

CITY COUNCIL REGULAR MEETING - AGENDA

February 3, 2025 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

- I. ROLL CALL
- II. CALL TO ORDER
- III. INVOCATION
- IV. PLEDGE OF ALLEGIANCE
- V. ANNOUNCEMENTS
- VI. CONSENT AGENDA
 - A. City Council Minutes of January 6, 2025
 - B. City Council Executive Session Minutes of January 6, 2025
 - C. December 2024 Department Reports
- VII. SPECIAL EVENTS
 - A. Temporary/Special Event Permit Application (Dispensing Alcohol) for a St. Patrick's Day Festival on March 17, 2025 at Tanger Outlets
 - B. Special Event Permit for Cirque de Paris from March 6-16, 2025 at Tanger Outlets
- VIII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS
 - A. Proclamation for World Wetlands Day on February 2, 2025
 - B. Resolution R2025-01.A Authorization to Proceed with Acquisitions and Condemnations for Pooler Parkway/Pine Barren Improvements
- IX. OUTSTANDING BUSINESS
 - A. Zoning Map Amendment for 500 Seabrook Parkway
- X. NEW BUSINESS
 - A. PUD Amendment for Jabot PUD at Harmony Subdivision, Memorial Drive, Pine Barren Road (Public Hearing, Action)

- B. Conditional Use Request for a Garage Apartment at 313 Benton Drive (Public Hearing, Action)
- C. Setback Requirement Variance Request for 200 Outlet Parkway (Public Hearing, Action)
- D. Setback Requirement Variance Request for HOM at Pooler at 100 Commons Way (Public Hearing, Action)
- E. Site Plan for Harmony Force Main Upgrade at Melody Drive/Cantata Circle
- F. Site Plan for 55 Coleman Boulevard
- G. Site Plan for 100 William Blakely Crossing
- H. Site Plan Revisions for Oxford Pooler, Phase 1, at 500 Fox Farm Street
- I. Master Services Agreement and Task Order 1 with Southern Civil for the Trenchless Sewer Rehabilitation
- J. Water and Sewer Agreement with the Mayor and Aldermen of the City of Savannah for the Jimmy DeLoach Church Properties

XI. PUBLIC COMMENT

Each commenter will be allotted three minutes.

- XII. EXECUTIVE SESSION
- XIII. ADJOURNMENT



CITY COUNCIL REGULAR MEETING - MINUTES

January 6, 2025 at 6:00 p.m. | 100 US Highway 80 SW, Pooler, GA 31322

I. ROLL CALL

Present: Karen Williams, Mayor

Wesley Bashlor, Councilmember Michael Carpenter, Councilmember Aaron Higgins, Mayor Pro Tem Tom Hutcherson, Councilmember John Wilcher, Councilmember Craig Call, City Attorney Heath Lloyd, City Manager

Chris Lightle, Chief Finance Officer

Kiley Fusco, Clerk of Council

Absent: Shannon Valim, Councilmember

II. CALL TO ORDER

Mayor Karen Williams called the meeting to order at 6:01 p.m.

III. INVOCATION

Executive Pastor Shirlinia Daniel gave the invocation.

IV. PLEDGE OF ALLEGIANCE

Executive Pastor Shirlinia Daniel led the pledge.

V. ANNOUNCEMENTS

There were no announcements.

- VI. CONSENT AGENDA
 - A. City Council Minutes of December 16, 2024
 - B. City Council Executive Session Minutes of December 16, 2024
 - C. City Council Meeting Minutes of December 30, 2024
 - D. Alcoholic Beverage License Application for Ruby Tuesday Operations, LLC DBA Ruby Tuesday #4274 at 110 Pooler Parkway (Restaurant)

Councilmember John Wilcher moved to approve the Consent Agenda.

Motion to Approve; PASSED (5-0-0)

MOVER: Wilcher SECONDER: Higgins

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

VII. SPECIAL EVENTS

A. Temporary/Special Event Permit Application (Dispensing Alcohol) for a Quinceañera at Cottonwood Suites at 301 Governor Treutlen Drive on January 25, 2025

Mayor Pro Tem Aaron Higgins moved to approve the Temporary/Special Event Permit Application (Dispensing Alcohol) for a Quinceañera at Cottonwood Suites at 301 Governor Treutlen Drive on January 25, 2025.

Motion to Approve; PASSED (5-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

VIII. ORDINANCES, PROCLAMATIONS, RESOLUTIONS

A. Proclamation for National Human Trafficking Prevention Month

Mayor Karen Williams presented Julie Wade, Tharros Place Executive Director, with a Proclamation for National Human Trafficking Prevention Month. Bill Gettis, Savannah Interagency Diversity Council Chairman, announced the upcoming Savannah Traffick Jam event to be held January 24-25, 2025 at Savannah State University.

IX. OUSTANDING BUSINESS

A. Release of Maintenance and Warranty Bond for Telfair Park, Phase 1 (Easthaven Area D)

City Manager Heath Lloyd presented the bond for consideration. Councilmember John Wilcher moved to approve the Release of Maintenance and Warranty Bond for Telfair Park, Phase 1 (Easthaven Area D) in the amount of \$380,246.03.

Motion to Approve; PASSED (5-0-0)

MOVER: Wilcher SECONDER: Bashlor

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

X. NEW BUSINESS

A. Zoning Map Amendment for 500 Seabrook Parkway (Public Hearing, Action)

City Manager Heath Lloyd presented the amendment for consideration. Attorney John Northup and John Porter were present on behalf of the petitioner. Mayor Karen Williams opened the public hearing. Citizen Sherry Ellis commented, and Mayor Karen Williams closed the public hearing. Mayor Pro Tem Aaron Higgins moved to postpone the Zoning Map Amendment for 500 Seabrook Parkway until such time that the petitioner hold a community information session at a location to be determined, potentially City Hall or the proposed site at 500 Seabrook Parkway.

Motion to Postpone; PASSED (5-0-0)

MOVER: Higgins SECONDER: Carpenter

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

B. Proposal from Kimley-Horn for Transportation Engineering Services, Quacco Road at Easthaven Boulevard Left-Turn Phasing Analysis, Not to Exceed \$3,500.00

City Manager Heath Lloyd presented the proposal for consideration. Citizen Kimberly O'Connell commented. Councilmember Michael Carpenter moved to approve the Proposal from Kimley-Horn for Transportation Engineering Services, Quacco Road at Easthaven Boulevard Left-Turn Phasing Analysis, Not to Exceed \$3,500.00.

Motion to Approve; PASSED (5-0-0)

MOVER: Carpenter SECONDER: Wilcher

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

XI. PUBLIC COMMENT

There were no public comments.

XII. EXECUTIVE SESSION

With no further public business to conduct, Mayor Pro Tem Aaron Higgins moved to enter Executive Session. Mayor and Council entered at 7:20 p.m.

Motion to Enter; PASSED (5-0-0)

MOVER: Higgins

SECONDER: Hutcherson

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

Mayor Karen Williams called the meeting back to order at 7:34 p.m.

XIII. ADJOURNMENT

Councilmember John Wilcher moved to adjourn the meeting.

Motion to Adjourn; PASSED (5-0-0)

MOVER: Wilcher SECONDER: Higgins

AYES: Bashlor, Carpenter, Higgins, Hutcherson, Wilcher

NAYS:

The meeting adjourned at 7:35 p.m.
ne foregoing minutes are true and correct and are approved on this day of
·
CITY OF POOLER, GEORGIA
Karen L. Williams, Mayor
ATTEST:
Kiley Fusco, Clerk of Council



STATE OF GEORGIA	}
COUNTY OF CHATHAM) }

AFFIDAVIT

O.C.G.A. § 50-14-3. Excluded proceedings. O.C.G.A. § 50-14-4. Procedure when meeting closed.

I, _______, Mayor of the City of Pooler, Georgia, do hereby make the following statement in accordance with the Georgia Open Meetings Act (O.C.G.A. § 50-14-1 et seq.), specifically pursuant to O.C.G.A. § 50-14-3 and O.C.G.A. § 50-14-4:

- (1) I am competent to make this Affidavit and have personal knowledge of the matters set forth herein.
- (3) It is my understanding that O.C.G.A. § 50-14-4(b) provides as follows: When any meeting of an agency is closed to the public pursuant to subsection (a) of this Code section, the person presiding over such meeting or, if the agency's policy so provides, each member of the governing body of the agency attending such meeting, shall execute and file with the official minutes of the meeting a notarized affidavit stating under oath that the subject matter of the meeting or the closed portion thereof was devoted to matters within the exceptions provided by law and identifying the specific relevant exception.
- (4) The subject matter of said meeting, or the closed portion thereof, was devoted to matters within exceptions to public disclosure provided by law. Those specific relevant exceptions are identified as follows:
 - Personnel Matters Discuss or deliberate upon the appointment, employment, compensation, hiring, disciplinary action, dismissal, or periodic evaluation or rating of a public officer or employee. Interview one or more applicants for the position of the executive head of an agency. (O.C.G.A. § 50-14-3(b)(2))
 - Real Estate Transactions Discussions related to the purchase, lease, or sale of real property. Meeting to discuss or vote to authorize the ordering of an appraisal related to the acquisition or disposal of real estate. Meeting to discuss or vote to enter into a contract to purchase, dispose of, or lease property subject to approval in a subsequent public vote. (O.C.G.A. § 50-14-3(b)(1))

	Cybersecurity – Discussions related to cybersecurity matters, including the security of public infrastructure and government systems. (O.C.G.A. § 50-14-3(b)(4))
	Pending Litigation - Consultation with legal counsel concerning litigation, potential litigation, settlement, claims, administrative proceedings, or other judicial actions brought or to be brought by or against the agency or any officer or employee. (O.C.G.A. § 50-14-3(b)(3))
	Confidentiality Required by Law – To consider records or portions of records exempt from public inspection or disclosure because there are no reasonable means to consider the record without disclosing the exempt portions. (O.C.G.A. § 50-18-72)
This Affida 14-3 and § meeting.	vit is executed for the purpose of complying with the mandate of O.C.G.A. § 50- § 50-14-4 and is to be filed with the official minutes for the aforementioned
	CITY OF POOLER, GEORGIA
	Havon 3. Williams Mayor Signature
	Hapen L. Williams Mayor Print
	Sworn to and subscribed before me this
	day of JANNARY, 2025.
	Notary Signature Notary Signature Notary Signature
	NOTAP Notary Print
	TITE OF THE STATE

Administration-4100

- Reviewed 18 sets of site plans
- Approved 4 preconstruction meetings
- Conducted 30 Construction Inspections
- Attended 6 Project Meetings

Fleet-4900

- 53 Vehicles Serviced
- 12 (A) Services
- 41 (A & B) Services

Facility Maintenance-1165

- 35 Facility Maintenance Work-orders completed
- · 8 Major Repairs completed

Streets-4200

- Routine maintenance (potholes, sidewalks, shoulder work)
- 135' sidewalk replaced/repaired
- 61 potholes filled throughout the city
- 2 tons of concrete placed throughout the city
- Clipped 950' of road shoulder
- 23 bags of cold patches used

Sweeping

Signs

70 repairs or replacements

Stormwater-4250

- 26,431' routine roadside ditch and outfall maintained
- Routine residential work orders
- Cleaned out/dug roadside ditches

Canals-4251

- Routine maintenance
- Mowing access roads on canals
- Continued cleaning the debris from various canal crossings from Hurricane Helene

EOM Highlights-4300

- Responded to (7) Lift Station After Hours Calls
- Responded to (2) Sewer After Hours Calls
- · Completed (2) Sewer Blockage
- · Completed (1) Grinder Repair
- Upgrades to Lift Station 21 & 22 Construction Contract Executed
- PO-LS-05.05 BENTON BOULEVARD: Replaced Fuses
- PO-LS-05.06 BENTON BOULEVARD: Removed Pump Blockages
- PO-LS-11.02 NORTHERN TRACT: Replaced Fuses
- PO-LS-14.02 S.H. MORGAN: Replaced Starter & Installed New Pump
- PO-LS-14.02 S.H. MORGAN: Removed Pump Blockage
- PO-LS-15.02 MORGAN PINES: Replaced Current Transformer

- · Responded to (7) After Hours Calls
- PO-LS-21.01 EAST SPINE ROAD 2: Replaced Level Pole
- PO-LS-41.02 BRIGHTON WOODS: Replaced Impeller and Wear Ring
- PO-LS-41.02 BRIGHTON WOODS: Removed Pump Blockage
- PO-LS-42.01 WHATLEY: Repaired Base Elbow
- PO-LS-42.06 WHATLEY: Installed Level Transducer
- PO-LS-50.01 RYALS EAST: Repaired Guide Claw Bracket
- PO-LS-50.05 RYALS EAST: Replaced Fuse

Treatment Plant

- Plant meeting all permits
- PO-WW-AS-06 Blower 5_Aeration Grid: Replaced Fuse
- PO-WW-MB-16 Diffuser Assembly_Z3B1: Repaired PVC Diffuser
- PO-WW-PS-01 Plant Drain Pump Station: Cleared Blockage
- November average is 3.222
 MGD
- 98% of the permit capacity (3.3 MGD).

Water-4400

- 70 Grease trap inspections
- 53 C.O. residential inspections
- 13 residential and commercial lateral replacements
- Miscellaneous water service orders throughout the city
- 58 water meters/mxu's repaired or replaced
- 4 Excavation/Encroachment Permits
- 413 Service work orders completed

- Assisted Benchmark with several locates
- Repaired 8" water main at Moore Avenue
- Repaired 8" water main and set new fire hydrant at the intersection of Plantation Dr & Senior Center Drive
- Repaired 8" water main on Mosaic Circle
- Witnessed the testing and certification of 66 backflow preventers

Water Usage

- Total withdrawal permit
 1.1256 MGD
- 68.21% of daily withdraw
- Savannah contract
 3MGD
- 64.20% of the daily contract amount



Council Report for December

Date: 1/7/2025

To: Council and Mayor

From: Matt Saxon

Subject: Council Report

Cc: Kiley Fusco 5

Street:

- Continued routine maintenance throughout the city repairing potholes, sidewalks, and shoulder work.
- 135' sidewalk replaced/repaired
- 61 potholes filled
- 23 bags of cold patches used
- 466 50lbs concrete bags used
- 2 tons of concrete placed
- Clipped 950' of road shoulder

Street Sweeping:

• **0** Miles – Sweeper waiting on parts for repair

Signs:

• Replaced or repaired **70** signs throughout the city

Storm Water:

- Completed routine residential work orders
- 26,431' of routine roadside ditch and outfall maintenance completed
- Cleaned out and dug roadside ditches in various locations

Canal Maintenance:

- Routine maintenance of canals throughout the city
- Continue mowing access roads on canals
- Continued to remove debris from various canal crossings from Hurricane Helene

Public Works Admin:

- Reviewed **11** sets of site plans.
- Conducted **30** Construction Inspections.
- Approved **4** pre-construction meetings.
- Attended 6 Project Meetings.



Council Report for December

Date: 1/6/2025

To: Council and Mayor

From: Matt Saxon

Subject: Council Report

Cc: Kiley Fusco

Council and Mayor,

It gives me great pleasure to present to you, the work that our Wastewater Treatment Plant, Sewer, and Water Departments have accomplished since the last council meeting:

Water:

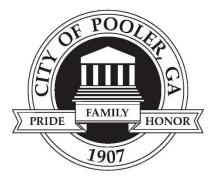
- 70 Grease trap inspections completed
- 53 C.O. residential inspections conducted
- Replaced 13 residential and commercial laterals
- Completed multiple misc. water service orders throughout the city
- Repaired 58 water meters/mxu's
- Witnessed the testing and certification of **66** backflow preventers
- Assisted Benchmark with several locates
- Repaired 8" water main at Moore Avenue
- Repaired 8" water main and set new fire hydrant at the intersection of Plantation Dr & Senior Center Dr.
- 413 water service work orders completed
- Approved **4** Encroachment permits

Sewer & WWTP:

EOM report attached.

Respectfully submitted,

Matt Saxon



DECEMBER 2024

Monthly Report





PO BOX 1648 Richmond Hill, GA 31324 912.445.0050 www.eomworx.com

Content	Section
Executive Summary	1.0
Wastewater Treatment	2.0
Collections & Distribution	3.0
Engineering	4.0
Administration	5.0
Appendix	6.0



EOM is pleased to provide this revised monthly report to the City of Pooler for review. Departmental reports and requested supplemental data can be found enclosed.

MONTH HIGHLIGHT

Responded to (2) After Hours Call

- **SEWER** Responded to (4) Sewer Requests
- SEWER Cleared (2) Sewer Blockages
- **SEWER** Completed (1) Sewer Repair
- **SEWER** Completed (1) Grinder Repair
- **SEWER** Completed (3) Grinder Replacements

WASTEWATER LIFT STATIONS

Responded to (7) After Hours Call

- Upgrades to Lift Station 21 & 22 Construction Contract Executed
- PO-LS-05.05 BENTON BOULEVARD: Replaced Fuses
- PO-LS-05.06 BENTON BOULEVARD: Removed Pump Blockages
- PO-LS-11.02 NORTHERN TRACT: Replaced Fuses
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- PO-LS-42.06 WHATLEY: Installed Level Transducer
- PO-LS-50.01 RYALS EAST: Repaired Guide Claw Bracket
- PO-LS-50.05 RYALS EAST: Replaced Fuse

WASTEWATER TREATMENT PLANT

- PO-WW-AS-06 Blower 5_Aeration Grid: Replaced Fuse
- PO-WW-MB-16 Diffuser Assembly_Z3B1: Repaired PVC Diffuser
- PO-WW-PS-01 Plant Drain Pump Station: Cleared Blockage





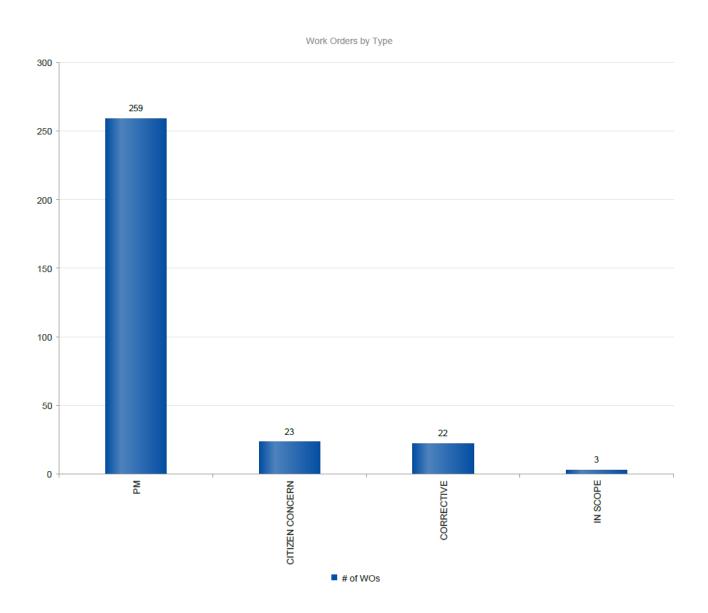
SECTION 2.0 WASTEWATER TREATMENT

Table 1 - WASTEWATER TREATMENT PLANT PERMIT COMPARISON





Table 1 - SEWER MAINTENANCE WORK ORDER REPORT







SECTION 4.0 ENGINEERING

Site Plan Review:

I. Approved Projects

- Stoneweg Apartments
- Harmony Force Main Upgrade
- Oxford Pooler Phase 1 (2024 Revised Plans)

II. Projects Under Review

- Lot A Blakely Commons (Submittal #5)
- Jimmy DeLoach Pkwy Outdoor Storage Yard (Submittal #1)
- LivSmart StudioRes Hotel (Submittal #1)
- HOM at Pooler 2024 Revised Plans (Submittal #1)
- Outparcel 17 Tanger Outlets (Submittal #2)
- Storage Facility (Submittal #2)
- SPLC III (Submittal #1)

III. Projects Waiting On Responses

- Clear Lake Vista 3rd review 12/31/2024
- Third Fifth Bank 1st review 12/23/2024
- Covered Shed Addition 1st review 12/23/2024
- South Rogers Street Business Plaza 1st review 12/20/2024
- Sunshine House Child Care 2nd review 12/18/2024
- Forest Lakes Subdivision Phase 13 3rd review 12/16/2024
- Tract W Townhomes 3rd review 12/16/2024
- DST Trailer Yard 4th review 12/11/2024
- Benton Townhomes E2 (2024 Revised Plans) 12/9/2024
- Merlot Lane Retail 3rd review 12/6/2024
- Savannah Shopping Center 1st review 12/5/2024
- Hampton Home 2 2nd review 11/25/2024
- Pooler Vet Clinic 2nd review 11/13/2024
- Towne Center Multifamily 1st review 11/4/2024
- Walmart Supercenter 2nd review 10/16/2024
- Savannah Shopping Plaza 1st review 10/4/2024
- Rehobeth Church Sanctuary 2nd review 10/3/2024



- 317 Collins St (Thrivent Financial) 3rd review 10/1/2024
- Forest Lakes Access Road 2nd review 9/3/2024
- Pipemaker's Independent Senior Living Center 3rd review 8/6/2024
- Cross Creek Subdivision Phase 3A 1st review 7/17/2024
- Memorial Blvd Commercial Development 2nd review 5/10/2024
- Godley Commons Tract 2 & 3 1st review 4/29/2024
- Circle K Expansion 3rd review 4/17/2024
- Wood Lake Townhomes 1st review 4/2/2024

Bond Review:

- I. Approved Bond Requests
 - N/A
- II. Bond Requests Under Review
 - N/A
- III. Bond Requests Pending Resubmittal
 - Warranty Bond Westbrook L1, L2, & L3 (Pending Record DWG's)

Additional Engineering Services:

City Standard Specifications:

EOM submitted the Final Version of Updated City Standard Specifications and Details to City in December 2024, which included additional content requested by Staff in November 2024.





BUDGET

Description	Budget			Expense	Balance		
Sewer Expenses	\$	2,436,500.00	\$	920,545.22	\$	1,515,954.78	
WWTP Expenses	\$	1,400,000.00	\$	1,749,619.75	\$	(349,619.75)	
TOTAL	\$	3,836,500.00	\$	2,670,164.97	\$	1,166,335.03	



Page 1

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

NAME: Pooler City of

ADDRESS: 100 Southwest Hwy 80

Pooler, GA 31322

FACILITY: Pooler, City of (Bloomingdale Regional WPCP)

LOCATION: Winskie Road Pooler GA 31322

GA0047066 PERMIT NUMBER

002-B3 DISCHARGE NUMBER

WPCP Discharge External Outfall

MAJOR

DMR MAILING ZIP CODE:

No Discharge

		M	ONITO	RING	PERIC	D	
	YEAR	МО	DAY		YEAR	МО	DAY
FROM	24	11	01	то	24	11	30

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
OXYGEN, DISSOLVED (DO)	SAMPLE MEASUREMENT	***	***	****	7.7	***	****	mg/L	0	01/01	GR GRAB
00300 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	****	6.0 MINIMUM	***	***	mg/L		01/01	GR GRAB
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	50.0	59.0	lb/d	***	1.8	2.0	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	82.6 MO AVG	102.6 WKLY AVG	lb/d	****	3.0 MO AVG	4.5 WKLY AVG	mg/L		03/DW	CP COMPOS
BOD, 5-DAY (20 DEG. C)	SAMPLE MEASUREMENT	7935	8383	lb/d	***	279	298	mg/L	0	03/DW	CP COMPOS
00310 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	****	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
PH	SAMPLE MEASUREMENT	***	***	***	6.6	****	7.3	SU	0	01/01	GR GRAB
00400 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	6.0 MINIMUM	***	8.5 MAXIMUM	SU		01/01	GR GRAB
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	17.4	20.5	lb/d	***	0.6	0.7	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	138.0 MO AVG	172.0 WKLY AVG	lb/d	****	5.0 MO AVG	7.5 WKLY AVG	mg/L		03/DW	CP COMPOS
SOLIDS, TOTAL SUSPENDED	SAMPLE MEASUREMENT	7230	8758	lb/d	***	250	288	mg/L	0	03/DW	CP COMPOS
00530 1 0 0 RAW SEWAGE INFLUENT	PERMIT REQUIREMENT	Req Mon MO AVG	Req Mon WKLY AVG	lb/d	***	Req Mon MO AVG	Req Mon WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, ORGANIC TOTAL (AS N)	SAMPLE MEASUREMENT	***	***	***	***	0.733	***	mg/L	0	01/30	CP COMPOS
00605 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	****	****	****	Req Mon MO AVG	***	mg/L		01/30	CP COMPOS

Marcus Hobgood Wastewater Manager WW1-015056 TYPED OR PRINTED violations. valuate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER OR AREA Code NUMBER YEAR MO DAY	NAME/TITLE PRINCIPAL EXECUTIVE OFFICER	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and	TEL	EPHONE		DATE	
Violations.		system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant		445-1894	24	12	12
	3	penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.		NUMBER	YEAR	МО	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

Page 2

DIOGRANGE MO

NAME: Pooler City of

ADDRESS: 100 Southwest Hwy 80

Pooler, GA 31322

FACILITY: Pooler, City of (Bloomingdale Regional WPCP)

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

LOCATION: Winskie Road

Pooler GA 31322

GA0047066
PERMIT NUMBER

002-B3

DISCHARGE NUMBER

 MONITORING PERIOD

 YEAR
 MO
 DAY
 YEAR
 MO
 DAY

 FROM
 24
 11
 01
 TO
 24
 11
 30

DMR MAILING ZIP CODE:

MAJOR

WPCP Discharge External Outfall

No Discharge

PARAMETER		QUANTITY OR LOADING			QUALITY OR CONCENTRATION					FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
NITROGEN, AMMONIA TOTAL (AS N)	SAMPLE MEASUREMENT	0.9	2.0	lb/d	***	0.0	0.1	mg/L	0	03/DW	CP COMPOS
00610 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	11.0 MO AVG	13.8 WKLY AVG	lb/d	***	0.4 MO AVG	0.6 WKLY AVG	mg/L		03/DW	CP COMPOS
NITROGEN, KJELDAHL TOTAL (AS N)	SAMPLE MEASUREMENT	***	***	***	***	0.763	***	mg/L	0	01/30	CP COMPOS
00625 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	Req Mon MO AVG	***	mg/L		01/30	CP COMPOS
NITRITE PLUS NITRATE TOTAL 1 DET. (AS N)	SAMPLE MEASUREMENT	***	***	***	***	16.4	***	mg/L	0	01/30	CP COMPOS
00630 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	Req Mon MO AVG	***	mg/L		01/30	CP COMPOS
PHOSPHORUS, TOTAL (AS P)	SAMPLE MEASUREMENT	8.3	12.5	lb/d	***	0.3	0.5	mg/L	0	03/DW	CP COMPOS
00665 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	27.5 MO AVG	34.4 WKLY AVG	lb/d	***	1.0 MO AVG	1.5 WKLY AVG	mg/L		03/DW	CP COMPOS
PHOSPHATE, ORTHO (AS P)	SAMPLE MEASUREMENT	***	***	***	***	0.179	***	mg/L	0	01/30	CP COMPOS
04175 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	Req Mon MO AVG	***	mg/L		01/30	CP COMPOS
FLOW, IN CONDUIT OR THRU TREATMENT PLANT	SAMPLE MEASUREMENT	3.4	3.64	MGD	***	***	****	***	1	99/99	CN CONTIN
50050 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	3.3 MO AVG	4.2 WKLY AVG	MGD	***	***	***	***		99/99	CN CONTIN
COLIFORM, FECAL GENERAL	SAMPLE MEASUREMENT	***	***	***	***	1.0	1.0	#/100mL	0	02/DA	GR GRAB
74055 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	23 MO GEO	23 WKLY GEO	#/100mL		02/DA	GR GRAB

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER		TEL	EPHONE		DATE	
	evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant	912	445-1894	24	12	12
Wastewater Manager WW1-015056 TYPED OR PRINTED	penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	R AREA Code	NUMBER	YEAR	МО	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

Page 3

PERMITTEE NAME/ADDRESS (Include Facility Name/Location if Different)

NAME: Pooler City of

ADDRESS: 100 Southwest Hwy 80 Pooler, GA 31322

FACILITY: Pooler, City of (Bloomingdale Regional WPCP)

LOCATION: Winskie Road
Pooler GA 31322

GA0047066
PERMIT NUMBER

002-B3

DISCHARGE NUMBER

DMR MAILING ZIP CODE: MAJOR

WPCP Discharge External Outfall

No Discharge

		M	ONITO	RING	PERIC	D					
	YEAR	МО	D DAY YEAR MO DA								
FROM	24	11	01	то	24	11	30				

PARAMETER		QUANT	TITY OR LOADING	;	QUALITY OR CONCENTRATION				NO. EX	FREQUENCY OF ANALYSIS	SAMPLE TYPE
		VALUE	VALUE	UNITS	VALUE	VALUE	VALUE	UNITS			
CYANIDE, TOTAL (AS CN)	SAMPLE MEASUREMENT	***	***	***	***	***	***	ug/L	0	01/30	GR GRAB
00720 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	MO AVG	***	ug/L		01/30	GR GRAB
MERCURY, TOTAL (AS HG)	SAMPLE MEASUREMENT	***	***	***	***	****	****	ng/L	0	01/30	GR GRAB
71900 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	***	**** MO AVG	***	ng/L		01/30	GR GRAB
SOLIDS, SUSPENDED PERCENT REMOVAL	SAMPLE MEASUREMENT	***	***	dry ton	99.8	****	***	%	0	01/30	CA CALCTD
81011 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	****	dry ton	>85 MINIMUM	***	***	%		01/30	CA CALCTD
BOD, 5-DAY PERCENT REMOVAL	SAMPLE MEASUREMENT	***	***	***	99.4	***	***	%	0	01/30	CA CALCTD
81010 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	***	***	***	>85 MINIMUM	***	***	%		01/30	CA CALCTD
SOLIDS, SLUDGE, TOT, DRY WEIGHT	SAMPLE MEASUREMENT	44	***	dry ton	***	****	***	***	0	01/30	CA CALCTD
78477 1 0 0 EFFLUENT GROSS VALUE	PERMIT REQUIREMENT	Req Mon MO AVG	***	dry ton	****	***	***	***		01/30	CA CALCTD
	SAMPLE MEASUREMENT										
	PERMIT REQUIREMENT										
	SAMPLE MEASUREMENT	_	_		_						
	PERMIT REQUIREMENT										

NAME/TITLE PRINCIPAL EXECUTIVE OFFICER	I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and		TEL	EPHONE		DATE	
Marcus Hobgood	evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant		912	445-1894	24	12	12
Wastewater Manager WW1-015056 TYPED OR PRINTED	penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.	SIGNATURE OF PRINCIPAL EXECUTIVE OFFICER (AUTHORIZED AGENT	R AREA Code	NUMBER	YEAR	МО	DAY

COMMENTS AND EXPLANATION OF ANY VIOLATIONS (Reference all attachments here)

November 2024 Permit Data

Daily Data Daily 11/1/2024 - 11/30/2024	Pooler Pooler RainFall Precip In/Day Inches/Day	Pooler Influent Flow Mgd MGD	Pooler Effluent Flow Mgd MGD	Pooler ReUse Flow Mgd MGD	Pooler ReUse Turbidity NTU NTU	Pooler Influent Bod 5 MG/L	Pooler Influent Solids TSS MG/L	Pooler Effluent Bod 5 MG/L	Pooler Effluent Solids TSS MG/L
11/1/2024 - Friday	0.00	3.083	2.576						
11/2/2024 - Saturday	0.00	3.236	3.236						
11/3/2024 - Sunday	0.00	3.295	3.295						
11/4/2024 - Monday	0.00	2.781	2.348						
11/5/2024 - Tuesday	0.17	2.812	2.897			320.00	320.40	1.00	0.47
11/6/2024 - Wednesday	0.00	3.192	2.659			273.00	273.00	1.30	0.47
11/7/2024 - Thursday	2.14	5.085	4.717			201.00	271.00	1.00	0.92
11/8/2024 - Friday	2.07	4.077	4.718						
11/9/2024 - Saturday	0.00	3.561	3.533						
11/10/2024 - Sunday	0.26	3.561	3.320						
11/11/2024 - Monday	0.20	3.900	3.914						
11/12/2024 - Tuesday	0.00	3.600	3.634			242.00	240.00	2.00	0.75
11/13/2024 - Wednesday	0.00	3.345	3.528			322.00	260.00	2.00	0.75
11/14/2024 - Thursday	0.10	3.492	3.456			262.00	235.00	2.00	0.58
11/15/2024 - Friday	0.00	3.247	3.163						
11/16/2024 - Saturday	0.00	3.430	3.493						
11/17/2024 - Sunday	0.00	3.476	3.439						
11/18/2024 - Monday	0.00	3.327	3.562						
11/19/2024 - Tuesday	0.12	3.313	3.245			267.00	258.00	2.00	0.57
11/20/2024 - Wednesday	0.00	3.418	3.418			275.00	235.00	2.00	0.57
11/21/2024 - Thursday	0.00	3.206	3.097			287.00	227.00	2.00	0.50
11/22/2024 - Friday	0.00	3.270	3.244						
11/23/2024 - Saturday	0.00	3.313	3.304						
11/24/2024 - Sunday	0.00	3.376	3.286						
11/25/2024 - Monday	0.00	3.237	3.372			280.00	222.00	2.00	0.55
11/26/2024 - Tuesday	0.05	3.435	3.359			311.00	260.00	2.00	0.37
11/27/2024 - Wednesday	0.00	3.435	3.329			303.00	204.00	2.00	0.67
11/28/2024 - Thursday	0.40	3.345	3.221						
11/29/2024 - Friday	0.05	3.203	3.044						
11/30/2024 - Saturday	0.00	3.106	3.150						
Sum	5.56	102.160	98.209			3343.00	3005.40	21.30	7.20
Avg	0.19	3.410	3.387			279.00	250.50	1.78	0.60
Max	2.14	5.090	4.718			322.00	320.40	2.00	0.90
Min	0.00	2.780	2.576			201.00	204.00	1.00	0.40
GMean									

November 2024 Permit Data

Pooler Effluent Nh3 N Ammonia MG/L	Pooler Effluent Phosphorus MG/L	Pooler Effluent Fecal Coliform #/100ML	Pooler Effluent Nitrate + Nitrite MG/L	Pooler Effluent TKN MG/L	Pooler Effluent Org Nitrogen MG/L	Pooler Effluent Ortho Phosphorus MG/L	Pooler Effluent Diss Oxygen MG/L	Pooler Effluent pH SU	Pooler Solids Removed Dry TON
							7.95	7.18	0.00
							7.85	7.18	0.00
							7.67	7.07	0.00
							7.93	7.12	2.21
0.02	0.35	1.00					7.85	7.26	0.00
0.01	0.43						7.86	7.23	2.20
0.01	0.50	1.00					7.88	7.03	2.15
							8.01	6.93	2.24
							7.89	6.82	0.00
							8.00	7.18	0.00
		1.00					7.78	6.97	1.81
0.03	0.21		16.40	0.76	0.73	0.18	8.02	7.09	3.94
0.02	0.23	1.00					8.11	7.06	3.92
0.16	0.34						8.00	7.12	3.96
							8.07	7.10	0.00
							8.13	7.13	0.00
							7.80	7.06	0.00
		1.00					8.05	7.06	2.13
0.02	0.14						8.10	6.93	3.98
0.02	0.17	1.00					7.90	7.05	2.11
0.01	0.21						7.98	6.94	4.00
							8.19	7.10	0.00
							8.42	7.10	0.00
							8.35	7.15	0.00
0.02	0.28	1.00					8.36	7.09	2.20
0.02	0.26						8.29	7.14	4.04
0.02	0.35	1.00					8.47	7.08	1.80
							8.12	7.06	0.00
							8.29	6.62	1.77
							8.37	7.14	0.00
0.37	3.47	8.00	16.40	0.76	0.73	0.18	241.69	211.99	44.00
0.03	0.29	1.00	16.40	0.76	0.73	0.18	8.06	7.07	1.00
0.16	0.50	1.00	16.40	0.76	0.73	0.18	8.47	7.26	4.00
0.01	0.14	1.00	16.40	0.76	0.73	0.18	7.67	6.62	0.00
		1.00							

NTERIM

COMPARATIVE

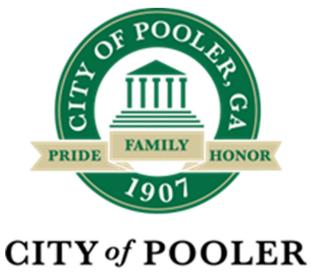
OPERATING

STATEMENTS

City of Pooler, Georgia

For the Year Ended December 31, 2024

Prepared by: Finance Department



— GEORGIA —

Interim Comparative Operating Statements (*Unaudited*)

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For the Year Ended December 31, 2024

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COMPARATIVE FINANCIAL STATEMENTS (UNAUDITED)



Fund 100 - General Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

Separation		2024	2023		
Licenses and permits	REVENUES				
Intergovernmental	Taxes	\$29,244,975.57	\$27,458,809.59		
Charges for services	Licenses and permits	2,318,535.18	1,482,295.03		
Fines and forfeitures	Intergovernmental	2,990,168.71	1,206,126.55		
Investment earnings	Charges for services	3,453,483.48	3,375,713.68		
Contributions and donations Miscellaneous 143,865.61 87,665.69 178,925.25 Miscellaneous 178,925.25 146,637.02 178,925.25 Total revenues 39,471,951.68 35,178,029.45 4,293,922.23 12.21% EXPENDITURES Current 4,888,670.52 3,868,846.02 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,256.79 4,257.70 7,670,781.37 6,441,097.86 4,275.75.09 4,240,78.60 4,240,78.60 4,240,78.60 4,240,78.60 4,240,78.60 4,240,78.60 4,240,78.60 4,240,78.60 1,245,773.60 4,240,515.22	Fines and forfeitures	635,953.31	752,429.74		
Miscellaneous 146,637.02 178,925.25 4,293,922.23 12.21% Total revenues 39,471,951.68 35,178,029.45 4,293,922.23 12.21% EXPENDITURES S.608,846.02 3,868,846.02 4,200,00.85 491,256.79 4,200,00.85 491,256.79 4,200,00.85 491,256.79 4,200,00.85 <td>Investment earnings</td> <td>638,332.80</td> <td>636,063.92</td> <td></td> <td></td>	Investment earnings	638,332.80	636,063.92		
EXPENDITURES 39,471,951.68 35,178,029.45 4,293,922.23 12.21% EXPENDITURES Current General government	Contributions and donations	43,865.61	87,665.69		
EXPENDITURES Current General government	Miscellaneous	146,637.02	178,925.25		
Current 4,888,670.52 3,868,846.02 Judicial	Total revenues	39,471,951.68	35,178,029.45	4,293,922.23	12.21%
General government	EXPENDITURES				
Judicial	Current				
Public safety. 15,548,747.47 14,392,575.09 Public works. 7,670,781.37 6,441,097.86 Health and welfare. 193,734.30 203,426.22 Culture and recreation. 2,133,969.57 1,936,547.12 Housing and development. 1,244,673.60 1,215,373.60 Debt service 1,808,332.96 1,896,976.47 Interest. 318,202.05 491,415.06 Total expenditures. 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures. 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES) 1,444,166.56 1,390,944.37 1,390,944.37 1,390,944.37 23.54% OTHER FINANCING SOURCES (USES) 273,557.40 267,827.50 267,827.50 267,827.50 1,536,821.01 -1449.19% Net changes in fund balances. 3,807,974.74 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 4,346,561.98 <	General government	4,888,670.52	3,868,846.02		
Public works 7,670,781.37 6,441,097.86 Health and welfare 193,734.30 203,426.22 Culture and recreation 2,133,969.57 1,936,547.12 Housing and development 1,244,673.60 1,215,373.60 Debt service Principal 1,808,332.96 1,896,976.47 Interest 318,202.05 491,415.06 Total expenditures 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES) 1,444,166.56 1,390,944.37 7 7 Transfers out (3,199,782.23) (1,633,346.73) 3 3 Sale of general capital assets 273,557.40 267,827.50 1 1 Insurance recoveries 51,284.02 80,621.62 1 1 Total other financing sources (uses) (1,430,774.25) 106,046.76 (1,536,821.01) -1449.19% Net changes in fund balances 3,807,974.74 4,346,561.98 Fund balances at beginning of year 38,919,239.75 32,947,279.67 </td <td>Judicial</td> <td>426,090.85</td> <td>491,256.79</td> <td></td> <td></td>	Judicial	426,090.85	491,256.79		
Health and welfare. 193,734.30 203,426.22 Culture and recreation. 2,133,969.57 1,936,547.12 Housing and development. 1,244,673.60 1,215,373.60 Debt service 1,808,332.96 1,896,976.47 Interest. 318,202.05 491,415.06 Total expenditures. 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures. 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES) 1,444,166.56 1,390,944.37	Public safety	15,548,747.47	14,392,575.09		
Culture and recreation 2,133,969.57 1,936,547.12 Housing and development 1,244,673.60 1,215,373.60 Debt service 1,808,332.96 1,896,976.47 Interest 318,202.05 491,415.06 Total expenditures 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES)	Public works	7,670,781.37	6,441,097.86		
Housing and development	Health and welfare	193,734.30	203,426.22		
Debt service 1,808,332.96 1,896,976.47 Interest	Culture and recreation	2,133,969.57	1,936,547.12		
Principal 1,808,332.96 1,896,976.47 Interest 318,202.05 491,415.06 Total expenditures 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES) 1,444,166.56 1,390,944.37	Housing and development	1,244,673.60	1,215,373.60		
Interest 318,202.05 491,415.06 Total expenditures 34,233,202.69 30,937,514.23 3,295,688.46 10.65% Excess (deficiency) of revenues over (under) expenditures 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES)	Debt service				
Total expenditures	Principal	1,808,332.96	1,896,976.47		
Excess (deficiency) of revenues over (under) expenditures	Interest	318,202.05	491,415.06		
over (under) expenditures. 5,238,748.99 4,240,515.22 998,233.77 23.54% OTHER FINANCING SOURCES (USES) 1,444,166.56 1,390,944.37 Transfers in	Total expenditures	34,233,202.69	30,937,514.23	3,295,688.46	10.65%
OTHER FINANCING SOURCES (USES) Transfers in	Excess (deficiency) of revenues				
Transfers in	over (under) expenditures	5,238,748.99	4,240,515.22	998,233.77	23.54%
Transfers out	OTHER FINANCING SOURCES (USES)				
Sale of general capital assets. 273,557.40 267,827.50 Insurance recoveries. 51,284.02 80,621.62 Total other financing sources (uses) (1,430,774.25) 106,046.76 (1,536,821.01) -1449.19% Net changes in fund balances. 3,807,974.74 4,346,561.98 Fund balances at beginning of year. 38,919,239.75 32,947,279.67	Transfers in	1,444,166.56	1,390,944.37		
Insurance recoveries	Transfers out	(3,199,782.23)	(1,633,346.73)		
Total other financing sources (uses) (1,430,774.25) 106,046.76 (1,536,821.01) -1449.19% Net changes in fund balances. 3,807,974.74 4,346,561.98 Fund balances at beginning of year. 38,919,239.75 32,947,279.67	Sale of general capital assets	273,557.40	267,827.50		
Net changes in fund balances	Insurance recoveries	51,284.02	80,621.62		
Fund balances at beginning of year	Total other financing sources (uses)	(1,430,774.25)	106,046.76	(1,536,821.01)	-1449.19%
	Net changes in fund balances	3,807,974.74	4,346,561.98		
Fund balances at end of year	Fund balances at beginning of year	38,919,239.75	32,947,279.67		
	Fund balances at end of year	\$42,727,214.49	\$37,293,841.65		

Fund 201 - Tree Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	2024	2023		
REVENUES				
Contributions	\$ 44,755.00	\$ 484,650.00		
Investment earnings	2,367.83	3,216.05		
Total revenues	47,122.83	487,866.05	(440,743.22)	-90.34%
EXPENDITURES				
Current				
Parks	597,989.16	250,571.96		
Total expenditures	597,989.16	250,571.96	347,417.20	138.65%
Net change in fund balance	(550,866.33)	237,294.09		
Fund balance, beginning of year	2,817,933.65	2,581,923.20		
Fund balance, end of year	\$ 2,267,067.32	\$ 2,819,217.29		

Fund 210 - Forfeiture Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	2024	2023		
REVENUES Fines and forfeitures Investment earnings	\$ 9,970.00 148.42	\$ 39,093.93 240.90		
Total revenues	10,118.42	39,334.83	(29,216.41)	-74.28%
EXPENDITURES Current				
Public safety	99,565.80	3,916.95		
Total expenditures	99,565.80	3,916.95	95,648.85	2441.92%
Excess (deficiency) of revenues over (under) expenditures	(89,447.38)	35,417.88		
Fund balance, beginning of year	182,668.11	120,812.07		
Fund balance, end of year	\$ 93,220.73	\$ 156,229.95		

Fund 230 - American Rescue Plan Local Fiscal Recovery Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	 2024	2023		
REVENUES Intergovernmental grantsInvestment earnings	\$ -	\$ 9,595,073.00 6,696.45		
Total revenues	-	9,601,769.45	(9,601,769.45)	-100.00%
EXPENDITURES Current Health and welfare	-	-		
Total expenditures	 -		-	
Excess (deficiency) of revenues over (under) expenditures	-	9,601,769.45		
OTHER FINANCING SOURCES (USES) Transfers out	-	(9,609,445.14)	9,609,445.14	-100.00%
Total other financing sources (uses)	-	(9,609,445.14)		
Net change in fund balance	-	(7,675.69)		
Fund balance, beginning of year	-	7,675.69		
Fund balance, end of year	\$ -	\$ -		

Fund 275 - Accommodation Excise Tax Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	2024	2023		
REVENUES				
Taxes	\$ 2,888,333.14	\$ 2,781,888.74		
Total revenues	2,888,333.14	2,781,888.74	106,444.40	3.83%
EXPENDITURES				
Intergovernmental:				
Assistance	1,444,166.58	1,390,944.37		
Total expenditures	1,444,166.58	1,390,944.37	53,222.21	3.83%
Excess (deficiency) of revenues				
over (under) expenditures	1,444,166.56	1,390,944.37		
OTHER FINANCING SOURCES (USES)				
Transfers out	(1,444,166.56)	(1,390,944.37)	(53,222.19)	3.83%
Total other financing sources (uses)	(1,444,166.56)	(1,390,944.37)		
Net change in fund balance	-	-		
Fund balance, beginning of year	-	-		
Fund balance, end of year	\$ -	\$ -		

Fund 320 - Special Purpose Local Option Sales Tax (SPLOST) Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	2024	2023		
REVENUES				
Intergovernmental	\$ 3,408,788.22	\$ 5,816,754.58		
Investment earnings	555,819.20	343,694.35		
Total revenues	3,964,607.42	6,160,448.93	(2,195,841.51)	-35.64%
EXPENDITURES				
Capital outlay				
Public works	1,579,274.92	1,900,963.98		
Recreation	2,004,300.70	2,262,516.85		
Total expenditures	3,583,575.62	4,163,480.83	(579,905.21)	-13.93%
Excess (deficiency) of revenues				
over (under) expenditures	381,031.80	1,996,968.10		
Fund balance, beginning of year	11,628,590.13	7,698,715.93		
Fund balance, end of year	\$12,009,621.93	\$ 9,695,684.03		

Fund 350 - Local Resources Fund Comparative Statement of Revenues, Expenditures, and Changes in Fund Balances

	2024	2023		
REVENUES				
Intergovernmental	\$ -	\$ -		
Total revenues			-	
EXPENDITURES				
Capital outlay				
General government	95,798.11	597,552.75		
Public safety	573,372.79	314,928.28		
Public works	2,485,940.73	620,805.33		
Recreation	44,670.60	100,060.37		
Total expenditures	3,199,782.23	1,633,346.73	1,566,435.50	95.90%
Excess (deficiency) of revenues				
over (under) expenditures	(3,199,782.23)	(1,633,346.73)		
OTHER FINANCING SOURCES (USES)				
Transfers in	3,199,782.23	1,633,346.73	1,566,435.50	95.90%
Total other financing sources (uses)	3,199,782.23	1,633,346.73		
Net change in fund balance	-	-		
Fund balance, beginning of year				
Fund balance, end of year	\$ -	\$ -		

Fund 505 - Water and Sewer Fund Comparative Statement of Revenues, Expenses, and Changes in Net Position

	2024	2023		
OPERATING REVENUES				
Water fees	\$ 5,109,690.50	\$ 4,734,868.79		
Sewer fees	6,341,177.71	5,706,693.54		
Miscellaneous fees	191,817.01	218,523.85		
Total operating revenues	11,642,685.22	10,660,086.18	982,599.04	9.22%
OPERATING EXPENSES				
Sewer and Wastewater Treatment Plant				
Purchased and contracted services	2,565,928.29	2,438,655.40		
Materials and supplies	2,436,538.67	2,131,566.42		
Total sewer and wastewater treatment plant	5,002,466.96	4,570,221.82	432,245.14	9.46%
<u>Water</u>				
Personnel services and employee benefits	782,556.09	734,510.20		
Purchased and contracted services	690,041.70	544,235.46		
Materials and supplies	2,801,697.23	2,373,113.12		
Total water	4,274,295.02	3,651,858.78	622,436.24	17.04%
Total operating expenses	9,276,761.98	8,222,080.60	1,054,681.38	12.83%
Operating income (loss)	2,365,923.24	2,438,005.58	(72,082.34)	-2.96%
NONOPERATING REVENUES (EXPENSES)				
Interest income	532,089.38	480,204.80		
Interest expense	(344,822.23)	(330,362.18)		
Total nonoperating revenues (expenses)	187,267.15	149,842.62	37,424.53	24.98%
Income (loss) before capital contributions	2,553,190.39	2,587,848.20	(34,657.81)	-1.34%
CAPITAL CONTRIBUTIONS AND TRANSFERS				
Tap fees	1,372,586.86	840,709.70		
Capital cost recovery charges	4,785,758.90	5,020,565.78		
Transfers in	-	9,609,445.14		
Total capital contributions	6,158,345.76	15,470,720.62	(9,312,374.86)	-60.19%
Change in net position	8,711,536.15	18,058,568.82	(9,347,032.67)	-51.76%
Net position, beginning of year	79,607,562.22	63,204,310.41		
Net position, end of year	\$88,319,098.37	\$81,262,879.23		



Fire-Rescue Year-End Report 2024



2024 ended as our busiest year ever, with an increase of 268 calls over 2023, a 5% increase.

