*



# City of Tybee Island - Request for Proposal (RFP) Evaluation Form

## RFP 2024-779 Historic District Consultant

**Project Title: LOCAL HISTORIC DISTRICT CONSULTANT**

**RFP Number: RFP No. 2024-779**

**Evaluator Name: Patricia Sinel**

**Date: October 2, 2024**

### Evaluation Criteria

Please evaluate each proposal based on the following criteria. Provide scores and comments for each section.

CRITERIA	POSSIBLE POINTS
Professional Qualifications	20
Specialized Experience and Technical Competence	20
Capacity to Accomplish the Required Services on Schedule and within Budget	20
Past Performance	15
Understanding of Project	15
Quality Assurance	10

#### 1. Professional Qualifications (0-20 Points)

Score: 20

Comments: Consultants have required educational background and professional certifications to complete the project

#### 2. Specialized Experience and Technical Competence (0-20 Points)

Score: 20

Comments: Consultants have uniquely relevant experience related to the project and other directly related projects for Tybee Island specifically.

**3. Capacity to Accomplish the Required Services on Schedule and within Budget (0-20 Points)**

Score: 20

Comments: The consultants have submitted a proposal that meets the anticipated deadline.

**4. Past Performance (0-15 Points)**

Score: 14

Comments: Consultants have submitted examples of past performance. Consultant should update reference information for future responses.

**5. Understanding of Project (0-15 Points)**

Score: 15

Comments: The proposal provides a clear understanding of the project at hand the type of work to be done.

**6. Quality Assurance (0-10 Points)**

Score: 10

Comments: The proposal demonstrates numerous examples of producing high quality work. Referenced plans and projects were reviewed by this evaluator for content and clarity.

**Total Score (out of 100): 99**


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**Final Recommendation:**

- **Highly Recommended: This Consultant Team is highly recommended.**

**Evaluator Comments:**

This evaluator had the opportunity to review the consultants' education, work, and achievement experience. The proposal meet or exceeds the criteria laid out in the advertised RFP. Based on past projects, experience and interest is the project is clearly present.

Evaluator Signature:  Date: October 2, 2024

*This evaluation form helps ensure an objective and thorough assessment of all RFP submissions for the City of Tybee Island.*





**City of Tybee Island - Request for Proposal (RFP) Evaluation Form**

**RFP 2024-779 Historic District Consultant**

**Project Title:** Local Historic District (LHD) for the Fort Screven National Register Historic District (NRHD) and the North Campbell Neighborhood (NCN)

**RFP Number:** 2024-779

**Evaluator Name:** Maggie Wright **Date:** October 3, 2024

**Evaluation Criteria**

Please evaluate each proposal based on the following criteria. Provide scores and comments for each section.

CRITERIA	POSSIBLE POINTS
Professional Qualifications	20
Specialized Experience and Technical Competence	20
Capacity to Accomplish the Required Services on Schedule and within Budget	20
Past Performance	15
Understanding of Project	15
Quality Assurance	10

**1. Professional Qualifications (0-20 Points)**

Score: 20

Comments: Professional qualifications are laid out in great detail. Ward Architecture + Preservation and Quatrefoil Consulting Inc. bring over 50 years of combined experience working with Georgia’s historic properties, with a special emphasis on Tybee Island. Their extensive collaboration on numerous projects makes them a strong choice to help the HPC establish our very first local historic district.

## **2. Specialized Experience and Technical Competence (0-20 Points)**

Score:   20  

Comments: The consultants' previous experience on Tybee Island is clearly communicated and thoroughly explained. Ward Architecture + Preservation and Quatrefoil Consulting have a long record of projects that aim to preserve Tybee's historic resources. Sarah Ward and Bob Ciucevich have led multiple preservation projects here, including the Tybee Island Historic Resources Survey (Phases I and II), Design Guidelines for the South End Business Overlay District, and the Photographic Permanent Archival Record (PAR). Their dedication to protecting Tybee's unique character is evident in their ongoing work.

## **3. Capacity to Accomplish the Required Services on Schedule and within Budget (0-20 Points)**

Score:   19  

Comments: The schedule and budget Ward Architecture + Preservation and Quatrefoil Consulting have outlined aligns with our project timeline. It is noted that their full-time staff have the experience and will have the project completed on time and within budget.