Surpassed 2022 by 4 total calls.





CITY OF POOLER, GEORGIA POOLER FIRE-RESCUE

December 2024 Calls for Service: 524



More Info : (1) 912-748-7012



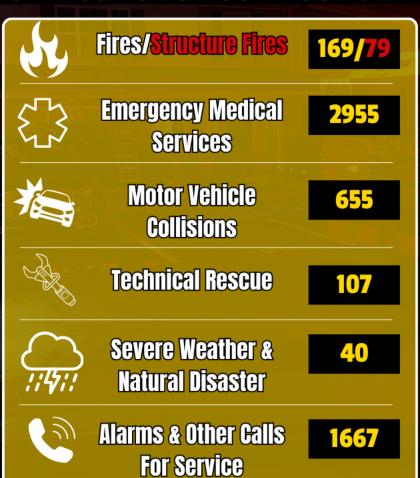


www.pooler-ga.gov/departments/fire-rescue-services/



CITY OF POOLER, GEORGIA POOLER FIRE-RESCUE

2024 Calls for Service: 5593





CITY OF POOLER, GEORGIA POOLER FIRE-RESCUE Responses by Unit

Location	Fire Company	Responses
S Rogers St	Engine 601	2080
Pooler Parkway	Engine 602	1552
Barrow Drive	Engine 603	514
Quacco Road	Engine 604	1472
Nordic Way	Engine 605	365
S Rogers St	Truck 601	983
Pooler Parkway	Truck 602/605*	250
S Rogers St	Rescue 601	198
S Rogers St	Battalion 601	946
*Truck 605	transferred to Truck 602	mid year.

POOLER FIRE-RESCUE 17 Year Response Trend Response Data 2008-2024

CITY OF POOLER, GEORGIA





CITY OF POOLER, GEORGIA POOLER FIRE-RESCUE 2024 Extra Response Data

SHIFT RESPONSES

A-Shift

1892

THE REAL PROPERTY.

1855

B-Shift

C-Shift

1846

BUSIEST AND SLOWEST MONTH

Busiest: August (531 Calls)
Slowest: February (403 Calls)

DAY

Busiest: Thursday Slowest: Sunday

HOUR

Busiest: Wednesday 1500-1559 **Slowest:** Wednesday 0400-0459

Significant Incidents

- 12/13 S. Rogers Street Structure Fire Nursing Facility fire controlled by sprinklers, fire and police units assisted by staff evacuated patients from the rooms. One patient burned and transported to Memorial. Engine 601, Engine 604, Engine 603, T601, Truck 602, BC 601 responded and operated at scene for approximately 3 hours.
- 12/14 Mutual Aid to Bloomingdale Woods Fire- Units responded to assist with a large woods and debris fire. Engine 601, Brush 601, Water Tender 601, Chief 601, BC 601 responded and operated at scene for approximately 2 hours.
- 12/16 Mutual Aid to Garden City Trucks on Fire Units responded to assist with several tractor-trailers on fire. Truck 601, Water Tender 601, BC 601 responded and operated at scene for approximately 45 minutes.
- 12/20 Towne Center Court Homeless Camp Fire Units responded to a homeless encampment and woods fire located about 400' from the nearest access. Engine 605, Engine 603 and Chief 601 responded and operated on scene for a little over an hour.
- 12/21 12/27 Christmas Week Units responded to 117 incidents including 11 involving excessive smoke and/or pot on the stove during the week. The only significant fire was a cat house that was fully involved and extended to the yard, fence and minor damage to the home.



Pooler Police Department

Tuesday January 21, 2024 December 2024



- A total of **44 Part 1 crimes** were reported in the month of December.
- From the prior year 2023, there is a decrease of 22%.
- A total of 17 shopliftings were reported in the month of December.
- From the prior year 2023, this is a decrease of 23%.
- Total Calls for service in December were 2,450.
- From the prior year 2023, this is an increase of 1%.
- A total of **1,238 citations** were issued in the month of December.
- From the prior year 2023, this is an increase of 1%.
- A total of 113 arrests were made in the month of December.
- From the prior year 2023, this is a decrease of 2%.
- A total of 12 DUI arrests were made in the month of December.
- From the prior year 2023, this is a decrease of 18%.

ACTIVITY	TIME PERIOD 11/1 TO 11/30/2024	YEAR TO DATE 2024	YEAR TO DATE 2023	PERCENTAGE CHANGE FROM 23 - 24
PART 1 CRIMES	44	600	769	-22%
SHOPLIFTINGS	17	249	325	-23%
CALLS FOR SERVICE	2,450	28,922	29,322	1%
CITATION	1,238	16,785	16,641	1%
ARRESTS	113	1,465	1,492	-2%
DUI ARRESTS	12	200	243	-18%

Pooler Parks and Recreation Department Report December 2024

Recreation Department

- 1. Winter Basketball practices continued at gyms on Rogers St.
- 2. Adult activities at Pooler Park included Gaelic Football and the Hispanic Softball League.
- 5. The Community Center was rented four times in December.
- 6. Gymnastics and Dance classes continued.
- 7. Gym rented for wild game dinner fundraiser. Pooler Karate hosted this event.
- 8. Concession sales for 2024 totaled \$116,895.00.

Senior Center

- 1. All daily classes and activities continued.
- 2. Myrtle Beach Christmas trip December 9-11.
- 3. The annual Christmas party was held on December 13th.
- 4. Seniors had the opportunity to have a night outing to see Christmas lights.

Parks

1. Parks completed routine maintenance at all 5 parks, the senior center, community center and Newton Cemetery.

City of Pooler Planning & Zoning Minutes December 9, 2024

CALL TO ORDER:

Chair Johnson called the meeting to order at 3:00 p.m. Commissioner Simmons led the Pledge of Allegiance.

Attendee Name	Title	Status
Nicole Johnson	Chair	Present
Shirlinia Daniel	Commissioner	Present
Brad Rife	Commissioner	Present
Jeremy Kelly	Alternate	Present
Wade Simmons	Commissioner	Present
Mark Williams	Commissioner	Present
Ashley Brown	Commissioner	Present
Pete Chaison	Commissioner	Present
Marcy Benson	City Planner	Present
Rachael Brown	Zoning Administrator/Secretary	Present

APPROVAL OF MINUTES

The minutes of the November 25, 2024, Planning and Zoning Commission were reviewed and accepted.

Result: Approved

1-Motion: Commissioner Daniel **2-Second:** Commissioner Rife

Motion passed without opposition

NEW BUSINESS:

A. <u>PUD Zoning Map Amendment for 500 Seabrook Parkway to add "Fueling and Electric Vehicle Charging Stations" as a permitted use.</u>

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is to add fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging; provided that such use shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom, to the list of permitted uses for the Light Industrial tracts in the Morgan Family Tract PUD Master Plan Development Standards. John Northup III with Bouhan Falligant was present to represent the owner to answer any questions from commissioners and the public. Amy Mealing spoke about her concerns and not having an entrance to her undeveloped adjacent property and having the fence removed from the property for emergency personnel.

Result: After review of the criteria, a motion was made to recommend approval of the Zoning Map Amendment with the following conditions: Fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging uses shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom.

1-Motion: Commissioner Daniel2-Second: Commissioner SimmonsMotion Passed without opposition

B. Zoning Map Amendment for 1511 Quacco Rd from R-A TO C-2 Zoning District.

*Item was withdrawn from the agenda.

C. Site Plan approval for Stoneweg MultiFamily at 800 High Avenue

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for Site Plan approval for Stoneweg MultiFamily at 800 High Avenue. Doug Morgan with EMC Engineering was present to answer questions from Commissioners.

Result: After review of the criteria, a motion was made to recommend approval of the site plan with the following conditions: the two access points along Old Quacco road are solely to be used for emergency services until the Pooler Parkway/ Old Quacco Road intersection improvements have been completed. Until then, the main access road will be High Avenue.

1- Motion: Commissioner Rife2- Second: Commissioner DanielMotion Passed without opposition

D. <u>Acceptance of Maintenance Bond for I-16 West Phase 2B- Southeast Corner of Interstate 16 and Pooler Parkway</u>

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for acceptance of Maintenance Bond for I-16 West Phase 2B- Southeast Corner of Interstate 16 and Pooler Parkway. Commissioner Rife recused himself for this item and Commissioner Kelly took his place. The applicant was not present at the meeting.

Result: After review of the criteria, a motion was made to recommend approval of the acceptance of Maintenance Bond for I-16 West Phase 2B- Southeast Corner of Interstate 16 and Pooler Parkway

1- Motion: Commissioner Williams2- Second: Commissioner SimmonsMotion passed without opposition

E. <u>Acceptance of Maintenance Bond I-16 West Mixed Use Access Road – Intersection of I-16 and Pooler Parkway (High Avenue extension)</u>

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for acceptance of Maintenance Bond for I-16 West Mixed-Use Access Road – Intersection of I-16 and Pooler Parkway (High Avenue extension).

Commissioner Rife recused himself for this item and Commissioner Kelly took his place. The applicant was not present at the meeting.

Result: After review of the criteria, a motion was made to recommend approval of the acceptance of Maintenance Bond for I-16 West Mixed-Use Access Road – Intersection of I-16 and Pooler Parkway (High Avenue extension).

1- Motion: Commissioner Williams2- Second: Commissioner KellyMotion passed without opposition

F. Posing of Performance Bond and Final Plat for Harmony Phase 8A/ Andante Way

City Planner Ms. Benson presented the request to the Commission for their review and recommendation. This request is for posting of Performance Bond and Final Plat for Harmony Phase 8A/ Andante way. Commissioner Rife returned to the dais and Commissioner Kelly stepped down. Robb Garis with Coleman Company was present to answer questions from the commission.

Result: After review of the criteria, a motion was made to recommend approval of the Posting of Performance Bond and Final Plat for Harmony Phase 8A/ Andante Way.

1- Motion: Commissioner Williams2- Second: Commissioner DanielMotion passed without opposition

Adiournment

There being no further business, Chair Johnson asked for a motion to adjourn at approximately 3:39 p.m.

1- Motion: Commissioner Brown**2- Second:** Commissioner Daniel

Adjourned without opposition

The foregoing minutes are true and correct and approve 2024.	d by me on this day of
Rachael Brown, Zoning Administrator	

City of Pooler Planning & Zoning Minutes January 13, 2025

CALL TO ORDER:

Chair Johnson called the meeting to order at 3:00 p.m. Commissioner Simmons led the Pledge of Allegiance.

Attendee Name	Title	Status
Nicole Johnson	Chair	Present
Shirlinia Daniel	Commissioner	Present
Brad Rife	Commissioner	Present
Jeremy Kelly	Alternate	Present
Wade Simmons	Commissioner	Present
Mark Williams	Commissioner	Present
Jim Ward	Commissioner	Present
Pete Chaison	Commissioner	Present
Marcy Benson	City Planner	Present
Ryan Jarles	City Planner	Present
Rachael Brown	Zoning Administrator/Secretary	Present

APPROVAL OF MINUTES

The minutes of the December 9, 2024, Planning and Zoning Commission were reviewed and accepted.

Result: Approved

1-Motion: Commissioner Daniel **2-Second:** Commissioner Rife

Motion passed without opposition

NEW BUSINESS:

A. Conditional Use request to convert a portion of existing workshop building to a garage apartment at 313 Benton Drive (Application #A24-0222)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is to convert a portion of an existing workshop building into a garage apartment. Nathanael Barham was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the conditional use request.

1-Motion: Commissioner Simmons2-Second: Commissioner DanielMotion Passed without opposition

B. Variance request for proposed fence to encroach within the 15-foot required side setback for a multi-family residential development at 100 Commons Way (Application #A24-0225)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is to encroach within the 15-foot required side setback to construct a fence on approximately 100-feet of the side street property line for the HOM at Pooler multi-family residential development. Brian Clouser with Kimley Horn was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the variance request.

1- Motion: Commissioner Daniel2- Second: Commissioner RifeMotion Passed without opposition

C. Variance request to reduce the required front yard setback from 60 feet to 10 feet for a model home sales park at 200 Outlet Parkway (Application #A24-0231)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is to reduce the front yard setback requirement from 60 feet to 10 feet. Travis Burke with Coleman Company and Jeff Kramer were both present to answer questions and concerns from commissioners.

Result: After review of the criteria, a motion was made to recommend denial of the variance request.

1- Motion: Commissioner Williams2- Second: Commissioner DanielCommissioner Rife opposedMotion to deny passed 5-1

D. Site Plan approval for Harmony Force Main Upgrade at Melody Drive/Cantata Circle (Application #A-24-0075)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for force main upgrades to existing sanitary sewer for future developments within the Jabot PUD, Harmony. Travis Burke with Coleman Company was present to represent water utility management.

Result: After review of the criteria, a motion was made to recommend approval of the site plan.

1- Motion: Commissioner Williams2- Second: Commissioner SimmonsMotion passed without opposition

E. Site Plan approval for revisions to the Oxford at Pooler Phase 1 previously approved site plan at 500 Fox Farm Street (Application #A24-0159)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for revisions to the dog park and pickleball court area of the previously approved multi-family development. Paul Austin was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the site plan.

1- Motion: Commissioner Simmons2- Second: Commissioner DanielMotion passed without opposition

F. Site Plan approval for construction of hotel and associated infrastructure at 100 William Blakely Crossing/Lot A Blakely Commons (Application #AA1173/231558)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for construction of a 93-room hotel and associated infrastructure. Travis Burke with Coleman Company was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the site plan.

1- Motion: Commissioner Simmons **2- Second:** Commissioner Williams Commissioner Daniel Opposed

Motion passed 5-1

G. Site Plan approval for construction of covered shed at existing equipment rental business at 55 Coleman Boulevard (Application #A24-0190)

City Planner Mr. Jarles presented the request to the Commission for their review and recommendation. This request is for construction of a covered storage shed addition at an existing equipment rental business. Steve Rushing was present to answer questions.

Result: After review of the criteria, a motion was made to recommend approval of the site plan.

1- Motion: Commissioner Rife2- Second: Commissioner DanielMotion passed without opposition

Adjournment

Rachael Brown, Zoning Administrator

There being no further business, Chair Johnson asked for a motion to adjourn at approximately 3:35p.m.

1- Motion: Commissioner Daniel 2- Second: Commissioner Simmons Adjourned without opposition	
The foregoing minutes are true and correct and approved by me on this day 2024.	of

City of Pooler Single Family Detached Permits December 2024

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN#	Flood Zone/Flood Way
12/3/2024	24-1053	Westbrook	223 Bircholt Grove, Lot 1145	Dream Finders Homes LLC	Same	51009R07012	
12/3/2024	24-1054	Westbrook	226 Bircholt Grove, Lot 1172	Dream Finders Homes LLC	Same	51009R07039	
12/9/2024	24-1107	Forest Lakes	137 Como Dr., Lot 1226	Landmark 24 Homes of Savannah Same		51014C14003	Yes/No
12/9/2024	24-1108	Forest Lakes	142 Como Dr., Lot 1203	Landmark 24 Homes of Savannah	Same	51014C13003	Yes/No
12/9/2024	24-1109	Forest Lakes	143 Como Dr., Lot 1229	Landmark 24 Homes of Savannah	Same	51014C14006	Yes/No
12/9/2025	24-1110	Harmony	50 Blues Dr., Lot 875	Landmark 24 Homes of Savannah	Same	51010F17031	
12/6/2024	24-1111	The Farm at Morgan Lakes	74 Woodbury Ln, Lot 645	Lennar Carolinas	Same	51015A13018	
12/6/2024	24-1112	The Farm at Morgan Lakes	72 Woodbury Ln, Lot 646	Lennar Carolinas	Same	51015A13019	
12/6/2024	24-1113	The Farm at Morgan Lakes	71 Woodbury Ln, Lot 652	Lennar Carolinas	Same	51015A11032	
12/6/2024	24-1114	The Farm at Morgan Lakes	73 Woodbury Ln, Lot 653	Lennar Carolinas	Same	51015A11033	
12/6/2024	24-1115	The Farm at Morgan Lakes	75 Woodbury Ln, Lot 654	Lennar Carolinas	Same	51015A11034	
12/6/2024	24-1116	The Farm at Morgan Lakes	48 Rabbit Run Ln, Lot 666	Lennar Carolinas	Same	51015A12009	
12/10/2024	24-1131	Westbrook	797 Blue Moon Xing., Lot 1215	Lennar Carolinas	Same	51009R09024	Yes/No
12/11/2024	24-1133	Westbrook	107 Weyview Gardens	Lennar Carolinas	Same	51009R10010	Yes/No
12/11/2024	24-1134	Westbrook	106 Weyview Gardens	Lennar Carolinas	Same	51009R10018	Yes/No
12/11/2024	24-1135	Westbrook	108 Weyview Gardens	Lennar Carolinas	Same	51009R10019	Yes/No
12/13/2024	24-1157	Westbrook	798 Blue Moon Xing, Lot 1224	Lennar Carolinas	Same	51009R09034	Yes/No
12/13/2024	24-1158	Westbrook	195 Blue Moon Xing, Lot 1214	Lennar Carolinas	Same	51009R07023	Yes/No
12/13/2024	24-1159	Westbrook	796 Blue Moon Xing, Lot 1225	Lennar Carolinas	Same	51009R09035	Yes/No
12/13/2024	24-1160	Westbrook	110 Weyview Gardens, Lot 1260	Lennar Carolinas	Same	51009R10020	Yes/No
12/13/2024	24-1161	Westbrook	112 Weyview Gardens, Lot 1261	Lennar Carolinas	Same	51009R10021	Yes/No
12/13/2024	24-1162	Westbrook	109 Weyview Gardens, Lot 1250	Lennar Carolinas	Same	5100R10009	Yes/No
12/20/2025	24-1210	The Farm at Morgan Lakes	69 Woodbury Ln., Lot 651	Lennar Carolinas	Same	51015A11031	Yes/No
Total	23						

City of Pooler Townhome Permits December 2024

Date	Permit #	Subdivision	Address	Contractor	Owner	PIN#
2/11/2024		Clear Lake	91 Ripple Way, Lot 15A	Lennar Carolinas	Lennar Carolinas	51011F07019
2/11/2024	24-1126	Clear Lake	93 Ripple Way, Lot 15B	Lennar Carolinas	Lennar Carolinas	51011F07020
2/11/2024	24-1127	Clear Lake	95 Ripple Way, Lot 15C	Lennar Carolinas	Lennar Carolinas	51011F07021
2/11/2024	24-1128	Clear Lake	97 Ripple Way, Lot 15D	Lennar Carolinas	Lennar Carolinas	51011F07022
2/11/2024	24-1129	Clear Lake	99 Ripple Way, Lot 15E	Lennar Carolinas	Lennar Carolinas	51011F07023
2/13/2024	24-1146	Clear Lake	100 Ripple Way, Lot 20A	Lennar Carolinas	Lennar Carolinas	51011F08031
2/13/2024	24-1147	Clear Lake	102 Ripple Way, Lot 20B	Lennar Carolinas	Lennar Carolinas	51011F08032
2/13/2024	24-1148	Clear Lake	104 Ripple Way, Lot 20C	Lennar Carolinas	Lennar Carolinas	51011F08033
2/13/2024	24-1149	Clear Lake	106 Ripple Way, Lot 20D	Lennar Carolinas	Lennar Carolinas	51011F08034
2/13/2024	24-1150	Clear Lake	108 Ripple Way, Lot 20E	Lennar Carolinas	Lennar Carolinas	51011F08035
2/16/2024	24-1151	Clear Lake	101 Ripple Way, Lot 16A	Lennar Carolinas	Lennar Carolinas	51011F07024
2/16/2024	24-1152	Clear Lake	103 Ripple Way, Lot 16B	Lennar Carolinas	Lennar Carolinas	51011F07025
2/16/2024	24-1153	Clear Lake	105 Ripple Way, Lot 16C	Lennar Carolinas	Lennar Carolinas	51011F07026
2/16/2024	24-1154	Clear Lake	107 Ripple Way, Lot 16D	Lennar Carolinas	Lennar Carolinas	51011F07027
2/16/2024	24-1155	Clear Lake	109 Ripple Way, Lot 16E	Lennar Carolinas	Lennar Carolinas	51011F07028
				<u> </u>		

City of Pooler Multi-Family Residential Permits December 2024

	Permit #	Subdivision	Address	Contractor	Owner	PIN#	Units
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Total	0						0

City of Pooler Commercial Permits December 2024

							Flood
Date	Permit #	Address	Contractor	Owner	Type/Project	PIN#	Zone/Flood Way
12/10/2024	24-1101	122 Pipemakers Cir, Ste. 201	C E Hall Inc	Trinity Motorsports	Interior Renovation	50017B06076	
12/12/2024	24-1143	1541 Pooler Pkwy, Ste 400	Dewitt Tilton Group	Estaben Valencia	La Nopalera Restaurant Buildout	5101001088	
12/17/2024	24-1156	160 Pooler Pkwy	Newco Construction	Wal-Mart Stores	Interior Remodel	50017C01001	
					+	+	
					+	+	
					<u> </u>	1	
						†	
						1	
Total	3					†	

Misc. Permits December 2024

D-4-	D '4 #	Address		its December 2024	Dunit of Town	DIN #	Te
Date	Permit #	Address	Contractor	Owner	Project Type	PIN#	Flood Zone
12/4/2024	231951	212 Lusk Ln	Jeff Stewart Electrical	Comcast	Electrical		
12/10/2024	24-1046	5212 Old Louisville Rd.	Electrical Experts	Mana Nutrition	Roof Mounted Solar Planels	5098701023	
12/2/2024	24-1097	14 Mill Creek Cr.	Signal Systems Inc	TGC Pooler LLC	Emergency Responder Commun. System	50017C03014	_
12/2/2024	24-1098	163 Somersby Blvd.	Superior Fence and Rail	Jakob Anderson	6' Shadobox Fence	51023B01043	
12/3/2024	24-1099	Multiple Locations	Pooler Chamber of Commerce	City of Pooler	Temporary Signs		
12/3/2024	24-1100	212 Holloway Hill	JDH Decks and Fences Inc	Caroline Burk	Aluminum Fence	51009R05152	
12/10/2024	24-1101	122 Pipemakers Cir, Ste. 201	C E Hall Inc	Trinity Motorsports	Interior Renovation	50017B06076	
12/4/2024	24-1102	5 Hickory Ct	Howard Premier Homes Inc	Scott Zeil	Extend Living Room and Back Porch	51009G01093	
12/3/2024	24-1103	102 River Run Dr	Premier Pools	Richard & Eileen West	Fiberglass Swimming Pool	51009N02015	
12/4/2024	24-1105	200 Tanger Outlets Blvd Ste 671-673	JSC Systems	Tanger Outlets	Fire Alarm	50017A01099	
12/5/2024	24-1106	250 Durham Park Blvd.	Champion Fire Protection	Durham Partners LLC	Emergency Responder Commun. System	5101301061	
12/5/2024	24-1117	2200 Pooler Pkwy	Auarian Pools	Stonecutter Pooler Multifamily	Commercial Swimming Pool	5100901040	
12/6/2024	24-1118	219 Longleaf Cr.	Thompson & Thompson	Walter Chipp	Plumbing	51010A05033	
12/6/2024	24-1119	105 E. Hwy 80	North Atlanta Installation	Bank of America	Face Replacement for Pylon Sign	5000501011	
12/10/2024	24-1120	801 Pooler Pkwy Ste. 101	Sign Mart	Biggby Coffee	Wall Sign	51013 01060	
12/9/2024	24-1121	2100 Pooler Pkwy	Lanford and Company Inc	Walube Properties LLC	Freestanding Sign	5100901055	
12/10/2024	24-1123	115 Grand Central Blvd.	Goodwill of the Coastal Empire	Same	Cargo Shipping Container	50017B03020	
12/12/2024	24-1124	100 Strange Ct.	Pool Solutions Plus Inc	Simcoe	Commercial Swimming Pool	5100901060	
12/10/2024	24-1130	416 Morgan St. #B	Dyess Air and Plumbing	Justin Hinely	Plumbing	5001007002	
12/10/2024	24-1136	136 Kraft Kove	EMPWR Solar LLP	Nadia Valerie-Escarpeta	Roof Mounted Solar Planels	51009Q010014	
12/10/2024	24-1137	144 Oldwood Dr.	EMPWR Solar LLP	Barbara Mathis	Roof Mounted Solar Planels	51009N04011	
12/10/2024	24-1138	184 Spanton Crescent	EMPWR Solar LLP	James Sizemore	Roof Mounted Solar Planels	51009F04051	
12/10/2024	24-1139	112 Charles Ln	EMPWR Solar LLP	Michael Gogacz	Roof Mounted Solar Planels	51009Q05011	
12/10/2024	24-1140	212 Towne Lake Way	EMPWR Solar LLP	John Clark	Roof Mounted Solar Planels	50017B02002	
12/10/2024	24-1141	34 Glenwood Ct.	EMPWR Solar LLP	Tiffany Frasier	Roof Mounted Solar Planels	51009K04042	
12/11/2024	24-1142	144 Jepson Way	Patio Renovations Unlimited	Richard Jaramillo	Black Aluminum Fence	51009S04005	
12/13/2024	24-1144	2311 Pooler Pkwy Ste 401	May Construction	D.J. Desai	Electrical	5100901106	
12/12/2024	24-1145	1850 Pine Meadow Dr.	Ansco & Associates	American Towers Corp	Cell Tower Modifications	5101003002	
12/13/2024	24-1163	150 Champlain Dr.	Superior Fence and Rail	Theo Sassos	5' Black Aluminum Fence	51014C11005	
12/16/2024	24-1164	1117 Big Bend Rd.	Generator Supercenter	Laura Chan Wood	Electrical	5101301054	
12/13/2024	24-1165	4 Lisa's Ct.	EMPWR Solar LLP	Christopher Hangartner	Roof Mounted Solar Planels	51011A13033	1
12/13/2024	24-1166	221 Holly Ave.	EMPWR Solar LLP	Julia Price	Roof Mounted Solar Planels	5000603021	
4/30/1903	24-1167	2 Coalbrookdale Ct.	Thompson & Thompson	George Murray	Mechanical	51010E04033	
12/17/2024	24-1168	25 Lusk Ln	Griffin Electric	Simcoe at Canal Towns, LLC	Electrical	5100901060	
12/16/2024	24-1170	1107 Forest Dr.	Crout Electric	Elissa Maloney	Electrical	5001402006	
12/17/2024		607 Wyndham Way	EMPWR Solar LLP	Timothy Bennett	Roof Mounted Solar Planels	51014C06004	
12/18/2024	24-1190	2201 Pooler Pkwy Ste 200	Pro Sign Tech Savannah LLC	T&M Commercial Development LLC	Sign Permit	5100901102	
12/18/2024	24-1191	101 Westside Blvd.	All South Sprinkler Company	Native Development	Fire Sprinkler	5098707056	
12/18/2024	24-1192	40 Traders Way	The Sign Store Online	SCGI-Traders LLC	Wall Sign	50017A01045	
12/18/2024	24-1193	811 Robin Dr.	Superior Fence and Rail	Charles Coursey	6' Shadobox Fence	5001804002	
12/18/2024	24-1194	118 Manor Row	Dyess Air and Plumbing	Tammy Stephens	Mechanical	50017B01014	
12/18/2024	24-1196	404 Contestoga Ct.	Generator Supercenter	Arnold Kostora	Electrical	5001403011	
12/19/2024	24-1190	318 Remigton PI	EMPWR Solar LLP	Joseph Rogerse	Roof Mounted Solar Planels	51015B03021	
12/19/2024	24-1207	211 Pooler Pkwy	Express Oil Change	Same	Temporary Banner Sign	5100901103	+
12/20/2024	24-1200	1510 E Hwy 80	5 Star Electrical Contractors	RJKA Quick Lock LLC	Electrical	50924D0001	+
12/20/2024	24-1209	129 Mallory Pl.	Superior Fence and Rail	Kris Duderstadt	4' Black Aluminum Fence	5100910315	+
12/22/2024	24-1200	129 Maliuly FI.	oupenor rence and rian	IVII DUUCISIAUI	- Black Aluminum i Gilde	2 1009103 13	

Misc. Permits December 2024

Date	Permit #	Address	Contractor	Owner	Project Type	PIN#	Flood Zone
12/26/2025	24-1205	118 Village Lake Dr	Veterans Fence & Supply	Kevin Strothmann	6' White Vinyl Privacy Fence	50017B02021	
Total	47						

City of Pooler Certificate of Occupancy December 2024

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
12/5/2024	24-0400	Westbrook	214 Holloway Hill, Lot 1128	Townhome	DR Horton	Same
12/6/2024	230049	Durham Park	250 Durham Park Blvd	Office Building Units 101-112	Pioneer Construction	Stature Investments
12/6/2024	24-0039		1224 E Hwy 80	Joe Hudson Collision Center	DL Acton Construction	JHCC Holding LLC
12/6/2024	24-0801	Tanger Outlets	200 Tanger Outlets Blvd.	Interior Remodel	Vision General Contractors	Tanger Outlets
12/10/2024	231564		2211 Pooler Pkwy	Express Oil Change	Nearon Construction	Express Oil Chankg LLC
12/10/2024	24-0497	Forest Lakes	159 Champlain Dr., Lot 1022	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/10/2024	24-0538	Towne Park	506 Governor Treutlen Cir, Lot 52	Townhome	Beacon New Homes	Same
12/10/2024	24-0539	Towne Park	508 Governor Treutlen Cir, Lot 53	Townhome	Beacon New Homes	Same
12/10/2024	24-0964		2321 Pooler Pkwy Ste 104	Interior Remodel	Alfred Lawton	Mosaic Retail Properties
12/10/2024	24-0657	Telfair Park	131 Juliette Low Ln, Lot 403	Single Family Detached	Mungo Homes	Same
12/11/2024	24-0503		605 W US Hwy 80	Advanced Academics Academy	Norman Restorations	Advanced Academics Academy Foundation
12/11/2024	24-0411	Westbrook	201 Holloway Hill, Lot 1058	Townhome	DR Horton	Same
12/13/2024	24-0304	Telfair Park	156 Jepson Way, Lot 396	Single Family Detached	Mungo Homes	Same
12/13/2024	24-0611		101 Coleman Blvd.	Interior Remodel	Basin Company	Denholtz Coleman LLC
12/16/2024	24-0540	Towne Park	510 Governor Treutlen Cir, Lot 54	Townhome	Beacon New Homes	Same
12/16/2024	24-0395	Westbrook	203 Holloway Hill, Lot 1057	Townhome	DR Horton	Same
12/16/2024	24-0394	Westbrook	205 Holloway Hill, Lot 1056	Townhome	DR Horton	Same
12/16/2024	24-0398	Westbrook	210 Holloway Hill, Lot 1126	Townhome	DR Horton	Same
12/17/2024	24-0928		1541 Pooler Pkwy Ste 200	Xfinity Retail Buildout	BCl National Inc	GJR Development LLC
12/17/2024	24-0965		2201 Pooler Pkwy Ste 200	Law Office Buildout	May Construction	T&M Commercial Development LLC
12/17/2024	24-0171	Clear Lake	100 Serene Way, Lot 1A	Townhome	Lennar Carolinas	Same
12/17/2024	24-0175	Clear Lake	102 Serene Way, Lot 1B	Townhome	Lennar Carolinas	Same
12/17/2024	24-0177	Clear Lake	104 Serene Way, Lot 1C	Townhome	Lennar Carolinas	Same
12/17/2024	24-0178	Clear Lake	106 Serene Way, Lot 1D	Townhome	Lennar Carolinas	Same
12/17/2024	24-0180	Clear Lake	108 Serene Way, Lot 1E	Townhome	Lennar Carolinas	Same
12/19/2024	24-0722		160 Pooler Pkwy	Restaurant Buildout	Chin Ho Yi	Walmart Stores
12/20/2024	230014	Benton Grove	2 Venice PL	Clubhouse	Kenneth Scott Builders	Dream Finders Homes LLC
12/20/2024	230139	Benton Grove	2 Venice PL	Commercial Swimming Pool	Year Round Pool	Dream Finders Homes LLC
12/20/2024	24-0364	Forest Lakes	140 Champlain Dr	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/20/2024	24-0638	Harmony	30 Blues Dr., Lot 852	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/20/2024	24-0639	Harmony	34 Blues Dr., Lot 879	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/20/2024	24-0690	Harmony	46 Blues Dr.,Lot 876	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/20/2024	24-0691	Harmony	44 Jazz Dr., Lot 882	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/20/2024	24-0692	Harmony	28 Jazz Dr., Lt 886	Single Family Detached	Landmark 24 Homes of Savannah	Same
12/23/2024	24-0183	Clear Lake	110 Serene Way, Lot 2A	Townhome	Lennar Carolinas	Same
12/23/2024	24-0184	Clear Lake	112 Serene Way, Lot 2B	Townhome	Lennar Carolinas	Same
12/23/2024	24-0185	Clear Lake	114 Serene Way, Lot 2C	Townhome	Lennar Carolinas	Same
12/23/2024	24-0186	Clear Lake	116 Serene Way, Lot 2D	Townhome	Lennar Carolinas	Same
12/23/2024	24-0187	Clear Lake	118 Serene Way, Lot 2E	Townhome	Lennar Carolinas	Same
12/27/2025	24-0770	Westbrook	645 Blue Moon Xing, Lot 867	Townhome	Logan Homes SC LLC	Same
12/27/2025	24-0769	Westbrook	643 Blue Moon Xing, Lot 866	Townhome	Logan Homes SC LLC	Same

City of Pooler Certificate of Occupancy

December 2024

Date	Permit #	Subdivision	Address	Type of Construction	Contractor	Owner
Total	41					

Monthly Report December 2024

INSPECTORS		
Scott MacPherson	288	Inspections (Included in Salary)
Frank Garza	468	Inspections (Included in Salary)
Josh Moody	14	Inspections
Total Inspections:	770	Inspections

ODEN BOODD BEOLIESTS	15
OPEN RCORD REQUESTS	15



Page 2 of 5

			E USE ONLY		N.	Requesting "
Date Receive	ed:01/14/125	Received by: \overline{P}	4		Fee Paid:	the waive 2.
☐ Approved	☐ Denied Spec	ial Stipulations:				
Meeting Date	e:	Mayor's Signatu	re:			
Event Inform	nation					
St. Patrio	ck's Day Festi	val Tanger (Outlets			
Name of Ever	nt	Event Loc	ation		Entry Fe	e (if applicable)
3/17/202	25	6:00 а.п	1.		12:00 a	ı.m.
Event Date		Event Sta	rt Time		Event E	nd Time
Shuttle &	& Festival wit	h vendors/food	d trucks		5,000	
Description o	f Event				Estimate	ed Participants
Type of Even	t: 🖊 Open (Public)	☐ Closed (Invitation	Only)	Will food be sold o	r given aw	/ay? ☑ Yes ☐ No
Applicant Inf	•			9		
	Ashley Goth					12. *
Applicant Ful					Driver's	License & State
Date of Birth	& Place of Birth (Cit	v. State, Country)			SSN	
	(20	,,, = == ==, = = ,,		•		3
Race	Sex	Height	Weight	Hair Co	lor	Eye Color
Physical Hom	ne Address					-)
,						
Mailing Addre	ess (if different)	4)4				
77	poolerchambe	er.com			7709	126862
Email	- t				Phone	
Business Info	ormation					
Legal Structu	ure of Entity: 🗌 Sole	Proprietor 📈 Co	rporation 🗌	LLC Partner	ship	
Greater P	ooler Area Cha	mber of Comm	erce & Visi	tors Bureau		
Legal Busines	ss Name	,			DBA (if	applicable)



Page 3 of 5

31-1483368	237229	7-XB
FEIN		GA Tax ID Number (STIN)
Greater Pooler Area Chamber of Commerce and V	Attest 80% of the proceeds benefit th	ne non-profit? 🗹 Yes 🔲 No
Non-Profit Name and IRS Status (if applicable		
iminal History		
Warning : Failure to make full disclosure in revocation of the license. If the answer to ar connected with or having an interest in said	ly allestion in this section is "ves" for the	applicant or any person
Has the applicant or any person with or havi	ng an interest in said business:	
 Ever been convicted of any criminal	violation or city ordinance violation other	than a traffic violation?
 Ever served time in prison or other of the prison of	correctional institution?	
 Ever had an alcoholic beverage licen No ☐ Yes 	se suspended or revoked at any time in a	ny locality?
 Ever previously or currently held/ho complete question 5. If no, skip que No ✓ Yes 	ld a license to sell wine, beer and/or disti stion 5.)	lled spirits/liquor? (If yes,
 If yes to question 4, were there any ✓ No ☐ Yes 	violations of any law, regulation or ordin	ance relating to such business
Before the undersigned attesting officer duly license to conduct the sale of alcoholic beve statements made in this application are true	rages in the City of Pooler, says that the	information given, and the
Brooke Ashley Goth	rivil dance ton	1/14/2025
Applicant Name	Applicant Signature	Date (1517 0355
lotary Public	Million Spille Vice	AOLA A. C.
01/15/2025	â.	NO i
Subscribed and Sworn This Day Of	2 . 1) -	Seals Cronding
Maora A. Geograf	Notary Signature	Od Da 2005
Notary Name	Notally Signature	14.74
		COUNTY MAN



Page 4 of 5

assificati		∪ R	ETAIL			
	/	cations received after				T
CLASS	CLASSIFICATION	LIQUOR, BEER & V		ER & WINE	BEER ONLY	TOTAL
Α	Retail Package	□ 1 \$1850		2 \$800	3 \$600	
В	Consumption On- Premises	□ 1 \$2150	O TECALE	2 \$1000	3 \$750	l.,
			OLESALE	DDY/		TOTAL
CLASS	CLAS	SIFICATION		PRIC		TOTAL
С		Liquor			\$3200	
D	Ве	eer & Wine			\$1900	4
		MANU	FACTURERS			T
CLASS	CLAS	SIFICATION		PRI	CE	TOTAL
E	Brewer, manufa	cturer of malt beverages			\$1075	
G	Manuf	acturer of wine			\$2250	
Н	Distiller, manuf	acturer of distilled spirits		D	\$2250	
		HOTELS, EVENT		ERERS		
CLASS	CLAS	SIFICATION		PRI	ÇE	TOTAL
F1		Hotel		О	\$2500	
F2	Speci	al event venue		0	\$2000	
L	Consumption	off-premises, Caterer		٥	\$1500	
		SPECIAL EVENTS & C	OMPLIMENTAR	ALCOHOL		
CLASS	CLAS	SIFICATION		PRI	CE	TOTAL
I	Temporary/Priv	rate Event (max 2 days)		ದ \$	100/day	156
	Home D	rew Special Event	0	\$100/day	OUT-OF-CITY CATERERS	
J		an 6 days per annum)			□ \$50/day (+ 3% excise tax)	
К	Complime	entary Beer & Wine		а	\$250	
		ADD-G	N LICENSES			10.0
CLASS	CLASSIFI	CATION	APPLICABL	E LICENSES	PRICE	TOTAL
Α	Brew	pub	B1, B2	2, B3, E	□ \$850	
C1	Sunday Sal	es (Retail)	A1. A2, A3, C, [), E, F1, F2, G, H	□ \$750	
C2	Sunday Sales	(11:00 a.m.)	B1, B2,	B3, F1, F2	□ \$1000	
D	Tasting Event (must not max events	ify 5 days prior and 52 per annum)	A1, /	A2, A3	□ No fee	
		NEW APP	LICATION FEES		CRAND TOTAL	A - 47
CLASS		FEES			GRAND TOTAL lections and application	n fees)
A1 - H & L		□ \$290				
I, J & K		= \$20				



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Updated SEPT 2023

DI ANNING & DEVELOPMENT LISE ONLY

FEATURE & DEVELOTIVE COLUMN
The Planning & Development Department has reviewed and examined the application. Based on the findings and the requirements of the Zoning Ordinance of the City of Pooler, the application is therefore recommended for:
PIN: Zoning:
PApproved Denied Reviewed by: Phoun Date: 01-15-2025
Comments:
POLICE DEPARTMENT USE ONLY
The Police Department has reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:
Approved Denied Reviewed by: Colleg Brown Date: 1/21/2025
Comments: Security plan required Contact Capt, Bogglew,
FIRE-RESCUE SERVICES USE ONLY
Fire-Rescue Services have reviewed the application, disclosure, and criminal histories of the applicant(s). Based on the findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:
Approved Denied Reviewed by: Date:
Comments: (See attached)



Page 5 of 5

Updated SEPT 2023

PLANNING & DEVELOPMENT USE ONLY

PIN:		Zof	ning:
			Date:
Comments: _			
			DEPARTMENT USE ONLY
on the finding recommended	is and the requ d for:	irements of the Co	ation, disclosure, and criminal histories of the applicant(s). Based de of Ordinances of the City of Pooler, the application is therefore
☐ Approved	☐ Denied	Reviewed by:	Date;
Comments: _			
		FIRE-RESC	CUE SERVICES USE ONLY
on the finding	is and the requ	ulrements of the Co	detion, disclosure, and criminal histories of the applicant(s). Based de of Ordinances of the City of Pooler, the application is therefore Date:
Comments:	WILL	REQUIRE	TWO OFF-DUM PERSONNEL TO
Ce	VER T	HE EVENT	FROM OLOU- 2000, PLEASE
Co	NTACT	DEPUTY C	HIEF CRIBBS TO SCHEDULE
Pi	ERSONN	E.C.	·



Page 1 of 3

Updated MAY 2024

NOTICE TO APPLICANT

Applications must be submitted at least thirty (30) days prior to the event, no exceptions. Applications received with fewer than thirty (30) days' notice will neither be accepted, nor processed. No advertisements, fee collection, or orders should be made by the applicant (including online and on social media) until this application has been approved by the City's Mayor and Council.

- ☐ The application must be completed in its entirety. To speed up the process, please attach proposed event flyers, routes, maps, and any other supporting documents related to the event.
- Contact Business Registration at (912) 748-7261, ext. 118, to schedule an appointment to submit the application and pay the non-refundable fee of \$300/day (\$500/day for amusement park, carnival, or circus events) or email the form with supporting documents to finance@pooler-ga.gov and make a card payment over the phone. This permit is issued for a maximum of thirty (30) days.
- ☐ If seeking a waiver of fees, please indicate this on the application and attach, if applicable, your 501(C)(3) IRS letter. Please note that only Mayor and Council can waive fees.
- If your event will have food vendors (i.e., food trucks), state so on the application and indicate that food will be sold/provided. If food vendors are not indicated on the application, they will not be allowed at the event. (If alcohol will be served, this is not the correct form; please fill out the Temporary/Special Event Dispensing Alcohol Permit application.)
- The Police Chief, Fire Chief, and Parks & Recreation Director will review your completed application. At that time, each will make a recommendation for approval or denial and indicate what special stipulations, if any, must be completed prior to the application being presented to Mayor and Council. Following, Business Registration will contact you to inform you of the recommendation made and/or stipulations required by each department and provide you with contact information, if needed, to coordinate the use of police officers and/or emergency management personnel. You, the applicant, will contact all department personnel to schedule the use of staff as required.
- Business Registration will inform you when your application will be reviewed by the Mayor and Council (during a regularly scheduled council meeting). Please make plans to attend this meeting.
- ☐ If approved, the permit will be emailed and malled to you within 2-3 business days of the meeting. If your application is not approved and you would like to appeal, contact finance@pooler-ga.gov.

OFFICE USE ONLY

Event Name	Event Date	Event Start/End Time
Cirque De Paris	March 06-16, 2025	Monday - Thursday 7:00 pm F
Event Information		(see attorned)
Meeting Date:	Mayor's Signature:	
☐ Approved ☐ Denied Sp	ecial Stipulations:	
Date Received: 01/17135	Received by: PP	Fee Paid: \$5,500.



Page 2 of 3

Updated MAY 2024

200 Tanger Outlet Blvd. Pooler Ga.31322		DAS-60 (Sec off och USA VIP Ringside Adult or C
Event Address/Location		Entry Fee (if applicable)
Cirque De Paris		400
Description of Event		Estimated Participants
Will food be sold or given away? 🗌 No 🏼 🌠 Ye	es	
Will alcohol be served? ✓ No ☐ Yes (If yes	s, STOP, you have the wro	ong form.)
oplicant Information		
Cirque De Paris/ Kim S Valla		
Applicant Name		Applicant Email
1800 Northgate Blvd. Suite A5 Sarasota, Fl 34234		941-320-5015
Applicant Home Address		Applicant Phone
Contact Name (if different from above)		Contact Phone
	LLC	_ Fee Waiver Requested? ☐ Yes ☑ No
Non-Profit Name (if applicable)	IRS Status (if applicable	
ffidavit		
I solemnly affirm and declare that the inform best of my knowledge and belief. I understan application or the revocation of any permit is:	d that any false statements	or omissions may result in the denial of this
I further acknowledge my responsibility to co ordinances related to the event for which this injuries, or losses arising from or related to the required by the local government. I also agre the information provided in this application.	s permit is sought. I agree to the event, and I will obtain a te to promptly notify the loc	o assume all liability for any damages, ny necessary insurance coverage as al government of any material changes to
Kim S Valla	Kim S Val	01-15-2025
Applicant Name	Applicant Signature	Date



Page 3 of 3

Updated MAY 2024

		PO	OLICE DEPA	RTMENT US	E ONLY			
The Police Deparequirements of	of the Code	of Ordinance	es of the City of	f Pooler, the ap	plication is	therefore r	ecommended	for:
Approval Comments/Cor	☐ Denial	Date: 1/7	0/2025	Reviewed by:	Cast	eley)	Brown)
Comments/Cor	ncerns: 🚅	ecurit	ty plan	requ	cred.	V		
	C	ortac	t capt	r. Bogd	low.	19		

		FIF	RE-RESCUE S	SERVICES U	SE ONLY			
Fire-Rescue Se requirements o								
☐ Approval	☐ Denial	Date:		Reviewed by:				
Comments/Cor	ncerns:							
·								
<u> </u>					111			
		PA	ARKS & REC	REATION US	SE ONLY	(AIU)		
Parks & Recrea requirements o								
☐ Approval	☐ Denial	Date:		Reviewed by:				
Comments/Cor	ncerns:							
-								



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Cirque De Paris

Updated MAY 2024

POLICE	DEPARTMEN	AL OPE ONF	Y

The Police Department has reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:	
Approval Denial Date: Reviewed by:	
Comments/Concerns:	
<u> </u>	
FIRE-RESCUE SERVICES USE ONLY	
Fire-Rescue Services have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:	
Approval Denial Date: 1/18/25 Reviewed by: G. WANE Symmons	
Comments/Concerns: PLEASE SEE ATTACHED FOR COMMENTS.	avs
PARKS & RECREATION USE ONLY	
Parks & Recreation have reviewed the application and the details of the event. Based on their findings and the requirements of the Code of Ordinances of the City of Pooler, the application is therefore recommended for:	
Approval Denial Date: Reviewed by:	
Comments/Concerns:	

A Department of the City of Pooler Municipal Government 100 SW Hwy. 80, Pooler, Georgia 31322 Office: (912) 748-7012 www.pooler-ga.us/fire.php

January 18, 2025

Cirque De Paris Event/Tanger Outlets c/o Kim S Valla 200 Tanger Outlet Blvd. Pooler, Georgia 31322

Dear Sir/Madam:

Thank you for including the necessary paperwork for the tent set up. I will need our tent permit application filled and returned as soon as possible. Based on previous experience with this type of performance and the information provided, we are approving our portion of the permit with no additional off-duty staffing required. Please note there will be on-site inspections and walk throughs of the tent and grounds as we deem necessary to make sure it is in compliance for the safety of our guests and performers.

We require the inspection prior to the first show. We will conduct the approval inspection as soon as you have the tent and all accessories set up. You can also expect a daily work through to confirm compliance prior to the first show daily and randomly as we see fit throughout the 17-show performance. As a reminder, if the tent doesn't meet the requirements shown on the application at any time, we reserve the right to revoke, cancel, or delay any show until it is brought into compliance.

If approved by council, please contact the number on the tent permit to schedule the initial inspection when ready. I understand the scheduling constraints you are under with Tanger; our shift Battalion Chiefs can perform the inspections extending our "normal" operating hours.

Respectfully,

G. Wade Simmons

Fire Chief

City of Pooler

Paola Parada

From: Stacy Weston

Sent: Wednesday, January 22, 2025 2:35 PM

To: Paola Parada

Subject: FW: Cirque De Paris/Tanger Outlet

Attachments: POOLER TENT APPLICATION.pdf; 24-578 -- Savannah GA -- PERMIT#1 --

25-0116-1519.pdf; Savannah Cirque de Paris Approval Letter.pdf; CAB Emergency Plan

4,09,24.pdf

Hey Paola:

All documentation has been provided for Chief Simmons.

We should inspect the tent on March 5th or 6th.

Let me know if you have any questions.

Thanks.

Stacy

Stacy Barre Weston Fire Coordinator City of Pooler **Department of Fire-Rescue Services**

1093 South Rogers Street (Headquarters)

Pooler, GA 31322 912-748-7012 Office 912-429-2732 Cell

https://www.pooler-ga.gov/pooler-departments/pooler-fire-department

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From: Kim Sue - Circus Booking Office < KimSue@sarasotaboxoffice.com >

Sent: Wednesday, January 22, 2025 11:59 AM

To: Stacy Weston <SWeston@POOLER-GA.GOV>; Finance <Finance@pooler-ga.gov>

Subject: **EXTERNAL EMAIL**Cirque De Paris/Tanger Outlet

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hello Stacy, attached is a tent permit application.

We are binding the insurance this week so I will have COI available. I have a full permit set attached. Please let me know what else I need. Thank you so much!

Tanger

January 9, 2025

Dear Sir/Madam:

Cirque Bouglione USA, LLC dba Cirque de Paris has permission to obtain the permits to host a Circus at the Tanger Outlets Savannah, 200 Tanger Outlets Blvd., Pooler, GA 31322, for the event dates below.

March 06, 2024 - March 16, 2025

Please contact me with any questions as we look forward to having this wonderful event at our property then.

Best regards,

Casey Jacobs

Casey Jacobs

National Accounts Manager, Marketing Partnerships

Tanger, Inc.

	THURSDAY, MARCH 6TH
_{тни}	Savannah, GA 20 7:00 PM Under the Big Top! - Tanger Outlets Savannah
	FRIDAY, MARCH 7TH
7	Savannah, GA 💯 4:30 PM Under the Big Topt - Tanger Outlets Savannah
FRI 7	Savannah, GA @ 7:30 PM Under the Big Top! - Tanger Outlets Savannah
	SATURDAY, MARCH 81H
8 8	Savannah, GA @ 1:30 PM Under the Blg Top! Tanger Outlets Savannah
8 8	Savannah, GA © 4:30 PM Under the Big Topl · Tanger Outlets Savannah
8 8	Savannah, GA © 7:30 PM Under the Big Topl - Tanger Outlets Savannah
	SUNDAY, MARCH 9TH
sun 9	Savannah, GA @ 1:30 PM Under the Big Top! - Tanger Outlets Savannah
9 9	Savannah, GA @ 4:30 PM Under the Big Top! - Tanger Outlets Savannah
	MONDAY, MARCH 10TH
мон 10	Savannah, GA @ 7:00 PM Under the Big Top! - Tanger Outlets Savannah
	WEDNESDAY, MARCH 12TH
wed 12	Savannah, GA @ 7:00 PM Under the Big Topl - Tanger Outlets Savannah
	THURSDAY, MARCH 13TH
^{тно} 13	Savannah, GA @ 7:00 PM Under the Big Top! - Tanger Outlets Savannah
	FRIDAY, MARCH 14TH
FRI 14	Savannah, GA @ 4:30 PM Under the Big Top! - Tanger Outlets Savannah

SATURDAY, MARCH 15TH

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Savannah, GA 👰 1:30 PM

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Savannah, GA @ 4:30 PM

Under the Big Top! - Tanger Outlets Savannah

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Savannah, GA @ 7:30 PM

15 Under the Big Top! Tanger Outlets Savannah

SUNDAY, MARCH 16TH

SUN

Savannah, GA @ 1:30 PM

16 Under the Big Top! - Tanger Outlets Savannah

SUN

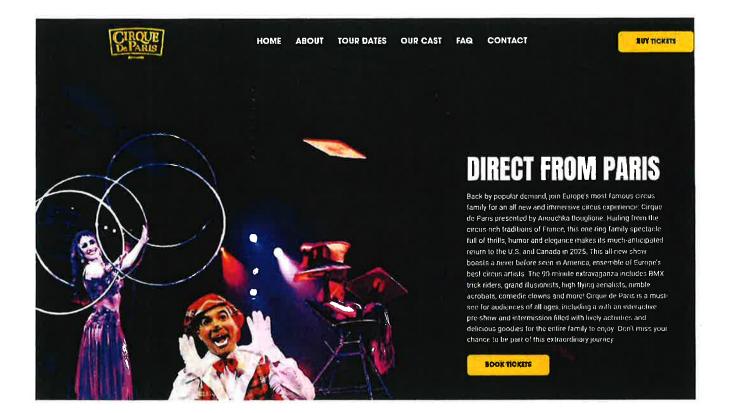
Savannah, GA @ 4:30 PM

16 Under the Big Top! - Tanger Outlets Savannah

USA

VIP Ringside Adult or Child: \$55 / \$60 Preferred Adult or Child: \$40 / \$45

Adult: \$30 / \$35 Child: \$25 / \$30



Sarasota Box Office

Project Location 1800 Northgate Boulevard, Suite #A5 Sarasota, FL 34234

Cirque de Paris dba: Cirque Bouglione USA, LLC

Tanger Outlets Savannah 200 Tanger Outlets Boulevard Pooler, GA 31322



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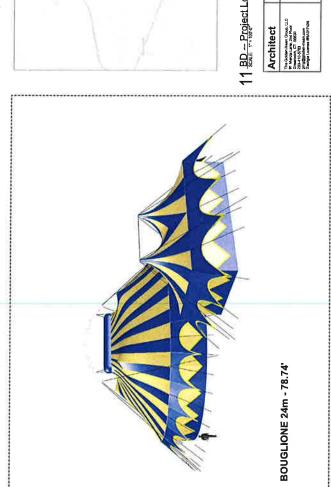
COLDEN MEAN GROUP LE

11 BD - Project Location Plan

Architect	Engineer	Electrical	Permitting
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Georgia Building Codes

Building Data

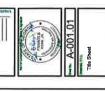


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Building Code Limitations

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200 Tanger Outlets Boulevard Pooler GA 31322

Cirque de Paris

DOCAL CONSTRUCTION NOTES.

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Contractor shall cosity Architect immediately if buzardous materials are enountered during denoision or construction activities. Contractor shall a further directions prior to recommening work.

SUPPLEMENTAL CONDITIONS

Conform work to the Contract Documents which include the Owner/Contra Agreement, the Drawings, and all Addends and Modifications issued by the wothers.

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16. As part of consequer warranty specified in the General Conditions, requisite that and other designations and abstracting that and other designations are series of estiments and abstracting before years respectational after completion. This requirement do no include crucks and other damage which are due to abstract the Peroject.

G.C. shall furnish information on the Site Supervisor, Fire Clurid and prove Proporty Manager with all applicable licenses. .

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The Control Configuration could be than 10 to 10

Provide one (!) year warrany for enalerial and workmanabip except where more stringent requirements are saked fire. All work shall be done in accordance with numbrances writhe recomme and recognized acceptable standards of good practice.

lo case of an incensistency between the drawings and specifications, the better quality of work shall be provided to accordance with the architect's interpretation.

Take down, stare, and protect parts of existing braiding, equipment, and skelings which are to be reused or to remain. If the scope of farms to be of or to remain a feet clear, request clerification from Architect. Protect adjoining structures and adjacent property from damage. Do on free with use of bloss portions of bridding and alse which are in use at is recoffice. Maintain safe, froe pusage in and from portions of building in are in use.

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Figure 1 and 1 interference and conditions, visible and/or bidde to the same of the contractor shall impact or survey the space before partern

7. Coordinate installation of new work with Owner's existing system

1. Provide Owner with complete sets of operations manuals for aging

1. All exclassives for equipment provided shall be NEMA type I.

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Follow manufacture's recommendations for installation of provides, quipment.

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7. Coordinate all work with Owner's representative.

The GOLDEN MEAN GROUP LE

Writzen requests for planned shustown or interruption of building serving plants, or equipment shall be wade 72 hours prior to the start of shustown

Provide all crancs, rigging, and staging peoded to install equipe ided

All hydronic piping 2-1/2" and smaller shall be copper, type "K" or " 20. Persists cannot work for all mechanish system again

 Existing hangers shall not be reased. Provide hangers as require lesulate all existing piping disturbed during constitution

Patch at wall and floor penepaisms and other building comp trations with materials and finisher to match existing.

 Contractor shall obtain and pay for all required permits and arrange for: quired inspections in accordance with take and local governing codes. Core drilling of wall and floor ponetrations is to be done by the plumbin obsetur. Provido sciente bracing of all piping in accordance with deswings and imp Building Code.

CONSERVED ON 100 OF ORGANIC CONTRACTOR OF THE C Seminal trains terminates

4 (1233), (2734) SERVICE TO THE

Mercia Lane, 2nd Floo Greenwich, CT 06839

Cirque de Paris

-- A-002.00

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Remove demokshed maleriah from site. Leave site clean and froe of gerous conditions. Do not bern maleriah on site.

Repair durage done during demolibion. Restare enclosure of portions of ling but to be demolibled so as to keep out water, dirt, onld, and other the conditions

Prevent movement and sediement of permosts of building and site not Sished.

SENERAL ELECTRICAL NOTES:

ENERAL MECHANICAL NOTES:

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 All equipment and material shall be tabeled and listed, and installed in accordance with their listing. Contractor shall obtain all required permits and shall arrange for all required importers to accordance with State and Local governing codes.

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Before cutting or drifting building materials, Contractor shall impact byout work to avoid damaging structural elements and building utilities.

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The Project includes work which is affected by existing conditions, inconditions which may effort be Work may be discovered chring press of the Work. Aktive adjustments in the Work as required in mnodate existing conditions, as directed by the Architect.

6. All week shall be done in accordance with National Electric Code (NEC) INSINFPA 70 1993 edition. Byfare smiler or diviner ins beating compount, import a Vork to send damages, or where it imment and beating utilities

200 Tanger Outlebs Boulevand Pooler GA 31322



CITY of POOLER

GEORGIA

PROCLAMATION

World Wetlands Day

WHEREAS, wetlands are among the most productive ecosystems on the planet, providing vital benefits to both human and environmental health; and

WHEREAS, wetlands serve as critical habitats for diverse wildlife, act as natural water filters, and protect communities from floods and erosion; and

WHEREAS, wetlands are essential for the overall health of our environment, playing a key role in carbon sequestration and climate regulation; and

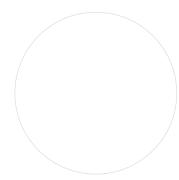
WHEREAS, World Wetlands Day, celebrated annually on February 2nd, honors the adoption of the Ramsar Convention on Wetlands in 1971, which aims to conserve and protect wetlands globally; and

WHEREAS, raising awareness about the importance of wetlands encourages public engagement in protecting and conserving these irreplaceable ecosystems for future generations; and

WHEREAS, it is important to recognize the wetlands within our own community and ensure their preservation for the benefit of future generations.

NOW, THEREFORE, I, Karen L. Williams, Mayor of the City of Pooler, do hereby proclaim February 2, 2025, as World Wetlands Day in the City of Pooler, and encourage all residents to learn more about the vital role wetlands play in sustaining life and to join in efforts to protect and conserve these valuable ecosystems.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Pooler, Georgia, to be affixed this 3rd day of February, 2025.



Karen L. Williams, Mayor

ATTEST:

Kiley Fusco, Clerk of Council



STATE OF GEORGIA	}
)
COUNTY OF CHATHAM	}

RESOLUTION R2025-01.A

Authorization for Proceed with Acquisitions and Condemnations for Pooler Parkway/Pine Barren Improvements

WHEREAS, the City of Pooler has laid out and determined a road project designated as the Pooler Parkway/Pine Barren Improvement Project, being more particularly described in a map and drawing of said project in City Hall, 100 US Highway 80, Pooler, Georgia, to which reference is hereby made and presented at a Public Hearing on December 20, 2024; and

WHEREAS, in pursuit and completion of this road project, it is necessary for the City of Pooler to acquire certain properties located in Chatham County that are now owned by private properties all as shown on said map; and

WHEREAS, the acquisition of such properties is for a public purpose;

WHEREAS, the City of Pooler shall attempt to negotiate the acquisition of said properties and if without success shall authorize said property(ies)' acquisition to be completed by condemnation,

NOW, THEREFORE, it is found by the City of Pooler that the circumstances are such that it is necessary that the parcels be acquired by condemnation under the provisions of O.C.G.A. § 32-3-1 et seq.; and

NOW, THEREFORE, pursuant to the power of eminent domain granted this governing authority by Article IX, Section II, Paragraph V, Constitution of Georgia (as amended in 1998) the City of Pooler designees and the City of Pooler Attorney are authorized to proceed forthwith to complete the acquisition of the properties needed for said Project and if negotiation for the acquisition is not successful then the Attorney for the City of Pooler is authorized and directed to file condemnation proceedings, including a declaration of taking, to acquire said title, estate, or interest in said lands all in accordance with the provisions of said Code section.

BE IT RESOLVED this 6th day of January 2025.

•	CITY OF POOLER, GEORGIA
	Karen L. Williams, Mayor ATTEST:

Kiley Fusco	iley Fusco, Clerk of Council



PLANNING & ZONING STAFF REPORT

PUD Amendment for 500 Seabrook Parkway to Add "Fueling and Electric Vehicle Charging Stations" As Permitted Use

#A24-0192
December 9, 2024
January 6, 2025
Douglas Faircloth, Coleman Company
51011 01035
PUD (Morgan Family Tract)
PUD Amendment
Request to add fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging; provided that such use shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom, to the list of permitted uses for the Light Industrial tracts in the Morgan Family Tract PUD Master Plan Development Standards.
October 17, 2024
December 1, 2024
December 19, 2024
December 18, 2024
Approval with the following condition: Fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging uses shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom.

Planning & Zoning Commission: Recommended Motion:	After review of the criteria, P&Z recommended approval with the following condition: Fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging uses shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom. "After review of the criteria, move for approval of the request."
Background:	The subject property has site plan approval as a trailer and container storage yard. The intention is to change the proposed use to an EV truck charging site and Hydrofleet Manufacturing and fueling site. Manufacturing is listed as a permitted use in the list of uses on the Light Industrial tracts in the PUD, however the refueling and electric vehicle charging station is not. Therefore, the applicant is requesting a change to the list of permitted uses in the PUD.
	The applicant is seeking to add "Fueling Stations, including fueling of gasoline, diesel, or hydrogen fuels, and electric vehicle charging; provided, that such use shall be limited to the parcel bearing the PIN 51011-01035 and any parcel created therefrom" to the list of permitted uses for the Light Industrial tracts in the Morgan Family Tract PUD Master Plan Development Standards. No change to the Light Industrial tract designation is proposed. Adding fueling and electric vehicle charging stations as permitted uses will allow private servicing, including refueling and charging, for a truck fleet. The Morgan Family Tract Master Plan identifies this area as Light Industrial. The Pooler 2040 Comprehensive Plan identifies this area within the PUD/Mixed Use character area. The Future Land Use Map (FLUM) designates this site as Residential.
Relevant Ordinances:	App. A, Art. IV, Sec. 21. I-1, Light Industrial District
	App. A, Art. IV, Sec. 26. Planned Unit Developments (PUD)
Zoning Action Standards:	 Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area? Yes, while the zoning boundary is not being changed, the request is a logical extension of the permitted uses since this request is to add fueling and electric vehicle charging stations as a permitted use to an area where the pattern of uses has been Light Industrial. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?

- No, this is not spot zoning as the zoning is not changing and will remain PUD with a Light Industrial use. It does coincide with the pattern of Light Industrial development in the area.
- 3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - The proposed use is similar to other permitted Light Industrial uses in the area and would not traverse established single-family neighborhoods. Any potential traffic impacts will be reviewed prior to final approval of any site development plans, if rezoned.
- 4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - No, the request would be consistent with adopted plans and policies for the area. The Morgan Family Tract Master Plan identifies the area as Light Industrial; the comprehensive plan identifies the area as PUD/Mixed Use and the future land use map identifies the property as residential. While the proposed use is not consistent with the future land use map, the area has developed over the years with industrial uses and it is unlikely it will become a residential area.
- 5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - While there is no imminent need for the proposed use, the property is likely to be utilized as requested. The adjacent uses are Light Industrial with only one Single-Family Residential property adjoining. The subject parcel is currently zoned PUD and identified as a Light Industrial tract. The PUD zoning and Light Industrial designation for this property will not be changed.
- 6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
 - No, the proposed use would be consistent with that of the general area being used for Light Industrial development.
- 7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - It is unlikely additional requests would be made to add other Light Industrial uses to the list of permitted uses in this PUD. Staff and the applicant are both

recommending a condition of approval that the proposed use be limited to the subject parcel.

- 8. Will the action adversely impact adjacent or nearby properties in terms of:
 - Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - No, according to documentation provided by the applicant, the proposed use is one that is safe and the request should not adversely impact the nearby properties as it relates to environmental quality, livability, or cause incompatible development. The subject parcel is zoned PUD with a Light Industrial designation and the request for a refueling station is in line with the other light industrial uses allowed on site and in the vicinity.
 - o Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable because the proposed Light Industrial use is compatible with the existing Light Industrial uses in the area.
 - Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any future site development proposed will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.
- 9. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

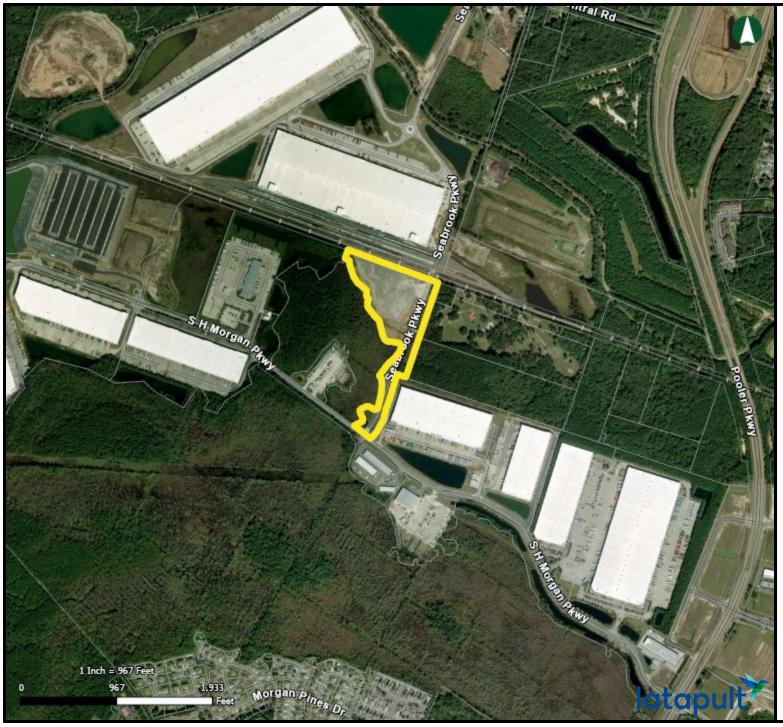
 No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this rezoning would be the responsibility of the property owner and would not place a burden on the City.

Conclusion:

Staff finds the request does comply with the required criteria for a zoning map amendment. As such, staff recommends **Approval of the request**, with the condition that the fueling stations, including fueling of gasoline, diesel or hydrogen fuels and electric vehicle charging, uses shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom be allowed only on Parcel Number 51011 01035, known as 500 Seabrook Parkway.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation
- D. Additional Application Material



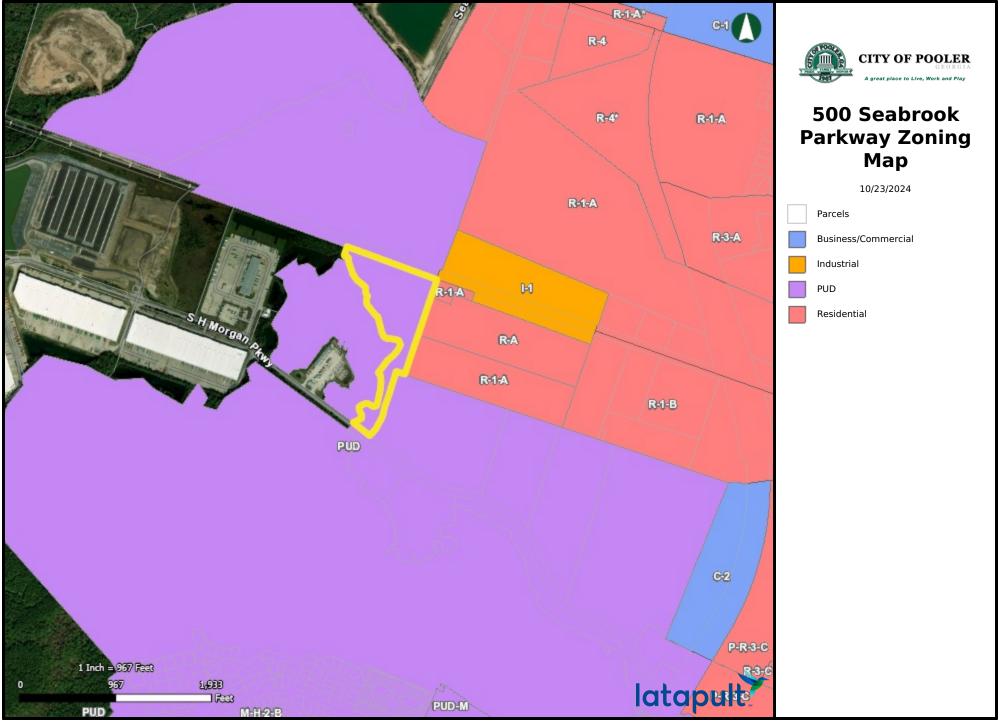


500 Seabrook Parkway Vicinity Map

10/23/2024

Parcels

 $\textbf{This map was created using Latapult} \mid \textbf{www.latapult.com} \mid \textbf{Bigger Data Faster Maps Stronger Decisions}$



This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



Zoning Map Amendment Standards

Page 1 of 1

Updated SEPT 2023

Section 10. Standards for Zoning Ordinance or Map Amendment

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted use of property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision:

- 1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
- 2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
- 3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise and traffic hazards?
- 4. Will this request place irreversible limitations on the area as it is or on future plans for it?
- 5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
- 6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?
- 7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
- 8. Will the action adversely impact adjacent or nearby properties in terms of:

Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?

Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?

Will the action create development opportunities of such increased intensity that storm water runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?

9. Will the action result in public service requirements such as provision of utilities or safety services which because of the location or scale of the development, cannot be provided on an economic basis and therefore would create an actual burden to the public?

Affidavit of Receipt

receipt of the document.	$\sim 1/11$		•
Douglas Faircloth	1 lon day	10/18/2024	
Applicant Name	Applicant Signature	Date	

I understand the importance of this document and acknowledge that this affidavit serves as a formal record of my



Zoning Map Amendment Application

Page 1 of 3

Updated SEPT 2023

NOTICE TO APPLICANT

Applicant must submit the following information thirty at least thirty (30) days prior to the regularly scheduled meeting on the second and fourth Monday of each month (unless otherwise noted). Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission. Attach additional typed or printed sheets if necessary to fully answer any section.

printed sheets if necessary to fully answer any	section.									
Filing fee payment. (See 2023 Schedul	e of Fees). Make checks payable to the City of Pooler.									
 If using a PowerPoint presentation, em 	☐ If using a PowerPoint presentation, email converted pdf to planning@pooler-ga.gov .									
 A scaled plat showing dimensions, acre licensed architect/surveyor. Submit on 	eage, location of the tract(s), and utility easements prepared by a e (1) copy if $11" \times 17"$ or smaller, sixteen (16) copies if larger.									
A legal description of property.										
A completed Campaign Contribution form										
☐ A completed Zoning Map Amendment S	Standards acknowledgement of receipt									
A completed Property Owner Authoriza	tion form (if Agent is Applicant).									
 A copy of current tax bill showing payn taxes were paid. 	nent or a certification from the City of Pooler Tax Office stating									
O	OFFICE USE ONLY									
Date Received:	File Number:									
Hearing Date:	Adjacent Owner Letters Mailed:									
Publication of Notice (15 days prior to hearing)	i									
☐ Action Approved ☐ Action Denied (cop	y of minutes disposing of this action are attached)									
Action Result Mailed to Applicant:	Sign Posted:									
Applicant Information										
Douglas Faircloth	912.200.3041									
Owner/Authorized Agent Name	Phone									
1480 Chatham Parkway Suite 100, Savannah, GA 314	dfaircloth@cci-sav.com									
Owner/Authorized Agent Address	Email									
Have any previous applications been made for	a text or map amendment affecting these same premises? \Box Y $m{arnothing}$									
If yes, provide file number, date, and action tal (If exact file number, date, or action is not known	ken: wn, please give approximate date of previous application.)									



Zoning Map Amendment Application

Page 2 of 3

Updated SEPT 2023

Action	Requested
--------	-----------

5 H Morgan Parkway, Pooler, GA 31322

Property General Location (area), S	treet Number, and Location with Respect to Nea	arby Public Roads in Common Us		
LOT I MORGAN CENTER (SMB 36S 51A 15.77	51011 01035			
Legal description of the property (n	PIN			
I-1	I-1	8.25 acres		
Present Zoning Classification	Requested Zoning Classification	Total Area (acres or sq ft)		
SBR Savannah Port Logistics Am	eris Owner Three, LLC			
Property Owner Name (if same as a	Phone			
3550 LENOX ROAD N.E., SUIT	E 2000, Atlanta GA 30326			
Property Owner Address	Email			
Industrial	Refueling Station			
Existing Land Use (specify)	Proposed Land Use (specif			

Reasons & Certifications

List all reasons for requesting change which would support the purposes of the zoning program.

Inclusion of "Refueling Stations" to the light industrial district permitted uses section of the PUD text to allow private servicing for truck fleet.

See Addendum attached hereto for more specific Action Requested and Reasons for Requested Change

Adjacent Property Owners

Name & Address (including zip code)

LIST	all	inform	ation	ror s	surroun	aing (prope	rty o	wner	s: pri	mary	resia	ence	e withir	ıa.	20U-T	OOT	radius	OT	tne property	/ as	OL
the	dat	e of fili	ing. I	Includ	de thos	e dire	ctly a	cros	s a pu	ublic	right.	-of-wa	зу. А	Attache	d a	dditio	nal :	sheets	ifı	necessary.		

Name & Address (including zip code)	
Name & Address (including zip code)	
Name & Address (including zip code)	



Zoning Map Amendment Application

Page 3 of 3

Name & Address (including zip code)		
Name & Address (including zip code)		
Name & Address (including zip code)		
Name & Address (including zip code)		
Affidavit		
I have received and understand the l	ist of actions required to amend the Ci	ty of Pooler Zoning Map.
		e public health, safety, and general sidered, when deemed appropriate, by
I hereby certify that the above stated Authorized Agent for the Owner of su SBR Savannah Port Logistics Ameris Owner Three, LLC Owner/Agent Name	I facts are true to the best of my know bject property. Owner/Agent Signature	loguzy Date
Notary Public		
Subscribed and Sworn This Day Of Malorie D. Boyd Notary Name	Molary Signature	MALORIE D BOYD Notary Public, Georgia Effingham County My Commission Expires October 01, 2927 Seal
		ORIE D 80 LOTARA DIE SON COUNTY COUNT

ADDENDUM

to

Zoning Map Amendment Application Morgan Family Tract PUD

I. ACTION REQUESTED

Current Language:

Paragraph IV., Subpart A: Proposed Uses

"3) Light Industrial I-1

The following uses shall be permitted within a Light Industrial district:

- 1) Manufacturing, processing, fabrication, repair, and servicing of any product or commodity, which does not produce noise, odors, dust, fumes, fire hazard or other nuisance beyond the property lines.
- 2) Warehousing, storage and distributing of any product or commodity.
- 3) Offices, including medical and dental.
- 4) Repair garages provided that all business is conducted inside an enclosed building and/or inside an aesthetically pleasing barrier, which will shield the business activity from view of passing motorists and surrounding property owners.
- 5) Animal hospitals, kennels and/or boarding facilities (see article III section 22 of Pooler Zoning Ordinance for specific regulations).
- 6) Outdoor drive in theaters (see article III, section 23, for specific regulations).
- 7) Building material sales yards and lumberyards, including the sale of rock, sand, gravel and the like.
- 8) Public utilities, including buildings, necessary structures, storage yards, billboards and other related uses, but specifically excluding waste processing, handling or storage.
- 9) Research or experimental stations and laboratories. (Conditional Use only).
- 10) Radio, cellular or television station transmission or reception towers.
- 11) Horticultural nurseries.

- 12) Office buildings for business, governmental, professional, or other general purposes.
- 13) Accessory buildings, structures and uses customarily incidental to permitted uses.
- 14) Manufactured home sale.
- 15) Bars or nightclubs.
- 16) Silviculture practices.
- 17) Movie production or studios."

Proposed, Amended Language:

Paragraph IV., Subpart A: Proposed Uses

Adds the following subparagraph 18 to the above-referenced list of permitted uses within a Light Industrial district:

"18) Fueling stations, including fueling of gasoline, diesel or hydrogen fuels, as well as electric vehicle charging; provided, that such use shall be limited to the parcel bearing PIN 51011-01035 and any parcel created therefrom."

II. REASON FOR REQUESTED CHANGE

The owner of the subject parcel (the "<u>Property</u>"), SBR Savannah Port Logistics Ameris Owner Three, LLC (the "<u>Owner</u>") desires to develop the Property as a facility which will serve as a refueling station for (i) trucks that operate on hydrogen fuel, and (ii) trucks that operate on electric batteries (the "<u>Hydrogen/EV Refueling Facility</u>"). The Hydrogen/EV Refueling Facility will manufacture on-site the hydrogen that is used to refuel hydrogen-fueled trucks, and will provide electric recharging services via a standard connection to the electric grid.

The Property is located within the Morgan Family Tract PUD (the "Morgan PUD"), and is designated a "Light Industrial" within the PUD – a copy of the most recent version of the Morgan PUD Master Plan which shows the location of the Property is attached hereto as <u>Schedule 1</u>.

Despite the Property having a "Light Industrial" designation, the development standards for the Property are not governed by the development standards within the Pooler zoning ordinance which apply to properties zoned Light Industrial. Rather, the development standards and permitted uses for the Property are governed by the Development Standards for the Morgan PUD (the "Morgan PUD Development Standards").

The Morgan PUD Development Standards contains an extensive list of permitted uses for

March 28, 2014 August, 2022 October, 2022 January, 2024 November, 2024

properties within the Morgan PUD. However, the list of permitted uses does not include a permitted use category that would encompass the proposed use for the Hydrogen/EV Refueling Facility. That is likely because at the time the Morgan PUD Development Standards were drafted, the concept of hydrogen fueling (and potentially electric vehicle charging as well) did not yet exist.

Accordingly, the Owner desires to add an additional permitted use to the list of permitted uses for Light Industrial properties within the Morgan PUD Development Standards. The additional permitted use will be limited to the Property, so that it will not be a permitted use elsewhere with in the Morgan PUD. The requested additional text can be seen above in red, as well as in the attached revised copy of the Morgan PUD Development Standards.

Other than the addition of this permitted use, the Owner intends for the Morgan PUD Development Standards to remain intact.

Schedule 1

to

Zoning Map Amendment Application

Morgan Family PUD Master Plan

[Attached]





Property Owner Authorization

Page 1 of 1

Updated SEPT 2023

Authorization		
Completion of this form is required f applications.	or all Rezoning, Conditional Use, Varianc	e, Site Plan, and Subdivision
	☐ Variance ☐ Site Plan ☐ Subdi	vision
I authorize the person named below property or a site plan submittal.	to act as Applicant in the pursuit of rezo	ning, variance or conditional use of
Douglas Fairthcloth	dfaircloth@cci-sav.com	912.200.3041
Applicant/Agent Name	Email	Phone
1480 Chatham Parkway Suite 100, Savar	nnah, GA 31405	
Applicant/Agent Address		
	2 - Parcel #51011 01035	
Notary Public	only signature	pate v
Subscribed and Sworn This Day Of Molone D. Boyd Notary Name	Mwww.Boyo Notary Signature	MALORIE D BOYD Notary Public, Georgia Effingham County My Commission Expires October 01, 2027 Seal
		MINIMUM MARKET TO THE STATE OF



Campaign Contribution Disclosure Form (Zoning Action Applicant)

Page 1 of 1

Updated MAY 2024

Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

Hearing Information	
Morgan Family Tract PUD Text Amendment	
Zoning Action/Agenda Item	
-	
Planning & Zoning Public Hearing/Meeting Date and Time	
11/18/2024	
City Council Public Hearing/Meeting Date and Time	

Disclosure Statement

Have you made campaign contributions to one or more Pooler City Official(s), including the Mayor, Councilmembers, and/or Planning & Zoning Commissioners, during the past two years that, when combined, total an amount greater than \$250.00?

- ✓ NO, I have not made any campaign contributions to one or more Pooler City Official(s) over the past two years that, when combined, total an amount greater than \$250.00.
- □ **YES**, I have made campaign contributions to one or more Pooler City Official(s) over the past two years that, when combined, total an amount greater than \$250.00 My contribution information is listed below:

City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
I attest that all information provide	ed above is true to fact.		
Douglas Faircloth	() D. (1 South		10/18/2024
Applicant Name	Applicant Signature		Date

ADJACENT NEIGHBORS

NBI BLOOMINGDALE LLC

401 EDGEWATER PLACE SUITE 107

WAKEFIELD, MA 01880

PARCEL #80006 01047

MORGAN SAMUEL H ET AL

1 OGLETHORPE PROFESSIONAL BLVD SUITE 105

SAVANNAH, GA 31406

PARCEL #51011 01045

CRAWFORD JEANNE M AS TRUSTEE ETAL

PO BOX 3

LUMBER CITY, GA 31549

PARCEL #51022 01004

YOUNG RALEIGH A

PO BOX 112

POOLER, GA 31322

PARCEL #51022 01005

SEABROOKS GEORGE

PO BOX 385

POOLER, GA 31322

PARCEL #51022 01008

SAVANNAH ECONOMIC DEVELOPMENT AUTHORITY

PO BOX 128

SAVANNAH, GA 31402

PARCEL #51011 01060

Tract 4 - Ameris Bank Parcel

ALL THAT CERTAIN TRACT OF LAND KNOWN AS LOT 1, MORGAN CENTER, FORMER

PORTION OF PARCEL "D" OF THE MORGAN TRACT "Q", 8TH G.M. DISTRICT, CITY OF

BLOOMINGDALE, CHATHAM COUNTY, RECORDED IN SUBDIVISION MAP BOOK 36S, PAGES 51A-B

AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD HAVING A GRIND NORTH, GEORGIA STATE PLANE, EAST ZONE NAD 83 COORDINATE OF NORTH: 768,308.16 AND EAST: 921,050.65, THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF S.H. MORGAN PARKWAY THE FOLLOWING COURSES AND DISTANCES: N53°53'58"W A DISTANCE OF 80.00' TO A POINT, N54°05'57"W A DISTANCE OF 115.88' TO A POINT; THENCE ALONG THE EASTERN PROPERTY LINE OF WETLANDS, RECORDED IN SUBDIVISION MAP BOOK 37S, PAGES 27A-L, THE FOLLOWING COURSES AND DISTANCES: N70°11'14"E A DISTANCE OF 33.26' TO A POINT, N13°45'56"W A DISTANCE OF 30.25 TO A POINT, N21°08'30"W A DISTANCE OF 65.01' TO A POINT, N12°45'29"W A DISTANCE OF 33.66' TO A POINT, N70°51'33"E A DISTANCE OF 74.38'TO A POINT, S17°38'13"E A DISTANCE OF 29.14'TO A POINT, S66°08'27"E A DISTANCE OF 47.55' TO A POINT, S43°39'30"E A DISTANCE OF 37.76' TO A POINT, N2°54'12"E A DISTANCE OF 64.40' TO A POINT, N23°42'18"E A DISTANCE OF 80.78' TO A POINT, N14°12'23"E A DISTANCE OF 60.34'TO A POINT, N10°34'20"E A DISTANCE OF 64.90'TO A POINT, N5°28'06"E A DISTANCE OF 73.36' TO A POINT, N10°16'13"E A DISTANCE OF 39.10' TO A POINT, N61°35'24"W A DISTANCE OF 27.35' TO A POINT, N44°50'37"E A DISTANCE OF 87.80' TO A POINT, N9°21'14"E A DISTANCE OF 87.44' TO A POINT, N17°32'48"E A DISTANCE OF 32.43' TO A POINT, S73°57'49"E A DISTANCE OF 41.53'TO A POINT, N49°02'36"E A DISTANCE OF 47.74'TO A POINT, N23°22'20"E A DISTANCE OF 37.06' TO A POINT, N7°39'53"E A DISTANCE OF 120.44' TO A POINT,

N72°01'06"W A DISTANCE OF 84.33' TO A POINT, N62°04'25"W A DISTANCE OF 67.17' TO A POINT, N37°05'42"W A DISTANCE OF 66.75' TO A POINT, N3°09'27"E A DISTANCE OF 84.94' TO A POINT, N72°30'18"W A DISTANCE OF 38.70' TO A POINT, N40°15'49"W A DISTANCE OF 42.05' TO A POINT, N33°56'29"W A DISTANCE OF 65.80' TO A POINT, N36°53'54"W A DISTANCE OF 72.36' TO A POINT, N0°31'17"E A DISTANCE OF 66.68' TO A POINT, N42°34'49"W A DISTANCE OF 78.26' TO A POINT, N30°24'50"E A DISTANCE OF 53.46' TO A POINT, N62°32'52"W A DISTANCE OF 45.06' TO A POINT, N37°50'52"W A DISTANCE OF 76.37'TO A POINT, N18°14'37"W A DISTANCE OF 53.46'TO A POINT, N28°22'26"W A DISTANCE OF 50.05' TO A POINT, N35°55'25"W A DISTANCE OF 50.55' TO A POINT, N19°58'46"E A DISTANCE OF 36.49' TO A POINT, N36°37'24"W A DISTANCE OF 46.62' TO AN IRON ROD; THENCE ALONG THE EASTERN PROPERTY LINE OF PARCEL C-3-2, RECORDED IN PLAT BOOK 50, PAGE 358, N18°56'17"E A DISTANCE OF 138.90' TO AN IRON ROD; THENCE ALONG THE SOUTHERN RIGHT-OF-WAY OF GEORGIA CENTRAL RAILROAD S71°03'43"E A DISTANCE OF 947.97' TO AN IRON PIPE; THENCE ALONG THE WESTERN PROPERTY LINES OF PARCELS NOW OR FORMERLY OWNED BY GEORGE SEABROOKS, RALEIGH A. YOUNG AND PATSY M. SPIVEY LIVING TRUST, ALTA K. POWELL & JEANNE M. CRAWFORD THE FOLLOWING COURSES AND DISTANCES: S18°18'57"W A DISTANCE OF 71.14' TO A CONCRETE MONUMENT, S18°19'55"W A DISTANCE OF 501.78' TO A POINT, S20°38'52"W A DISTANCE OF 494.82' TO AN IRON ROD; THENCE ALONG THE WESTERN PROPERTY LINE OF LOT 2, MORGAN CENTER, RECORDED IN SUBDIVISION MAP BOOK 36S, PAGES 51A-B, THE FOLLOWING COURSES AND DISTANCES: N73°14'45"W A DISTANCE OF 85.34' TO AN IRON ROD, S17°23'15"W A DITANCE OF 7.96' TO AN IRON PIPE, S16°45'15"W A DISTANCE OF 436.67' TO A POINT, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 148.57', A RADIUS OF 440.00', A DELTA ANGLE OF 19°20'49", A TANGENT LENGTH OF 75.00', A CHORD BEARING OF \$26°25'39"W AND CHORD DISTANCE OF 147.87' TO AN IRON ROD,

S36°06'02"W A DITANCE OF 38.35' TO THE POINT OF BEGINNING; AND CONTAINING 15.727 ACRES OR 685,068 SQUARE FEET.

AS SHOWN ON ALTA/NSPS LAND TITLE SURVEY OF LOT 1, MORGAN CENTER, FORMER PORTION

OF PARCEL "D" OF THE MORGAN TRACT "Q", 8TH G.M. DISTRICT, CITY OF BLOOMINGDALE,

CHATHAM COUNTY, GEORGIA, PREPARED BY COLEMAN COMPANY, INC., SEALED AND CERTIFIED

BY TERRY MACK COLEMAN, GA REG. LAND SURVEYOR NO.2486, DATED SEPTEMBER 18, 207.

Tax Commissioner Summary

Status ACTIVE
Alternate ID 3007549
Bill # 3007549
Tax District/Description 050-POOLER

Legal Description LOT 1 MORGAN CENTER (SMB 36S 51A 15.727 AC SMB 36S 51A EASEMENT PRB

36P 94)

Appeal Status

Parcel Status

Total	Years	Deferral	Parcel
Millage Rate	Support	Exist	Status
31.7790		No	Active

Parcel Information

Property Class C4 - Commercial Small Tracts

Mortgage Company

Exemptions

Most Current Owner

Current Owner Co-Owner Care Of Mailing Address

SBR SAVANNAH PORT LOGISTICS

AMERIS OWNER

THREE, LLC

C/O CORE AND VALUE ADVISORS, LLC 3550 LENOX ROAD N.E., SUITE 2000

ATLANTA GA 30326

Digest Owner (January 1)

Owner Co-Owner Care Of Mailing Address

THREE, LLC

C/O CORE AND VALUE ADVISORS, LLC 3550 LENOX ROAD N.E., SUITE 2000 ATLANTA GA 30326

Tax (Penalties and Interest Included through Current Date)

Year	Cycle	Billed	Paid	Due
2024	1	6,762.57	-3,396.99	3,365.58
2023	1	6,794.50	-6,794.50	0.00
2022	1	6,897.28	-6,897.28	0.00
2021	1	7,779.52	-7,779.52	0.00
2020	1	7,735.03	-7,735.03	0.00
2019	1	6,847.87	-6,847.87	0.00
2018	1	11,319.60	-11,319.60	0.00
2017	1	10,539.40	-10,539.40	0.00
2016	1	10,559.16	-10,559.16	0.00
2015	1	10,611.81	-10,611.81	0.00
	Total:	85,846.74	-82,481.16	3,365.58

Payment Information

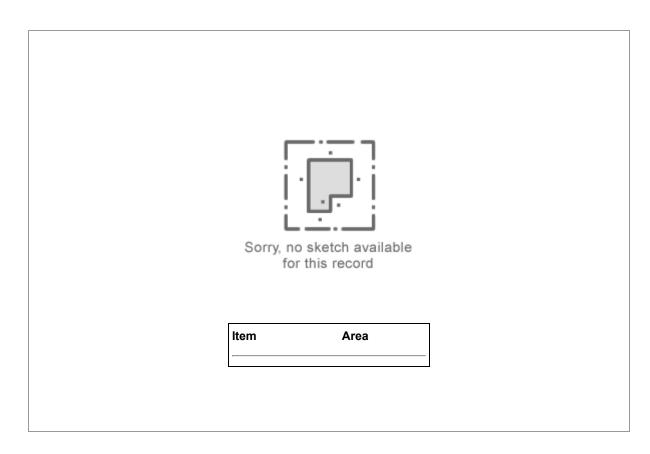
Payment	User ID	Effective Date	Business Date	Payment	Tolerance/	Payment	Total
Sequence	Location	Source	Pymt Type	Applied	Overpayment	Methods	Payment
4164270947	BLWRIGHT-1327 CASHIER	06/04/2024 MAIL	06/04/2024 P24	\$3,396.99	\$0.00 \$0.00	CHECK/3,396.99	\$3,396.99

Payer Details

Payment Sequence	User ID Location	Effective Date Source	Total Payment	Payer Information
4164270947	BLWRIGHT-1327 CASHIER	06/04/2024 MAIL	\$3,396.99	SBR SAVANNAH PORT LOGISTICS AMERIS OWNER THREE LLC 50 GLENLAKE PARKWAY SUITE 350 ATLANTA GA 30328

Billings Detail

			Attachment C Millage			_
Authority Code	Code	Authority Name	Millage	Billed	Paid	Due
COUNTY - OPER	TAX	COUNTY M&O	10.5180	\$2,238.23	-\$1,119.02	\$1,119.21
POOLER - CITY	TAX	CITY OF POOLER	3.7800	\$804.38	-\$402.14	\$402.24
SCHOOL - OPER	TAX	COUNTY SCHOOL M&O	17.4810	\$3,719.96	-\$1,875.83	\$1,844.13
	Total:		31.7790	\$6,762.57	-\$3,396.99	\$3,365.58





Prepared by:

Georgia Central Railway, L.P. 13901 Sutton Park Drive South, Suite 125 Jacksonville, FL 32224 Attention: Mary Cole

After recording return to:

Hartman Simons & Wood LLP 6400 Powers Ferry Road, Suite 400 Atlanta, Georgia 30339 Attention: Robert D. Simons, Esq.



Doc ID: 030920750011 Type: AGRE Recorded: 03/21/2018 at 10:38:07 AM Fee Amt: \$30.00 Page 1 of 11 Chatham, Ga. Clerk Superior Court Tammie Mosley Clerk Superior Court

вк 1303 го 750-760

MEMORANDUM OF PRIVATE CROSSING AGREEMENT

This Memorandum of Private Crossing Agreement, dated this 15th day of 2018, by and between Georgia Central Railway, L.P., a Georgia Limited Partnership, whose mailing address is 13901 Sutton Park Drive, South, Suite 125, Jacksonville, FL 32224, hereinafter called "Licensor", and Morgan Industrial Land Partners, LLC, A Delaware Limited Liability Company, whose mailing address is 2870 Peachtree Road NW, Suite 199, Atlanta, GA 303052918, hereinafter called "Licensee".

WITNESSETH:

WHEREAS, on the 30th day of November, 2017, Licensor and Licensee entered into a written Private Crossing Agreement ("Agreement") to construct and maintain an At-Grade Private Grade Crossing ("Crossing"), upon right-of-way owned by Licensor shown on Exhibits A and A-1 attached hereto (hereinafter such right-of-way and the improvements located thereon are referred to as "Licensor's Lands") at the location shown (the "Crossing Location") for the purpose of providing alternate and convenient access to lands that Licensee is developing as an industrial park ("Industrial Park") with said Licensee's Lands (as hereinafter defined) being described on Exhibit A-2 attached hereto ("Licensee's Land"); and

WHEREAS, the parties are desirous of placing a summary of their respective interests, as expressed in more detail in the Agreement, as a matter of public record.

1

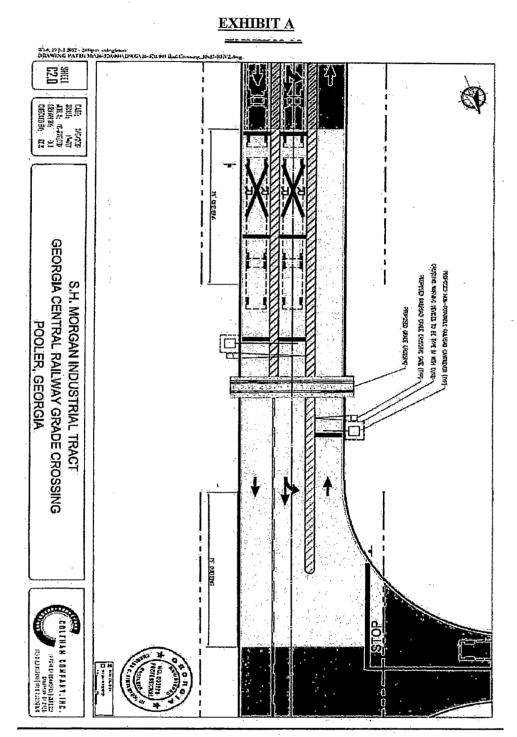
3372101-3 10355.0022000

NOW THEREFORE, in consideration of ONE DOLLAR (\$1.00) as well as other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

- 1. Grant of Licensee. Subject to the conditions in the Agreement, the terms of which are incorporated herein, Licensor does hereby grant a license to Licensee, on nonexclusive basis, on and over the Licensor Lands for the purpose of constructing, installing, operating, maintaining, repairing, modifying, removing, and replacing the Crossing at the Crossing Location; subject, however, to the right of (i) Licensee may terminate this Agreement at any time, upon giving Licensor thirty (30) days' notice in writing; (ii) Licensor may terminate this Agreement upon written notice to Licensee in the event of the breach of this Agreement by Licensee that remains uncured for thirty (30) days after written notice of such breach is provided by Licensor to Licensee; provided however, that Licensor may immediately terminate this Agreement if Licensee's breach either prevents Licensor from operating its trains or creates an unsafe condition; (iii) Licensor may terminate this Agreement if it conflicts with operational or infrastructure changes; (iv) This Agreement will terminate when the Industrial Track Agreement #GCLP16123847 is terminated; (v) The Agreement will terminate, without the necessity of further notice, upon the abandonment of Licensor's connecting mainline track. Notwithstanding anything herein contained to the contrary, there shall be no obligation on the part of Licensor to continue operation of its connecting mainline track in the vicinity of the Crossing to prevent the termination of Licensee's rights and privileges granted hereunder on account of an abandonment of line or service by Licensor; nor shall there be any obligation upon Licensor to perfect its title in order to perpetuate the rights and privileges granted hereunder after such abandonment of line or service.
- 2. Scope and Purpose of Agreement. By the Agreement, Licensor grants to Licensee the right to construct, install, operate, maintain, repair, remove and replace in kind the Crossing at the Crossing Location upon and over the Licensor Lands, subject to all terms and conditions of the Agreement.
- 3. Successor and Assigns. The Agreement and the rights granted therein may not be transferred, assigned or sublet to a third party without the prior written approval of Licensor; provided, that, in the event that the Licensee sells all or a portion of the Industrial Park, the Agreement shall be transferred to all purchasers, who shall be jointly and severally obligated under the Agreement. Said approval by Licensor, subject to Licensee's satisfaction of applicable transfer of rights or assignment fees in effect at that time, shall not be unreasonably withheld.
- 4. Construction of Memorandum. In the event of any conflict between a provision in the Memorandum and a provision in the Agreement, the conflicting provision in the Agreement shall prevail.