## **4. Past Performance (0-15 Points)**

Score:   15  

Comments: Ward Architecture + Preservation and Quatrefoil Consulting are highly regarded for their expertise in historic preservation, having successfully completed several significant projects on Tybee Island. These include the Tybee Island Historic Resources Survey (Phases I and II), the Design Guidelines for the South End Business Overlay District, and the Photographic Permanent Archival Record (PAR).

## **5. Understanding of Project (0-15 Points)**

Score:   15  

Comments: It is clear from Section B and the Project Understanding section that the consultants have a clear and full understanding of the requirements and workload of designating our first local historic district.

## **6. Quality Assurance (0-10 Points)**

Score:   10  

Comments: Ward Architecture + Preservation and Quatrefoil Consulting have assured that they have the internal control measures to produce quality work on schedule and within budget. Their reputations on Tybee Island also prove that they have been very successful in our community.

Total Score (out of 100): 99/100

**Final Recommendation:**

- Highly Recommended
- Recommended
- Not Recommended

**Evaluator Comments:**

I am confident that Ward Architecture + Preservation and Quatrefoil Consulting are the ideal consultants for establishing our first local historic district. Both firms are highly respected for their expertise in historic preservation and have successfully delivered several notable projects on Tybee Island. With their proven track record, I am certain this project will be in capable hands and completed with the highest level of professionalism.

Evaluator Signature: Maggie Wright Date: October 3, 2024

*This evaluation form helps ensure an objective and thorough assessment of all RFP submissions for the City of Tybee Island.*

**File Attachments for Item:**

10. Legislative Services Annual Agreement: Civic Forward Strategies, LLC (Tom Gehl, Principal)



# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: October 4, 2024  
Re: Legislative Services Annual Agreement

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### Title

Legislative Services Annual Agreement

### Action

Adoption of an annual professional services agreement with Civic Forward Strategies for legislative services in an amount totaling \$4,500 per month.

### Background

In 2023 the City signed a professional services agreement with Civic Forward Strategies LLC (Tom Gehl, Principal) to lobby on behalf of the City of Tybee Island on proposed legislation related to unpermitted large special events. In addition, and at no additional cost, the City utilized the firm's services to advance the City's position on other matters of importance to Tybee Island. The total cost was \$25,000.

The City received a significant return on this investment. Successes during the 2024 General Assembly included:

- Passage of SB 443, which allows jurisdictions to bring nuisance claims against the promoters of unpermitted special events that pose public safety threats and cause major traffic congestion, requiring costs by City taxpayers.
- Helped secure \$4 million in funding from the State to help cover the local share of our next beach renourishment.
- Secured passage of legislation authorizing Tybee Island Municipal Court to impose technology fees on citations to pay for needed equipment such as computers, Flock cameras and other technology.
- Enhanced Tybee Island's relationship with State agencies such as the Georgia State Patrol, the Department of Natural Resources, the Department of Community Affairs, and the State House/Senate Study Committee on Disaster Mitigation and Resiliency.

### Facts and Findings

Based on this level of success, the City Manager recommends adoption of a new annual professional services agreement with Civic Forward Strategies LLC for the 2025 Legislative Session and beyond.

Civic Forward Strategies would work with Tybee City Council to develop a Legislative Agenda, which will include at a minimum:

1. Defending the City's ability to regulate short-term rentals within our jurisdiction, which will face significant challenges this session from the vacation rental industry.
2. Working with State agencies to create long-term water supply solutions for Tybee Island
3. Diversifying the City's revenue sources to help fund the City's water, wastewater and stormwater infrastructure needs.

Civic Forward Strategies will provide monthly reports on

### Funding

The contract is to secure State legislative services at a monthly retainer of \$4,500, or \$54,000 annually.

Any travel costs for meetings with legislators or executive branch staff in Atlanta would be borne by Civic Forward Strategies. Should attendance be required for meetings in other locations across the state, Civic Forward Strategies would be reimbursed for actual travel and any lodging costs.

The FY25 Budget includes \$30,000 for State advocacy costs. The remaining FY25 balance of roughly \$10,000 will be funded through the City Manager Contract Services budget line 100-1320-52-1200. Contractual costs during FY26 will be incurred in the FY26 Budget.

### Purchasing Notes

The City of Tybee Island Procurement Policy states that normal competitive bidding procedures are not ordinarily required for professional services contracts.

Civic Forward Strategies' fee of \$4,500 per month is well in line with industry standards. The City of Savannah, for instance, pays \$8,500 monthly for State legislative services. Tybee Island's previous agreement with Civic Forward Strategies was for services related to a single piece of legislation for a lump sum fee of \$25,000.