SIGNATURES COMMENCE ON FOLLOWING PAGE

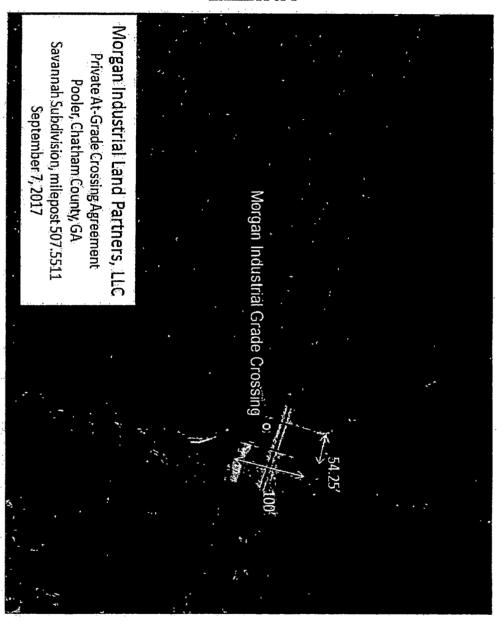
IN WITNESS WHEREOF, the undersigned day of, 2018.	have hereunto set their hands and seals this
Signed, sealed and delivered in the presence of	Georgia Central Railway, L.P., a Georgia Limited Partnership
Unofficial Witness	By: Andrew T. Churches Title: President
Borare Whatfield Notary Public	
My Commission Expires: 10 30 2019	
(NOTARY SEAL) Notary Public State of Florida Bonnie D Hatfield My Commission FF 901738 Expires 10/30/2019	
Signed, sealed and delivered in the presence of	Morgan Industrial Land Partners, LLC.
Unofficial Witness Notary Public	By: John K. Porter Managing Member
My Commission Expires: 1-5-2020	••
EXPIRES GEORGIA NOV. 05, 2020 PUBLIC CONTINUES AND CONTINUES PUBLIC CONTINUES PU	



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EXHIBIT A-1



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EXHIBIT A-1 Continued

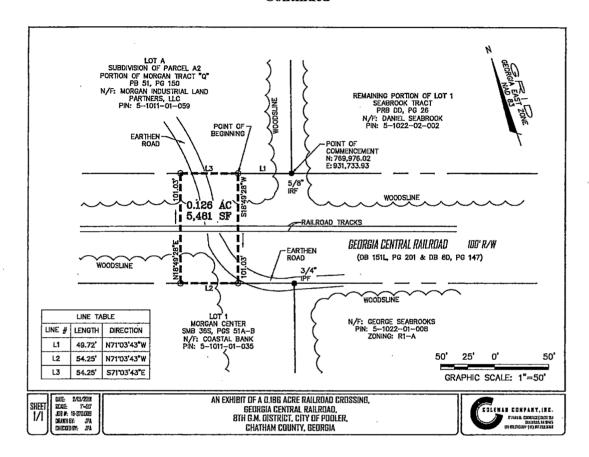


EXHIBIT A-1 CONTINUED

ALL THAT CERTAIN TRACT OF LAND KNOWN AS 0.126 AC RAILROAD CROSSING, GEORGIA CENTRAL RAILROAD, 8TH G.M. DISTRICT, CITY OF SAVANNAH, CHATHAM COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON ROD HAVING A GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83 COORDINATE OF NORTH: 769,976.02 AND EAST: 931,733.93, THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF THE GEORGIA CENTRAL RAILROAD N71°03'43"W A DISTANCE OF 49.72' TO A POINT BEING THE POINT OF BEGINNING; THENCE CROSSING THE GEORGIA CENTRAL RAILROAD \$18°49'28"W A DISTANCE OF 101.03' TO A POINT; THENCE ALONG THE NORTHERN PROPERTY LINE OF LOT 1, MORGAN CENTER (RECORDED IN SUBDIVISION MAP BOOK 36S, PAGES 51A & 51B) N71°03'43"W A DISTANCE OF 54.25' TO A POINT; THENCE CROSSING THE GEORGIA CENTRAL RAILROAD N18°49'28"E A DISTANCE OF 101.03' TO A POINT; THENCE ALONG THE SOUTHERN PROPERTY LINE OF LOT A, SUBDIVISION OF PARCEL A2, PORTION OF MORGAN TRACT "Q" (RECORDED IN PLAT BOOK 51, PAGE 150) S71°03'43"E A DISTANCE OF 54.25' TO THE POINT OF BEGINNING; AND CONTAINING 0.126 ACRE OR 5,481 SQUARE FEET.

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EXHIBIT "A-2" Licensee Benefitted Land

Tract 1 - Morgan Parcel - Lot A

ALL THAT TRACT OR PARCEL OF LAND lying and being in the 8th G.M.D., City of Pooler, Chatham County, Georgia, and being Lot A as shown at Plat Book 51, Page 150, Chatham County, Georgia Records.

AND

Tract 2 - Morgan Parcel - Lot B

ALL THAT TRACT OR PARCEL OF LAND lying and being in the 8th G.M.D., City of Pooler, Chatham County, Georgia, and being Lot A as shown at Plat Book 51, Page 150, Chatham County, Georgia Records.

AND

Tract 3 - North Drive/Wildcat Dam Road

ALL THAT TRACT OR PARCEL OF LAND lying and being in the 8th G.M.D., City of Pooler, Chatham County, Georgia, and being more particularly described as Proposed 110 foot right of way adjoining the southerly right of way line of U.S. Highway 80, and running in a generally southerly direction to the northerly boundary line of Lot A, all as shown at Plat Book 51, Page 181, Chatham County, Georgia Records.

AND

Tract 4 - Ameris Bank Parcel

ALL THAT CERTAIN TRACT OF LAND KNOWN AS LOT 1, MORGAN CENTER, FORMER PORTION OF PARCEL "D" OF THE MORGAN TRACT "Q", 8TH G.M. DISTRICT, CITY OF BLOOMINGDALE, CHATHAM COUNTY, GEORGIA, RECORDED IN SUBDIVISION MAP BOOK 36S, PAGES 51A-B AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD HAVING A GRID NORTH, GEORGIA STATE PLANE, EAST ZONE NAD 83 COORDINATE OF NORTH: 768,308.16 AND EAST: 931,050.65, THENCE ALONG THE NORTHERN RIGHT-OF-WAY OF S. H. MORGAN PARKWAY THE FOLLOWING COURSES AND DISTANCES: N53°53'58"W A DISTANCE OF 80.00' TO A POINT, N54°05'57"W A DISTANCE OF 115.88' TO A POINT; THENCE ALONG THE EASTERN PROPERTY LINE OF WETLANDS, RECORDED IN SUBDIVISION MAP BOOK 37S, PAGES 27A-L, THE FOLLOWING COURSES AND DISTANCES: N70°11'14"E A DISTANCE OF 33.26' TO A POINT, N13°45'56"W A DISTANCE OF 30.25' TO A POINT, N21°08'30"W A DISTANCE OF 65.01' TO A POINT, N12°45'29"W A DISTANCE OF 33.66' TO A POINT, N70°51'33"E A DISTANCE OF 74.38' TO A POINT, S17°38'13"E A DISTANCE OF 29.14' TO A POINT, S66°08'27"E A DISTANCE OF 47.55' TO A POINT, S43°39'30"E A DISTANCE OF 37.76' TO A POINT, N2°54'12"E A DISTANCE OF 64.40' TO A POINT, N23°42'18"E A DISTANCE OF 80.78' TO A POINT, N14°12'23"E A DISTANCE OF 60.34' TO A POINT, N10°34'20"E A DISTANCE OF 64.90' TO A POINT, N5°28'06"E A

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EXHIBIT "A-2" Continued

DISTANCE OF 73.36' TO A POINT, N10°16'13"E A DISTANCE OF 39.10' TO A POINT. N61°35'24"W A DISTANCE OF 27.35' TO A POINT, N44°50'37"E A DISTANCE OF 87.80' TO A POINT, N9°21'14"E A DISTANCE OF 87.44' TO A POINT, N17°32'48"E A DISTANCE OF 32.43' TO A POINT, \$73°57'49"E A DISTANCE OF 41.53' TO A POINT, N49°02'36"E A DISTANCE OF 47.74' TO A POINT, N23°22'20"E A DISTANCE OF 37.06' TO A POINT, N7°39'53"E A DISTANCE OF 120.44' TO A POINT, N72°01'06"W A DISTANCE OF 84.33' TO A POINT, N62°04'25"W A DISTANCE OF 67.17' TO A POINT, N37°05'42"W A DISTANCE OF 66.75' TO A POINT, N3°09'27"E A DISTANCE OF 84.94' TO A POINT, N72°30'18"W A DISTANCE OF 38.70' TO A POINT, N40°15'49"W A DISTANCE OF 42.05' TO A POINT, N33°56'29"W A DISTANCE OF 65.80' TO A POINT, N36°53'54"W A DISTANCE OF 72.36' TO A POINT, N0°31'17"E A DISTANCE OF 66.68' TO A POINT, N42°34'39"W A DISTANCE OF 78.26' TO A POINT, N30°24'50"E A DISTANCE OF 53.46' TO A POINT, N62°32'52"W A DISTANCE OF 45.06' TO A POINT, N37°50'52"W A DISTANCE OF 76.37' TO A POINT, N18°14'37"W A DISTANCE OF 53.46' TO A POINT, N28°22'26"W A DISTANCE OF 50.05' TO A POINT, N35°55'25"W A DISTANCE OF 50.55' TO A POINT, N19°58'46"E A DISTANCE OF 36.49' TO A POINT, N36°37'24"W A DISTANCE OF 46.62' TO AN IRON ROD; THENCE ALONG THE EASTERN PROPERTY LINE OF PARCEL C-3-2. RECORDED IN PLAT BOOK 50, PAGE 358, N18°56'17"E A DISTANCE OF 138.90' TO AN IRON ROD; THENCE ALONG THE SOUTHERN RIGHT-OF-WAY OF GEORGIA CENTRAL RAILROAD S71°03'43"E A DISTANCE OF 947.97' TO AN IRON PIPE; THENCE ALONG THE WESTERN PROPERTY LINES OF PARCELS NOW OR FORMERLY OWNED BY GEORGE SEABROOKS. RALEIGH A. YOUNG AND PATSY M. SPIVEY LIVING TRUST, ALTA K. POWELL & JEANNE M. CRAWFORD THE FOLLOWING COURSES AND DISTANCES: \$18°18'57"W A DISTANCE OF 71.14' TO A CONCRETE MONUMENT, \$18°19'55"W A DISTANCE OF 501.78' TO A POINT, S20°38'52"W A DISTANCE OF 494.82' TO AN IRON ROD; THENCE ALONG THE WESTERN PROPERTY LINE OF LOT 2, MORGAN CENTER, RECORDED IN SUBDIVISION MAP BOOK 36S. PAGES 51A-B, THE FOLLOWING COURSES AND DISTANCES: N73°14'45"W A DISTANCE OF 85.34' TO AN IRON ROD, \$17°23'15"W A DISTANCE OF 7.96' TO AN IRON PIPE, \$16°45'15"W A DISTANCE OF 436.67' TO A POINT, ALONG A CURVE TO THE RIGHT HAVING AN ARC LENGTH OF 148.57', A RADIUS OF 440.00', A DELTA ANGLE OF 19°20'49", A TANGENT LENGTH OF 75.00', A CHORD BEARING OF \$26°25'39"W AND CHORD DISTANCE OF 147.87' TO AN IRON ROD, S36°06'02"W A DISTANCE OF 38.35' TO THE POINT OF BEGINNING: AND CONTAINING 15.727 ACRES OR 685,068 SQUARE FEET.

AS SHOWN ON ALTA/NSPS LAND TITLE SURVEY OF LOT 1, MORGAN CENTER, FORMER PORTION OF PARCEL "D" OF THE MORGAN TRACT "Q", 8TH G.M. DISTRICT, CITY OF BLOOMINGDALE, CHATHAM COUNTY, GEORGIA, PREPARED BY COLEMAN COMPANY, INC., SEALED AND CERTIFIED BY TERRY MACK COLEMAN, GA REG. LAND SURVEYOR NO. 2486, DATED SEPTEMBER 18, 2017.

AND

Tract 5 - Seabrooks Parcel

ALL THOSE TWO CERTAIN TRACTS OR PARCELS OF LAND, situate, lying and being in the 8th G.M. District, Chatham County, Georgia, one tract containing 0.541 acre and one tract containing 14.698 acres, being remaining portions of Lot 1, Seabrook Tract; for more definite description of said two tracts of land referenced is made to that certain plat of survey made by Vincent Helmly, Georgia Registered Land Surveyor No. 1882, dated April 10, 1979, for the Estate of Mitchell Seabrook, which plat is incorporated herein and made a part hereof for more definite determination of the metes, bounds, dimensions and location of the property herein described and is recorded in the Office of the Clerk, Superior Court, Chatham County, Georgia, in Plat Book DD, Folio 26. Said tract containing 14.698 acres being

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EXHIBIT "A-2" Continued

bounded on the north by lands now or formerly of Charles H. Morris, on the east by the lands now or formerly of Clemmie Edward Young, on the south by the right of way line of the Seaboard-Coast Line Railroad and on the west by lands now or formerly belonging to Union Camp Corporation. Said tract containing 0.541 acre being bounded on the north by the right of way line of Seaboard-Coast Line Railroad, on the East by lands now or formerly of Clemmie Edward Young, on the south by lands now or formerly of Peter Seabrook Estate, and on the west by lands now or formerly belonging to Eastern Light No. 225 Lodge. Said two tracts of land being portions of the property described in that certain deed dated December 11, 1897, and recorded in the Office of the Clerk of Superior Court, Chatham County, Georgia, in Record Book 9X's, Folio 444, and formerly known as the home place of Mitchell Seabrook.

Also described as follows:

ALL THAT CERTAIN TRACT OF LAND known as 0.541 acre, being a portion of Lot 1, Seabrook Tract, 8th G.M. District, City of Pooler, Chatham County, Georgia, recorded in Plat Record Book DD, Page 26, and being more particularly described as follows:

BEGINNING at a concrete monument found along the southern right-of-way of Georgia Central Railroad having a grid north, Georgia State Plane, East Zone, NAD 83 coordinate of North: 769,345.90 and East: 933,262.61, thence along the western property line of lands now or formerly owned by Elizabeth & Clem Young-Bey S18°20'34"W a distance of 0.79' to a concrete monument; thence along the property lines of lands now or formerly owned by Raleigh Young the following courses and distances: N73°30'21"W a distance of 1033.10 feet to a concrete monument, N18°20'34"E a distance of 44.91' to a concrete monument; thence along the southern right-of-way of Georgia Central Railroad S71°03'21"E a distance of 1033.62' to the POINT OF BEGINNING, and containing 0.541 acre or 23,571 square feet.

AND

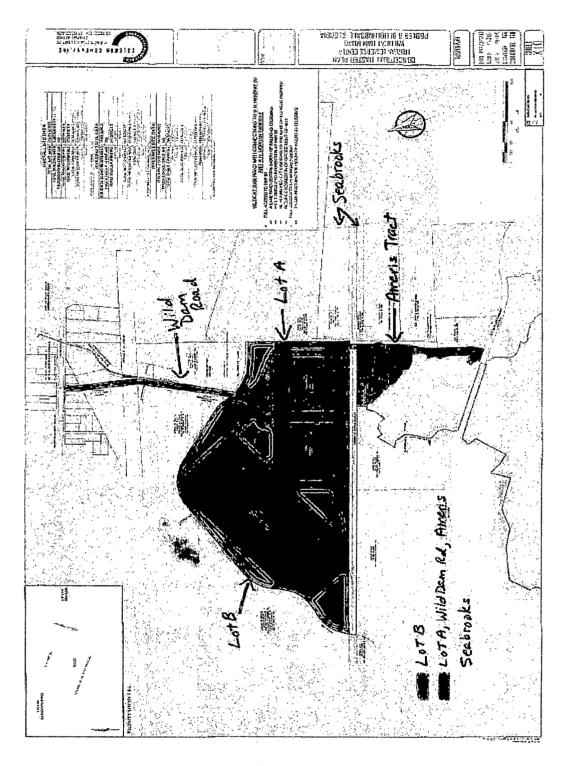
ALL THAT CERTAIN TRACT OF LAND known as 14.698 acres, being a portion of Lot 1, Seabrook Tract, 8th G.M. District, City of Pooler, Chatham County, Georgia, recorded in Plat Record Book DD, Page 26, and being more particularly described as follows:

BEGINNING at an iron rod along the northern right-of-way of Georgia Central Railroad having a grid north, Georgia State Plane, East Zone, NAD 83 coordinate of North: 769,976.02 and East: 931,733.93, thence along the eastern property line of Lot A, subdivision of Parcel A2, portion of Morgan Tract "Q" (recorded in Plat Book 51, Page 150) N18°20'34"E a distance of 439.80' to a concrete monument; thence along the southern property line of Morris Tract (recorded in Plat Record Book 5P, Page 83 and Plat Record Book Y, Page 30) S67°28'46"E a distance of 1653.54' to a point, passing a concrete monument at 1625.74'; thence along the western property line of lands now or formerly owned by Elizabeth & Clem Young-Bey S18°20'34"W a distance of 336.64' to a concrete monument found, passing a concrete monument at 113.76'; thence along the northern right-of-way of Georgia Central Railroad N71°0321"W a distance of 1649.23' to the POINT OF BEGINNING; and containing 14.696 acres or 640,225 square feet.

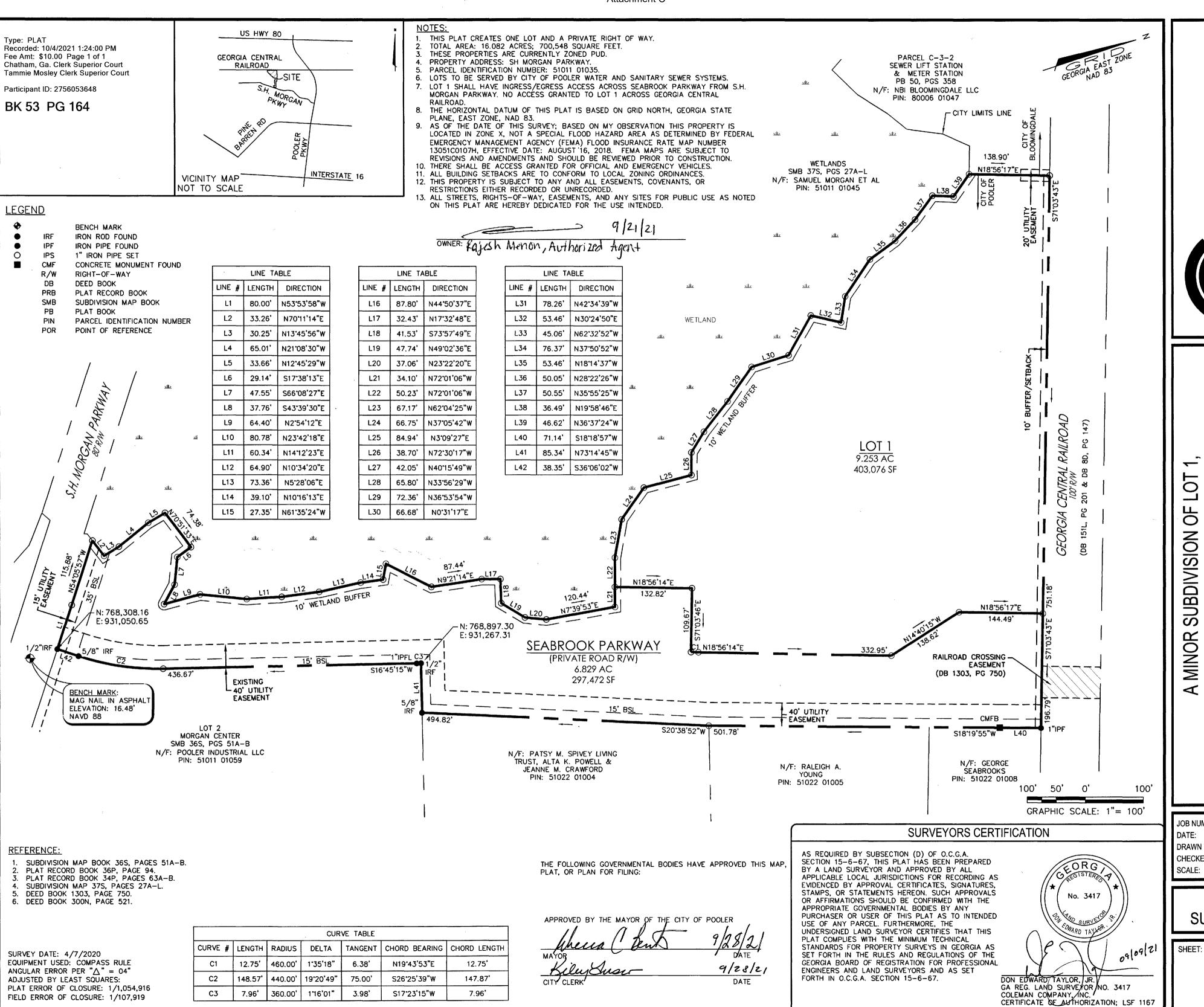
[See attached Map]

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Continued EXHIBIT "A-2"



Book: 53 Page: 164 Page 1 of 1

COLEMAN COMPANY
ENGINEERS • SURVEYORS
1480 Chatham Parkway, Suite 100
Savannah, Georgia | (912) 200-3041

A MINOR SUBDIVISION OF LOT 1,
MORGAN CENTER,
8TH G.M. DISTRICT, CITY OF POOLER,
CHATHAM COUNTY, GEORGIA

JOB NUMBER: 17-674.001
DATE: 08/30/2021
DRAWN BY: JNB
CHECKED BY: JBT

MINOR SUBDIVISION

1" = 100'

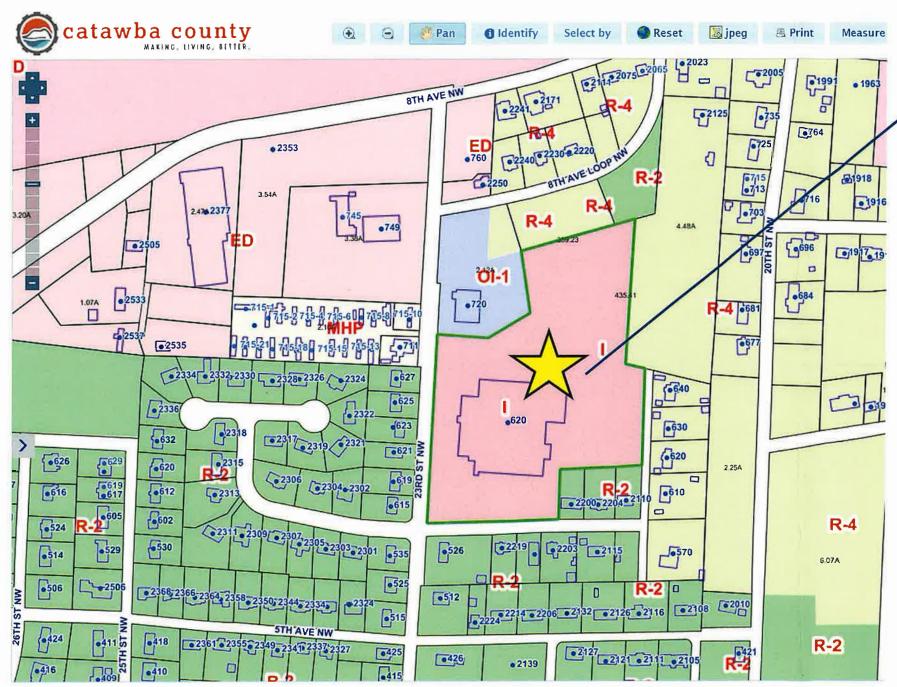
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Agenda

- Project highlights: Why should you want this in Pooler, GA?
- Top project for the state
 - Major infrastructure investment in Pooler, Chatham County, and Georgia.
 - Provides large revenue for Georgia Power and Atlanta Gas Light
 - Promotes clean energy solution by replacing current diesel trucks in the area
- Morgan PUD Documents and Uses
 - SPLC III is within Morgan PUD
 - SPLC III is zoned Light Industrial within Morgan PUD
 - USAGE: See Highlight: PG 8 & 9
 - 1) Manufacturing, processing, fabrication, repair, and servicing of any product or commodity, which does not produce noise, odors, dust, fumes, fire hazards, or other nuisance beyond the property line.
 - 2) Warehousing, storage, and distributing of any product or commodity
- Pooler Site Map
- Other zoning-industrial



HICKORY NC Zoning



<mark>I=Industrial</mark>

Hickory Code and permitted uses:

	R-1	R-2	R-3	R-4	NC	CC-1	CC-2	OI	C-1	C-2	C-3	IND	Standards (Notes)
Major Event Entertainment									S	S	S	S	
Marina										S	S		6.2.12 (TA 11-01)
Mini-storage Facilities							P			P	P	P	6.2.15
Professional Office and Personal Services					P	P	P	P	P	P	P	Р	
Retail Sales and Service (unless otherwise listed)					P	P	P		P	P	P	P[1]	
Seasonal Sales					P	P	P		P	P	P		6.2.21 (TA 14-02)
Temporary Sales					AC	AC	AC		AC	AC	AC		6.2.21 (TA 14-02)
Vehicle Repair					P	P	P		P	P	P	P	6.2.22
Industrial Categories													
Industrial Service										P [2]	P [2]	P	(TA 24-01)
Junkyards and Recycling Facilities												S	6.2.10
Manufacturing and Production										P [2]	P [2]	P	(TA 24-01)
Railroad Yards												P	
Warehouse and Freight Movement										P [3]	P [3]	P	
Waste-related												S	
Wholesale Sales										P [3]	P [3]	P	
Institutional Categories												CONT.	
Basic Utilities	P	P	Ъ	P	P	P	Р	P	P	P	P	P	
Cemetery	P	P	P	P	P	P	P	P	P	P	P	P	6.2.4
Colleges					S	S	P	P	P	P	P	P	
Community Recreation Centers	S	S	S	S	P	P	Р	P	P	P	P	P	6.2.5
Cultural Facilities	S	S	S	S	P	P	P	Р	P	P	P	Р	6.2.6 (TA 22-01)
Daycare (5 or fewer clients)	AC	AC	AC	AC	P	P	Р	P	P	P	P		6.2.7 (TA 11-01)
Daycare (6 or more clients)	S	S	S	S	Р	Р	Р	P	P	Р	P		6.2.7
Day Center								S	S	S			6.2.25 (TA 19-03)
Food Pantries								S	S	S			6.2.26 (TA 19-03)
Medical Centers					P	P	P	P	P	P	P		
Parks and Playgrounds	Р	P	P	P	P	P	P	P	P	P	P		
Public Facilities	Р	P	P	P	P	Р	P	P	P	P	P	P	6.2.19 (TA 24-01)

SPLC 3-Production Facility



Development Guidelines For P.U.D Master Plan

Morgan Family Tract Pooler, Georgia

Prepared By:
J.M. Woods, Inc.
Landscape Architects/Land Planner
Savannah, Georgia

Hussey, Gay, Bell & DeYoung Engineers Engineers Savannah, Georgia

> Environmental Services, Inc. Environmental Consultants Savannah, Georgia

Amended October 2008

MORGAN FAMILY TRACT

- I. Project Developer and Consultants
- II. Project Introduction
- **III.** Existing Conditions
 - A.) Boundary Map
- IV. Development Design and Standards
 - A.) Proposed Uses P.U.D.
 - B.) Street and Right of Way Standards
 - C.) Setback and Buffer Standards
 - D.) Open Space Wetlands
 - E.) Development Schedule
- V. Land Use Data & Parcel Map

I. PROJECT DEVELOPER AND CONSULTANTS

DEVELOPER

The Morgan Family Tract has been owned by the Morgan Family members since 1946. The family is currently represented by:

Philip Morgan III Henry Morgan Billy Kehoe III Sam Morgan

LANDSCAPE ARCHITECT / PLANNER

Mr. James M. Woods J. M. WOODS, INC. (912) 303-0282

ENGINEER

Mr. Gus H. Bell III HUSSEY, GAY, BELL & DeYOUNG, INC. (912) 354-4626

ENVIRONMENTAL CONSULTANT

Mr. Mike Demill ENVIRONMENTAL SERVICES, INC. (912) 236-4711

II. PROJECT INTRODUCTION

The Morgan Family Tract has been owned by family members since 1946. The purpose of this application is to create a PUD plan in accordance with Article IV, section one, item 16 of appendix A, zoning, City of Pooler Code of Ordinances, and Article X of Appendix A, zoning, City of Bloomingdale Code of Ordinances.

The property consists of approximately 1,317.25 acres, and is currently zoned "Undefined". The property has been used for Silviculture and will continue to be used for Silviculture practices.

The existing condition of the site is explained under Section III of the application. Section IV describes all proposed land uses and development standards for the proposed Morgan Family PUD.

The entire written narrative and all project exhibits constitute the full application for the establishment of the Morgan Family Tract Preliminary PUD. The applicants respectfully request that the Pooler and Bloomingdale Planning Staffs, Planning Boards, City Councils, and Mayors approve this application.

III. EXISTING CONDITIONS

The subject property is owned by the Morgan Family members. The family appointees have full legal authority to submit the application.

The property consists of approximately 1,317.25 acres, and is currently zoned undefined in Pooler, and RA and RAI in Bloomingdale. The application is for the creation of PUD zoning in Pooler and Bloomingdale.

The property lies within the political jurisdiction of Pooler and Bloomingdale. The boundary of the two Cities is the Wildcat Dam Road. The property access points will consist of four (4) access points off of Pooler Parkway, and 4 access points off of Pine Barren Road, and one (1) access point from US Highway 80.

A.) BOUNDARY MAP / FLOOD PLAIN MAP

- 1) Vicinity Map
- 2) Boundary and dimensions
- 3) Existing Rights of Way and Easements
- 4) Existing City Limits
- 5) Adjacent Property Owners
- 6) Existing Drainage Ways

IV. DEVELOPMENT DESIGN AND STANDARDS

The project will be designed to adhere to Bloomingdale City Ordinances, and Pooler City Ordinances. The project will be developed in accordance with uses and proposed density of the Morgan Family Tract PUD as prepared by J. M. WOODS, Inc., and dated 24 JUL '02. Final PUD zoning is required prior to development within the property. Any amendments to The

Morgan Family Tract will be in accordance with the City of Pooler and City of Bloomingdale PUD zoning ordinance.

A.) PROPOSED USES

1) Single Family SF / Multi-Family Residential MF

All tracts designated as Single Family / Multi-Family have the following uses and densities: The total gross acreage of The Morgan Tract is 1,317.25 acres. The net developable acres are 852.24 acres, with a maximum total of 3,408 total dwelling units allowed in the PUD.

The net density for each tract designated as single family or multi-family shall have the following maximum density:

- 1) For one story housing six (6) DU/AC
- 2) For two story housing twelve (12) DU/AC
- 3) For three story housing eighteen (18) DU/AC

The following uses shall be permitted within a Single Family residential district:

- 1) Detached Single Family
- 2) Open Space, Parks, Lagoon, and Buffer
- 3) Utility / Infrastructure Facilities
- 4) Golf Course, Club House, Amenities and Golf Course Maintenance Facilities
- 5) Model Home / Sales Center
- 6) Construction Office (Temporary)

The following uses shall be permitted within a Multi-Family (MF) district:

- 1) Multi-Family attached residential
- 2) Leasing and Maintenance Office
- 3) Recreation Facilities for Parcel Residents and Guests; including but not limited to pools, tennis courts, parks, playgrounds, ball fields, trails, indoor recreation.
- 4) Resident facilities including but not limited to laundry facilities, and car wash.

- 5) Maintenance and storage facilities for upkeep of common property and amenities.
- 6) Storage of vehicles, boats if separate from resident parking.
- 7) Temporary construction office / storage Trailer
- 8) Apartments
- 9) Condominiums
- 10) Attached Duplex
- 11) Assisted Living
- 12) Timeshare
- 13) Independent Living
- 14) Continuous Care Facilities
- 15) Golf Cottages

2) Heavy Commercial C-2

The purpose of this district as defined by The City of Pooler Code of Ordinance article IV, section 19.

"This district is defined as an area designated for the development of heavy commercial properties or land uses of more than two (2) acres. This district is composed of lands and structures primarily for the retailing of goods and the furnishings of services in areas with heavy traffic concentration. Regulations for this district are designated to be more strict due to the concentration of people and vehicles."

The following uses shall be permitted within a C-2 District:

1) Motels:

(a) Hotels and Motels having fifty (50) or more units may have restaurants, nightclubs, dining rooms or bars which are located in the main building; and

- (b) Hotels and motels having one hundred (100) or more guests rooms may have retail stores, personal service shops, offices and similar uses for the convenience of their guests.
- 2) Shopping centers with total floor space exceeding ten thousand (10,000) square feet.
- 3. Any sales facility exceeding ten thousand (10,000) square feet of floor area.
- 4) Open Air Market or Flea Market (when developed as a planned development, which allows for adequate parking for covered spaces rented out on a daily basis.)
- 5) New or used auto sales and service.
- 6) Service stations
- 7) Mini- warehouses
- 8) Restaurant with or without alcohol sales
- 9) Liquor, beer and wine package shops
- Miniature golf courses
- 11) Skating rinks
- 12) Car care facilities
- 13) Silviculture
- 14) Signage (Billboards)
- 15) Large scale recreational amusement park
- 16) Professional offices
- 17) Small practice medical
- 18) Churches and schools
- 19) Public fire department or utility sub-station
- 20) Professional Offices
- 21) Banks
- 22) Laundry and Dry-Cleaning establishments
- 23) Grocery Stores
- 24) Barbershops and Beauty Shops
- 25) Dry Goods Store

- 26) Church and Fraternal Organizations
- 27) Gift Shops
- 28) Theaters
- 29) Arcades and Game Rooms
- 30) Heating and Air conditioning Sales and Service
- 31) Television Sales and Service
- 32) Child Care Facilities
- 33) Household Furniture
- 34) Hardware Stores
- 35) Retail Stores
- 36) Neighborhood Shopping Center (10,000) Square Feet or Less
- 36) Drug Stores
- 37) Eating Establishments with no Live Entertainment
- 38) Radio, cellular, or television transmission or reception towers

3) Light Industrial II

The purpose of this district as defined by City of Pooler Code of Ordinance, article IV, section 21:

"This district is established to provide land for light industrial uses, which are not significantly objectionable with regard to noise, odor, fumes, etc., to surrounding properties. This district's regulations are designed to provide a compatible environment for uses generally classified as light industrial in nature; to protect and reserve undeveloped areas within the city that are suitable for such light industries, and to discourage encroachment by residential, commercial, or other uses that may adversely affect the industrial character of the district. Lands within this district should be located in relation to the major thoroughfare network of the city, as well as rail and airport if possible, and designed so that uses within the district do not disrupt normal traffic flow patterns within the city. Planned industrial parks are encouraged within this district".

The following uses shall be permitted within a Light Industrial district:

- 1) Manufacturing, processing, fabrication, repair, and servicing of any product or commodity, which does not produce noise, odors, dust, fumes, fire hazard or other nuisance beyond the property lines.
- 2) Warehousing, storage and distributing of any product or commodity.
- 3) Offices, including medical and dental.
- 4) Repair garages provided that all business is conducted inside an enclosed building and/or inside an aesthetically pleasing barrier, which will shield the business activity from view of passing motorists and surrounding property owners.
- 5) Animal hospitals, kennels and/or boarding facilities (see article III section 22 of Pooler Zoning Ordinance for specific regulations).
- 6) Outdoor drive in theaters (see article III, section 23, for specific regulations).
- 7) Building material sales yards and lumberyards, including the sale of rock, sand, gravel and the like.
- 8) Public utilities, including buildings, necessary structures, storage yards, billboards and other related uses, but specifically excluding waste processing, handling or storage.
- 9) Research or experimental stations and laboratories. (Conditional Use only).
- 10) Radio, cellular or television station transmission or reception towers
- 11) Horticultural nurseries.
- 12) Office buildings for business, governmental, professional, or other general purposes.
- 13) Accessory buildings, structures and uses customarily incidental to permitted uses.
- 14) Manufactured home sales.
- 15) Bars or nightclubs.
- 16) Silviculture practices
- 17) Movie production or studios.
- Fueling stations, including fueling of gasoline, diesel or hydrogen fuels, as well as electric vehicle charging; provided, that such use shall be limited to parcel bearing PIN 51011-01035 and any parcel created therefrom.

B) STREET AND RIGHTS OF WAY STANDARD.

	MINIMUM	MINIMUM
	RIGHT OF WAY	ROADWAY
<u>USE</u>	<u>WIDTH</u>	<u>WIDTH</u>
C-2	60'	24'
I-1	80'	30'
SF	60'	24'
MF	60'	24'

C) SETBACK AND BUFFER STANDARD

Pooler City Code of Ordinance will be adhered to with the exception of the following:

- 1) Property zoned C-2 that is adjacent to "Undefined Property", or any use that is less dense in nature, shall provide a 50' vegetative buffer.
- 2) Property zoned C-2 that is adjacent to Pooler Parkway or Pine Barren Rd. shall provide a 25' vegetative buffer from the right of way.
- 3) Property zoned C-2 shall have an allowable building height to 72' (maximum).
- 4) Property zoned II that is adjacent to property zoned R-I-A, R-I-B or Undefined shall provide a 100' buffer with the preserved tree stands and supplemental under story plantings.
- 5) Property zoned II that is adjacent to railroad right of way, utility right of way, drainage right of way shall provide a 10' non-disturbed buffer.
- 6) All properties adjacent to fresh water wetlands shall provide a 10' non-disturbed buffer.
- 7) All buffers designated shall continue to be used for silviculture until the entire Morgan Family Tract is sold or conveyed to another party or parties.
- 8) All single-family lots shall provide
 - 30' (min) Front Yard Setback
 - 20' (min) Rear Yard Setback
 - 10' (min) Side Yard Setback

7,000 SF Minimum Lot Size

- 9) Multi-family properties shall provide the following:
 - 40' (min) Front Yard Setback
 - 25' (min) Rear Yard Setback
 - 20' (min) Side Yard Setback
 - 45' (min) Setback From Pine Barren Right of Way
 - 50' (max) Building Height

R.3 Zoning Some 40 frost. 20' Rears 20' Side (45') Hught) (2) PS por unit

- 10) C-2 properties shall provide the following:
 - 10,000 SF (min) lot areas
 - 25' (min) front yard setback
 - 60' (min) lot width
 - 10' (min) side yard setback
 - 15' (min) rear yard setback
 - 65% (max) building coverage
- 11) Light Industrial properties shall provide the following:
 - 10,000 SF (min) lot areas
 - 60' (min) lot width
 - 25' (min) front yard setback
 - 10' (min) side yard setback
 - 15' (min) rear yard setback
 - 60% (max) building coverage

D) WETLANDS AND OPEN SPACE

The property contains 465.01 acres of fresh water wetlands that will be designated as open space. The developer reserves the right to enhance the wetland according to State and Federal regulation for the sale of said property under current wetland banking procedure established by The United States Army Corps of Engineers. The wetlands provide 38% of the entire property's open space.

E) DEVELOPMENT SCHEDULE

The development and sale of The Morgan Family Tract is projected to proceed according to an 8-12 year process.

F) OFF-STREET PARKING STANDARDS

Pooler City Code of Ordinance will be adhered to with the exception of the following:

- 1) Off-street parking for multifamily parcels shall be a minimum of 1.8 spaces per development unit.
- 2) Off-street parking for Multifamily Parcels includes an allowance of up to 5% of the required number of spaces for "preferred parking", i.e. compact spaces.

V.) LAND USE DATA

Payment Receipt

Date :2024-10-18 11:10:15 AM

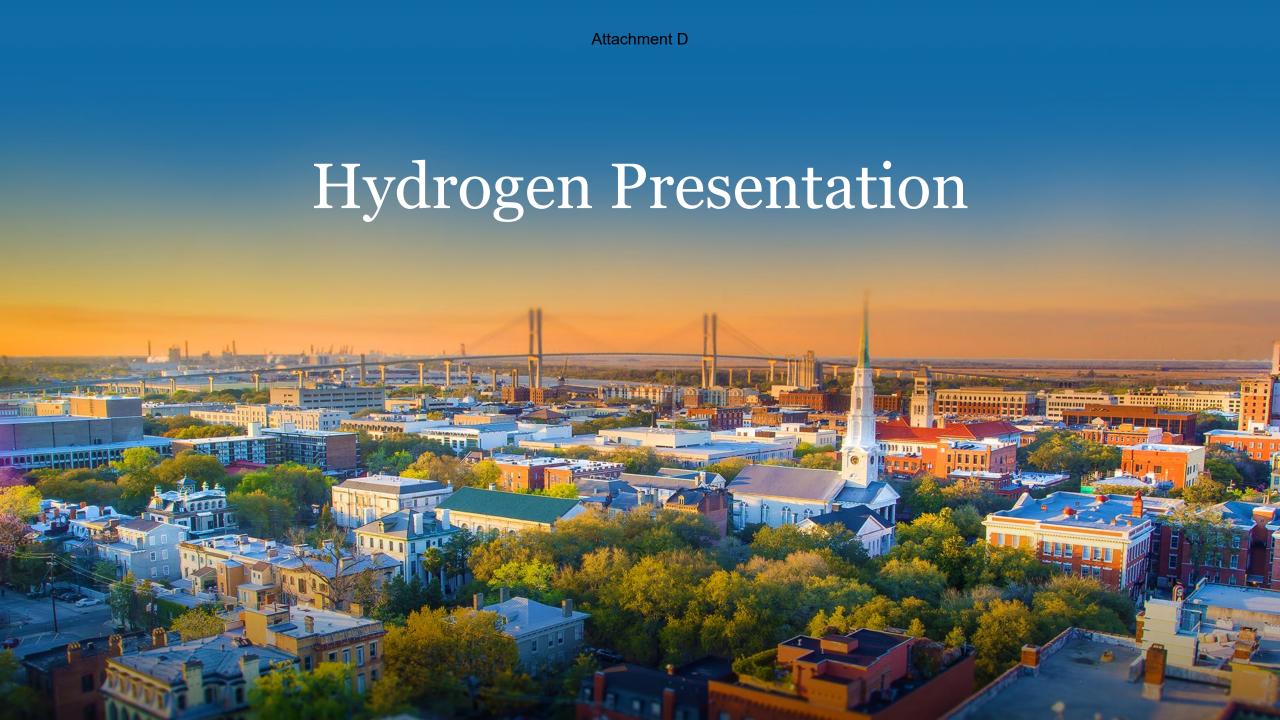
Details	Value
Payment Method	Credit/Debit Card
Merchant Code	af2b059d-89ff-4ea1-b353-ec6145b9aa65*06560G
Amount Paid	\$500.00
Payment Notes	Captured
Payor Name	CP Pay (William Cunningham)
Payor Email	wcunningham@cci-sav.com
Payor Phone	8505200266
Payor Address	1480 Chatham Parkway Suite 100
Payment Status	Captured
Payment Date	2024-10-18 11:41:15

Invoices

Invoice Date	Invoice Number	Billed To	Payment For	Invoice Amount
October 17, 2024	24-1257	William Cunningham	Project Fees	\$500

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Community Development 4.0 Citizen Portal





HOW DO HYDROGEN : **ENGINES** WORK?

#1 HYDROGEN IS AN INCREASINGLY POPULAR ENERGY CARRIER



Hydrogen can be readily produced from water using renewable electricity



It burns without any greenhouse gas emissions (GHG)



Hydrogen is colorless, odorless, and doesn't spill making it a key part of **Cummins' Destination** Zero strategy

Hydrogen engines are appealing to OEMs, fleet operators, and users because:



They are like traditional internal combustion engines (meaning no new technology to learn)

They can power vehicles as a zero-carbon fuel (great for the environment)



VEHICLES CAN BE POWERED BY HYDROGEN TWO WAYS

FUEL CELL: converts hydrogen into electricity which powers the vehicle's electric motors









#3 DIESEL VS NATURAL GAS (NG) VS HYDROGEN ENGINES



Hydrogen ICE operate on the same cycle as natural gas engines, sharing similar components



Diesel engines and hydrogen engines also share similar components



High commonality among components means scaled advantages - reduced costs and delivers needed reliability



#4 HYDROGEN ENGINES IN MEDIUM AND HEAVY-DUTY TRUCKS AND BUSES



Hydrogen engines go beyond medium and heavy-duty trucking. Users are evaluating them in marine, construction, agriculture and beyond



SCAN THIS QR CODE FOR MORE INFORMATION ON HOW HYDROGEN ENGINES WORK

If this information is relevant to your needs, don't forget to check out our hydrogen engines at www.cummins.com/engines/hydrogen-engines







- With proper handling, hydrogen can be as safe as, or safer than, other fuels we use today.
- Safety features designed to handle the unique properties of hydrogen, including high-pressure tanks undergo rigorous testing to withstand leaks, etc.
- Training in safe hydrogen handling practices is a key element for ensuring the safe use of hydrogen, as is regular testing of hydrogen systems—tank leak tests, garage leak simulations and hydrogen tank drop tests.
- Hydrogen is light weight (57 times lighter than gasoline vapor and 14 times lighter than air), allowing it to dissipate rapidly in case of a leak.
- Hydrogen itself is non-toxic and does not pose a poisoning risk like some other fuels.

Source: Department of Energy

Hydrogen Safety Basics

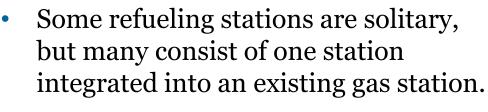
Attachment D

- Both vehicle manufacturers and hydrogen fueling stations are subject to strict safety regulations regarding storage and handling of hydrogen.
- Trucks and vehicles are equipped with sensors to detect hydrogen leaks, allowing for timely intervention.
- Because hydrogen burns with a nearly invisible flame, special flame detectors are required.
- Modern technology has significantly improved the safety measures of handling hydrogen.

Source: Department of Energy

Where is the hydrogen industry today?

- As of 2023, there are 58 open retail hydrogen refueling stations in the United States. Additionally, there are at least 50 refueling stations in various stages of planning or construction. Most of the existing and planned stations are in California, with one in Hawaii and 5 planned for the northeastern states.
 - California (57 stations) and Hawaii (1 station) have publicly available hydrogen refueling stations.





- Today, the primary demand for hydrogen is as industrial feedstock, but transportation applications constitute emerging market opportunities.
- By 2050, the U.S. could see a two-to-four-fold increase in hydrogen demand.

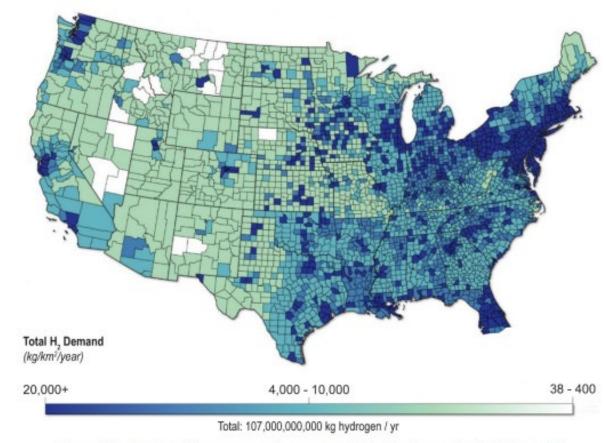


Figure 14. Serviceable consumption potential for hydrogen in the industrial and transportation sectors, natural gas, and storage⁴¹

- Today, many states across the country have hydrogen production facilities. Georgia houses three facilities in Augusta and four more spread throughout Conyers, Gainesville, Macon, and Valdosta.
- There are also eight liquefaction plants nationwide, with a cumulative capacity of more than 200 metric tons/day, with three additional plants announced in the last two years. The existing and planned plants are concentrated in the west/Midwest and along the Gulf Coast.

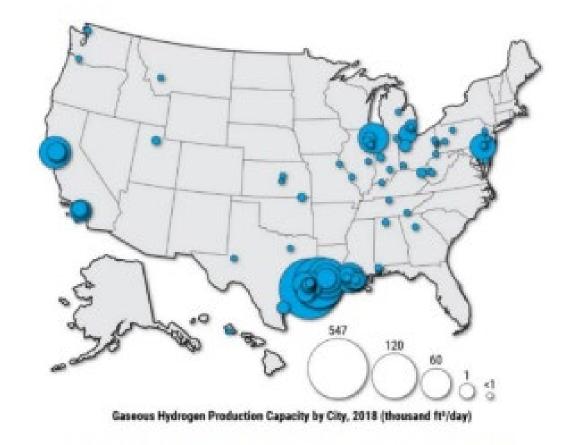
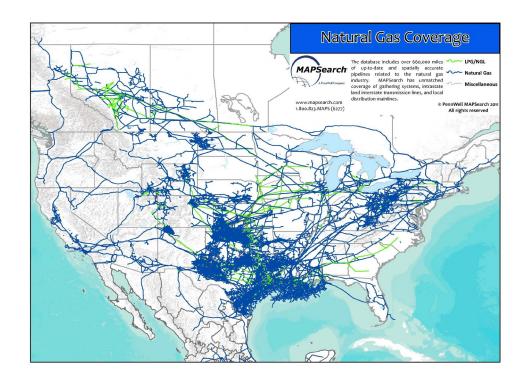


Figure 4. Gaseous hydrogen production units in the United States. 30

• The United States also has more than 1,600 miles of hydrogen pipelines, salt caverns located in the Gulf Coast and Midwest that can store thousands of tons of hydrogen, and underground carbon capture storage, including sedimentary basins in SE Georgia.



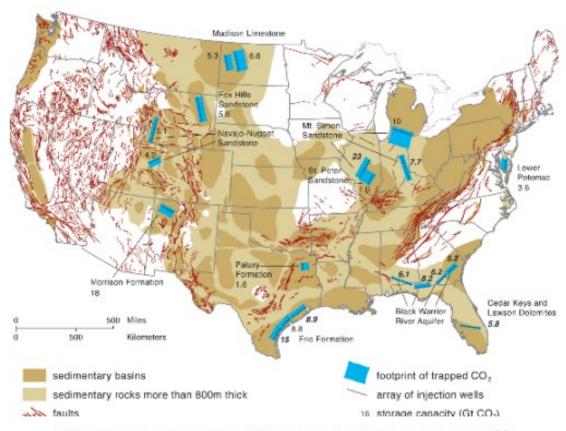


Figure 13. CCS Facilities in the United States³⁹



Benefits of Hydrogen

- Reduction in Greenhouse Gas Emissions
 - Zero Emissions: Hydrogen fuel cells produce only water vapor as byproduct.
 - Lower Carbon Footprint: Helps reduce overall carbon footprint of the transportation industry.
- Improved Air Quality
 - Cleaner Urban Areas: Produce no harmful exhaust gases, leading to cleaner air in cities and regions that are impacted by diesel truck emissions.
 - Reduced Smog and Health Risks.
- Energy Efficiency
 - Higher Efficiency: More energy-efficient than traditional internal combustion engines meaning they can travel longer distances per unit of fuel.
 - Cost-Effective Operation: Lower operating and maintenance costs.
 - Potential for Renewable Energy Integration.

Benefits of Hydrogen

- Sustainability
 - Renewable Resource: Hydrogen is abundant and can reduce dependency on fossil fuels and support a cleaner energy grid.
 - Energy Storage: Hydrogen can act to store excess renewable energy when its not needed.
- Lower Noise Pollution
 - Quieter Operation: More pleasant and less disruptive to to the environment.
- Reduction in Fossil Fuel Dependence
 - Drivers of Energy Sources.

Benefits of Hydrogen

- Technology Innovation and Economic Growth
 - Job creation.
 - Boosting Clean Tech and the Green Economy: Can boost various sectors including manufacturing, technology and renewable energy industries, leading to long-term economic growth.
 - Charging Infrastructure Expansion.
- Energy Independence
 - Reducing dependence on imported oil.
 - Diversified energy source.

The City of Pooler: A leader in alternative fuel initiatives

Hydrogen in Pooler

- This project can create both environmental and economical positive impacts.
- Pooler is an ideal location due to the location, access to I-95/I-16.
- Proposed site is zoned light industrial. Site originally a planned trailer yard.
- Will be a first of its kind to offer hydrogen fueling and electric charging.
- Significant capital investment and higher wage jobs.
- Project would be a ramped-up approach.

ZEEM SOLUTIONS	Department: Operations	SOP#	1
		Revision #	2
	Title: Disconnecting Charger from Utility Power		
		Implemented Date	March 20 th , 2023
Page #	1 of 4	Last Updated	Sept 19 th , 2024
SOP Owner	Alex Hernandez	Approval	Rick Eckert

1.0 Purpose

1.1 Detail instruction on how to shut power off from Switch Gear to EVSE (charger)

2.0 Scope

2.1 This process applies to all EVSE connected to utility EV Charging circuit.

3.0 Responsibilities

3.1 All Depot Leads, Supervisors, Managers are to always follow this process.

4.0 Procedure

4.1 Identify the charger that needs to be shutdown and disconnected from utility power. The EVSE will have an asset identification Number on the front of the EVSE



4.2 Identify the HV electrical panel that supplies utility power to the EVSE.



4.3 Open the electrical panel and locate the EVSE breaker that is labeled the same as the asset identification number.



- 4.3.1 If it is safe and not an emergency, verify the EVSE is not being used or plugged into a vehicle. If plugged in or charging, stop the charging session and unplug the charger from the vehicle. In the case of an emergency or not safe skip this step and proceed to shutdown the charger from the panel.
- 4.4 After identifying the correct breaker, use only one palm to switch the breaker from the "ON" position to the "OFF" position.



Note**The breaker throw is heavy and should be immediately followed with a loud and obvious "clack"noise. The lock out cover should be able to cover the breaker and not allow movement. If the lock out cover does not sit flush the breaker is not in the off position. **

4.4.1 Do not leave the breaker in the off position unattended without following the LOTO (Lock-Out-Tag-Out) procedure.

FOR EMERGENCY

4.5 If this is an emergency and power needs to be shut off to all EVSEs, locate the Breaker Main. This breaker will cut off power supply to each individual EVSE breaker on the panel at the same time.





Depending on the Breaker Main design, you may encounter a small red button that electronically switches the Breaker Main into the Off position, similar to the image above left. Or a large Breaker Main similar to the image above right that will need to be full hand contact to switch into the "OFF" position.

4.6 In the case that thermal issues arise after switching off the Breaker Main, everyone evacuates to the area to the predetermined SAFE ZONE, and alert first responders.

5.0 Notes

ZEEM SOLUTIONS	Department: Operations	SOP#	2
		Revision #	1
	Title: Emergency Stop Button (plus Tesla Adapters)		
		Implemented Date	Aug 6 th , 2024
Page #	1 of 4	Last Updated	Sept 19 th , 2024
SOP Owner	Alex Hernandez	Approval	Rick Eckert

1.0 Purpose

1.1 Detail instruction on how stop a charging session in case of an emergency by using the Emergency Stop Button for normal CC1 operation or while using a Tesla Adapter (CCS1 to NACS)

2.0 Scope

2.1 This process applies to all EVSE with Emergency Stop Buttons

3.0 Responsibilities

3.1 All Depot Leads, Supervisors, Managers are to always follow this process.

4.0 Procedure

- 4.1 When plugging in CCS1 or while using an adapter that converts CCS1 to NACS precautions need to be taken while charging a vehicle.
- 4.2 On the occurrence that a CCS1 handle (gun) or adapter begins to fail while charging (popping noise, smoke, flame), the first thing you should do is "Push" the Red Emergency Stop Button.



The emergency stop button will end any charging session. This action will stop any current of electricity and will turn off the charger.

4.3 Alert anyone near the charger/vehicle to step away. Notify your lead, supervisor, and or the manager immediately.

- 4.5 If at this point there should be no hazard, if safe, disconnect the charging handle from the adapter/car and turn in defective component to shift supervisor and complete incident report.
- 4.6 Notify all team members not to use that affected adapter, charger etc. Take pictures of the area, vehicle, charging cable and adapter, perform lock out/tag out, and send a detailed statement to management.
- 4.7 If the charger is deemed "Good for Service" by a trained professional, release the Red Emergency Stop Button by turning "Clockwise". The button should pop out and charger should reset a few minutes later. Report any issue with restart of fault codes.

5.0 Notes



News Release FOR IMMEDIATE RELEASE

Hyundai Motor Group Deploys XCIENT Hydrogen Fuel Cell Trucks for HMGMA Clean Logistics

ELLABELL, Ga., Dec. 4, 2024 – Today, Hyundai Motor Group Metaplant America (HMGMA), in cooperation with Glovis America, announced it has deployed Hyundai XCIENT heavy-duty hydrogen fuel-cell electric trucks for clean logistics operations. Initially, a total of 21 XCIENT trucks will be in operation.

"At HMGMA, we are committed to creating sustainable transportation solutions," said Oscar Kwon, HMGMA CEO. "Our Hyundai XCIENT hydrogen fuel-cell trucks that support the Metaplant release zero emissions and offer a cleaner alternative to the traditional freight logistics methods used at other manufacturing facilities."

This industry-leading initiative represents a significant step forward in HMGMA's leadership efforts to both reduce its carbon footprint and actively promote sustainable practices in daily logistics operations. The use of zero-emissions hydrogen fuel cell technology will demonstrate Hyundai Motor Group's ongoing commitment to responsible environmental stewardship.



Hyundai XCIENT fuel cell trucks are photographed at the Port of Brunswick, Georgia in Sept. 2024.

These Hyundai XCIENT hydrogen fuel-cell Class 8 heavy-duty trucks will transport vehicle parts from HMGMA suppliers across the region to the Megasite on a daily basis. During the initial rollout, XCIENT trucks will transport parts between suppliers and the on-site Consolidation Center and later these logistics will expand to a broader network of suppliers. The 21 XCIENT vehicles will represent more than one-third of the Glovis America truck fleet at HMGMA.

Earlier this year at CES, Hyundai Motor Group <u>announced</u> HTWO, its new hydrogen value chain business brand. HTWO encompasses the Group's businesses and affiliates, enabling each stage of the entire hydrogen value chain, from production and storage to transportation and utilization. HTWO represents 'Hydrogen' and 'Humanity,' the two main pillars of Hyundai's hydrogen business.

"HMGMA's deployment of XCIENT for logistics and operations is one of the main initiatives of HTWO," said Jim Park, SVP, commercial vehicle and hydrogen business development, Hyundai Motor North America. "This is delivering on our strategy and vision to showcase a closed-loop hydrogen logistics ecosystem and improve the environmental sustainability of manufacturing operations."

HTWO Logistics, a joint venture between Hyundai Motor Company and Glovis America, will also install a mobile hydrogen refueling station at the Megasite for efficient refueling. A hydrogen production and refueling station is being developed for the Megasite and will be announced at a later date.



Hyundai XCIENT fuel cell trucks are photographed at the Port of Brunswick, Georgia in Sept. 2024.



Hyundai XCIENT fuel cell trucks are photographed at the Port of Brunswick, Georgia in Sept. 2024.

About HMGMA

Hyundai Motor Group Metaplant America (HMGMA) is Hyundai Motor Group's first dedicated Electric Vehicle mass-production plant. It is located in Bryan County, GA. The new plant will boast a highly connected, automated, and flexible manufacturing system, which organically connects all elements of the EV ecosystem to realize customer value. The Georgia facility will become an intelligent manufacturing plant. All processes of production—order collection, procurement, logistics and production—will be optimized utilizing Al and data. The innovative manufacturing system will also help create a human-centered work environment with robots assisting human workers.

About Hyundai Motor Group

Hyundai Motor Group is a global enterprise that has created a value chain based on mobility, steel, and construction, as well as logistics, finance, IT, and service. With about 250,000 employees worldwide, the Group's mobility brands include Hyundai, Kia, and Genesis. Armed with creative thinking, cooperative communication, and the will to take on any challenges, we strive to create a better future for all. More information about Hyundai Motor Group, please

see: www.hyundaimotorgroup.com

CONTACT:

Bianca Johnson Hyundai Motor Group Metaplant America (HMGMA) Bianca.Johnson@hmgma.com (912) 677-6027 From: Sheri Ellis

To: Karen Williams; Wesley Bashlor; Michael Carpenter; Aaron Higgins; Tom Hutcherson; Shannon Black; John

Wilcher; Nicole Johnson; Trice Branch; Amy Mealing; Toby Spivey; Jeanne Crawford; Susan Simmons

Subject: **EXTERNAL EMAIL**12/19/24 City Council Meeting regarding 500 Seabrook Fueling and Electric Vehicle

Charging Station.

Date: Thursday, December 12, 2024 4:49:31 PM

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Dear Mayor and City Council Members of the City of Pooler

Parcel # 51022 01004 East of Seabrook Parkway

We attended the Zoning meeting held Monday 12/9/24 in Pooler. After attorney John Northup presented the rezoning proposal, Amy Mealing presented that our property abutting the Morgan Trust Tract known as 500 Seabrook, which is before you, for the addition of a permitted use: "Fueling and Electric Vehicle Charging Stations". Our concern is the same as the Fire Chief, the catastrophic event of explosion or fire on the project. The report in front of you states there is one residential piece of property across the street from the project, but there are actually two of which we are the second.

Unfortunately, there is an 8' to 10-foot-high chain-link fence installed across the west boundary line denying any access to our property and the Seabrook Parkway. No emergency vehicles have access to our parcel. This could be catastrophic in the event of an explosion or fire. The southern border of our parcel is a fully developed commercial complex and is also at risk if containment is not made on our parcel.

This information appeared to surprise several zoning board members who then posed the question to John Northup of Bouhan/Falligant Attorney's and Counselors at Law (petitioners' legal representative) Is there something that can be done about that? (the fence blocking access) To which he replied yes, he thought there was and would address remediating this problem in light of incoming hydrogen station.

So, we respectfully request in conjunction with this land use change, that the immediate removal of the fence granting access to our parcel be made a requirement of the approval. But we do understand more time and/or information may be needed due to the very short timeframe between the Zoning meeting and the Council meeting. Thus, at a minimum, we request a postponement of the vote to a later date acceptable to the Council.

There is a second question as to why the proposed charging station is not following the requirements of the Appendix A – Zoning document enacted by the "Georgia General Assembly and ratified by General Election, the City Council of Pooler, Georgia that ordains and enacts into law the City of Poller Zoning Ordinance of the

City of Pooler, Georgia." Section III located on page 3 states that such a project must be fronted on a public road.

If there are any questions or concerns, please reach one or all of us for clarification. We want to give assistance in a way to move this project forward.

Sheri Ellis 813-690-8222 Amy Mealing 706-228-4624 Patrice Branch 706-830-4400

Thank you,

Sheri Ellis 813-690-8222 From: Sheri Ellis

To: jdnorthup@bouhan.com

Cc: <u>Trice Branch</u>; <u>Amy Mealing</u>; <u>Toby Spivey</u>; <u>Nicole Johnson</u>

Subject: **EXTERNAL EMAIL**

Date: Thursday, December 12, 2024 4:40:26 PM

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hopefully last transmission with Correct email to Ms. Johnson.

Thank you,

Sheri Ellis 813-690-8222

On Thursday, December 12, 2024 at 02:52:36 PM EST, Sheri Ellis <sherisellis@yahoo.com> wrote:

My apologies. I mistyped Ms. Johnson's email so am sending again to ensure she receives a copy as suggested by the City Staff.

Thank you,

Sheri Ellis 813-690-8222

On Thursday, December 12, 2024 at 12:46:30 PM EST, Sheri Ellis <sherisellis@yahoo.com> wrote:

Dear Mr. Northup,

You met my sisters, Amy Mealing and Patrice Branch, at the zoning meeting held in Pooler this past Monday, 12/9, regarding rezoning for the hydrogen station.

As expressed in that meeting, our concern is the fence installed blocking all access, including emergency vehicles. When asked by the zoning commission if something could be done about this fence, you responded that you would address remediating this problem in light of the incoming hydrogen station across the street.

We are very eager to hear the plan to resolve the issue prior to presenting at the 12/16 City Council meeting. So, time is of the essence, and look forward to a quick response to our email. Our emails are above along with our brother, Toby Spivey and our phone numbers are listed below:

Sheri Ellis 813-690-8222

Amy Mealing 706-339-3208 Patrice Branch 706-830-4400

We appreciate your assistance in getting this matter resolved quickly.

Thank you,

Sheri Ellis 813-690-8222



PLANNING & ZONING STAFF REPORT

PUD Amendment for Jabot PUD

Project:	#A24-0233
P&Z Meeting Date:	January 27, 2025
Public Hearing Date:	February 3, 2025
Applicant and Authorized Agent:	Neil McKenzie, Coleman Company Inc.
Location (Address):	Harmony Subdivision, Memorial Drive, Pine Barren Road
Parcel (PIN):	51023 01025 (Baker), 51010 01068 (Reclaimed Sprayfield/Amenity)
Existing Zoning:	R-1-A (Baker and Reclaimed Sprayfield Amenity parcels)
Zoning Action:	PUD Amendment – Jabot PUD, Proposed Amendment #16
Request:	Request to amend the Jabot PUD by adding the Baker Tract (Parcel 1) to the PUD and assign single family residential use; and relocate Harmony Amenity from Parcel "D" to newly acquired Reclaimed Sprayfield Parcel and add parcel to PUD.
Application Filed:	December 30, 2024
Legal Notice Published:	January 19, 2025
Sign Posted:	January 16, 2025
Letters Mailed:	January 15, 2025
Staff Recommendation:	Approval
Planning & Zoning Commission:	After review of the application, P&Z recommends approval of the request.
Recommended Motion:	"After review of the criteria, move for approval of the request."
'	

Background:

The subject sites are approximately 43.46 acres in total. The Baker Tract (Parcel 1) is approximately 16.04 acres adjacent to Somersby and accessed from Pine Barren Road. The newly acquired Reclaimed Sprayfield site is approximately 27.42 acres and will be the new Harmony Amenity site.

The applicant is requesting the amendment to add property to the overall PUD and update the Harmony residential portion of the Jabot Tract Masterplan. The proposed amendment includes:

- Add the parcel known as the Baker Tract Parcel 1 to the Jabot PUD and assign single family detached residential land use. This parcel is approximately 16 gross acres which would allow 64 maximum dwelling units (4 DU/gross acre). The planned density is 35 dwelling units.
- 2. Update Jabot Tract PUD Masterplan to relocate Harmony Amenity site from Tract "D" to new acquired location (Reclaimed Sprayfield) and add this parcel to the Jabot PUD. The addition of this parcel is excluded from density calculations.

The Pooler 2040 Comprehensive Plan identifies this area within the PUD Mixed-Use character area. The FLUM designates this site as Residential and Planned Development.

Relevant Ordinances:

Jabot PUD

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

Zoning Action Standards:

- 1. Is this request a logical extension of a zoning boundary which would improve the pattern of uses in the general area?
 - Yes, the requested zoning would be a logical extension of a zoning boundary. The request seeks to extend the Jabot PUD to include approximately 43 acres within the PUD itself. The proposed designation would be generally compatible with the surrounding areas. The addition of the Reclaimed Sprayfield to relocate the Harmony Amenity site is a logical extension of the PUD boundary.
- 2. Is this spot zoning and generally unrelated to either existing zoning or the pattern of development of the area?
 - No, the request is not considered spot zoning. The request would extend the Jabot PUD to property that

is directly adjacent to PUD zoning and the nearby zonings include residential districts.

- 3. Could traffic created by the proposed use or other uses permissible under the zoning sought traverse established single-family neighborhoods on minor streets, leading to congestion, noise, and traffic hazards?
 - It is possible that any proposed developments could create traffic; however, any new development would require meeting the traffic impact provisions related to a site plan to mitigate any impacts. The Baker Tract Parcel 1 property only has access from Pine Barren Rd. As part of the Pine Barren Road Traffic Study performed by Kimley Horn all new development in this area should consider the recommendations listed in the study. An excerpt of the study has been provided by the applicant in Attachment D, page 50. Recommendations listed include extending the eastbound left-turn lane storage to a minimum of 150 feet with a 100-foot taper. The Baker Tract development access point should align with Parkside Lane, construct an exclusive eastbound right-turn lane, and construct an exclusive westbound left-turn lane. Construct a Restricted Crossing U-turn (RCUT) to prohibit left turns from the northbound and southbound approaches where the southbound leftturns would U-turn at Somersby Boulevard and the northbound left-turns would U-turn at Pooler Parkway or a future intermediate intersection. Additional congestion, noise, and traffic could rise to an unacceptable level if not mitigated appropriately and in a timely manner.
- 4. Will this request place irreversible limitations on the area as it is or on future plans for it?
 - No, the properties are presently undeveloped and zoned residential. The planned development for residential and amenity uses would be appropriate at these locations.
- 5. Is there an imminent need for the rezoning and is the property likely to be used for the use requested?
 - Yes, the properties are likely to be utilized as requested. They Baker Tract is currently vacant, and the intent is to provide single family residential uses. The Reclaimed Sprayfield site is currently developed as an amenity use.
- 6. Will the proposed use substantially conflict with existing density patterns in the zone or neighborhood?

- No, the proposed development would not conflict with the existing density patterns in the vicinity and would be consistent with that of the general area related to land uses.
- 7. Would the proposed use precipitate similar requests which would generate or accelerate adverse land use changes in the zone or neighborhood?
 - It is possible that similar requests could be made but these would be consistent with the recommended type of development for this area and would not generate adverse impacts.
- 8. Will the action adversely impact adjacent or nearby properties in terms of:
 - A. Environmental quality or livability resulting from the introduction of uses or activities which would create traffic, noise, odor or visual hazards or the reduction of light and air that is incompatible with the established development pattern?
 - No, the request should not adversely impact the nearby properties as it relates to livability or cause incompatibility with the established development pattern.
 - B. Property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern?
 - No, the request would not adversely impact the nearby properties as it relates to property values or make them less marketable.
 - C. Will the action create development opportunities of such increased intensity that stormwater runoff from the site cannot be controlled within previous limits, with [which] results in adverse impacts upon existing down-stream drainage problems or potential problems?
 - No, the request would not adversely impact the nearby properties as it relates to stormwater runoff. Any large site development proposed in the City will need to go through site plan review and approval to ensure items such as stormwater runoff are addressed on site so that down-stream drainage or off-site impacts do not occur.
 - D. Will the action result in public service requirements such as provision of utilities or safety services which, because of the location or scale of the development, cannot be

provided on an economic basis and therefore would create an actual burden to the public?

 No, the proposed rezoning would not result in public service requirements that could create a burden on the public. Any potential infrastructure improvements related to this development would be the sole responsibility of the developer and would not place a burden on the City.

Conclusion:

Staff finds the request complies with the required criteria for a zoning map amendment. As such, staff recommends **Approval** of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation
- D. Excerpt of Pine Barren Traffic Study

Attachment A



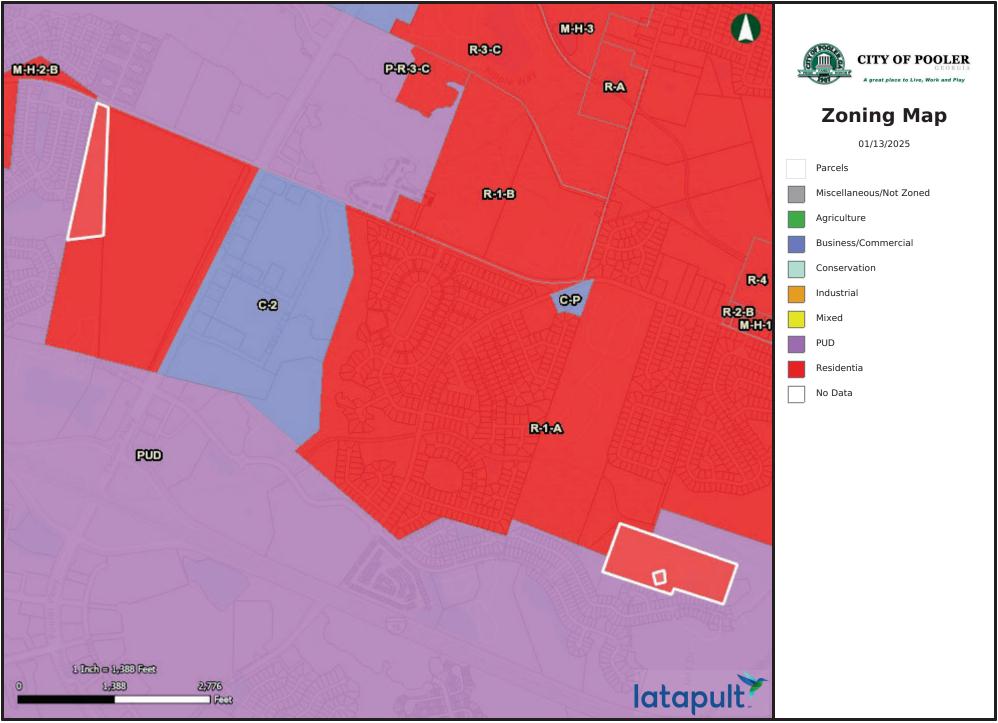


Jabot PUD Amendment #16

01/10/2025

This map was created using Latapult \mid www.latapult.com \mid Bigger Data Faster Maps Stronger Decisions

Attachment B



This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



12/19/2024

Mrs. Nicole Dixon City of Pooler Planning and Zoning 100 SW Highway 80 Pooler, GA 31322

RE: Jabot PUD Amendment 16

CCI Project #: 19-679/18-541

Dear Nicole:

Please accept this request to amend the Jabot PUD and the associated Harmony Masterplan. This will be Amendment 16 and includes the following:

- 1. Add Baker Tract (Parcel 1) to the PUD, assign single family residential use (16.04 acres)
- 2. Add Reclaimed Sprayfield Parcel to the PUD (27.42 acres) and relocate Harmony Amenity from Parcel "D" to Reclaimed Sprayfield Parcel.

Please review and consider this request for amendment on the next available Planning and Zoning and City Council meetings.

Thank You,

Coleman Company, Inc.

Neil McKenzie, P.E. Residential Group Leader

CC: Cole Chenowith - Harmony Partners, LLC





City of Pooler Zoning Map Amendment Application

	Zoning Map Amendment Application
Date:	File #:
	Type or print and attach additional sheets if necessary to fully answer any of the following sections.
	General Information
	Name of owner/authorized agent: _ Coleman Company Inc - Neil McKenzie
	Address of owner/authorized agent: 1480 Chatham Parkway, Ste 100 Svannah, GA
	3. Telephone number of owner/agent: (912) 200-3041
	Have any previous applications been made for a text or map amendment affecting these same
	. O Y .v
	July 2021 - Amendment 15 - Approved 5. If yes, give file number, date and action taken: September 2024 - Amendment 16 - Withdrawn
	(If exact file number, date or action is not known, please give approximate date of previous application.)
	Action Requested
	Information Required:
	1. General location of property (the area) street number and location with respect to nearby public
	roads in common use: Harmony Subdivision, Memorial Drive, Pine Barren Road
	2. Legal description of property (name of subdivision, block and lot number: Parcel 1 Baker Tract,
	Harmony Subdivision, Part of Parcels 2A and 3, now known as Jabot PUD
	3. PIN #: 51023 01025 (Baker), 51010 01068 (Reclaimed Sprayfield/Amenity)
	4. Zone Classification: Present PUD (Jabot) Requested: PUD (Jabot)
	5. Owner of property: (If same as applicant, leave blank) Harmony Partners, LLC
	6. Address of owner: 2702 Whatley Avenue Savannah, GA 31404
	7. Telephone number of owner: <u>(912) 354-7995</u>
	8. Total area of property: (acres or approximate sq. feet) 43.46 acres (added to PUD)
	9. Existing land use (specify such as grocery store, single-family residence, vacant land, etc
	Residential
	10. Desire land use (specify such as residence, grocery store, mobile home park, etc.) Residential/
	Reasons and Certifications
	(Required for all amendments)
	Reasons for requesting change of zoning map which would support the purposes of the zoning
	program: AMENDMENT #16 - The purpose of this PUD amendment is to bring (2)
	parcels into the Jabot PUD for development. The Baker Tract (Parcel 1)
	(16.04 acres) will be scheduled for single family detached, and the Reclaimed Sewer Sprayfield Facility (27.42 acres) will be the location of the

City of Pooler Zoning Map Amendment Application

Adjacent	Property	Owners
, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		

Campaign Contributions Campaign Contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00? No, I have not made campaign contributions to any Pooler City Official(s). Yes, I have made campaign contributions to one or more Pooler City (Official(s). City Official Title Dollar Value Description of Gift				rimary residence within a radius of 200 across a public right-of-way.
Campaign Contributions Have you made campaign contributions to one or more Pooler City Official(s), including any member(s) of the Planning Commission, during the past two years that when combined, total an amount greater than \$250.00? No, I have not made campaign contributions to any Pooler City Official(s). Yes, I have made campaign contributions to one or more Pooler City (Official(s). City Official Title Dollar Value Description of Gift				
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(Applicant Joighnanc)	No, I have not made of Yes, I have made of City Official	ampaign contributions to	Dollar Value	

City of Pooler

Zoning Map Amendment Application

Filing Requirements

Applicant must submit the following information 30 days prior to the regularly scheduled meeting on the second and fourth Monday of each month. Failure to submit any item, or any additional information that might be requested, on or before the deadline will result in the application being held until the next scheduled meeting of the Planning & Zoning Commission.

- Filing fee (see schedule of fees). Make checks payable to the City of Pooler.
- For Power Point presentation, please e-mail PDF file on project to kclassen@pooler-ga.gov
- A scaled plat showing dimensions, acreage, location of the tract(s) and utility easements prepared by a licensed architect/surveyor. Submit one copy if 11" x 17" or smaller, 16 copies if larger.
- ★ Legal description of property.
- M Complete Campaign Contributions and Acknowledge receipt of Zoning Standards for Map Amendment.
- If Agent, Authorization of property owner, signed, dated and notarized.
- Copy of current tax bill showing payment or a certification from the City of Pooler Tax Office stating taxes were paid.

NPP

I acknowledge receipt of Zoning Standards for a Map Amendment. I understand the standards and any other factors relevant to promoting the public health, safety, and general welfare of the City of Pooler against unrestricted use of property will be considered, when deemed appropriate, by the aldermanic board in making any zoning decision.

I have received and understand the "checklist" of actions needed to amend the City of Pooler Zoning Map.

I herby certify that the above stated facts are true to the best of my knowledge and I am the owner or authorized agent for the owner of subject property.

Owner's or authorized agent's signature

Sworn to and subscribed

before me on this 19

day of NOVEMER

2024

Notary Public

TRACIE T. MCINTYRE

NOTARY PUBLIC

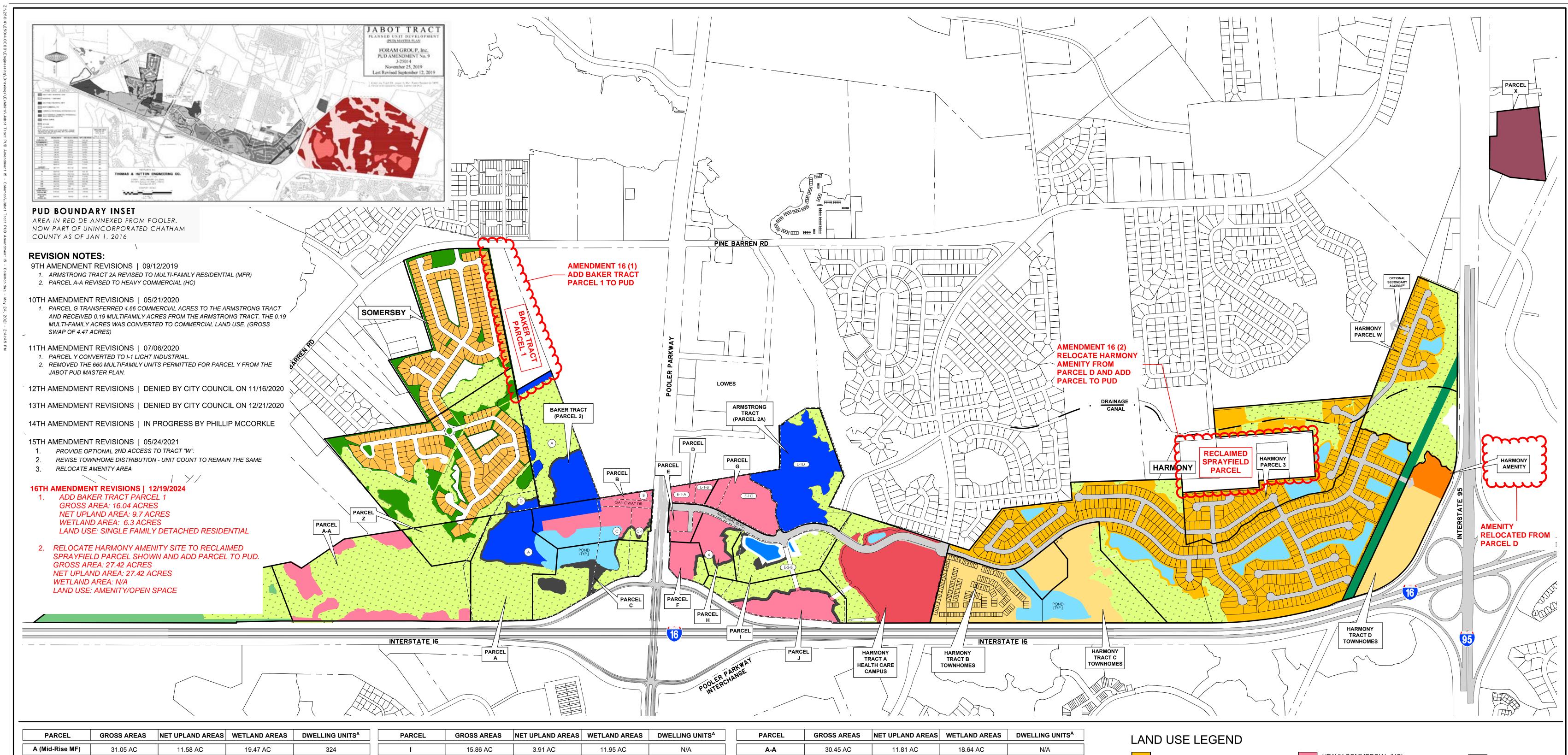
Chatham County

This portion to be completed by Zoning Administrator, State of Georgia

State of Georgia

My Comm. Expires February 23, 2027

Application Status



PARCEL	GROSS AREAS	NET UPLAND AREAS	WETLAND AREAS	DWELLING UNITS ^A
A (Mid-Rise MF)	31.05 AC	11.58 AC	19.47 AC	324
B (COMMERCIAL)	17.16 AC	11.53 AC	5.63 AC	N/A
B (Mid-Rise MF)	4.34 AC	3.43 AC	0.91 AC	96
С	22.19 AC	0.00 AC	22.19 AC	N/A
D	3.59 AC	2.88 AC	0.71 AC	N/A
E	3.64 AC	2.12 AC	1.52 AC	N/A
F	5.86 AC	3.98 AC	1.88 AC	N/A
G	13.17 AC	13.17 AC	0.00 AC	N/A
Н	8.56 AC	3.79 AC	4.77 AC	N/A

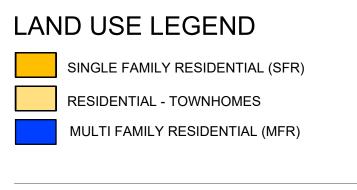
B: ACREAGE SHOWN IS NET DEVELOPMENT ACREAGE AND DOES NOT INCLUDE WETLANDS, WETLAND BUFFERS,

C: OPTIONAL SECONDARY ACCESS POINT CONTINGENT UPON ENVIRONMENTAL PERMITTING - LOCATION SHOWN

	PARCEL	PARCEL GROSS AREAS NET UPLAND		WETLAND AREAS	DWELLING UNITS ^A	
	ı	I 15.86 AC		11.95 AC	N/A	
	J	20.68 AC	9.18 AC	11.5 AC	N/A	
	HARMONY (INCLUDES PARCELS 3 & W)	385.3 AC	301.7 AC	83.6 AC	N/A	
	W 27.54 AC		17.23 AC 10.34 AC		N/A	
	X 14.16 AC		14.16 AC N/A N/A		N/A	
	Y 54.85 AC Z 37.29 AC				N/A	
					N/A	

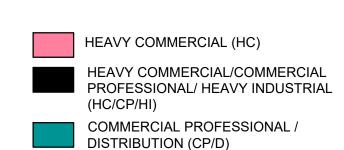
AMENDMENT NO. 16 | LAST REVISED DECEMBER 19, 2024 ——

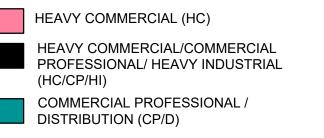
PARCEL GROSS AREAS NET UPLAND ARE		NET UPLAND AREAS	WETLAND AREAS	DWELLING UNITS ^A	
A-A	30.45 AC	11.81 AC	18.64 AC	N/A	
В-В	17.21 AC	13.88 AC	0.00 AC	N/A	
C-C	±51.5 AC	N/A	N /A	N/A	
SOMERSBY	145.6 AC.	112.4 AC	33.2 AC	N/A	
BAKER TRACT 2 (Mid-Rise MF)	13.72 AC.	8.21 AC.	5.51 AC.	230	
ARMSTRONG TRACT (PARCEL 2A)	28.09 AC.	21.70 AC.	6.39 AC.	330	



ZONING PARCEL NAME

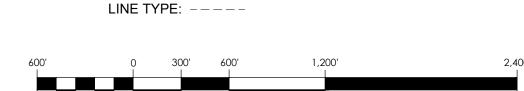
LINE TYPE: ——



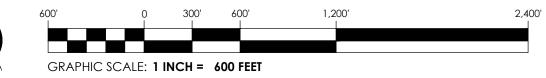


JURISDICTIONAL WETLAND E-1-A PLATTED BOUNDARY NAME (REPRESENTS THE RECORDED BOUNDARY / SUBDIVISION PLAT)









PREPARED FOR:

PARCEL SUMMARY NOTES:

LAKES, RIGHT OF WAY, ETC...

ON MAP MAY VARY PENDING THIS OUTCOME.



A: Mid-Rise MF 28 DU/AC or Other @ 18 DU/AC (Max 1380 DU in PUD)

JABOT TRACT

PLANNED UNIT DEVELOPMENT (PUD)

MASTER PLAN

AMENDMENT NO. 15 | LAST REVISED: MAY 24, 2021

NOTE:

AMENDMENT 15 PUD MAP PREPARED BY THOMAS & HUTTON ON BEHALF OF COLEMAN COMPANY & LANDMARK 24

(THIS IS SPECIFIC TO THE ZONING TRACT / PARCEL)



50 Park of Commerce Way Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com

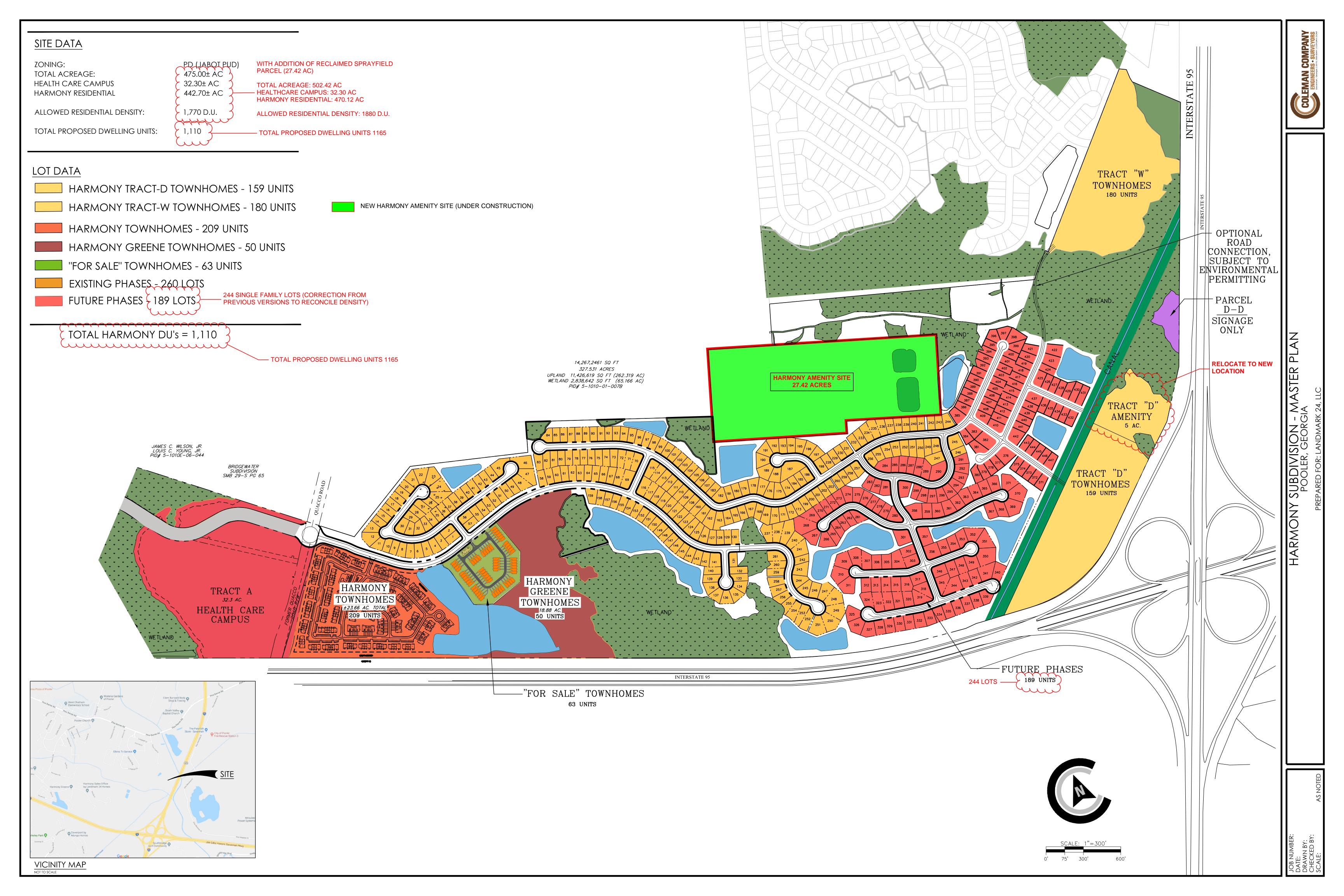
This map illustrates a general plan of the development which is for discussion purposes only, does not limit or bind the owner/developer, and is subject to change and revision without prior written notice to the holder. Dimensions, boundaries and position locations are for

illustrative purposes only and are subject to an accurate survey and property description. COPYRIGHT © 2020 THOMAS & HUTTON

I-1 LIGHT INDUSTRIAL

MEDICAL CAMPUS

DISTRICT



Jabot Tract PUD Amendment No. 16

Pooler, Georgia

Prepared for: Harmony Partners, LLC c/o Foram Group

Prepared by: Thomas & Hutton and Coleman Company

J-25014

December 19, 2024

I. Jabot PUD

The Jabot Tract is master planned as a Planned Unit Development ("PUD") in accord with the Code of Ordinances of the City of Pooler, Georgia. As part of its submission the site developer, Foram Group, Inc., submitted Development Standards establishing zoning districts within the planned community. On September 5, 2000 those Development Standards and corresponding PUD map were adopted by the City of Pooler.

The Jabot PUD has been amended as summarized below;

- 1. Amendment No. 1 to the PUD, approved by the City of Pooler on March 4, 2002 defined previously undefined land uses of property incorporated into the PUD. Included in this amendment was the designation of the Harmony Tract as R-1A (Single Family Residential).
- 2. Amendment No. 2 to the PUD, approved by the City of Pooler on July 6, 2004 rezoned and incorporated portions of the Hugh Armstrong Tract (Somersby) changing its zoning from multi-family to single-family residential in order to develop Somersby (formerly known as Barren Pointe).
- 3. Amendment No. 3 to the PUD, approved by the City of Pooler on November 1, 2004, incorporated The Harmony Tract master plan, established Development Standards for the Harmony Tract, and the change in zoning of Parcel J from single-family residential to heavy commercial.
- Amendment No. 04 to the PUD, approved by the City of Pooler on July 5, 2005 updated land use locations and development standards for the Harmony Tract. Parcel C-C (48 ac.) of adjacent property was added to the PUD under the Harmony designation as single family homes. Harmony Tract A land use was changed from single family town-homes to a Health Care / Medical Campus use. Health Care Campus development standards were defined. Harmony Tract B, C, and D were designated as town-home land uses. The development standards for town-homes were incorporated. Parcel W of the original Jabot PUD was incorporated into the Harmony designation. A small, one (1) acre upland adjacent to I-95 labeled Parcel D-D was designated as heavy commercial restricted for signage use only.
- Amendment No. 5 to the PUD, approved by the City of Pooler on December 15, 2008 included further updates to the Harmony master plan by showing a single-family lot layout of Parcel 3 and Parcel W. The original PUD master plan showed all the Harmony project area as a single-family land use with an allowable development density of 4 units per acre allowing the 358 acre Harmony project an allowable density of 1432 dwelling units. The updated Harmony master plan

indicates approximately 1070 units providing a gross development density at 3 dwelling units per acre. The Harmony project will have access from Quacco road and Memorial Boulevard to Pooler Parkway. The Harmony project includes approximately 570 single family lots and 500 town-home units. A seven (7) acre amenity site is proposed for all home owners within the Harmony project to access. The amenity site may include a fishing pond, pavilion, pool, tennis courts, and playground area.

- 6. Amendment No. 06 to the PUD, approved by the City of Pooler on October 5, 2015 included; 1.) incorporating the 24.89 acre (8.96 net acres) Parcel 2 Baker Tract into the PUD, designating the land use as Multi-Family Residential, 2.) incorporating the 21.73 acre (17.17 net acres) Parcel 2A of the Armstrong Tract into the PUD, keeping the land use designation as Heavy Commercial, 3.) revising the land use designation of Parcel "B" to allow the net acreage adjacent to Pooler Parkway and a portion adjacent to the existing pond as Heavy Commercial, and 4.) added development standards for Mid-Rise Multi-Family residential development for up to 4 stories and designate the Baker Tract Parcel 2, Parcel A and portions of Parcel B as designations for the mid-rise multi-family land use. The Jabot PUD allows a maximum of 7,230 residential dwelling units of which 1,380 dwelling units may be multi-family. This amendment maintained the original cap, although additional property was added to the PUD.
- 7. Amendment No. 07 to the PUD, approved by City Council on October 7, 2019, deleted Section III. E(2) and added that signs and entry standards are to be governed by the City of Pooler sign ordinance.
- 8. Amendment No. 08 to the PUD, approved by City Council on December 02, 2019, updated the Harmony Portion of the Jabot Tract PUD Master Plan to revise the Master Plan to include townhouse lots within Parcel W. The original PUD master plan showed all of the Harmony project area as a single family land use with an allowable development density of 4 units per acre. Amendment No. 04 converted approximately 32 acres to a Health Care Campus (HCC). The total acreage of the Harmony project is approximately 385 acres. Excluding the 32 acre Health Care Campus, the remaining 353 acres of the Harmony project would have an allowable density of 1,412 dwelling units. This amendment resulted in the Harmony PUD containing approximately 1,101 units. The gross development density is 3.2 dwelling units per acre. Following is a table for clarification.

Harmony Master Plan Density Calculations

Acreage Summary:385.3 AcresTotal Harmony Acreage385.3 AcresTract A – Health Care Campus32.3 AcresRemaining Harmony Acreage353.0 Acres

Allowable Density Summary:

Remaining Harmony Acreage 353.0 Acres

Harmony Master Plan Density Calculations

Allowable Gross Development Density	4.0	Units/Acre
Allowable Approved Units	1,412	Units

Proposed Density Summary:

Remaining Harmony Acreage	353.0	Acres
Proposed Single Family Units	504	Units
Proposed Townhomes	597	Units
Total Proposed Units	1,101	Units
Total Proposed Density	3.2	Units/Acre

- 9. Amendment No. 09 to the PUD, approved by City Council on January 21, 2020, consisted of the of the following modifications:
 - 1. Revise the Jabot PUD Master Plan to change the use of the Armstrong Tract (Parcel 2A) from Heavy Commercial (HC) to Multi Family Residential (MFR) and allocate 330 dwelling units to this tract. As part of this revision, the boundaries of this tract and the adjacent Tract G will be adjusted also. The result is an increase in size of the Armstrong Tract (Parcel 2A) by 1.89 acres (Gross), and a corresponding decrease to Tract G. 117 Units were removed from Parcel Y, while 213 Units were removed from Parcel A-A to account for this re-allocation to the Armstrong Tract (Parcel 2A) [117 + 213 = 330]. The total maximum Multi Family Residential (MFR) density will remain at 1,380 DUs.
 - 2. Revise EX02, Sign Location Exhibit, to depict the proposed Directory Sign location at the intersection of Pooler Parkway/Memorial Drive from the East side of Pooler Parkway to the West side.
- 10. Amendment No. 10 to the PUD, approved by City Council on July 6, 2020, consisted of the of the following modifications:
 - 1. Revise the Jabot PUD Master Plan to amend the boundary of the Armstrong Tract (Parcel 2A) to reflect a larger acreage for this parcel, and a correspondingly smaller acreage for the adjacent parcel G. This boundary revision to the Armstrong Tract (Parcel 2A) is being increased to accommodate a proposed site plan for this parcel. The result is an increase in size of the Armstrong Tract (Parcel 2A) by 4.47 acres (Gross), and corresponding decrease to Tract G. There is no increase in density. It shall remain at 330 Multi Family Residential (MFR) DUs.
 - 2. Revise item III.C of the Jabot PUD to incorporate a reduction of the City of Pooler's minimum off-street parking requirements for Multifamily Residential (MFR) use only. This reduction is being requested based upon previous project experience and to allow for a reduction in asphalt to accommodate increased green space and pedestrian connectivity strategies.

- 11. Amendment No. 11 to the PUD, approved by City Council on July 6, 2020, consisted of the of the following modifications:
 - 1. Add item III.I to incorporate an I-1 Light Industrial Zoning District into the Jabot PUD along with the allowed uses within that district. Development standards within the I-1 District shall comply with the applicable City of Pooler Code of Ordinances requirements.
 - 2. Revise the Jabot PUD Master Plan to change the land use of Parcel Y from Multifamily Residential (MFR) to I-1 Light Industrial District.
 - 3. Remove the 660 multifamily units permitted for Parcel Y from the Jabot PUD Master Plan.
- 12. Amendment No. 12 to the PUD, denied by City Council on November 16, 2020
- 13. Amendment No. 13 to the PUD, denied by City Council on December 21, 2020
- 14. Amendment No. 14 to the PUD, submitted by Phillip McCorkle is waiting traffic study results and status of amendment is pending.
- 15. Amendment No. 15 to the Jabot Tract PUD is proposed to update the Harmony portion of the Jabot Tract Master Plan. This proposed amendment includes the following:
 - 1. Provide optional 2nd access to Tract "W": This development has been limited to a single access since it began. Contingent upon environmental permitting, the Owner is considering an access road to connect Harmony proper to Tract "W". This access will provide residents and emergency responders another access point. The environmental contingency is in place due to wetland permitting constraints.
 - 2. Revise townhome distribution: It is proposed to move 63 townhome DUs from Tract "D" to the Harmony Greene Townhome Pod. This re-allocation makes possible a larger future amenity site on Tract "D". The 63 re-allocated townhomes will be "FOR SALE", and not associated with the existing Harmony Greene townhome development.
 - 3. Relocate amenity area: the proposed new amenity area will be larger than the existing amenity and offer more features. This larger amenity will be constructed to serve the buildout of Harmony. The old amenity area playground will be converted to make the space available for the 63 additional townhomes from Tract "D". The existing playground will remain in operation until the new amenity is constructed.

- 16. Amendment No. 16 to the Jabot Tract PUD is proposed to add property to the overall PUD and update the Harmony "Residential" portion of the Jabot Tract Masterplan. This proposed amendment includes the following:
 - 1. Add parcel known as the Baker Tract Parcel 1 to the Jabot PUD and assign land use of single family detached residential. The parcel is 16.0 gross acres (9.7 ac upland and 6.3 ac wetland) equating to 64 maximum allowable dwelling units (4 DU/gross acre).
 - 2. Update Jabot Tract PUD Masterplan to relocate Harmony Amenity Site from Harmony Tract "D" to new permitted location at the Reclaimed Sprayfield Parcel (27.42 acres). Add parcel to the Jabot PUD.

Harmony Master Plan Density Calculations

Allowable Gross Development Density	4.0	Units/Acre
Allowable Residential Density (through AMD 15)	1770	D.U.

Proposed Density Summary (with AMD 16 updates):

Total Harmony Residential Acreage	-	470.12 Acres
Allowed Residential Density	1880	D.U.
Total Single Family Units	504	Units
Total Townhomes	661	Units
Total Proposed Units	1165	Units
Total Proposed Density	2.5	Units/Acre

II. Definitions

Anything not defined below shall be as defined in Article II of Appendix A, Zoning, of the Code of Ordinances, City of Pooler, Georgia.