This proposed annual contract will run from Oct. 10, 2024, through Oct. 10, 2025. The City of Tybee Island may terminate the agreement at no penalty with 30 days' notice.

### Alternatives

1. Adoption of an annual professional services agreement with Civic Forward Strategies for legislative services in an amount totaling \$4,500 per month.
2. Receive no representation during the 2025 Legislative Session.

### Recommendation

That Council adopts Alternative 1.



## For Governmental Relations Services for the City of Tybee Island

September 2024

### Review of Accomplishments

In 2023-2024, Civic Forward Strategies proactively developed a strategy and lobbied on behalf of the city of Tybee Island for the passage of a general law which gives local governments enhanced powers to respond to unpermitted special events which arise or are planned and promoted through social media. Civic Forward Strategies, in concert with members of the Tybee Island legislative delegation, worked with members of the General Assembly to secure passage of Senate Bill 443 to bring nuisance claims against promoters of unpermitted events which pose public safety threats, cause major traffic congestion and incur costs to the city's taxpayers.

Civic Forward Strategies worked with legislators to secure \$4 million in funding for beach renourishment and lobbied to secure passage of legislation authorizing the Tybee Island Municipal Court to impose technology fees on citations to pay for needed equipment like computers, Flock cameras and other technology as determined by the city.

### Professional Price Arrangements

For governmental relations services necessary to navigate the legislative process Civic Forward Strategies proposes for the City of Tybee Island a monthly retainer of \$4,500, beginning on October 1, 2024. This agreement shall continue until either party gives 30 days' advanced notice of intent to terminate or is not continued by inaction of the governing body on an annual basis.

Civic Forward Strategies will proactively lobby on behalf of the city on any issues as directed by the Mayor and Council, such as defending the city's ability to regulate short-term rentals within its jurisdiction, protecting the city's ability to augment its water supply to meet growth demands, and pursuing access to a municipal option sales tax (MOST) which would allow retail spending on the island to be used for water, wastewater and stormwater costs.

Any travel costs for meetings with legislators or executive branch staff in Atlanta would be borne by Civic Forward Strategies. Should attendance be required for meetings in other locations across the state, Civic Forward Strategies asks for reimbursement of actual travel and any lodging costs. Travel, lodging, meals, and out-of-pocket expenses will always be discussed with the point of contact in the City of Tybee Island prior to expenditure.

**TOM GEHL**

Civic Forward Strategies, [www.civicforwardstrategies.com](http://www.civicforwardstrategies.com)

[TomGehl@CivicForwardStrategies.com](mailto:TomGehl@CivicForwardStrategies.com)

**Firm Principles**

Civic Forward Strategies is an independent governmental affairs firm centered in political reality, upholding the highest ethical standards, and focused on client results.

Civic Forward Strategies' Founder and Principal Tom Gehl has extensive bi-partisan, statewide political relationships cultivated beginning with every consecutive General Assembly session since 1990 and through wide-ranging involvement with thought-leaders throughout Georgia. Prior to founding Civic Forward Strategies, Tom lobbied on behalf of all municipal governments for the Georgia Municipal Association (GMA) for 22 years. For more information, visit: [www.civicforwardstrategies.com](http://www.civicforwardstrategies.com).

**Acceptance of the Proposal**

\_\_\_\_\_, \_\_\_\_\_,

City of Tybee Island: \_\_\_\_\_

Date: \_\_\_\_\_

**File Attachments for Item:**

11. End of Fiscal Year Budget Amendment



# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: Sept 29, 2024  
Re: End of fiscal year budget amendment

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### Title

FY24 Year End Budget Amendment

### Action

Adoption of FY24 budget amendment.

### Background

State Law requires the City to adopt a balanced budget each fiscal year. The budget requires constant management, as adjustments must be made due to unforeseen expenditures and revenue fluctuations. At the end of each fiscal year, the City must make a final budget amendment before closing out the books to ensure expenditures are aligned with budget.

Attached is the end of year budget amendment to align actual department expenditures within budget amounts. The department budgets with a deficit are supplemented by other department budgets with a budget surplus resulting in no net affect to total expenditures.