- a. Master Plan shall mean the latest Approved Amendment to the PUD Master Plan for the Jabot Tract.
- b. Jabot Tract shall mean all property shown on the Master Plan and incorporated into the Jabot PUD.
- c. Harmony Tract shall mean that portion of the Jabot Tract as shown as Parcel 2A on the "Harmony Plat", as defined below.
- d. Harmony Plat shall mean that plat entitled "Parcel 2A, Being a Portion of Parcel 2 of the Lands of 929 Properties, LLC, 7th and 8th G.M.D., City of

Pooler, Chatham County, Georgia", dated October 12, 2004, and recorded in Book 30P, page 22, Chatham County Records, said Plat being incorporated herein and made part hereof by reference.

- e. PUD shall mean the zoning ordinance for the Jabot Tract Planned Unit Development (PUD) Master Plan and referred to as the Jabot PUD.
- f. Amenity / Recreation Areas shall mean any commonly owned area within the development that is intended to be used for public gatherings, passive recreation and/or active recreation. (Examples: pools, walking trails, public picnic areas, etc.)
- g. Detached Single Family Residence shall mean a dwelling, which does not share party or lot line walls with any adjacent building.
- h. Jurisdictional Wetland shall mean an area that meets the definitional requirements for wetlands as defined by the U.S. Army Corps of Engineers.
- i. Net Acreage shall mean the total area of high ground, excluding jurisdictional wetlands.
- j. Sales Center / Model Home shall mean any and all area used for the purposes of display and sales. Sales center may be a temporary structure. Sales center parking may be temporary in nature and is not required to be asphalt or cement.
- k. Parcel 2 Baker Tract shall mean that plat entitled "Parcel 1 & 2, Being a 40.903 Acre Portion of the Former Baker Tract, 8th G.M.D., City of Pooler, Chatham County, Georgia", dated December 13, 2010, and recorded in Plat Book 42S, page 53, Chatham County Records, said Plat being incorporated herein and made part hereof by reference.
- 1. Parcel 2A shall mean that plat entitled "Parcel 2A Being a 21.731 Acre Portion of the Armstrong Tract, 8th G.M.D., City of Pooler, Chatham County, Georgia", dated December 13, 2010, and recorded in Plat Book 32-P, page 4, Chatham County Records, said Plat being incorporated herein and made part hereof by reference.
- m. Parcel 1 Baker Tract shall mean that plat titled, "Parcel 1 & 2 Being 40.903 acre Portion of the Former Baker Tract", Plat Book 42-S Page 53 (1).
- n. Reclaimed Spray Field Parcel shall mean plat titled, "A Recombination and Minor Subdivision Plat of Parcel B-2 of a Division of the Adeline Wessels Tract, Portion of Parcel 3 and a Portion of the Levy Thompson Tract", Plat Book 50 Page 425.

III. Development and Land Use Standards

The following and land use standards shall be incorporated into the Jabot PUD.

A. Residential – Single Family Lots

Somersby (formerly Barren Pointe); Including Baker Tract Parcel 1

Land-Use	Minimum Lot Area	*Minimum Lot Width	Maximum Impervious	mpervious Setbacks			Maximum Building Height	Required Sidewalk Width
	(in sq. ft.)	wiatii	Area	Front	Rear	Side		
Single Family	6,000	55'	60 %	25'	15'	3'/ 7'	35'	4'

^{*} Flag lots shall be allowed provided that the minimum lot area and setbacks are met.

Harmony

Land-Use	Minimum Lot Area	*Minimum Lot Width	Maximum Impervious	Minimum Setbacks			Maximum Building Height	Required Sidewalk Width	
	(sq. ft.) Width		Area	Front	Rear	Side			
Single Family	7,000	55'	60 %	25'	20'	5'	35'	4'	

^{*} Flag lots shall be allowed provided that the minimum lot area and setbacks are met.

- Permitted uses within single family developments shall include
 - i. Detached Single Family Residences
 - ii. Amenity / Recreation Areas
 - iii. Public Utilities
 - iv. Buffers
 - v. Accessory Buildings
 - vi. Sales Center / Model Homes

B. Residential—Harmony Townhomes

a. Density shall not exceed 10 units per net acre

- **b.** Buildings shall have maximum of six (6) dwelling units per building
- c. Minimum unit width shall be 20 feet
- **d.** Maximum impervious surface shall be 60% for the project
- **e.** Minimum setback distance for each residential building shall be 25 feet for the front yard (from edge of nearest travel lane), 20 feet rear setback (from property line), 20 feet between buildings, other improvements, or property line
- f. A mail kiosk may be located within 5 feet of any building
- **g.** Maximum height of building shall be 45 feet.
- **h.** Permitted uses in a townhome project shall include a sales center or model unit, amenity, recreation area, buffers, public utilities, and accessory buildings

C. Residential-Multi-Family

Multi-Family development within the Jabot PUD shall be in accordance with the R-3 (A-C) Zoning District, Appendix A – Zoning, Article III General Provisions – Section 6 Schedule of Development regulations of the City of Pooler Code of Ordinances except as noted below;

Mid-Rise Multi-family (Maximum 4 Stories)

Land- Use	Maximum Density (DU/AC)	Minimum Lot Width	Maximum Impervious Area		linimur etbacks Rear	Maximum Building Height	
				riont	Rear	Side	
Multi- Family	28 DU/AC	None	75 %	20'	20'	20'	N/A

All mid-rise Multi-Family residential buildings may include elevator access to each floor that complies with the latest International Building Code. Parking requirements will be meet by surface parking outside the building or may be incorporated inside the building structure.

Minimum parking requirements within the Multifamily Residential District (MFR) shall be as follows:

- 1.2 parking spaces per 1 bedroom unit
- 1.5 parking spaces per 2 bedroom unit
- 2.0 parking spaces per 3 bedroom unit
- 1 parking space per employee for any on-site amenities, leasing office, and/or clubhouse

D. Harmony Tract A "Health Care Campus"

Harmony Tract A will be designated as a Health Care Campus (HCC) district. The purpose of this district is as follows:

"This district is defined as an area designated for the development of health care related facilities and ancillary services in a manner which will meet the needs of the community without adversely affecting nearby residential uses. This district is composed of lands and structures used primarily for the provision of health care services. Regulations within this district are intended to permit and encourage full development of the necessary uses while at the same time protecting nearby residential properties from possible adverse effects of the development activities."

Permitted uses in a HCC district: Land may be used and buildings or structures may be erected or used for the land uses listed below.

- 1. Medical or physician's office and treatment facilities;
- 2. Imaging and other diagnostic service centers;
- 3. Surgical facilities;
- 4. Out-patient care facilities;
- 5. In-patient care facilities;
- 6. Laboratories;
- 7. Health and fitness centers:
- 8. Health education facilities;
- 9. Urgent care treatment facilities;
- 10. Surgery centers:
- 11. Rehabilitation facilities; and
- 12. Ancillary medical services, including, but not limited to, drug stores and optometry centers;
- 13. Any other inpatient or outpatient facilities providing products or services related to medical treatment or healthcare; and
- 14. All uses allowed under the PUD-CP designation as defined in this Amendment.

All other uses not listed as permitted or conditional uses shall require the approval of the aldermanic board through the ordinance text amendment process.

The Schedule for Minimum Yard requirements applicable to the C-P zoning district, as defined by the City of Pooler Zoning Ordinance, shall apply to the HCC designation, except as to building height requirements.

E. Sign and Entry Standards:

The public and the developers of the Jabot Tract have a legitimate interest and concern in the construction, maintenance, and regulation of outdoor signs within the

PUD and it is, therefore, necessary to regulate the size, number, length, height, clearance, setback, maintenance, illumination, safe construction, and aesthetics of signs and entry markers located in the PUD.

Chapter 66, Sections 66-1 through 66-14 of the current Pooler City Ordinance ("Sign Regulations") are adopted in their entirety for all signs located in the PUD other those specifically listed hereinbelow. Notwithstanding the foregoing, the following signs and entry markers to be located in the PUD and are exempt from the provisions of the Sign Ordinance:

- 1. A Directory Sign consistent with the design shown on Attachment A (dated 5/19/05) shall be permitted at the general locations shown on Exhibit 02 attached.
- 2. A Monument Sign located in the road right of way consistent with the design shown on Attachment C shall be permitted at the general locations shown on Exhibit 02 attached.
- **F. PUD-C1 Commercial Light District** An area designated within the Jabot PUD where permitted uses in a PUD-C1 district are allowed. This district is an area designated for the development of light commercial properties with land uses less than two acres. All site plans for development in the PUD-C1 district must be submitted to the building official for review by the Planning Commission and the Aldermanic Board for approval.

Land may be used and buildings or structures may be erected or used for the land uses listed below.

- i. Professional Offices
- ii. Banks
- iii. Laundry and dry-cleaning establishments
- iv. Grocery stores
- v. Barber shops and beauty shops
- vi. Dry goods stores
- vii. Churches and fraternal organizations
- viii. Gift shops
- ix. Eating establishments with no live entertainment
- x. Theaters
- xi. Arcades and game rooms
- xii. Heating and air conditioning sales and service
- xiii. Television sales and service
- xiv. Childcare facilities
- xv. Household furniture
- xvi. Hardware stores
- xvii. Retail sales

- xviii. Neighborhood shopping center 10,000 square feet or less
 - xix. Drugstores

Conditional Uses for PUD-C1 Commercial Light District

- i. Garages, automobile repair and service
- ii. Teen clubs
- iii. Residential Construction that is part of smart growth principals in commercial areas
- iv. Eating establishments with live entertainment
- v. Funeral Homes
- vi. Service Stations
- vii. Mini-Warehouses
- viii. New or Used Auto Sales and Service
- ix. Skating Rinks
- x. Miniature Golf Courses
- xi. Pawn Shops
- **G. PUD C2 Commercial Heavy District** An area designated within the Jabot PUD where permitted uses in a Commercial Heavy District are allowed. This district is an area designated for the development of heavy commercial properties with land uses of more than two acres. A height limit of 75 feet has been established for this district. All site plans for development in the PUD-C2 district must be submitted to the building official for review by the Planning Commission and the Aldermanic Board for approval.

Land may be used and buildings or structures may be erected or used for the land uses listed below.

- i. All approved uses in the PUD-C1 Commercial Light District and PUD CP Commercial Professional District
- ii. Hotels and motels having 50 or more units may have restaurants, nightclubs, dining rooms or bars located in the main building
- iii. Hotels and motels having 100 or more guest rooms may have retail stores, personal service shops, offices and similar uses for the convenience of their guests
- iv. Shopping centers with total floor space exceeding 10,000 square feet
- v. Any sales facility exceeding 10,000 square feet
- vi. Open air market or flea market (when developed as a planned development which allows for adequate parking for covered spaces rented out on a daily basis
- vii. Liquor, beer and wine package shops
- viii. Restaurant with or without alcohol sales
- ix. Service stations
- x. Mini-Warehouses
- xi. New or used auto sales and service

- xii. Skating rinks
- xiii. Miniature golf courses

Conditional Uses for PUD-C2 District

- i. Truck Service Centers
- ii. Mobile home sales
- iii. Bars or night clubs
- iv. Family entertainment centers, including go-cart rides, batting cages, arcade games, food courts, and other similar forms of family amusement, provided however that no such activity shall exceed the following noise limits at any point along the boundary of the property on which the family entertainment center is located: 55 dB(A)(sound pressure level) between 10:00pm and 7:00am, or 60dB(A)(sound pressure level) between 7:00am and 10:00pm.
- **H. PUD-CP Commercial Professional District** An area within the Jabot PUD where permitted uses in a PUD-CP Commercial Professional District are allowed. Land may be used, and buildings or structures may be erected or used for the land uses listed below.
 - i. Professional offices,
 - ii. Banks.
 - iii. Professional office plazas,
 - iv. Gift shops,
 - v. Drug stores,
 - vi. Barber Shops,
 - vii. Dry Goods Stores,
 - viii. Churches and fraternal organizations,
 - ix. Eating establishments with no live entertainment and no drive through,
 - x. Household furniture stores,
 - xi. Specialty shops,
 - xii. Retail sales, and
 - xiii. Neighborhood shopping centers 10,000 square feet or less of building area.

Conditional uses PUD CP District

- i. Motels
- ii. Hotels and motels having 50 or more units may have restaurants, dining rooms or bars, which are located in the main building; and,
- iii. Hotels and motels having 100 or more guest rooms may have retail stores, personal service shops, offices, and similar uses for the convenience of their guests,

iv. Restaurant with or without alcohol sales.

All other uses not listed as permitted or conditional uses shall require the approval of the aldermanic board through the ordinance text amendment process.

The Schedule for Minimum Yard requirements applicable to the CP zoning district, as defined by the City of Pooler Zoning Ordinance, shall apply to the PUD-CP designation, except that the maximum height on the district shall be 35 feet. For a building height in excess of 35 feet, in no event shall a building permit be granted without the following restrictions:

- 1. Structure beyond 35 feet in height shall have safeguards consisting of fire escapes, sprinkler systems, smoke detectors and non-combustible materials and any other fire protection equipment deemed necessary at the time by the aldermanic board.
- 2. Before a permit can be granted on said request, an affidavit of the builder and owner must be executed agreeing to same to be completed within an agreed upon reasonable time.
- 3. Federal Aeronautics [Aviation] Administration (FAA) approval must be granted in certain areas of the city prior to requesting permission to construct structures above 35 feet.
- **I. I-1 Light Industrial District** An area within the Jabot PUD where permitted uses in a I-1 Light Industrial District are allowed, provided that such uses are conducted in such a manner that noxious odors, fumes, dust and similar particles, or noise are not emitted or detectable beyond the property lines of the lots on which the uses are located. Land may be used, and buildings or structures may be erected or used for the land uses listed below

Permitted uses in I-1 District

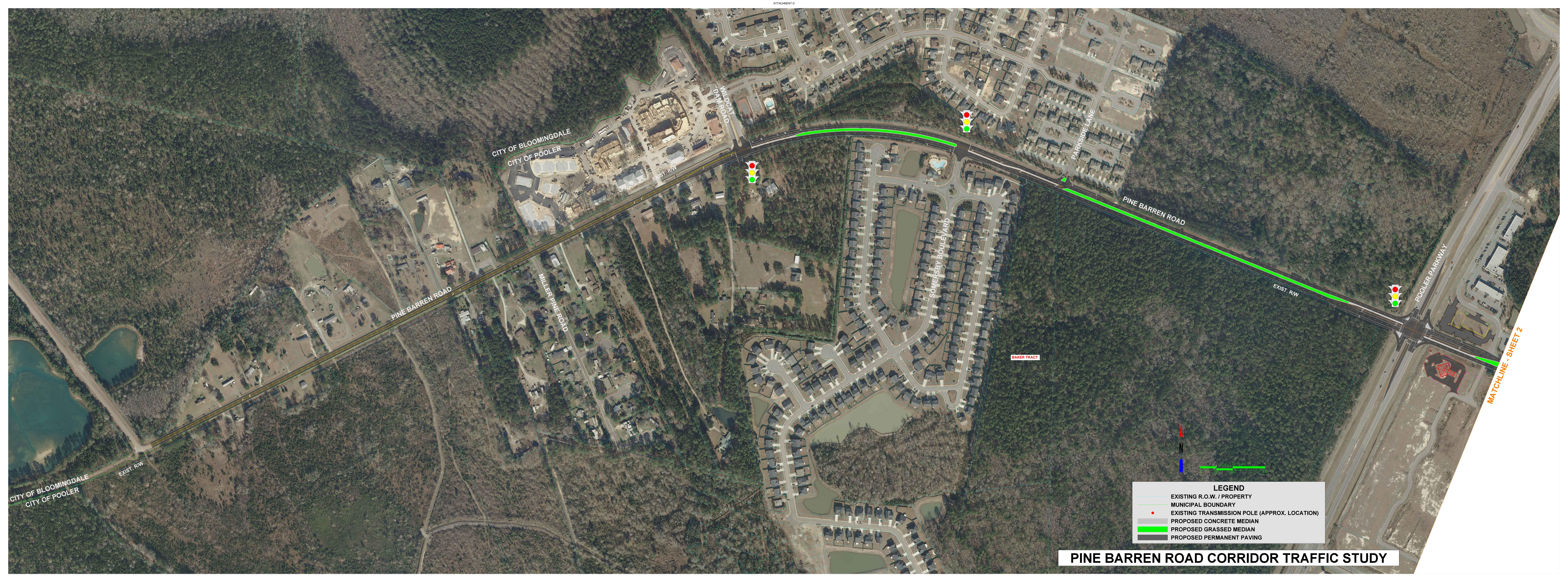
- i. Manufacturing, processing, fabrication, repair, and servicing of any commodity or product, and sale, retail or wholesale of any product or commodity, which does not produce noise, odors, dust, fumes, fire hazard or other nuisance beyond the property lines.
- ii. Warehousing, storage and distributing of any product or commodity,
- iii. Offices, including medical and dental,
- iv. Repair garages provided that all business is conducted inside an enclosed building and/or inside an aesthetically pleasing barrier which will shield the business activity from view of passing motorists and surrounding property owners,
- v. Truck terminals, provided the use of trucks entering or leaving the road will not constitute a traffic hazard or impede highway

- traffic.
- vi. Animal hospitals, kennels and/or boarding facilities (see article III, section 22 for specific regulations),
- vii. Outdoor drive-in theaters (see article III, section 23, for specific regulations),
- viii. Building material sales yards and lumber yards, including the sales of rock, sand, gravel, and the like,
- ix. Public utilities, including buildings, necessary structures, storage yards, and other related uses, but specifically excluding waste processing, handling, or storage,
- x. Research or experimental stations and laboratories,
- xi. Radio and/or television station transmission or reception towers (see article III, section 16 for specific regulations),
- xii. Horticultural nurseries,
- xiii. Office buildings for business, governmental, professional, or other general purposes; and,
- xiv. Accessory buildings, structures, and uses customarily incidental to permitted uses,
- xv. Truck service centers,
- xvi. Manufactured home sales, and service
- xvii. Bars or nightclubs.

IV. Conditional uses in I-1 District

- i. Retail businesses or services provided such businesses or services are incidental to a permitted light-industrial use and located on the same premises; and,
- ii. Watchman or caretaker's one- or two-family dwelling provided that such dwelling is located on the premises of the permitted light- industrial use and a member of the household is employed by the industry as a watchman or caretaker,
- iii. Hotels and motels having 100 or more guest rooms may have retail stores, personal service shops, offices, and similar uses for the convenience of their guests,
- iv. Consumer fireworks retail sales facility, store or temporary structure.

All other uses not listed as permitted or conditional uses shall require the approval of the aldermanic board through the ordinance text amendment process.



ATTACHMENT D



With the implementation of these improvements, the intersection is expected to operate at LOS A during the AM peak hour and LOS D during the PM peak hour for 2030 Build-out conditions. These results are identified in **Table 7.2** as 2030 Build-out IMP.

7.3 Pine Barren Road at Parkside Lane/Baker Tract

Table 7.3 below summarizes the LOS, control delay, and 95th percentile queue length at the intersection of Pine Barren Road at Parkside Lane/Baker Tract each analysis scenario.

Table 7.3 - Pine Barren Road at Parkside Lane/Baker Tract											
Condition	Measure	EB		WB			NB		SB		
Condition	Measure	EBL	EBT	EBR	WBL	WBR	WBTR	NBL	NBTR	SBL	SBTR
AM Peak Hour											
2020 Existing	HCM 6th LOS (Delay)	A (2.2)		A (0.0)		N/A		B (13.7)			
2030 Background	HCM 6th LOS (Delay)	A (2.0)		A (0.0)		N/A		B (14.0)			
2030 Build-out	HCM 6th LOS (Delay)	A (0.1)		A (0.0)		F (\$)		F (\$)			
2030 Build-out IMP	HCM 6th LOS (Delay)	A (0.1)		A (0.0)		C (15.7)		C (16.7)			
PM Peak Hour											
2020 Existing	HCM 6th LOS (Delay)	A (0.3)		A (0.0)		N/A		B (14.9)			
2030 Background	HCM 6th LOS (Delay)	A (0.1)		A (0.0)		N/A		B (14.2)			
2030 Build-out	HCM 6th LOS (Delay)	A (0.3)		A (0.1)		F (\$)		F (\$)			
2030 Build-out IMP	HCM 6th LOS (Delay)	A (0.3)		A (0.1)			C (18.4)		D (30.1)		

^{\$} Delay exceeds 300s

Results 8 4 1

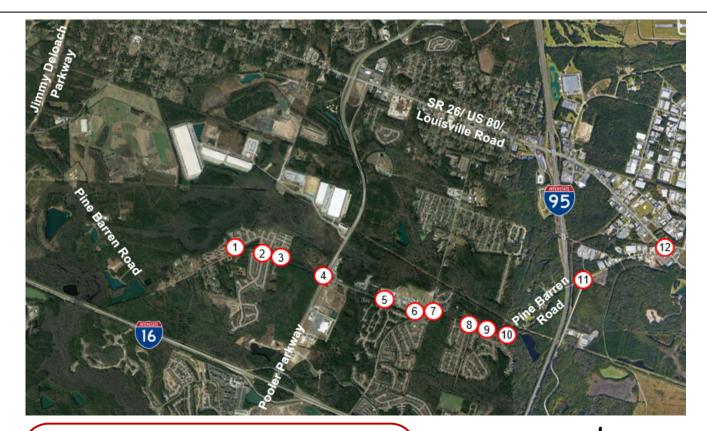
As shown in **Table 7.3**, minimal delays on the Parkside Lane (southbound) approach are exhibited in the 2020 Existing conditions scenario. The 2030 Background traffic scenario also exhibits minimal delays, but the addition of potential development traffic along Pine Barren Road results in lengthy side street delays. These longer delays are a result of a lack of available gaps in the Pine Barren Road traffic flow with the projected 2030 Build-out volumes.

Recommendations

The following improvements are recommended to accommodate the 2030 Build-out volumes. These recommendations are based on capacity analyses that include proposed improvements at adjacent intersections.

- Extend the eastbound left-turn lane storage to a minimum of 150 feet with a 100-foot taper
- Proposed Baker Tract Development
 - Access point should align with Parkside Lane
 - Construct an exclusive eastbound right-turn lane
 - Construct an exclusive westbound left-turn lane
- Construct a Restricted Crossing U-turn (RCUT) to prohibit left turns from the northbound and southbound approaches
 - The southbound left-turns would U-turn at Somersby Boulevard
 - The northbound left-turns would U-turn at Pooler Parkway or a future intermediate intersection

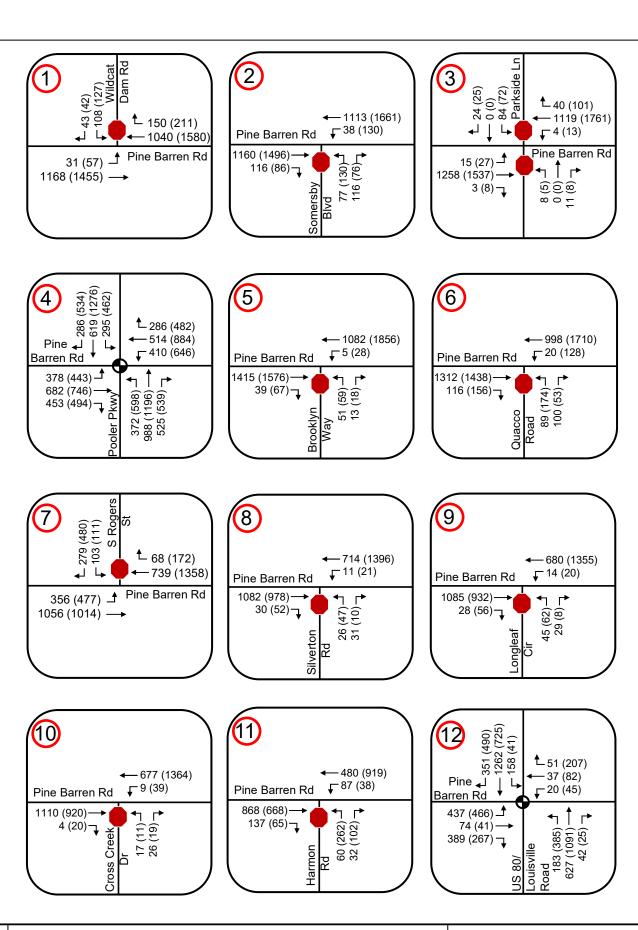
N/A Not Applicable



LEGEND

- Study Intersection
- Stop-Controlled
- ← Turning Movement XX (XX) AM Peak (PM Peak)
- Intersection Traffic Signal
- Pine Barren Road at Wild Cat Dam Road
- 2. Pine Barren Road at Somersby Boulevard
- 3. Pine Barren Road at Parkside Lane
- 4. Pine Barren Road at Pooler Parkway 5. Pine Barren Road at Brooklyn Way
- Pine Barren Road at Quacco Road
- 7. Pine Barren Road at South Rogers Street
- 8. Pine Barren Road at Silverton Road
- 9. Pine Barren Road at Longleaf Circle
- Pine Barren Road at Cross Creek Drive
- Pine Barren Road at Harmon Road
- 12. Pine Barren Road at US 80/Louisville Road









PLANNING & ZONING STAFF REPORT

Conditional Use Request for a Garage Apartment at 313 Benton Drive

Project:	#A24-0222					
P&Z Meeting Date:	January 13, 2025					
Public Hearing Date:	January 21, 2025					
Applicant and Authorized Agent:	Nathanael Barham					
Location (Address):	313 Benton Drive					
Parcel (PIN):	50002 04013					
Existing Zoning:	R-1-A					
Zoning Action:	Conditional Use					
Request:	Request to convert portion of existing workshop building into a garage apartment.					
Application Filed:	December 13, 2024					
Legal Notice Published:	January 5, 2024					
Sign Posted:	December 24, 2024					
Letters Mailed:	December 23, 2024					
,						
Staff Recommendation:	Approval					
Planning & Zoning Commission:	After review of the criteria, P&Z recommends approval of the request.					
Recommended Motion:	"After review of the criteria, move for approval of the request."					

Background:

The request is to convert a portion of an existing workshop building into a garage apartment. The applicant is proposing to convert 800 square feet of an existing 1200 square foot workshop building into a garage apartment. The remaining 400 square feet will continue to be used as a workshop. Per the applicant, the garage apartment will be rented on a long-term basis until such a time when the short-term rental moratorium is lifted. If short-term rentals are permitted in the future the applicant states he will apply for short-term rental permission. The property would need to meet any requirements imposed with the short-term rental ordinance at that time.

A garage apartment is considered ancillary to the primary use of a residence. A garage apartment must also comply with all requirements of Sec. 17 of App. A, Art. III. Per the requirements, a garage apartment shall only be permitted on a lot which meets 1 $\frac{1}{2}$ 0 of the minimum lot area requirements for the zoning district; the 23,000sf subject lot is over 1 $\frac{1}{2}$ 1 the size of the required 8500sf for the zoning district. Additionally the living area of the proposed garage apartment can be no more than one-half of the primary structures total living area; the proposed 800sf garage apartment is less than half of the 2100sf primary structure.

Relevant Ordinances:

App. A, Art. III, Sec. 17 – Secondary Dwelling Structures

App. A, Art. IV, Table 4.1: Allowed Uses by Zoning District

App. A, Art. IV, Sec. 4 – Conditional Uses

App. A, Art. V, Sec. 7 – Standards for Conditional Use Permission

Zoning Action Standards:

- 1. The proposed use will not be contrary to the purpose of this ordinance.
 - The proposed use would be consistent with the purpose of the ordinance as the proposed garage apartment is consistent with the residential uses of the neighborhood.
- 2. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood or adversely affect the health and safety of residents and workers.
 - The proposed use would not be detrimental to adjacent properties or surrounding areas as it would take place inside of an existing secondary structure, will remain within the residential makeup of the neighborhood and will provide the required parking.
- 3. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such

facility, vehicular movement acquainted with the use, noise or fumes generated by or as a result of the use, or type of physical activity associated with the land use.

- The proposed use is consistent and compatible with existing uses nearby and those otherwise allowed in the district and would not constitute a nuisance or hazard as the use will take place in an existing secondary structure, will be residential, and existing parking areas will be utilized.
- 4. The proposed use will not be affected adversely by the existing uses of adjacent properties.
 - The proposed use will not be affected adversely by the existing uses of adjacent properties as the proposed use is similar and compatible with existing uses.
- 5. The proposed use will be placed on a lot which is of sufficient size to satisfy the space requirements of said use.
 - The proposed garage apartment will be contained within an existing secondary structure on a lot that is over 14,500 sf (more than one and a half times) over the required lot size for the district, therefore meets all requirements for such conditional use.
- 6. The parking and all development standards set forth for each particular use for which a permit may be granted will be met.
 - The parking standards are satisfied by providing the required number of spaces, and the square footage of the proposed garage apartment will be less than half of the 2100 sf principal dwelling.
- 7. The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.
 - The action will not adversely impact adjacent or nearby properties in terms of property values, by rendering such properties less suitable and therefore less marketable for the type of development to which they are committed or restricted in order to promote the public welfare and protect the established development pattern.

Conclusion:	The request complies with the criteria for a conditional use. As such, staff recommends Approval of the request.
Attachments:	A. Vicinity Map B. Application and Submittal Documentation





Vicinity Map for Garage Apartment Conditional Use -313 Benton Drive

12/19/2024

Parcels

This map was created using Latapult \mid www.latapult.com \mid Bigger Data Faster Maps Stronger Decisions



Conditional Use Application

5	Applicant Nothanael Barham				
mati	Mailing address 313 Benton Drive				
mr finit	City Pooler	State <u>GA</u>	Zip 31322		
Applicant Information	Telephone (828) 989-6938				
4	Property Owner(s) Nathonael Barham		William To The Control of the Contro		
mersh	Mailing address 313 Benton Drive				
Property Ownership	City Pooler	State GA	Zip <u>3/322</u>		
Propr	Telephone (828) 989-6938	Fax ()	- MacOurter Company		
Son	Contact Person(s) Nothmad Borhom				
Contact Person	Telephone (328) 189 - 6938 Fax	x(E-mail_nlbarha	m@gmail.com		
Comts	Telephone (828) 989-6938 Fax () E-mail nlbarham@gmail. com * All staff correspondence will be sent only to one designated contact person.				
	* Addresses and telephone numbers do	o not have to be repeated if provided above.	900		
	Location address 313 Benton Drive, Poder, GA	1 313.55			
	Current Zoning R-1-A - One Family Residential Dwelling Pro				
	Provide a brief description of proposed use on subject proper	rty. Describe those things, which you feel j	ustify the action		
	requested. List the specific sections of the Zoning Ordinance I would like to finish out a portion of my existing	- which have a bearing on your request:			
	and turn it into a garage apartment per Apa	pendix A. Section 17.A.			
**	Description of the activities, # of units and hours of operation of the proposed conditional use: T propose to make one gazage apartment for normal use.				
Request					
R	A proposed starting date of land disturbance or construction, date of completion for all improvements and use opening or date of first occupancy: Proposed 5fort Date: January 2025				
	Proposed Campletion Date: April 2025				
	Proposed Date of First Occupancy: May 2025 A list of activities undertaken by the developer and subse	equent occupant to mitigate all adverse	impacts upon the		
	surrounding properties before, during and after the comp	oletion of development activities:			
	Any loud tosks shall be performed during norm	OF GLOVE YOUTH, AND MOT ON SOMETHYS.			
	All debris will be properly disposed in a timely	Monnec			
	All debris will be properly disposed in a timely	Mount			

Conditional Use Application (cont.)

	* This application will not be processed until <u>ALL</u> of the following items are submitted *					
2	☐ Filing fee (see scheduled fees). Make checks payable to the City of Pooler.					
Filing Requirements	☐ A preliminary site plan which includes items (1),(2), (3) and (6) of Appendix A, Article V, Section 4 (c)					
alle	☐ A list of activities undertaken by the developer and subsequent occupant to mitigate all adverse impacts upon the surrounding					
Red		after the completion of developmen	t activities.			
ling		or smaller, 16 copies if larger.				
E	☐ Signed and dated Campaign	Contributions and acceptance of co	onditional standards.			
	☐ Authorization of property owr	ner signed, dated and notarized. (pa	age 3)			
	Name address & zin codes of	surrounding property owner's n	rimany residence w	vithin a radius of 200 ft. of the property as of		
5				itional sheet if necessary. (<i>Required</i>)		
B		217 Remeta St.				
Adjacent Property Owners	Andy Hoong (Nhon Vo		•			
acent P	Bruce Anderson		Pooler, GA			
\$	Thomas Deat		Pooler, GA			
	Have you made campaign con	tributions to one or more Poole	r City Official(s), inc	cluding any member(s) of the Planning		
		wo years that when combined, t	total an amount gr	eater than \$250.00?		
E	✓ ★ No. I have not made of the last o	ampaign contributions to any P	ooler City Official(s). (Please sign below at the *)		
ğ						
	Yes. I nave made cam	paign contributions to one or m	ore Pooler City On	ficial(s). (<i>Please sign below at the *</i>)		
မိ	City Official	Title	Dollar Value	Description of gift		
alg						
Campaign Contributions						
	* Signature: Nathancel	Barham		Date: Dec. 9, 2024		
		campaign contributions attach	another copy of			
		The state of the s	. /			
Sate	I attest that all the informa	tion provided is true to fact		Barham		
8	Data in I do I a i		(Applica	nts Signature)		
Signature & Date	Date: /2 / 9 / 2024	-				
igna		Attes				
n	(Zoning Administrator or Agent thereof)					
	_	This portion to be complete	ed by Zoning Ad	ministrator		
	Hearing date has been set fo	Hearing date has been set for:				
atos	Notice published in newspaper on:					
1000	Notice published in newspa	per on:	(15 days p	prior to hearing date)		
8	-	oer on:d to adjacent property owners on:		prior to hearing date)		
lication S	Letters of notification maile			•		
Application Status	Letters of notification maile This action was approved	d to adjacent property owners on:	of minutes disposing o	•		
Application S	Letters of notification maile This action was approved Notification of the results of	d to adjacent property owners on: or denied(copy	of minutes disposing o	•		

City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Name of applicant: Nothonoel Borhom
Address: 313 Benton Drive
City & State: Pooler, Georgia Zip 3/322
Telephone number: (828) 989-6938
Nathanal Barbare
Signature of owner
Personally appeared before me Nathanael Barham
Who swears that the information contained in this authorization is true and correct to the best his/her knowledge and belief.
Per A Dugar GREGOPINA
Notary Public
Notary Public Date Notary Public EXPIRES PUBLIC DATE PUBLIC DATE

Adjacent Property Owners Cont.

Mary Elizabeth Kangeter 305 Benton Drive



Applicant Name

Campaign Contribution Disclosure Form (Zoning Action Applicant)

Page 1 of 1

Updated MAY 2024

Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

Hearing Information			
Zoning Action/Agenda Item			
Planning & Zoning Public Hea	aring/Meeting Date and Time		
City Council Public Hearing/N	leeting Date and Time		
Disclosure Statement			
and/or Planning & Zoning Co than \$250.00? NO, I have not ma over the past YES, I have made past two years	ntributions to one or more Pooler City mmissioners, during the past two years ade any campaign contributions to two years that, when combined, to campaign contributions to one or a that, when combined, total an amon information is listed below:	one or more Pooler otal an amount grea more Pooler City Of	City Official(s) ter than \$250.00.
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
I attest that all information p	provided above is true to fact.		
Washanal Barkan	Dathonael Backany	(3 Dec 2024
Applicant Name	Applicant Signature		Date

Applicant Signature

Appendix A, Article V, Section 4 (C), Items (1), (2), (3), and (6):

(1) The location, size and other pertinent data of all land uses on the site including types, location and height of buildings, parking, open areas and landscaping,

Primary Home: One story building (see Map 1 for location of house on property)

Work Shop: One story building (see Map 1 for location of house on property)

Parking: Paved driveway (8'x28') with room for (4) vehicles

Open Areas and Landscaping: Front and back yards contain grass, trees, and flowerbeds consistent with a normal home.

(2) Dimension setback lines from property lines and street right-of-way lines,

See Map 1 showing property line dimensions and relative locations of streets and property lines.

(3) Adjacent thoroughfares and all curb cuts within 500 feet, including:

a.Proposed new cut(s) onto public rights-of-way with turning radii, and width, and b.Dimensions of all rights-of-way,

No new cuts onto a public right-of-way are needed.

(6) Tabulated data including at least:

a. Gross density of dwelling units,

One family in garage apartment (I am not completely sure what "Gross density of dwelling unit" means).

b.Parking ratio per dwelling unit,

2 paved parking spaces for the current house.

2 paved parking spaces for the garage apartment.

c.Percent and amount of land coverage by use, and

No additional land will need to be converted for parking or structural purposes since the driveway is large enough for (4) vehicles and since the current workshop will contain the whole of the garage apartment.

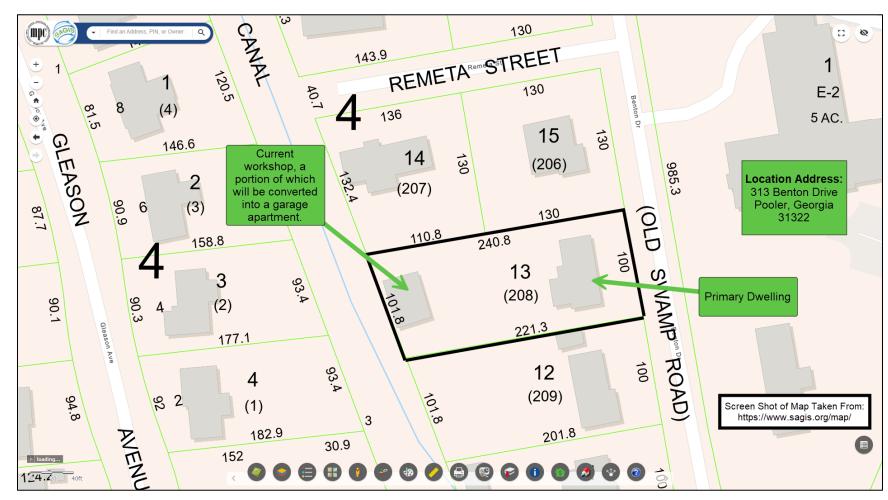
d.Percent and amount of floor area by use and by type.

The workshop is 1200 square feet. I will be converting approximately 800 square feet of the workshop into the garage apartment and leaving 400 square feet as a workshop. Since the primary dwelling is 2000 square feet, the garage apartment will be less than half the size of the primary dwelling.

Area Map:

313 Benton Drive Pooler, Ga 31322

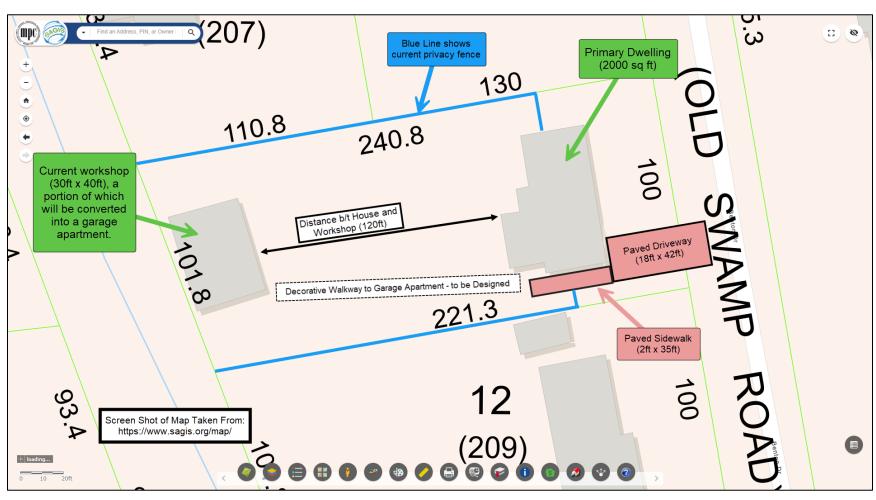
Map Screenshot from: https://www.sagis.org/map/. (Property dimensions are in feet.)



Property Map:

313 Benton Drive Pooler, Ga 31322

Map Screenshot from: https://www.sagis.org/map/. (Property dimensions are in feet.)





PLANNING & ZONING STAFF REPORT

Variance for 200 Outlet Parkway Front Yard Setback Requirement

Project:	#A24-0231
P&Z Meeting Date:	January 13, 2025
Public Hearing Date:	January 21, 2025
Applicant and Authorized Agent:	Carson Meilinger – Coleman Company
Location (Address):	200 Outlet Parkway
Parcel (PIN):	50017A 01109
Existing Zoning:	C-2 (Heavy Commercial District)
Zoning Action:	Variance
Request:	Request to reduce the front yard setback requirement from 60 feet to 10 feet.
Application Filed:	December 19, 2024
Legal Notice Published:	January 5, 2025
Sign Posted:	January 2, 2025
Letters Mailed:	January 2, 2025
Staff Recommendation:	Denial
Planning & Zoning Commission:	After review of the criteria, P&Z recommends denial of the request.
Recommended Motion:	"After review of the criteria, move for denial of the request."

Background: The subject property is currently undeveloped, and the site of a proposed display model home park. The site is within the C-2 (Heavy Commercial) zoning district and is approximately 1.98 acres in size. The applicant is seeking approval for a variance to reduce the front yard setback requirement from 60 feet to 10 feet. The request is being made due to the required front yard setback taking up a significant portion of the triangular shaped property. Relevant Ordinances: App. A, Art. V, Sec. 9 - Variances App. A, Art. III, Sec. 6 – Schedule of Development Regulations Zoning Action Standards: That there are unique physical circumstances or conditions 1. beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property. The subject parcel is currently undeveloped and is generally the same size as other parcels in the vicinity, and it does not have unique physical constraints that give it peculiar circumstances or conditions. 2. That because of such physical circumstances or conditions,

- 2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
 - The parcel does not have any unique physical circumstances or conditions that apply to it. The layout of the proposed display model home park development could be reconfigured. The property could be developed meeting the requirements of the ordinance.
- 3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.
 - The variance will not result in a use not authorized in the zoning district.

Conclusion:

Staff finds the request does not comply with the required criteria for a variance in meeting only one of three criteria. As such, staff recommends **Denial** of the request.

Attachments:

- A. Vicinity Map
- B. Zoning Map
- C. Application and Submittal Documentation



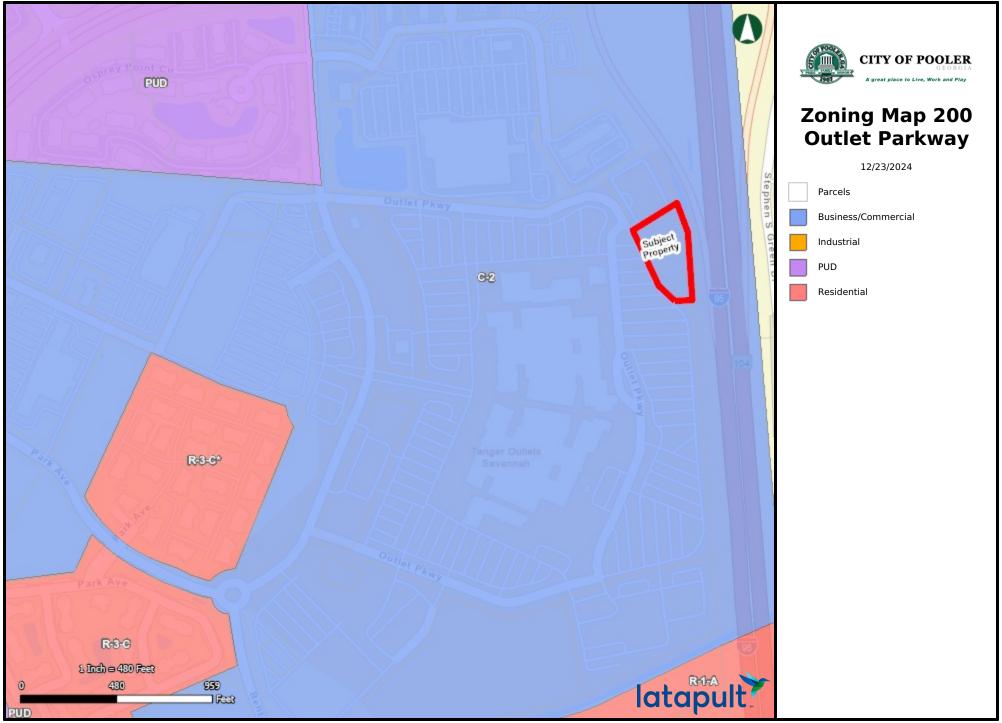


Vicinity Map 200 Outlet Parkway

12/23/2024

Parcels

This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



Zoning Variance Application

Page 1 of 2

Updated MAY 2024

NOTICE TO	O APPLICANT
This application will not be processed until the following	ng items are submitted:
Filing fee (checks payable to: City of Poole Survey of the property signed and stamped Site plan and/or architectural rendering of of lot restrictions One copy if 11" x 17" or smaller; 16 copied Signed and dated Campaign Contribution a Authorization of property owner signed, da Under Contact Information, addresses and telephor provided. Staff correspondence will be sent to one of	d by a State of Georgia Certified Land Surveyor proposed development depicting location if larger and Variance Standards forms ted, and notarized in numbers do not have to be repeated if already
OFFICE	USE ONLY
Hearing Date:	
Letters of Notification Mailed:	
Action (minutes attached): Approved Denied	Results Mailed to Applicant:
Contact Information	
Carson Meilinger	912-200-3041
Applicant Name	Applicant Phone
1480 Chatham Pkwy STE 100, Savannah, GA	cmeilinger@cci-sav.com
Applicant Mailing Address	Applicant Email
America's Home Place - Jeff Kramer	912-335-2669
Property Owner Name	Property Owner Phone
1108 E Highway 80, Pooler, GA 31322	jkramer@americashomeplace.com
Property Owner Mailing Address	Property Owner Email
Carson Meilinger	912-200-3041
Contact Person Name	Contact Person Phone
1480 Chatham Pkwy STE 100, Savannah, GA	cmeilinger@cci-sav.com
Contact Person Mailing Address	Contact Person Email
D	
Property Information	500151 01100
200 Outlet Parkway, Pooler, GA Location Address	50017A 01109
Location Address	Parcel Identification #



Zoning Variance Application

Page 2 of 2

Updated MAY 2024

C-2	N/A
Current Zoning	Current Use

Purpose of the variance request, including specific sections of zoning ordinance that apply:

The current site is zoned as C-2 and requires a 60' front setback per Appendix A, Article III, Section 6 in the Pooler code of ordinances. Due to the triangular shape of the parcel and the small size of the parcel, the front setback alone takes up 30% of the property. Therefore, we are requesting a variance for the front setback to be adjusted to 10' which matches the previously accepted variance from 2014.

Adjacent Property Owners

Name and address of surrounding property owner's primary residence within a radius of 200 ft. of the property as of the date of filing. Include those directly across a public right-of-way. Use an additional sheet if necessary.

Savannah Economic Development Authority	200 Tanger Outlets Blvd.	31322
Name	Address	Zip
Savannah Economic Development Authority	100 Outlet Pkwy	31322
Name	Address	Zip
Name	Address	Zip
		it .
Name	Address	Zip

Affidavit

I, the undersigned, certify that I have read, examined, and completed this application and certify that all the information pertained in this application is true and correct.

Carson Meilinger	Carson Meilinger Court Meilinger Court Meilinger Court Meilinger Court Meilinger Court Court Meilinger Court	12/19/2024	
Applicant Name	Applicant Signature	Date	
Travis Burke	Professional Engineer	12/19/2024	
Attestant Name	Attestant Title	Date	



Zoning Variance Standards

Page 1 of 1

Updated SEPT 2023

Variance Criteria

After an application has been submitted to the Building Official, reviewed by the Planning & Zoning Commission, and a public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if **at least two** of the following findings are made:

- That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property; and/or
- 2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property; and/or
- 3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

Affidavit of Receipt

I have received a copy of the standards for consideration of my variance request and understand that Mayor & Council may grant my variance only if my request meets two of these standards.