### Facts and Findings

1. The City must reconcile any General Fund dept budget deficits on an annual basis by increasing budget revenues, using surplus or supplementing with other department surpluses.
2. The year-end budget closeout revealed the City exceeded budgeted expenditures totaling \$140,000 in four departments.
3. The City can supplement department deficits with other department surpluses.
4. The following General Fund departments had deficits and for the following reasons:
  - Finance – City credit card user fees and service costs were higher than anticipated. The city continues to look for ways to reduce these costs.
  - Human Resources – The 2023 annual workers comp audit resulted in a higher premium cost than anticipated.
  - Court – For financial statement presentation only. GASB 84 states all court fiduciary activity must be accounted for at gross amounts. This has zero effect on actual costs.
  - Public Works – All General Fund utility costs were accounted for in the Public Works department, power costs were much higher than anticipated. Staff vacancies also resulted in higher overtime costs.

Funding

Funding for the above department deficits will be supplemented by the following department budget surpluses:

Legal 100-1110-52-1000	\$100,000
IT Contract Services	\$42,000

Alternatives

1. Approve the year-end budget amendment as recommended.
2. Provide other guidance.

Recommendation

Approval of Alternative 1.

**CITY OF TYBEE ISLAND, GEORGIA**  
**BUDGET LINE ITEM TRANSFER REQUEST FORM**



Submitted By: JRA

Department: Finance

Date: 9/25/2024

Date Received by Finance: \_\_\_\_\_

Purpose: To reconcile general fund department budget overages and surpluses

Department	Account Description	Account Number	Current Budget	(Expenditures)	Budget Balance	Requested Budget Adjustment	Adjusted Budget Balance
<b>LINE ITEM DECREASES</b>							
Council	Legal	100-1110-52-1000	400,000.00	299,898.00	100,102.00	100,000.00	102.00
	Contract Services	100-1535-52-1200	926,319.00	876,738.00	49,581.00	42,000.00	7,581.00
					0.00	0.00	0.00
					0.00	0.00	0.00
					0.00	0.00	0.00
					0.00	0.00	0.00
					0.00	0.00	0.00
<b>SUBTOTAL LINE ITEM DECREASES:</b>						<b>\$ 142,000.00</b>	<b>xx</b>

Department	Account Description	Account Number	Current Budget	(Expenditures)	Budget Balance	...	INCREASE	Budget Balance
<b>LINE ITEM INCREASES</b>								
Finance	Service Charges / Fees	100-1510-52-3990	275,000.00	327,975.00	(52,975.00)		15,000.00	(37,975.00)
HR	Workers Comp Insurance	100-1540-52-2700	182,020.00	307,057.00	(125,037.00)		71,000.00	(54,037.00)
Court	Contract Services	100-2650-52-1200	512,640.00	532,830.00	(20,190.00)		16,000.00	(4,190.00)
PW	Overtime	100-4210-51-1300	65,000.00	113,497.00	(48,497.00)		20,000.00	(28,497.00)
PW	Utilities	100-4210-53-1230	310,800.00	327,813.00	(17,013.00)		20,000.00	2,987.00
					0.00			0.00
					0.00			0.00
<b>SUBTOTAL LINE ITEM INCREASES:</b>						<b>xx</b>	<b>\$ 142,000.00</b>	
<b>Net Change</b>						<b>\$ 142,000.00</b>	<b>\$ 142,000.00</b>	<b>\$ -</b>

Signature: Jen Ammerell Date: 9/25/24

Was the Budget Amendment Request approved by the City Council? YES  NO  A

Signature of Finance Employee who Processed the Request: \_\_\_\_\_ Date: \_\_\_\_\_

If yes, please indicate the date approval was given: \_\_\_\_\_ Attach Copy of Agenda Item and minutes from the City Council Meeting

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_



File Attachments for Item:

**12. A RESOLUTION TO ACCEPT A NATIONAL FISH AND WILDLIFE  
GRANT AGREEMENT TO UNDERTAKE THE FINAL DESIGN AND PERMITTING OF  
PROJECTS IN THE BACK RIVER AREA A RESOLUTION TO ACCEPT A NATIONAL FISH  
AND WILDLIFE GRANT AGREEMENT TO UNDERTAKE THE FINAL DESIGN AND  
PERMITTING OF PROJECTS IN THE BACK RIVER AREA**



# City of Tybee Island

## Memorandum

To: City of Tybee Island City Council  
From: Bret Bell, City Manager  
Date: October 3, 2024  
Re: Acceptance of National Fish and Wildlife Grant

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### Title

Resolution to accept a National Fish and Wildlife (NFWF) Grant

### Action

Adoption of Resolution to accept NFWF Grant totaling \$180,000 for final design and permitting of the 6<sup>th</sup> Street Culvert Replacement, raising Venetian Drive, and other nature-based stormwater improvements.