Carson Meilinger	Carson Meilinger On Carson Meilinger Code and Corn. Carson Meilinger Code and Code and Corn. Carson Meilinger Code and Code and Code and Corn. Carson Meilinger Code and Co	12/19/2024	
Applicant Name	Applicant Signature	Date	



Applicant Name

Campaign Contribution Disclosure Form (Zoning Action Applicant)

Page 1 of 1

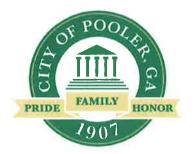
Updated MAY 2024

Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

Hearing Information		tional space is needed, please attach a sect	
3			
Zoning Action/Agenda Iten	n		
Planning & Zoning Public H	earing/Meeting	Date and Time	
City Council Public Hearing	/Meeting Date a	and Time	1
Disclosure Statement			
		one or more Pooler City Official(s), includir during the past two years that, when comb	
✓ NO , I have not r over the pas	made any camp st two years th	paign contributions to one or more Pooler at, when combined, total an amount grea	City Official(s) ater than \$250.00.
past two yea	rs that, when	entributions to one or more Pooler City Of combined, total an amount greater than s is listed below:	
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
I attest that all information	provided above		
Carson Meilinger		Carson Meilinger Chus, Exemelinger Con-Carson Meilinger Con-Carson Meili	12/19/2024

Date

Applicant Signature



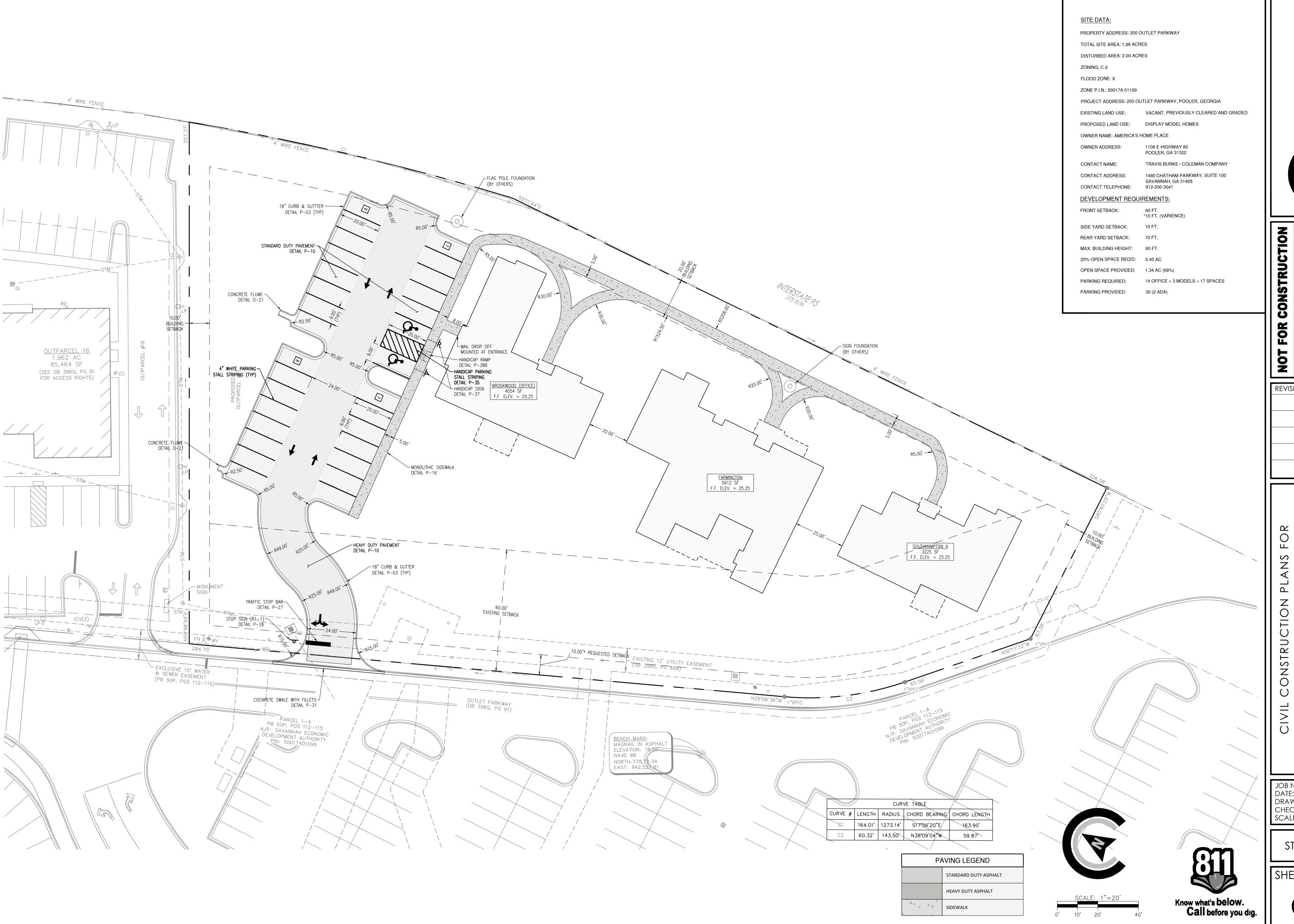
Property Owner Authorization

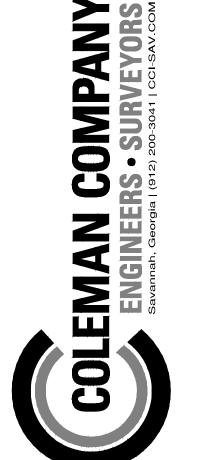
Page 1 of 1

Updated SEPT 2023

Authorization		
Completion of this form is require applications.	ed for all Rezoning, Conditional Use, Variance	e, Site Plan, and Subdivision
Rezoning Conditional Use	e ☐ Variance ☑ Site Plan ☐ Subdiv	vision
I authorize the person named be property or a site plan submittal.	low to act as Applicant in the pursuit of rezor	ning, variance or conditional use of
Coleman Company, Inc - Travis Bur	ke tburke@cci-sav.com	912-200-3041
Applicant/Agent Name	Email	Phone
1480 Chatham Parkway, Suite 100, S	Savannah, GA 31405	
Applicant/Agent Address		
the best of my knowledge and be 100 Outlet Parkway, Pooler, GA 31		nis authorization is true and correct to
Property Address	0.1	
America's Home Place	forman	11-15-29
Owner Name	Owner Signature	Date
Notary Public		
November 15.	2029	
Subscribed and Sworn This Day		
Sandie Jienes	Do die men	4/12/25
Notary Name	Notary Signature	Commission Expiration
		Seal

Sandle M Jones NOTARY PUBLIC Chatham County, GEORGIA My Commission Expires 04/12/2025





REVISIONS:

IN POOLER, GEORGIA AMERICA'S HOME PL

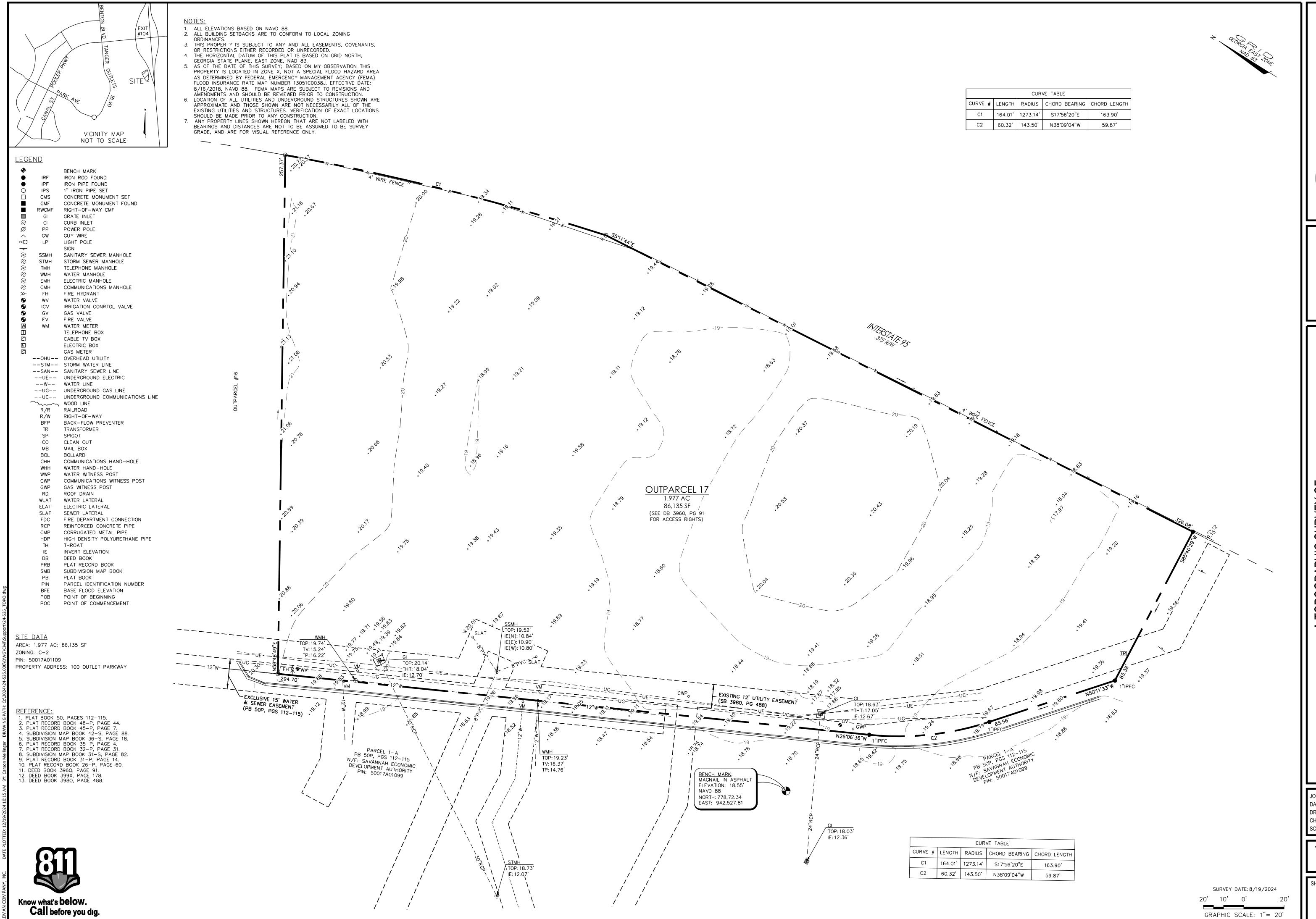
LOCATED I

24-535 12/18/24 MEL TGB

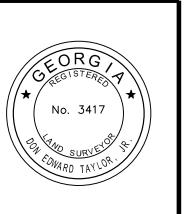
JOB NUMBER: DATE: DRAWN BY: CHECKED BY: SCALE: AS NOTED

STAKING PLAN

SHEET:



COLEMAN COMPAN ENGINEERS • SURVEYO 1480 Chatham Parkway, Suite Savannah, Georgia | (912) 200-3



A TOPOGRAPHIC SURVEY OF
OUTPARCEL 17, BEING
A PORTION OF PARCEL B,
8TH G.M. DISTRICT, CITY OF POOLER, CHATHAM COUNTY, GEOR

JOB NUMBER: 24-535
DATE: 8/17/2024
DRAWN BY: DAS
CHECKED BY:
SCALE: 1" = 20'

TOPOGRAPHIC SURVEY

HEET:

1/1



PLANNING & ZONING STAFF REPORT

Variance for HOM at Pooler Setback Requirements

Project:	#A24-0225		
P&Z Meeting Date:	January 13, 2025		
Public Hearing Date:	January 21, 2025		
Applicant and Authorized Agent:	Chris Adams Impact Development Partners		
Location (Address):	100 Commons Way		
Parcel (PIN):	51009 01089		
Existing Zoning:	PUD (Savannah Quarters, Phase 16)		
Zoning Action:	Variance		
Zonning Action.	variance		
Request:	Request to encroach within the 15-foot required side setback to construct a fence on approximately 100-feet of the side street property line for the HOM at Pooler multi-family residential development.		
Application Filed:	December 18, 2024		
Legal Notice Published:	January 5, 2024		
Sign Posted:	December 24, 2024		
Letters Mailed:	December 20, 2024		
,			
Staff Recommendation:	Approval		
Planning & Zoning Commission:	After review of the criteria, P&Z recommended approval of the request.		
Recommended Motion: "After review of the criteria, move for approval of the re			

Background:

Lot 13-A Remainder is a portion of the Blakely Commons, Savannah Quarters PUD Phase 16. Portions of previous infrastructure include William Blakely Crossing. A portion of William Blakely Crossing was subsequently dedicated to the City as public right-of-way. As time elapsed, the plans for the development of the PUD and the design of the William Blakely Crossing right-of-way were modified; these modifications included replacing a 3-way stop with a round-a-bout. The new design was permitted, built and dedicated to the city. No abandonment of right-of-way has been requested to match the current design, and as a result, the corner of Lot 13-A Remainder nearest to the round-a-bout has a "step" into the property which causes a jog in the proposed fence line, pushing the proposed fence within the required 15-foot setback. The applicant is seeking approval for a variance to encroach within the required 15-foot side setback to construct a fence on approximately 100 feet of the property line.

Relevant Ordinances:

App. A, Art. V, Sec. 9 - Variances

Zoning Action Standards:

- 1. That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property.
 - The subject property includes a right-of-way that steps into the property, impeding the continuity of the side yard setback. This right-of-way, while dedicated, is no longer needed as part of the roundabout that was constructed. This stepping in of the property line creates unique physical constraints and peculiar circumstances or conditions.
- 2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property.
 - The unique physical constraints cause undue hardship for the applicant as it restricts the way the development is designed and further restricts the site from having a perimeter fence in this area. However, the property could be redesigned and developed to meet the requirements of the ordinance.
- 3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the

property is located or cause substantial detriment to the public good.

• The variance will not result in a use not authorized in the zoning district or cause detriment to the public good.

Conclusion: Staff finds the request complies with two of the required criteria for a variance. As such, staff recommends Approval of the request.

Attachments: A. Vicinity Map

B. Application and Submittal Documentation





Vicinity Map for Fence Variance -100 Commons Way

12/16/2024

This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



Zoning Variance Application

Page 1 of 2

Updated MAY 2024

NOTICE TO APPLICANT

This	application	will	not b	e processed	until the	e following	items are	submitted:
------	-------------	------	-------	-------------	-----------	-------------	-----------	------------

Survey of the property signed and stamped by a State of Georgia Certified Land Surveyor Site plan and/or architectural rendering of proposed development. of lot restrictions

✓ One copy if 11" x 17" or smaller; 16 copies if larger

Signed and dated Campaign Contribution and Variance Standards forms
Authorization of property owner signed, dated, and notarized

Under Contact Information, addresses and telephone numbers do not have to be repeated if already provided. Staff correspondence will be sent to one designated contact person, not all listed.

OFFIC	CE USE ONLY		
Hearing Date:	Published in Legal Organ:		
Letters of Notification Mailed:	Sign Posted:		
Action (minutes attached): Approved Denie	ed Results Mailed to Applicant:		
Contact Information			
Chris Adams	678-717-8939		
Applicant Name	Applicant Phone		
900 Circle 75 Pkwy, Suite 550 Atlanta, GA 30339	cadams@impactdm.com		
Applicant Mailing Address	Applicant Email		
CRP/IDPHV Pooler Owner, L.L.C.	404-822-9628		
Property Owner Name	Property Owner Phone		
900 Circle 75 Pkwy, Suite 550 Atlanta, GA 30339	jakin@impactdevpartners		
Property Owner Mailing Address	Property Owner Email		
John Akin	404-822-9628		
Contact Person Name	Contact Person Phone		
900 Circle 75 Pkwy, Suite 550 Atlanta, GA 30339	jakin@impactdevpartners		
Contact Person Mailing Address	Contact Person Email		
Property Information			
100 Commons Way Pooler, GA 31322	51009-01089		
Location Address	Parcel Identification #		



Zoning Variance Application

Page 2 of 2

Updated MAY 2024

PUD (Blakely	Commons)	Multi-family
Current Zoning		Current Use
Purpose of the variance	request, including specific sections of zoning ordinance that app	oly:
* Reference the attack	ned document for additional full purpose of the variance requ	est statement.
Adjacent Property Ov	vners	
Name and address of suas of the date of filing.	urrounding property owner's primary residence within a radius of Include those directly across a public right-of-way. Use an additi	200 ft. of the property onal sheet if necessary.
Legacy at Savannah Quarters	101 Shepherd Way, Pooler, GA	31322
Name	Address	Zip
BLAKELY COMMONS PROPERTY OWNERS ASSOCIATIO	100 BLUE MOON CROSSING SUITE 114 POOLER, GA	31322
Name	Address	Zip
THE SUNSHINE HOUSE, INC.	301 AUGUSTA STREET SUITE 100 GREENVILLE, SC	29601
Name	Address	Zip
BIGJACK1, LLC	BOX 16935 SAVANNAH, GA	31416
	Address the attached document for additional adjacent property owners	Zip
Affidavit		
I, the undersigned, cert information pertained in	rify that I have read, examined, and completed this application and this application is true and correct.	nd certify that all the
John R. Akin, Jr.	John Line	12/11/24
Applicant Name	Applicant Signature	Date
Kurt Adams	Vice President (12/11/24
Attestant Name	Attestant Title	Date



Zoning Variance Standards

Page 1 of 1

Updated SEPT 2023

Variance Criteria

After an application has been submitted to the Building Official, reviewed by the Planning & Zoning Commission, and a public hearing has been held by the Mayor and Council, the Mayor and Council may grant a variance from the strict application of the provisions in this ordinance only if **at least two** of the following findings are made:

- 1. That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property; and/or
- 2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property; and/or
- 3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

Affidavit of Receipt

I have received a copy of the standards for Council may grant my variance only if my		
John R. Akin, Jr.	Shark Lily	12/11/24
Applicant Name	Applicant Signature	Date /



Hearing Information

Campaign Contribution Disclosure Form (Zoning Action Applicant)

Page 1 of 1

Updated MAY 2024

Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

Zoning Action/Agenda Item			
Planning & Zoning Public Hea	aring/Meeting Date and T	ïme	
City Council Public Hearing/N	leeting Date and Time		
Disclosure Statement			
Have you made campaign co and/or Planning & Zoning Co than \$250.00?	ntributions to one or mo mmissioners, during the	re Pooler City Official(s), including past two years that, when comb	ng the Mayor, Councilmembers, pined, total an amount greater
NO, I have not mo	ade any campaign contr two years that, when c	ributions to one or more Pooler ombined, total an amount grea	r City Official(s) ater than \$250.00.
past two years	campaign contributions that, when combined, n information is listed b	s to one or more Pooler City O total an amount greater than selow:	fficial(s) over the \$250.00
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
City Official Name	Title	Dollar Value	Description of Gift >\$250
I attest that all information p	provided above is true to	fact.	
John R. Akin, Jr.	John	R.Ail	12/11/24
Applicant Name	Applican	t Signature	Date

Background

Lot 13-A Remainder is a portion of the Blakely Commons PUD. We purchased this ~18.965 acre parcel on 2/15/24. The PUD, including Legacy at Savannah Quarters, was originally designed as a largely commercial development that was divided into smaller outparcels that would be built out in multiple phases as is typical of PUD's of this scale. Legacy at Savannah Quarters was the first outparcel built (in or about end of year 2017 – See Attachment A). To support the Legacy at Savannah Quarters development certain master infrastructure was designed, permitted and constructed; the master infrastructure included portions of William Blakely Crossing. This constructed portion of William Blakely Crossing was subsequently dedicated to the city as public right-of-way. As time elapsed, the plans for the development of the PUD and the design of the William Blakely Crossing right-of-way were modified; these modifications included replacing the 3-way stop with a round-a-bout (see Attachment B). This new design was permitted, built and dedicated to the city.

No abandonment of right-of-way has been requested to match the current design and as a result, the corner of our Lot 13-A Remainder nearest to the round-a-bout has a "step" into the property (see Attachment C) which restricts our ability to keep a property fence more than 15 feet from the property line as required by code.

Variance

We are requesting a variance of Sec. 22-113.3 – Minimum Standards. Per Sec. 22-113.3 "Residential Privacy fences will be restricted to the rear and side yards and shall not exceed the front yard setback line. The side street setback line is included in this restriction. Residential fences for multifamily residential development are permitted to encroach in the front yard setback line but can be no closer than 15 feet from the front property line or side street property line." We are requesting a variance to allow for a section of the proposed fence to encroach closer than 15 feet on the side street property line (see Attachment C).

Variance Criteria

1. That there are unique physical circumstances or conditions beyond that of surrounding properties, including irregularity, narrowness, or shallowness of the lot size or shape, or exceptional topographical or other physical conditions, peculiar to the particular property; and/or

Applicant response: the unique nature of the original right-of-way dedication for a 3-way stop and a change in design to a round-a-bout created an irregular condition, shape and peculiarity that is a specific and unique hardship to this property and the development thereof. We believe a fully fenced/secured perimeter is a benefit to future residents, is a best practice in the industry, and benefits the community by offering a safe and secure community.

2. That because of such physical circumstances or conditions, the property cannot be developed in strict conformity with the provisions of the zoning ordinance, without undue hardship to the property; and/or

Applicant response: Without the granting of the variance, undue hardship will be created by forcing the developer/owner to abandon their plans for a fully secured perimeter fence, pursue right-of-way

abandonment process with the city, or modify their site design and construction plans (which the owner/developer has been expeditiously pursuing already under their existing permits and approvals).

3. That granting the variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good.

Applicant response: Granting of a variance will not result in authorization of a use not otherwise permitted in the district in which the property is located or cause substantial detriment to the public good. We believe that our proposed perimeter fence furthers the interest of the City of Pooler by promoting safe and secure communities.

COA POOLER LLC 4425 PAULSEN STREET SAVANNAH, GA 31405
SOUTHWEST QUADRANT DEVELOPMENT COMPANY L BOX 2309 PAWLEYS ISLAND, SC 29585
BANKSOUTH 6340 LAKE OCONEE PARKWAY GREENSBORO, GA 30642

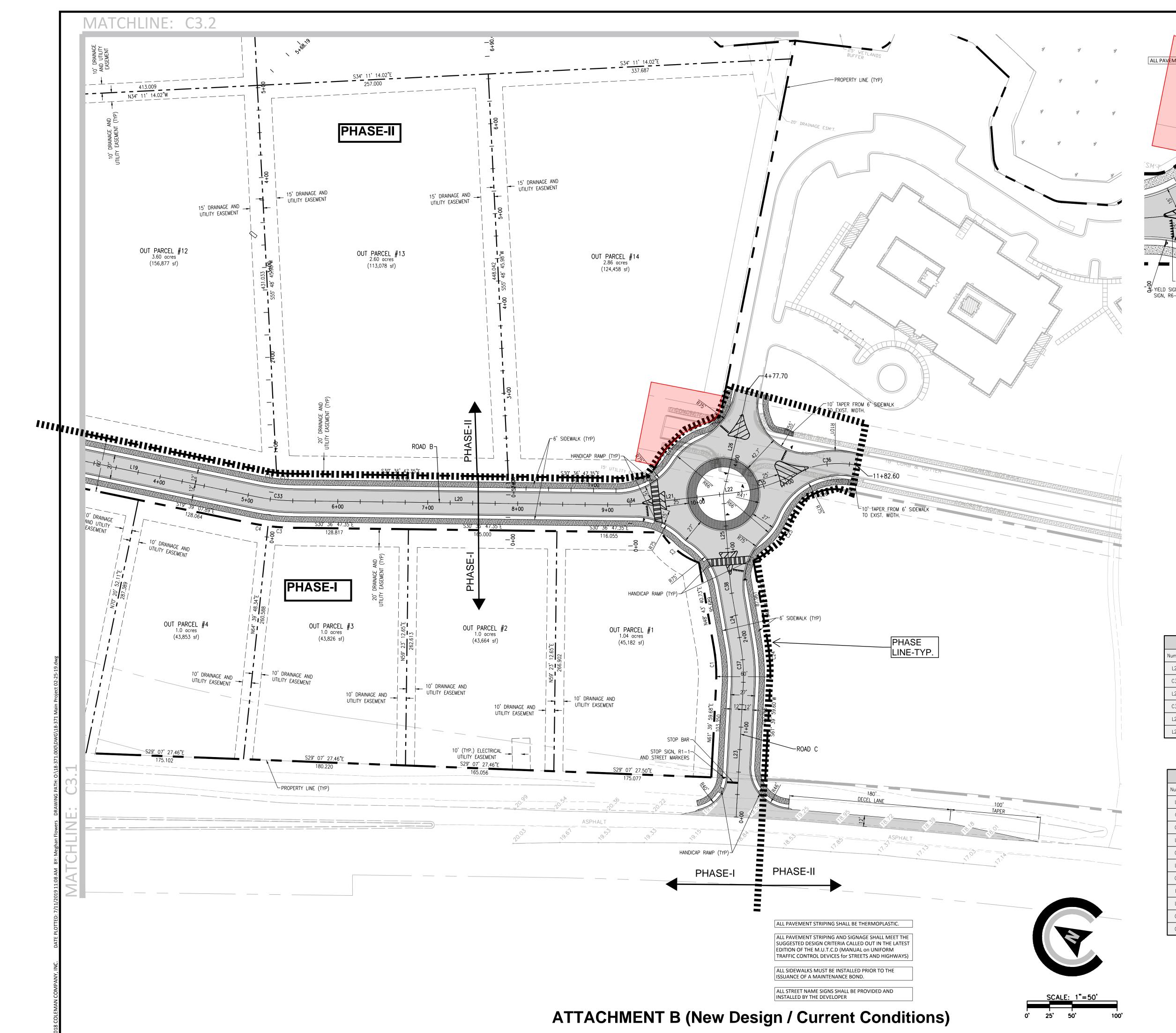


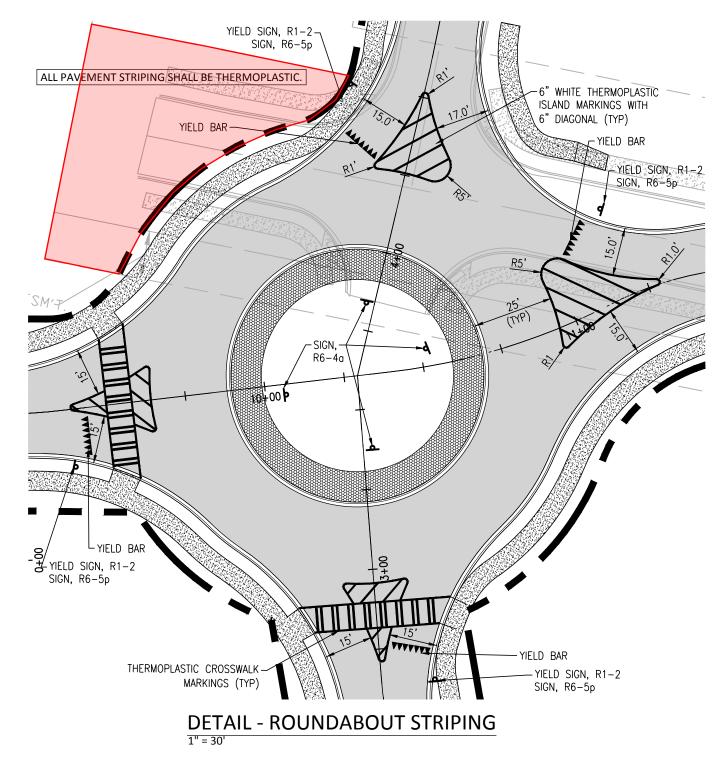


ATTACHMENT A (Original Design / Aerial)



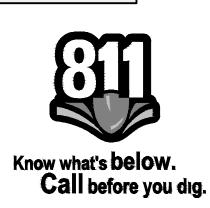






ROAD C						
Number Length Radius Line/Chord Direction Start Point End Point				End Point		
L23	145.099		N61° 44' 18.99"E	(932295.9306,753705.9629)	(932423.7332,753774.6665)	
C37	48.146	212.000	N55° 14' 02.44"E	(932423.7332,753774.6665)	(932463.1996,753802.0616)	
L24	55.600		N48° 43' 40.73"E	(932463.1996,753802.0616)	(932504.9875,753838.7370)	
C38	18.925	200.000	N51° 26' 19.76"E	(932504.9875,753838.7370)	(932519.7804,753850.5296)	
L25	92.883		N54° 08' 58.79"E	(932519.7804,753850.5296)	(932595.0668,753904.9285)	
L26	98.322		N71° 57' 55.69"E	(932595.0668,753904.9285)	(932688.5582,753935.3680)	

ROAD B					
Number	Length	Radius	Line/Chord Direction	Start Point	End Point
L18	55.303		S05° 28' 15.58"E	(932227.3521,754836.7619)	(932232.6248,754781.7103)
C31	44.493	112.000	S05° 54' 35.00"W	(932232.6248,754781.7103)	(932228.0738,754737.7439)
C32	136.691	212.000	S01° 10' 51.15"E	(932228.0738,754737.7439)	(932230.8423,754603.4366)
L19	273.140		S19° 39' 07.89"E	(932230.8423,754603.4366)	(932322.7018,754346.2069)
C33	40.557	212.000	S25° 07' 57.62"E	(932322.7018,754346.2069)	(932339.9006,754309.5459)
L20	360.924		S30° 36′ 47.35″E	(932339.9006,754309.5459)	(932523.6970,753998.9259)
C34	25.849	200.000	S34° 18' 56.70"E	(932523.6970,753998.9259)	(932538.2593,753977.5910)
L21	92.233		S38° 01' 06.04"E	(932538.2593,753977.5910)	(932595.0668,753904.9285)
L22	10.310		S38° 01' 06.04"E	(932595.0668,753904.9285)	(932601.4167,753896.8065)
C35	71.907	200.000	S48° 19' 05.81"E	(932601.4167,753896.8065)	(932654.8317,753849.2460)
C36	71.192	107.000	S39° 33' 27.04"E	(932654.8317,753849.2460)	(932699.3387,753795.3649)



COLEMAIN COMPANY ENGINEERS - SURVEYORS Savannah, Georgia | (912) 200-3041 | CCI-SAV.COM

RELEASED FOR CONSTRUCTION

REVISIONS:

1. REVISED PER CITY OF POOLER
COMMENTS DATED 02/18/19

BLAKELY COMMONS

LOCATED IN POOLER, GEORGIA

PARED FOR NORTH POINT DEVELOPA

JOB NUMBER: 18-371
DATE: 12/12/18
DRAWN BY: MEL
CHECKED BY: RAR
SCALE: AS NOTED

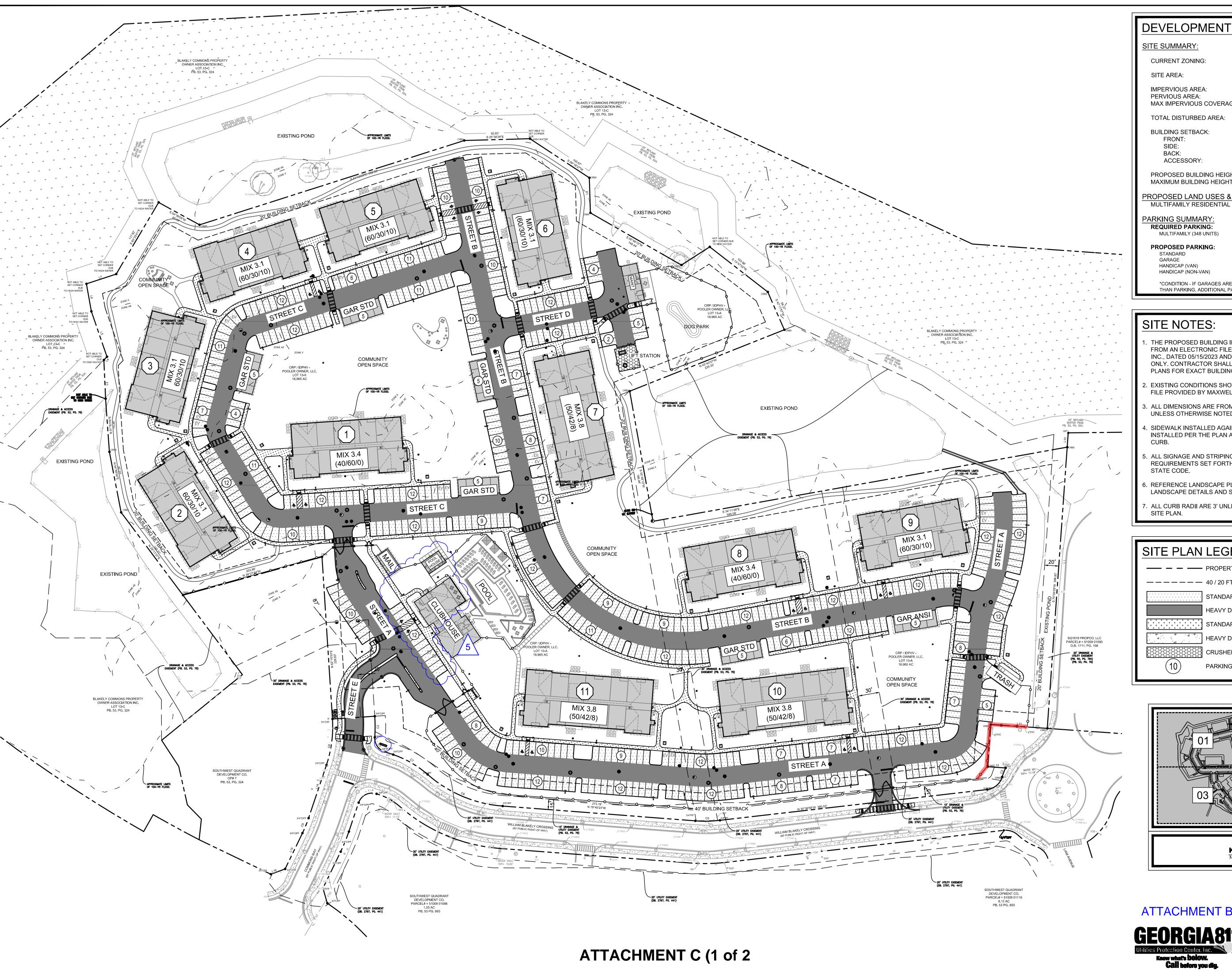
STAKING PLAN

SHEET:

C3.0

ATTACHMENT B (New Design / Current Conditions)





DEVELOPMENT SUMMARY:

CURRENT ZONING: PUD (BLAKELY COMMONS)

9.49 ACRES (50.0%)

18.965 ACRES

9.48 ACRES (50.0%) MAX IMPERVIOUS COVERAGE:

TOTAL DISTURBED AREA: 18.5 ACRES

BUILDING SETBACK:

20 FT 20 FT 20 FT

PROPOSED BUILDING HEIGHT: 42'-2" MAXIMUM BUILDING HEIGHT:

PROPOSED LAND USES & DENSITIES

609 SPACES (TOTAL) MULTIFAMILY (348 UNITS) 609 SPACES (1.75/UNIT)

> 611 SPACES (TOTAL) 563 SPACES

10 SPACES 8 SPACES

*CONDITION - IF GARAGES ARE USED FOR PURPOSES OTHER

- ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.

- ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, GDOT, AND GEORGIA
- 6. REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.
- 7. ALL CURB RADII ARE 3' UNLESS OTHERWISE INDICATED ON THE

SITE PLAN LEGEND:

— — — — — 40 / 20 FT BUILDING SETBACK LINE

STANDARD DUTY ASPHALT PAVEMENT HEAVY DUTY ASPHALT PAVEMENT STANDARD DUTY CONCRETE SIDEWALK

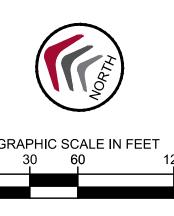
HEAVY DUTY CONCRETE PAVEMENT

CRUSHER RUN GRAVEL

PARKING COUNT

KEY MAP NOT TO SCALE

ATTACHMENT B





DESIGNED BY REVIEWED BY

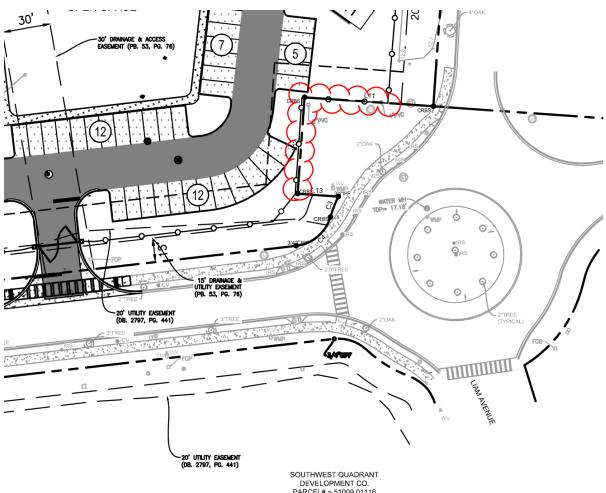
PROJECT NO. 017879000 **OVERALL SITE**

C2-00

PLAN

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ATTACHMENT C (2 of 2)



SOUTHWEST QUADRANT DEVELOPMENT CO. PARCEL# = 51009 01116 8.12 AC PB. 53 PG. 693



PLANNING & ZONING STAFF REPORT

Site Development Plan for Harmony Force Main Upgrade

Project:	#A24-0024
P&Z Meeting Date:	January 13, 2025
City Council Meeting Date:	January 21, 2025
Applicant and Authorized Agent:	Coleman Company – Carson Meilinger
Location (Address):	Melody Drive/Cantata Circle
Parcel (PIN):	51010F09003
Acreage:	Approximately .5 acres
Zoning:	PUD (Jabot)
Proposed Use:	Force main upgrades to existing sanitary sewer for future developments within the Jabot PUD, Harmony.
Staff Recommendation:	Approval
Planning & Zoning Commission:	After review of the application, P&Z recommends approval of the request.
Recommended Motion:	"After review of the criteria, move for approval of the request."
Zoning Action Standards:	 Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the Future Land Use Map (FLUM) designation and Character Area. Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.
- 3. Whether the site plan provides for adequate space for offstreet parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
- 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to the development standards for site improvements.
- 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for site improvements, and buffer standards.
- 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI;
 Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
- 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site upgrades ensure it is to be adequately served by public services and for current or projected needs.
- 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
- Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
- 10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval of the request.**

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter





Vicinity Map Harmony Force Main Upgrades -Melody Drive /Cantata Circle

12/16/2024

Parcels

This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions





Site Plan Application

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Updated OCT 2023

NOTICE TO APPLICANT

With the exception of residential one- and two-family structures, all land development activities, regardless of zoning district, must go through the site plan approval process. The fee for this process is \$3,000.00. All forms, fees, and additional documentation must be submitted to the Zoning Administrator at least thirty (30) days prior to the Planning & Zoning Meeting. Only complete applications will be accepted.

Upon submittal of the site plans, the City Planner will review for noticeable discrepancies and determine if there is a need to apply for other zoning actions. Site plans are also provided to the City Engineer, the Public Works Department, and the Fire-Rescue Services Department for review. Once the applicant has addressed all engineering comments, the plan will be placed on the Planning & Zoning Meeting agenda for recommendations. If no revisions are needed, it will move to the next regularly scheduled City Council Meeting agenda. Please note that site plan approval does not constitute approval of any other zoning action or permit.

Restaurants serving alcoholic beverages by the drink should refer to the Pooler Code of Ordinances, Chapter 6, Article I, Sections 6-11 for requirements. General questions concerning this application may be directed to the Zoning Administrator.

Packet Contents (City Forms)

This packet contains all forms required to be completed prior to submission.

- 1. Site Plan Application
- 2. Site Plan Submission Checklist
- 3. Property Owner Authorization
- 4. Site Plan Approval Standards Affidavit
- 5. Campaign Contribution Report
- 6. Site Plan Review Checklist

Additional Items for Submission

In addition to the above forms, the following must also be included with your application submission:

- 1. Three (3) sets of completed hardcopy plans (to include landscaping and lighting) plus one electronic copy
- 2. Application fee payment of \$3,000.00
- 3. Project narrative
- 4. Proof taxes have been paid in full
- 5. Existing deed restrictions or covenants applicable to this property (if applicable)





Site Plan Application

Page 2 of 3

#A24-0075

Contact Information			
Coleman Company -	- Carson Meilinge	er	912-200-3041
Applicant Name			Applicant Phone
1480 Chatham Pkwy S	cmeilinger@cci-sav.co		
Applicant Mailing Address			Applicant Email
Water Utility Manageme	ent - Ray Harring	ton	Carson Meilinger
Property Owner Name			Property Owner Phone
28 Abercorn Street, S	avannah, GA 31	324	ray@waterga.com
Property Owner Mailing Add	dress		Property Owner Email
Coleman Company - F	Patrick Warner		912-200-3041
Contact Person Name			Contact Person Phone
1480 Chatham Pkwy ST	E 100, Savanna	h, GA 31405	pwarner@cci-sav.com
Contact Person Mailing Add	ress		Contact Person Email
PUD			51010 09003
Location Address			51010 09003
Current Zoning			Parcel Identification #
	to existing sanits	ary sewer for future develop	ments
		nt Activity and Use of Land Ther	
ontractor Information			
Contractor Name	Со	ntractor License #	Contractor Phone
Contractor Mailing Address			Contractor Email
oning Actions			
List any zoning actions app application, and action take proposed under this applica	en on all prior applic	ast three (3) years. If possible, cations filed for the zoning action	include application number, date of n of the whole or part of the land
Application Number	Date	Action Requested	Action Taken



Site Plan Application

Page 3 of 3

Applica	tion Number	Date	Action Requested	Action	Taken
Applica	tion Number	Date	Action Requested	Action	Taken
Applica	ition Number	Date	Action Requested	Action	Taken
Approva	als				
Enviror	nmental Product Dec	claration (EPD) a	pproval required?	X No	☐ Yes
Natura	l Resources Conserv	ation Service (N	IRCS) approval required?	X No	☐ Yes,(date)
Develo	pments of Regional	Impact (DRI) re	view triggered?	X No	☐ Yes
Existin	g deed restrictions o	or covenants app	olicable to this property?	X No	\square Yes, attached
being s	subdivided or develo ants must submit a r	ped requiring ar plat to GDOT for	(GDOT) requires a permit for any property e entrance onto a State or Federal Highway. review/comment. The Pooler Planning & lication until GDOT has commented.	X No	☐ Yes, attached
ffidavit	:				
I, the נ informa	undersigned, certify ation pertained in th	that I have read his application is	d, examined, and completed this application true and correct.	and certify	that all the
I hereb	by certify that this p ct for the property b	roposed subdivis eing subdivided/	sion/site plan does not violate any covenants /developed.	or deed r	estrictions current
I hereb		kes applicable to	this property have been paid and that there	are no de	linquent taxes
	by certify that I am is ision/development.		thorized agent of the property being propose	ed for	?
Carso	on Meilinger		Carson Meilinger Oxygen by Carson Melinger Carson Meilinger Oxygen on Meilinger Oxygen on Meilinger Oxygen on Meilinger Oxygen on Melinger Oxygen	/12/2024	
Applica	nnty Name	CV (=	Applicant Signature	$\frac{-\text{Date}}{5/8}$	124
Zoning	Administrator/Ager	nt Name Z	Zoning Administrator Signature MAY 0 8 2024	Date	, ,



Property Owner Authorization

Page 1 of 1

Updated SEPT 2023

Authorization	1				
Completion of applications.	f this form is required	for all Rezoning	, Conditional U	se, Variance	, Site Plan, and Subdivision
Rezoning	☐ Conditional Use	☐ Variance	ズ Site Plan	☐ Subdivi	ision
	e person named below site plan submittal.	to act as Appl	cant in the pur	suit of rezon	ing, variance or conditional use of
Coleman Co	ompany - Patrick W	arner pwarr	ner@cci-sav.	com	912-200-3041
Applicant/Age	ent Name	Em	ail		Phone
1480 Chath	nam Pkwy STE 100	, Savannah,	GA 31405		
Applicant/Age					
records of Ch	am the owner of the atham County, Georgian y knowledge and belie	a, and that the	is the subject r information co	matter of the ntained in th	e attached application, as shown in the is authorization is true and correct to
Melody D	rive				
Property Add	ress		=		
Ray Harrin	igton	Roul	Janua	ton	05-07-2024
Owner Name		Ow	er Signature (2	Date
Notary Public					
	05-07-	2024			
Subscribed a	and Sworn This Day Of		Mais	A.	07-25-2027
Notary Name	e 17 II (VIEGIETY)	Notar	y Signature	7	Commission Expiration
	0				Cool
					Seal
					ELIZABETH A MORIARTY
					Notary Public - State of Georgia Effingham County
					My Commission Expires Jul 25, 2027



Site Plan Review Checklist

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Updated OCT 2023

NOTICE TO APPLICANT

Please address each item below using an "ok" or "n/a" and indicate on which plan sheets each item can be located. This checklist is intended to serve as a guide for a complete site plan application but does not comprise all City standards. All City of Pooler Code of Ordinances' requirements must be met.