### Background

The City was awarded a \$125,000 NFWF National Coastal Resilience Program (NCRP) Grant in 2020 to assess flood mitigation in the Back River, resulting in the Tybee Island Natural Infrastructure Plan. The City's cost share was \$175,000.

The City defined a series of projects to mitigate flooding, principally replacing the 6<sup>th</sup> Street culvert, raising Venetian Drive approximately 18 inches from Chatham Avenue to 12<sup>th</sup> Street with living shoreline and improved bike and pedestrian lanes, and nature-based drainage along the length of the island.

The City applied for another NCRP Grant in April 2023, and in November 2023 the City was named the recipient of a \$380,000 grant to bring those projects to Final Design and Permitting. The City has now completed the required documentation for this phase. Total anticipated cost of this phase of the project is \$700,000, of which Tybee Island would be required to commit \$320,000 in local funds. The project is planned to begin in 2025. Tybee Island has until December 31, 2027, to complete the project.

### Facts and Findings

1. The projects defined within the scope of this Agreement have been identified through the Natural Infrastructure Master Plan as top priorities to mitigate flooding from the Back River.
2. The design of these projects was considered in the City's Stormwater Management Plan, which was undertaken at the same time. The two plans are integrated.

3. The deliverable of this project will be 90% construction design and at minimum a DNR Marsh Protection Act Permit application in process to present to the DNR Marsh Protection Act Committee for consideration and approval at a future date.
4. The Resident Advisory group formed during the first phase of this project will remain in place, augmented by residents directly adjoining the project areas on Venetian Drive and 6<sup>th</sup> Street culvert. The Technical Advisory Group will also remain in place, augmented by representatives of the surrounding counties for whom Tybee's beach and marsh are amenities valued by the residents of those counties.

#### Funding

The City's cost share of \$320,000 for this Grant was not included in the FY25 budget. This expenditure, however, is expected to be incurred over the next two fiscal years to coincide with planned design and permitting expenditures. Funding will come from a combination of operating budget funds, surplus and fund balance. A specific budget amendment will be presented to City Council at a later date to fund Tybee Island's FY25 share of the design cost. The City's anticipated FY26 cost will be included in the FY26 budget.

#### Purchasing Notes

Not applicable.

#### Alternatives

1. Accept the NFWF Grant and develop funding plan for FY25 and FY26 Tybee Island cost share. Project start date is flexible if budget issues arise.
2. Decline acceptance of the Grant and forego future grant opportunities from NFWF.

#### Recommendation

That Council adopts Alternative 1.

**A RESOLUTON 2024-\_\_**

**A RESOLUTION TO ACCEPT A NATIONAL FISH AND WILDLIFE GRANT  
AGREEMENT TO UNDERTAKE THE FINAL DESIGN AND PERMITTING  
OF PROJECTS IN THE BACK RIVER AREA**

**Whereas**, the City of Tybee Island (“City”) has invested significant time and money in working with a variety of agencies including the US Army Corps of Engineers and the Georgia Department of Natural Resources to build and maintain its coastal resilience through a variety of initiatives, and

**Whereas**, the City was awarded a National Fish and Wildlife Foundation National Coastal Resilience Program (NCRP) Grant in 2020 to assess flood mitigation in the Back River, and

**Whereas**, the City defined a series of projects to mitigate flooding and applied for another NCRP Grant and has been awarded a Grant to bring those projects to Final Design and Permitting based on that application project definition, scope, rationale, and goals, and

**Whereas**, a condition of acceptance of that Grant is that City commit to spend \$320,000 on the project and funds in the amount of \$320,000 are available in the City’s General Fund and have been identified as the City’s contribution under the Grant Agreement,

**Now therefore**, be it resolved by the Mayor and Council of the City of Tybee Island, in open meeting duly assembled, that the Mayor is hereby authorized to execute all appropriate documents in connection with the Agreement and Grant with the National Fish and Wildlife Foundation, and the Clerk of Council is authorized to Attest the Mayor’s signature on such documents.

This \_\_\_\_\_ day of \_\_\_\_\_, 2024.

City of Tybee Island Council

\_\_\_\_\_  
Brian West, Mayor

Attest: \_\_\_\_\_

Jan LeViner, MMC

City Clerk