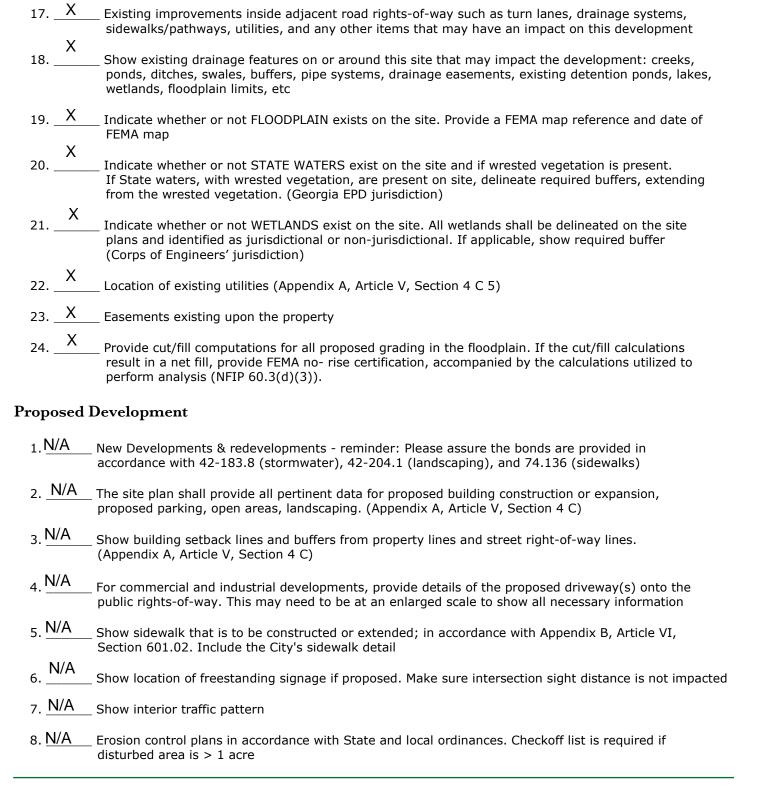
Project Information

Harmony Force Main	5/8/2024
Project Name	Date
Basic Engineering Information	
1 Development name; If not obvious, add a description of the develo	ppment
2. X Location of site / location map: Sufficiently detailed to pinpoint the	site's location
3. X Date of plans with space for revision dates	
4. X Name and contact information of the engineer and engineering firm	n responsible for the plans
5. X Name and contact information of owner, authorized agent of the or	wner, and/or developer
6. X 24-hour contact with phone number	
7. X Signed and dated P.E. stamp or other licensed professional as allow	wed by law
8. X Sheet index	
9. X Property size, disturbed area, impervious area, property zoning, m proposed square footage, proposed height	aximum building height,
10. X Show property boundaries with metes and bounds descriptions	
11. X North arrow, graphic scale	
12X Show existing site features of the property, existing contours at 1-V, Section 4 C), existing buildings, parking, driveways, undevelop	-foot intervals (Appendix A, Article ed areas, etc
13. X Identify the ownership and use of all adjacent surrounding propert	ies
14. X Show adjacent roads and curb cuts within 500 feet (Appendix A, A	article V, Section 4 C)
15. X Name of adjacent roads. Route number if state or federal route (A	ppendix A, Article V, Section 4 C)
16. X Show and label the right-of-way of adjacent roads. (Appendix A, A	article V, Section 4 C)



Site Plan Review Checklist

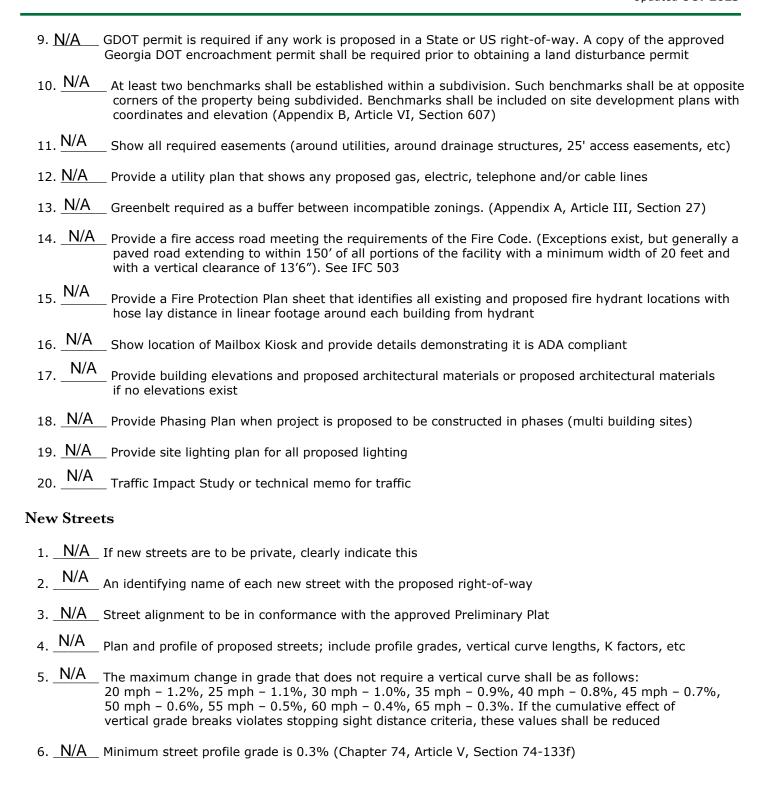
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Site Plan Review Checklist

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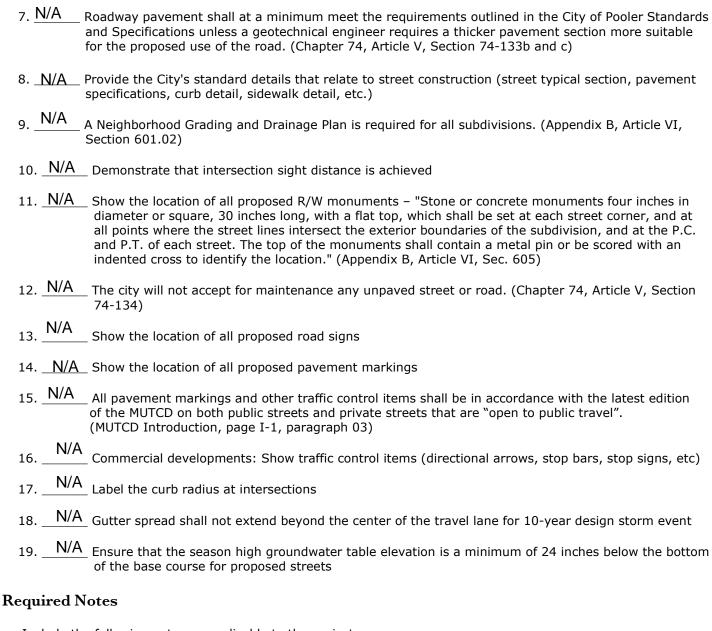




Site Plan Review Checklist

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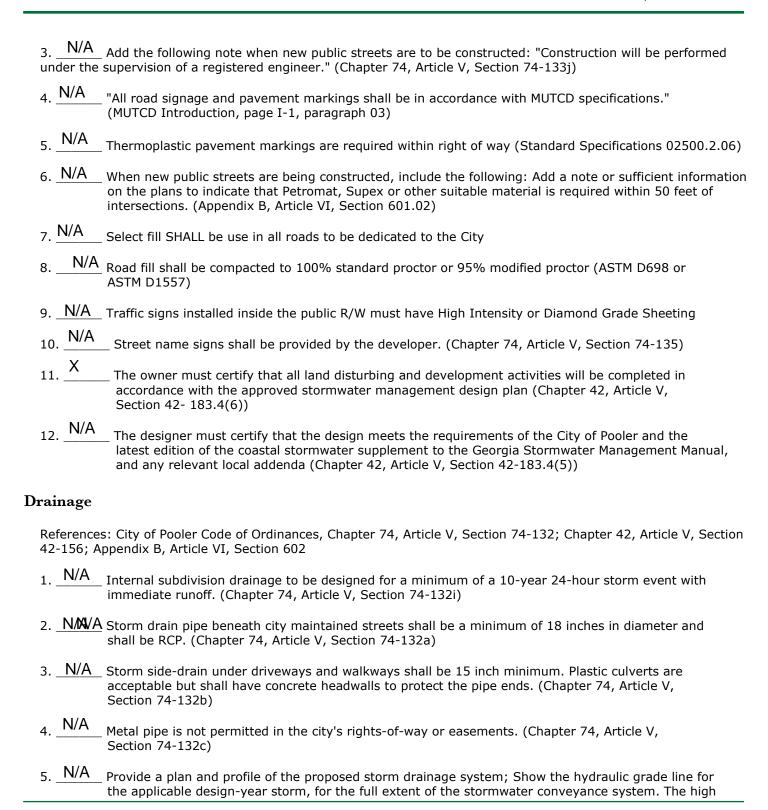
Include the following notes as applicable to the project:

- "In case of conflict between these plans and the City of Pooler's ordinances, standards, specifications or details, the City of Pooler requirements shall be required."
- 2. X Add the following note when new public streets are being constructed: "Laboratory compaction, stability and density tests are required for the pavement with compression for the concrete curb and gutter." (Chapter 74, Article V, Section 74-133a)



Site Plan Review Checklist

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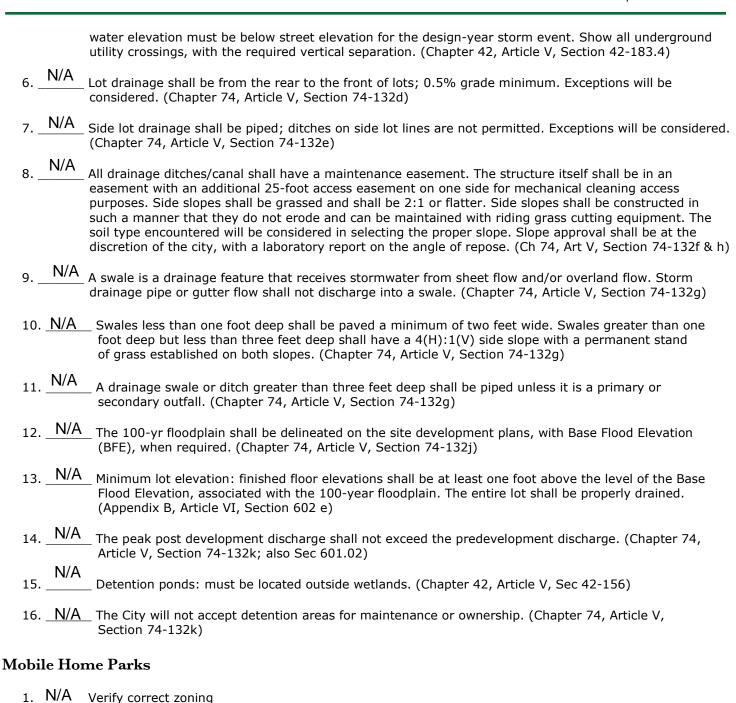


Section 10 B 1)

Site Plan Review Checklist

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Updated OCT 2023



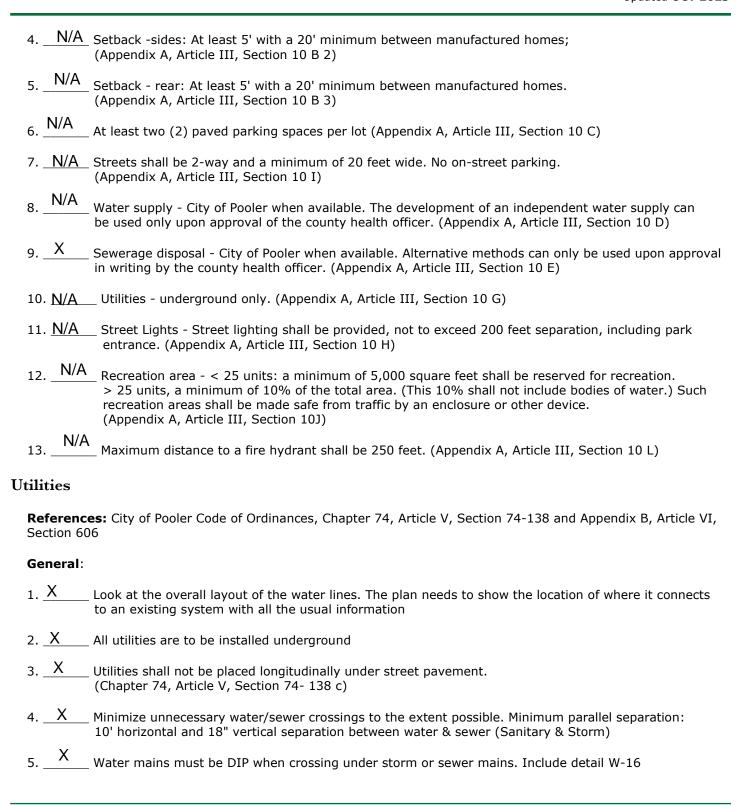
2. N/A Minimum lot size 40' x 100' and a minimum of 4000 sf. (Appendix A, Article III, Section 10 A(2))

3. N/A Setback - front: At least 20' from front lot line or 35' from center of road. (Appendix A, Article III,



Site Plan Review Checklist

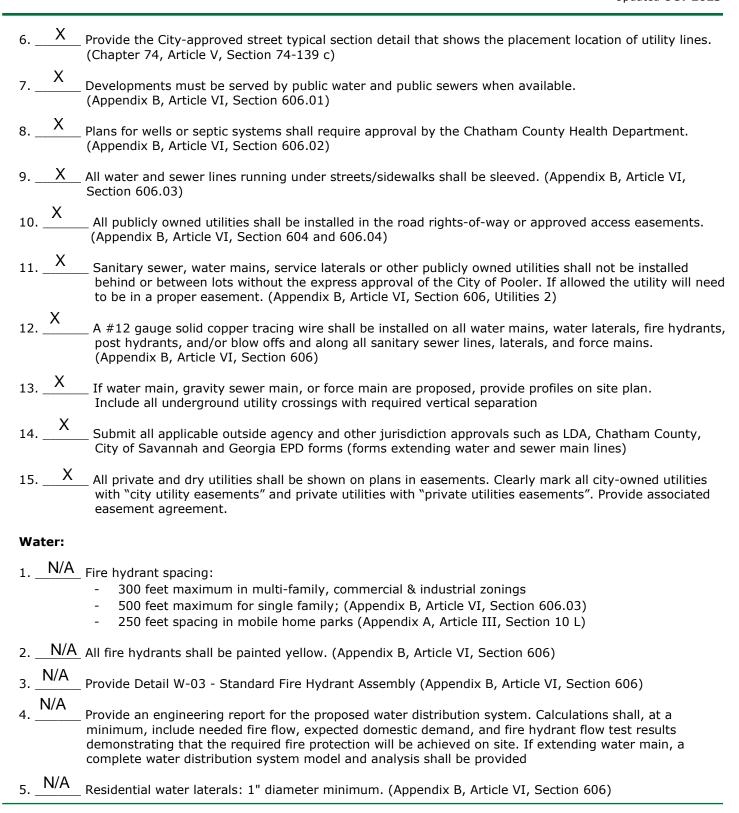
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Site Plan Review Checklist

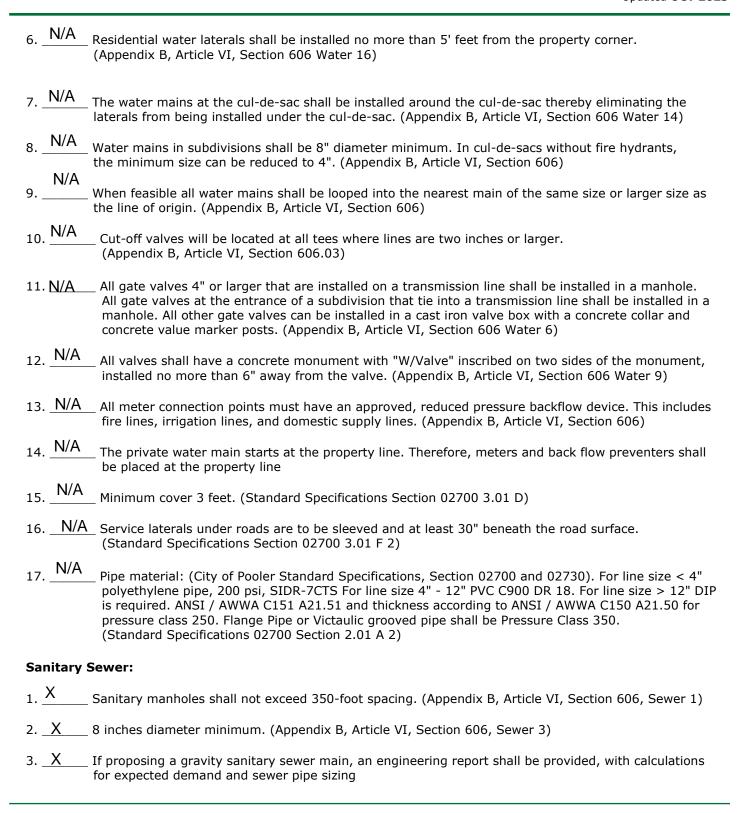
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Site Plan Review Checklist

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Site Plan Review Checklist

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Updated OCT 2023

4. <u>X</u>	_ Minimum size sanitary lateral is 4". (Appendix B, Article VI, Section 606, Sewer 4)						
5X	Laterals shall connect directly to the manhole when possible, entering at an angle of at least 90 degrees to the direction of flow. (Appendix B, Article VI, Section 606, Sewer 2)						
6. <u>X</u>	Residential sewer laterals shall be installed within 15 feet of the property corner. (Appendix B, Article VI, Section 606, Sewer 9)						
7X	Please assure that the sanitary sewer cleanouts are flood proofed and designed prevent infiltration of flood waters into the system (Appendix B, Article VI, Section 606.01 and Chapter 50, Section 50-91)						
8X	Use watertight manhole rings and covers within or below Base Flood Elevation $\pm~1'$ (Standard Specifications.02720.2.02.G.2)						
9. <u>X</u>	Sewer laterals: Cleanouts should be provided every 100' and at the bends. Cleanouts located within the pavement should be traffic rated						
10X	Try to move manholes out of sidewalk						
11. X	Pipe Material:						
	 SDR 26 PVC sewer pipe meeting the requirements of ASTM D3034 for pipes 15" and smaller and ASTM F679 for 18" and larger 						
	- DIP manufactured in accordance with ANSI A21.51 with thickness according to ANSI A21.50						
12. <u>X</u>	X Min cover 3'						
13. <u>X</u>	Drop manholes are required when the 'invert in' is 2.0 feet or more above the 'invert out'. The MH must be a 6' diameter precast MH and conform to ASTM C478. The drop pipe shall be the same size as the influent pipe. All hardware on ductile iron piping associated with drop manholes must be stainless steel. (Standard Specifications Section 02720 2.02)						
14. X	Drop manholes - inside and outside drop manhole details S-7, S-8						
15. <u>X</u>	Sanitary sewer line - minimum slope: 8" 0.40% 21" 0.10% 10" 0.28% 24" 0.08% 12" 0.22% 27" 0.07% 14" 0.17% 30" 0.06% 15" 0.15% 33" 0.05%						
	16" 0.14% 36" 0.05%						

Grease Traps:

18"

0.12%

1. N/A Grease trap is required for restaurants / eating establishments (any establishment with kitchen facilities). A sampling manhole shall be installed downstream of the grease trap and upstream of sanitary sewer main tie-in. Sampling MH shall be a minimum of 18 inches in diameter. Grease traps shall be sized at 20 gallons per seat, or a minimum capacity of 1,000 gallons and must be singular or in series

42"

0.04%



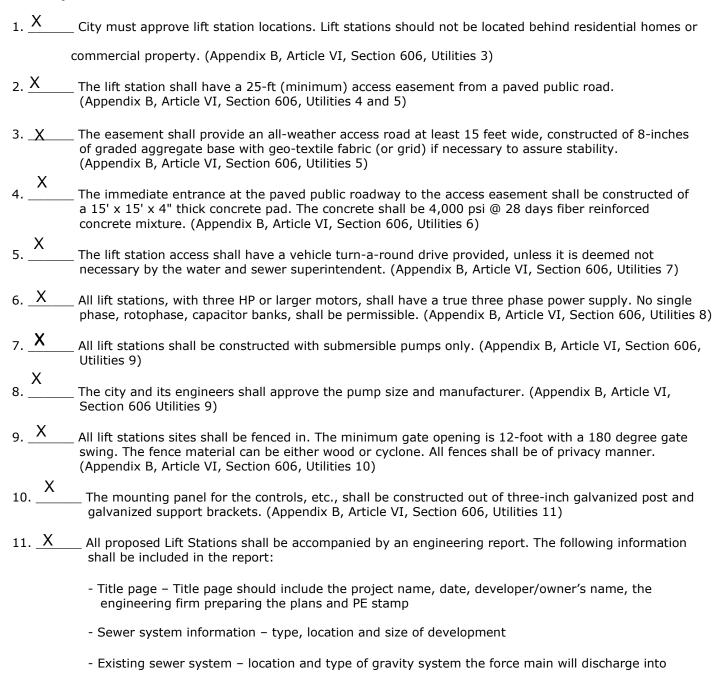
Site Plan Review Checklist

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and directly accessible from the exterior of the building. (Chapter 86, Article V, Division 4, Section 86-226 and 228)

Sanitary Sewer Lift Stations:



- Future plans for sewer system - the number of lots this phase will encompass initially, if future



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phases will be constructed, and the extent to which the proposed system will serve future phases

- Pump Station and Force Main Design Calculations the Average Daily Flow (ADF), Peak Daily Flow
 (PDF), Total Dynamic Head, Force Main (velocity produced in force main and maximum operating pressure) and Wet Well Buoyancy Calculation
- Cycle Times volume in wet well needed to turn primary pump on, cycle time for ADF, cycle time for PDF and total cycle time

Force Mains:

X Show force main location and all associated appurtenances. All force mains shall be installed in the access easement or public road right-of-way
 X Identify the size and material type of the force main pipe

B. _____ Manholes that are the termination point for force mains are be lined with Raven Lining Systems spray-in liner

Reference: Appendix B, Article VI, Section 606 Utilities 12, Standard Specifications Section 02710

4. X Force main markers are to be place every 500 feet and at change of direction. Attach the #12 solid copper tracing wire to each marker. (City of Pooler Standards & Specifications Section 02710.3.05)

Stormwater Management

References:

- City of Pooler Code of Ordinances, Part 2, Chapter 42, Article V-
- Georgia Stormwater Management Manual
- Coastal Supplement to the Georgia Stormwater Management Manual. (Chapter42, Article V, Section 42-180.7)

General:

Water quantity may be handled through a master system, water quality/run-off reduction needs to be addressed as part of the individual development site.

Applicability and Exemptions (Chapter 42, Article V, Section 42-180.3)

- 1. _____ What developments do the City of Pooler Stormwater Management provisions apply to? (Chapter 42, Article V, Section 42-180.3 (1))
 - a. New development that involves the creation of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - b. Redevelopment that involves the creation, addition or replacement of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - c. New development or redevelopment, regardless of size, that is part of a larger common plan



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of development, even though multiple, separate and distinct land disturbing activities may take place at different times and on different schedules; or

- d. New development or redevelopment, regardless of size, that involves the creation or modification of a stormwater hotspot, as defined by the director
- 2. X The following activities are exempt: (Chapter 42, Article V, Section 42-180.3 (2))
 - a. New development or redevelopment that involves the creation, addition or replacement of < 5,000 sf of impervious cover and that involves < 1 acre of other land disturbing activities
 - b. New development or redevelopment activities on individual residential lots that are not part of a larger common plan of development and do not meet any of the applicability criteria listed above
 - c. Additions or modifications to existing single-family homes and duplex residential units that do not meet any of the applicability criteria listed above
 - d. Development projects that are undertaken exclusively for agricultural or silvicultural purposes within areas zoned for agricultural or silvicultural
 - e. Maintenance and repairs of any green infrastructure or stormwater management practices deemed necessary by the director
 - f. Any part of a land development project that was approved by the director prior to the adoption of this article
 - g. Redevelopment activities that involve the replacement of impervious cover when the original impervious cover was wholly or partially lost due to natural disaster or other acts of God occurring after April 12, 2012
- 3. X Redevelopment projects must handle stormwater run-off in at least one of the following methods. The method(s) selected must be acceptable to the City of Pooler (Section 42-184.8):
 - a. existing site impervious cover by at least 20 percent
 - b. Manage the stormwater runoff from at least 20 percent of the site's existing impervious cover in addition to any new impervious cover. Stormwater shall be managed with criteria selected, designed, constructed and maintained in accordance with the information presented in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - c. Provide off-site stormwater management practices

Design Plan (Chapter 42, Article V, Section 42-183.4)

- 4. $\frac{X}{X}$ Provide a hydrologic analysis of the EXISTING conditions that includes: (Section 42-183.4 (1))
 - a. Existing conditions map
 - b. Describe the existing conditions of each on-site drainage area of the development site (e.g.



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size, soil types, land cover characteristics)

- c. Describe the existing conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
- d. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each on-site drainage area of the development site
- e. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each off-site drainage area that contributes runoff to the development site
- f. Documentation showing how the existing conditions hydrologic analysis was completed
- 5. $\frac{X}{X}$ Provide a hydrologic analysis of the **proposed** conditions that includes: (Section 42-183.4 (2))
 - a. Proposed conditions map (Sec 42-183.2(4))
 - b. Describe the proposed conditions of each on-site drainage area of the development site (e.g. size, soil types, land cover characteristics)
 - c. Describe the proposed conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
 - d. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each on-site drainage area of the development site
 - e. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each off-site drainage area that contributes runoff to the development site
 - f. Documentation (e.g. model diagram) and calculations showing how the proposed conditions hydrologic analysis was completed
- 6. X Provide a POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN that illustrates: (Section 42-183.4 (3))
 - a. Proposed topography
 - b. Proposed drainage divides and patterns
 - c. Existing and proposed roads, buildings, parking areas and other impervious surfaces
 - d. Existing and proposed primary and secondary conservation areas
 - e. Plan view of existing and proposed low impact development and stormwater management practices
 - f. Cross-section and profile views of existing and proposed low impact development and stormwater management practices, including information about water surface elevations, storage volumes and inlet and outlet structures (e.g. orifice sizes)



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- g. Plan view of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains)
- h. Cross-section and profile views of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains), including information about invert and water surface elevations
- i. Existing and proposed channel modifications (e.g. bridge or culvert installations)
- 7. X Provide a post-construction stormwater management system narrative that includes information about: (Section 42-183.4 (4))
 - a. How post-construction stormwater runoff will be managed on the development site, including a list of the low impact development and stormwater management practices that will be used
 - b. It shall also include documentation and calculations that demonstrate how the selected low impact development and stormwater management practices satisfy the post-construction stormwater management criteria that apply to the development site, including information about the existing and proposed conditions of each of the drainage areas found on the development site (e.g. size, soil types, land cover characteristics)
- 8. X Certification by plan preparer that the stormwater management design plan meets the requirements of the City's stormwater management ordinance and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda. (Section 42-183.4 (5))
- 9. X Certification by owner that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan. (Section 42-183.4 (6))

Inspection and Maintenance Plan: (Chapter 42, Article V, Section 42-183.5 and Section 42-186.2)

- An Inspection and Maintenance Agreement and Plan must be submitted. This document is a binding agreement signed by the applicant or owner that is binding on all subsequent owners unless the stormwater management system is dedicated to and accepted by the City. The plan must include the following:
 - a. Identification by name or official title the person(s) responsible for carrying out the inspection and maintenance
 - b. A statement confirming that responsibility for the operation and maintenance of the stormwater management system shall remain with the property owner and shall pass to any successive owner
 - c. A provision stating that, if portions of the development site are sold, legally binding arrangements shall be made to pass the responsibility for the operation and maintenance of the stormwater management system to the appropriate successors in title. These arrangements shall designate, for each portion of the stormwater management system, the person(s) to be permanently responsible for its inspection and maintenance
 - d. A maintenance schedule stating when, what, and how often routine inspection and maintenance will occur to ensure proper function of the system. (Section 42-186.2)

Off-Site Stormwater Management Practices: (Chapter 42, Article V, Section 42-183.9)



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- 11. $\frac{N/A}{A}$ Off-site or regional stormwater management practice must meet the following criteria:
 - a. Located on property legally dedicated to that purpose
 - b. Be designed and sized to meet the post-construction stormwater management criteria presented below
 - c. Provide stormwater quality and quantity control that is equal to or greater than that which would be provided by on-site green infrastructure and stormwater management practices
 - d. Stormwater management practices shall be installed, where necessary, to protect properties and drainage channels that are located between the development site and the location of the off-site or regional stormwater management practice
- 12. N/A Submit a stormwater management design plan that demonstrates the off-site or regional stormwater management practice will not result in the following impacts:
 - a. Increased threat of flood damage or endangerment to public health or safety
 - b. Deterioration of existing culverts, bridges, dams and other structures
 - c. Accelerated streambank or streambed erosion or siltation
 - d. Degradation of in-stream biological functions or habitat
 - e. Water quality impairment in violation of state water quality standards and/or violation of any other state or federal regulations

Post-Construction Stormwater Management (Section 42-184)

- 1. Natural resources inventory (Section 42-184.1) Prior to the start of any land disturbing activities, including any clearing and grading activities, site reconnaissance and surveying techniques should be used to complete an assessment of the natural resources, both terrestrial and aquatic, found on a development site. The natural resources inventory shall be completed in accordance with the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual. The preservation and/or restoration of these natural resources may be assigned quantifiable stormwater management "credits" that can be used when calculating the stormwater runoff volumes (sections 42-184.3 through 42-184.7). The green infrastructure practices that qualify for these "credits," and information about how they can be used is provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 2. <u>N/A</u> Green Infrastructure Practices (Section 42-184.2) Green infrastructure practices shall be used to the maximum extent practical
- 3. N/A Stormwater runoff reduction (Section 42-184.3) The stormwater runoff volume generated by the runoff reduction storm event shall be reduced on-site. A system is presumed to comply with this criteria if:
 - a. It includes green infrastructure practices that provide for the interception, evapotranspiration,



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infiltration or capture and reuse of stormwater runoff, that have been selected, designed, constructed and maintained in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda

- b. It is designed to provide the amount of stormwater runoff reduction specified in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 4. N/A Water quality protection (Section 42-184.4) Post-construction stormwater runoff shall be adequately treated before it is discharged from a development site. Applicants can satisfy this criteria by satisfying the stormwater runoff reduction criteria (section 42-184.3). However, if any of the stormwater runoff volume generated by the runoff reduction storm event cannot be reduced on the development site, it shall be intercepted and treated in one or more stormwater management practices that provide at least an 80% reduction in TSS loads and reduce nitrogen and bacteria loads to the maximum extent practical. When seeking to satisfy this criteria through the use of one or more stormwater management practices, applicants shall:
 - a. Intercept and treat stormwater runoff in stormwater management practices that have been selected, designed, constructed and maintained in accordance with the information presented in the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - b. Provide adequate documentation to the City of Pooler to show that total suspended solids, nitrogen and bacteria removal were considered during the selection of the stormwater management practices that will be used to intercept and treat stormwater runoff on the development site
- 5. N/A Aquatic resource protection (Section 42-184.5) In order to protect local aquatic resources from the negative impacts of the land development process, applicants shall provide aquatic resource protection in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 6. N/A
 Overbank flood protection (Section 42-184.6) Stormwater management systems shall control the peak discharge generated by the overbank flood protection storm event. A stormwater management system is presumed to comply if it is designed to provide overbank flood protection in accordance with the information provided in the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 7. N/A Extreme flood protection (Section 42-184.7) Stormwater management systems shall control the peak discharge generated by the extreme flood protection storm event. A system is presumed to comply with this criteria if it is designed to provide extreme flood protection in accordance with the information provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual

Note only: Certification, final inspection and as-built plans - The applicant is responsible for certifying that the project has been completed in accordance with the approved stormwater management design plan. The applicant is also responsible for submitting as-built plans for all green infrastructure and stormwater management practices shown on the approved plan. The as-built plans must show the final design specifications for all green infrastructure and stormwater management practices and must be certified by a licensed design professional such as a landscape architect, professional surveyor or professional engineer. A final inspection shall be conducted by the City staff to confirm the accuracy of the as built plans. (Sec 42-185.3)



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Tree Protection Ordinance

Reference: City of Pooler Code of Ordinances, Chapter 42, Article VI

Minimum Tree Coverage (Section 42-197)

- 1. N/A Residential tree requirement—A residential lot shall have a minimum of 3 preferred trees, of which one shall be located in the front of the residence and selected from large or medium tree species list. (Chapter 42, Article VI, Section 42-197)
- 2. N/A Multi-family, commercial and industrial requirement—The minimum allowable post development tree coverage for all development sites shall be 15 existing trees (excluding pine trees and Sweet Gums), six-inch diameter at breast height (dbh) or larger per acre of developable land (excluding buffers and wetlands). Each tree with a diameter of 24 inches dbh or larger (18 inches dbh for Live Oaks) must be designated on the landscape plan and may count as three trees towards meeting the minimum allowable coverage. Each tree with a diameter of 40 inches dbh or larger must also be designated on the landscape plan and may count as five trees towards meeting the minimum allowable coverage. (Chapter 42, Article VI, Section 42-197)

Significant Trees (Section 42-198)

- 3.N/A Significant tree A tree with dbh of \geq 24" (except sweet gums and pines). Live oaks with dbh of \geq 18"
- 4. <u>N/A</u> Significant tree If a significant tree is to be removed, the planting of new trees of the same species, or preferred species if the same species is not available, totaling the same number of inches in diameter will be required. Replacement trees shall have a minimum dbh of six inches

Replacement (Section 42-199)

- 5. N/A Where pre-development tree coverage is less than the prescribed minimum, replacement trees shall be at least 2" dbh and 8' tall. (Chapter 42, Article VI, Section 42-199)
- 6. N/A

 If a developer will be contributing to the city's tree planting program in order to meet the provisions of this ordinance, provide a statement on the plans to this effect along with supporting documentation as to why the payment is necessary and cannot be achieved through design alternatives.

 (Chapter 42, Article VI, Section 42- 199(3))

Parking Lot Coverage (Section 42-200)

7. N/A Parking lot islands - a 500 sf (min) landscaped island area with at least 1 preferred tree is required for every 12 parking spaces. (Chapter 42, Article VI, Section 42-200)

Protection Zones (Section 42-201)

8. <u>N/A</u> The area within the tree protection zone must be open and unpaved, except where approved pervious pavers may be utilized or tree aeration systems and tree wells are installed. (Chapter 42, Article VI, Section 42-201)



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- 9. N/A The protection zone is defined as a circle with a radius of 1' per 1" dbh extending outwardly from the tree to be protected or the extent of the drip line, whichever is more restrictive. (Chapter 42, Article VI, Section 42-201)
- Tree protective barriers must be at least 4' in height, be prominent visually and erected completely around the protection zone. The use of chain link fencing is required as a minimum. No change in grade within the protection zone shall be allowed around existing trees except for a max two inches of mulch. Those trees to be preserved as shown on the approved landscaping plan shall be marked on-site with a bright blue ribbon encircling the trunks prior to clearing and grading. The construction plan must clearly state the purpose of the blue ribbon to prevent any confusion at the site. (Chapter 42, Article VI, Section 42-201)

Landscape Plan (Section 42-204)

- 11. N/A Each phase of a development must include a landscape plan. (Chapter 42, Article VI, Section 42-204). The Landscaping Plan must show utility easements and areas to be covered with asphalt or concrete
- 12. N/A Required note "Trees shall not be planted within 10 feet of any underground utility or storm drain."
- 13. N/A A tree survey showing existing tree coverage, completed by a state registered land surveyor. If a portion of the tract is not to be disturbed, then a tree survey is not required on that portion. Provide an arborist report of significant tree conditions. (Chapter 42, Article VI, Section 42-204)
 - Any tree except a pine or sweet gum tree 6" dbh or greater shall be included.
 - Any tree except a pine or sweet gum with a dbh between 6" and 17" shall have their common name provided.
 - Any tree except a pine or sweet gum with a dbh of 18" or greater shall have their specific name provided.
 - Any pine or sweet gum with a dbh of 24" or greater shall be included with their specific name provided.
- 14. N/A A clearing plan showing the location of significant trees to be removed; (Chapter 42, Article VI, Section 42-204.2)
- 15. N/A A tree replacement plan; (Chapter 42, Article VI, Section 42-204.3)
- 16. N/A The method of tree protection to be used; (Chapter 42, Article VI, Section 42-204.3)
- 17. N/A If a residential subdivision, a typical lot layout is required showing the minimum tree requirement of three trees per lot; (Chapter 42, Article VI, Section 42-204.5)
- 18. $\frac{\text{N/A}}{\text{Location}}$ Location, size and types of trees, shrubs and groundcover to be planted on the site. (Chapter 42, Article VI, Section 42-204.6)
- 19. N/A All trees and landscaped areas shall be provided with a means for delivery of water in a quantity that is sufficient to establish and maintain the viability of the plants; A water supply is not required for areas of established trees and other vegetation that are retained for green space, provided that site grading or development activities will not result in damage to said areas. (Chapter 42, Article VI, Section 42-204.7)



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20. N/A In ground irrigation systems installed with water supply to all newly planted trees and plant material shall result in a 20 percent reduction of the landscape establishment bond. (Chapter 42, Article VI, Section 42-204.8)

Preferred Tree List: (Section 42-198)

LARGE SPECIES	MEDIUM SPECIES	SMALL SPECIES
American Beech	American Holly	Eastern Redbud
American Elm hybrids	Maple, Red	Holly, attenuate hybrids
American Sycamore	Maple, Florida	Holly, Yaupon
Ash, Green	Maple, Trident	Magnolia, Sweetbay
Ash, White	Cedar, Eastern Red	Fringe tree
Cypress, Bald		
Cypress, Pond		
Gingko (male)		
Hickory species		
Magnolia, Southern		
Oak, Live		
Oak, Nuttall		
Oak, Overcup		
Oak, Shumard		
Oak, White		
Oak, Willow		
Oak, Southern Red		
Poplar, Yellow		

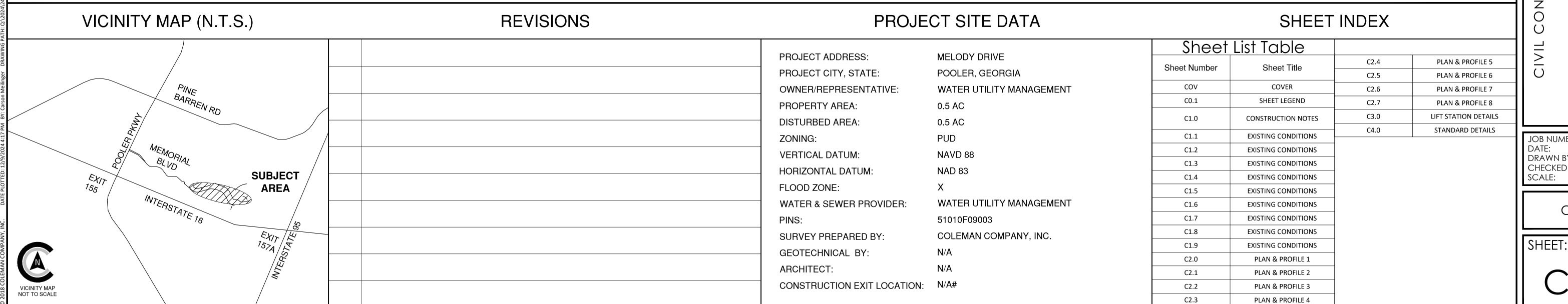
- 1. $\underline{\text{N/A}}$ No more than 30% of trees may be from the small species list or from one species
- 2. N/A Upon recommendation of the City Arborist, a species different from one listed may be approved

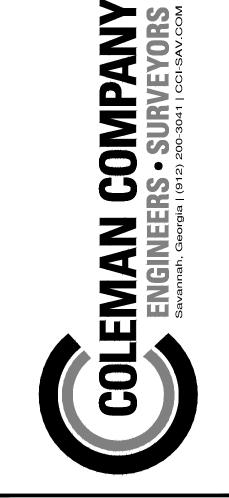
CIVIL CONSTRUCTION PLANS FOR

HARMONY FORCE MAIN UPGRADES

PREPARED FOR WATER UTILITY MANAGEMENT

CERTIFY THAT THE DESIGN (INCLUDING THE STORMWATER
MANAGEMENT SYSTEM) MEETS THE REQUIREMENTS OF THE CITY
OF POOLER AND THE LATEST EDITION OF THE COASTAL
STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER
MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA





No. PEO36662
PROFESSIONAL
12/09/24
AGINETER
AGIN

REVISIONS: 10-16-2024 PER CITY COMMENTS

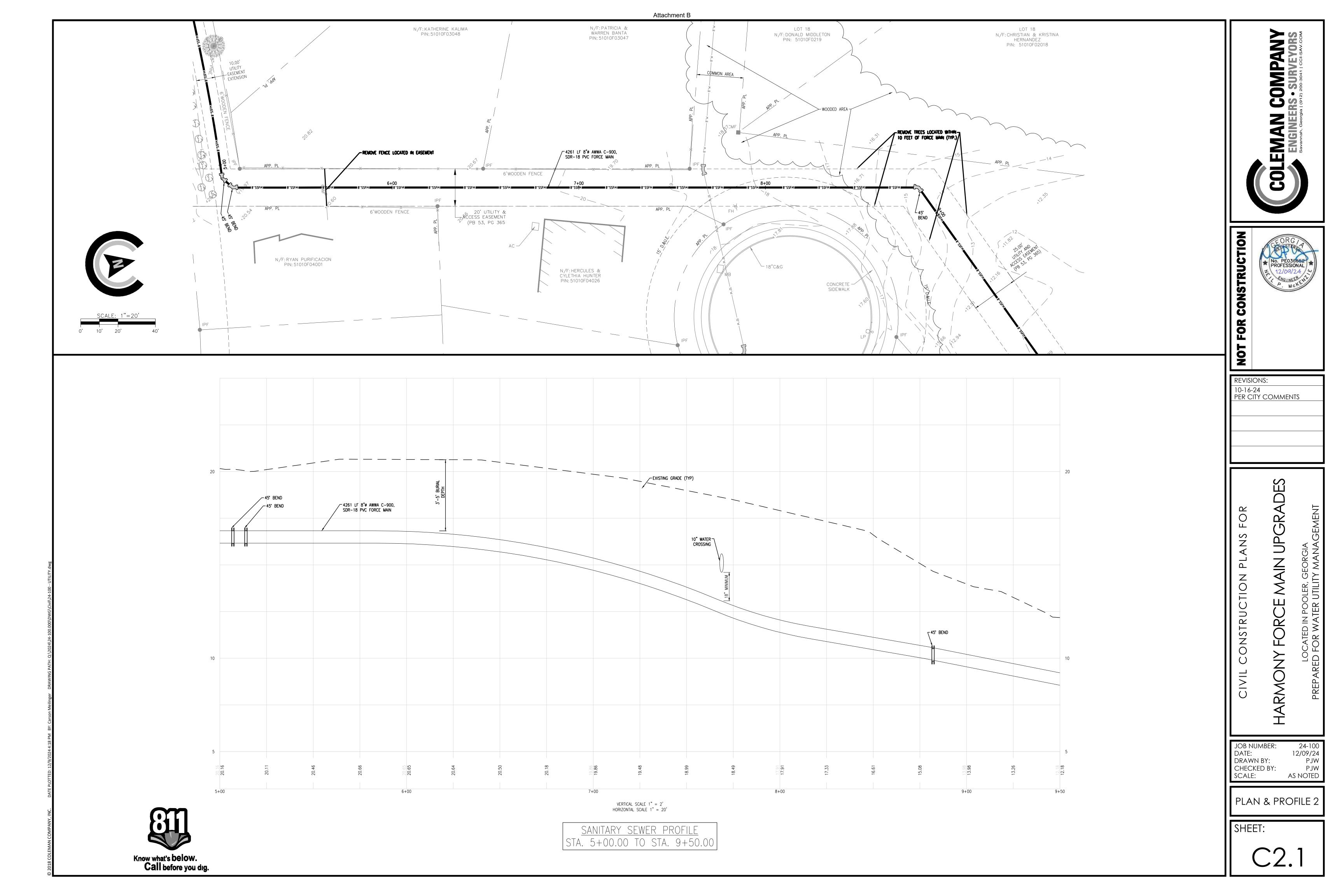
ONY FORCE MAIN UPGRADES

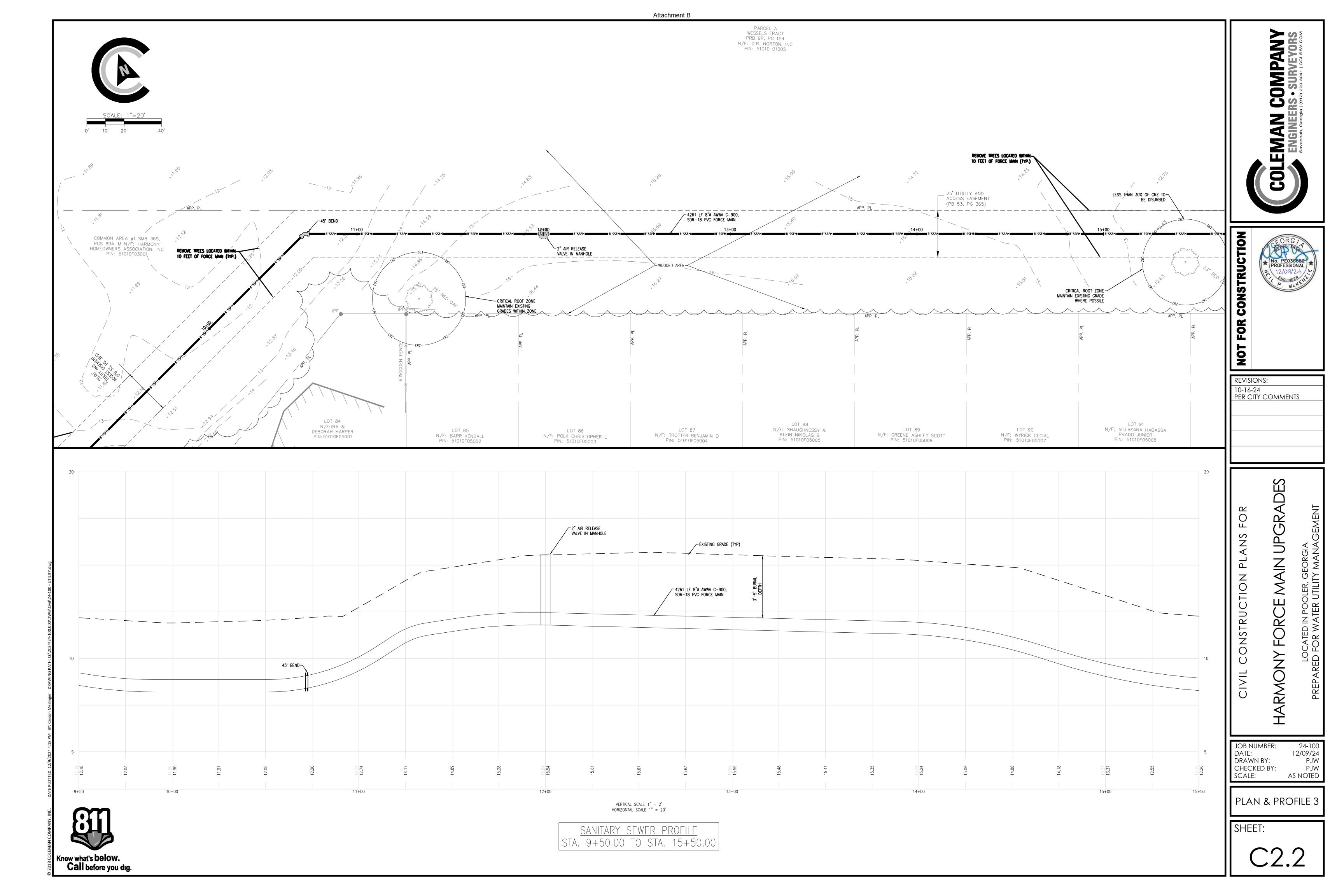
LOCATED IN POOLER, GEORGIA
PARED FOR WATER UTILITY MANAGEMENT

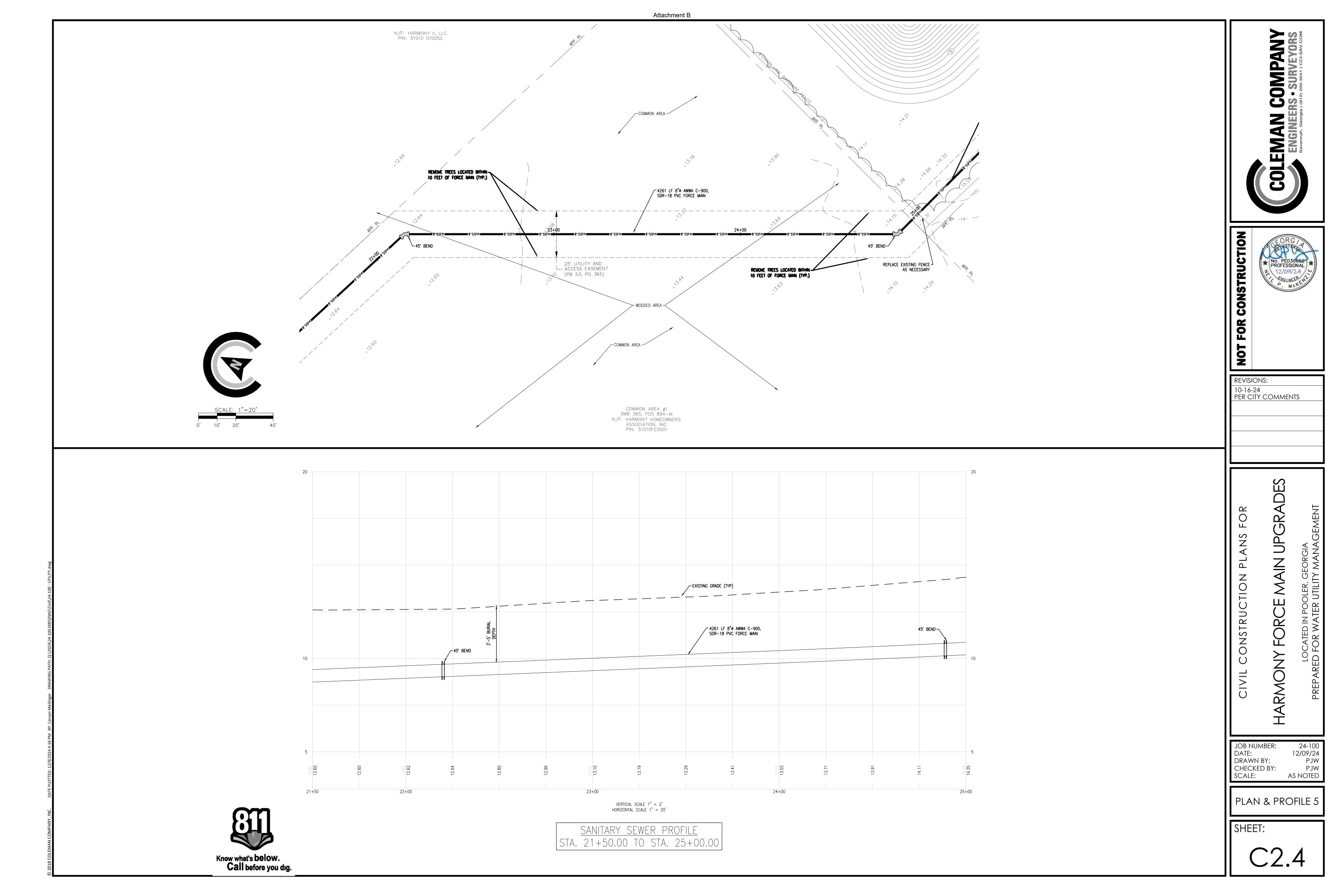
JOB NUMBER: 24-100
DATE: 12/09/24
DRAWN BY: CLM
CHECKED BY: NPM
SCALE: AS NOTED

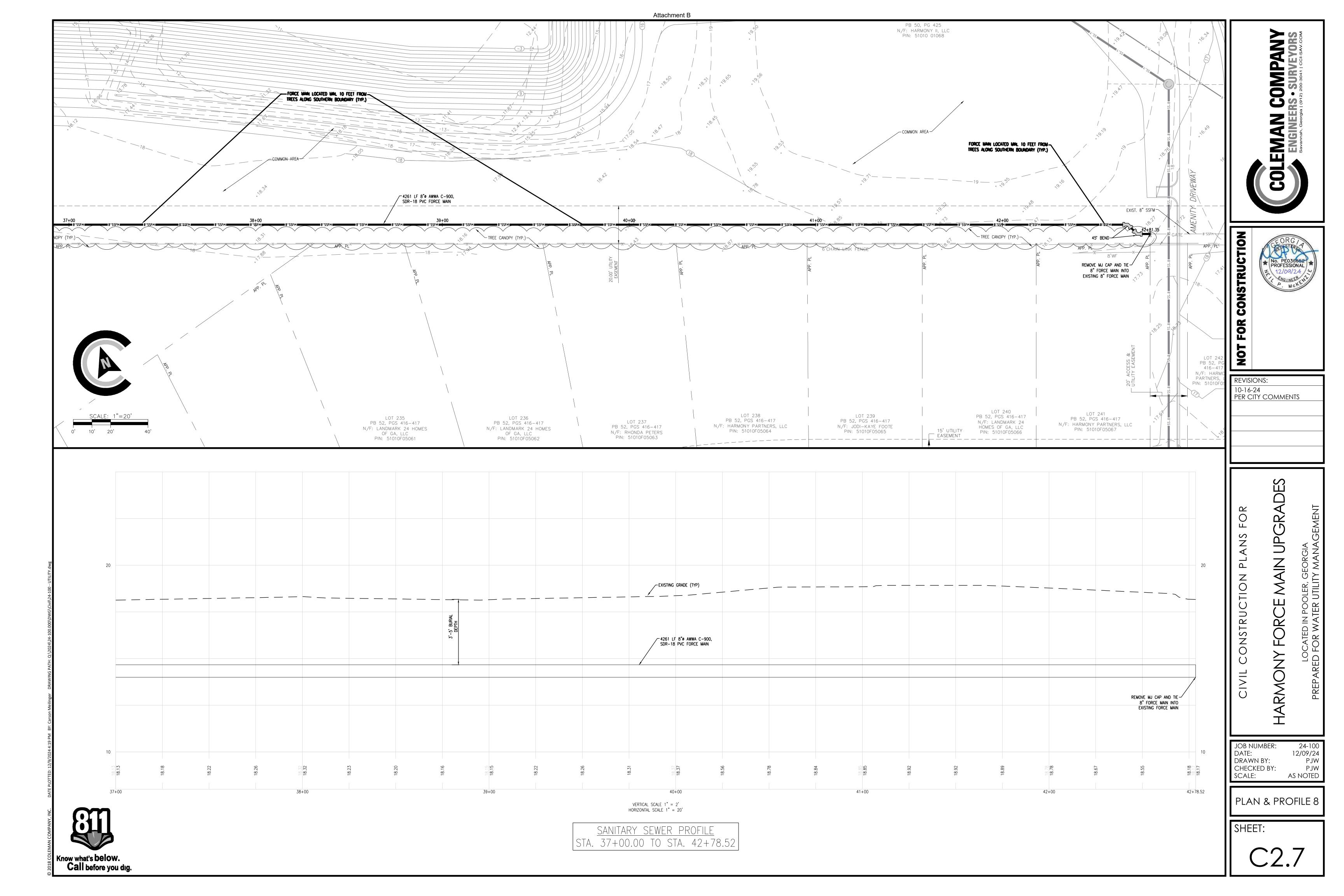
COVER

COV









Attachment C



December 10th, 2024

Wesley R. Green, P.E. Coleman Company 1480 Chatham Pkwy, Suite 100 Savannah, GA 31405

Dear Mr. Green,

I am pleased to provide you with a recommendation for <u>Approval</u> of the site development plans for Harmony Force Main Upgrades, which is provided below.

Submittal Documents:	Site Plans	Dec. 2024
	EPD Delegated Review Approval	Nov. 2024
	Engineering Report – Sewer System	Nov. 2024

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend <u>Approval</u> of the site development plans.

Please contact me if you have any questions. I can be reached via email or phone at <u>tshoemaker@eomworx.com</u> or (912) 445-0050 ext. 4400.

Sincerely.

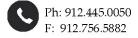
Trevor Shoemaker

Project Manager EOM

CC: Nicole Johnson; Director of Planning & Development – City of Pooler Marcella Benson; City Planner- City of Pooler Rachael Brown; Zoning Administrator – City of Pooler Liberto Chacon, PE; Sr. Vice President of Operations – EOM









PLANNING & ZONING STAFF REPORT

Site Development Plan for 55 Coleman Boulevard

Project:	#A24-0190	
P&Z Meeting Date:	January 13, 2025	
City Council Meeting Date:	January 21, 2025	
Applicant and Authorized Agent:	Stephen L. Rushing	
Location (Address):	55 Coleman Boulevard	
Parcel (PIN):	50985 05016	
Acreage:	Approximately 4.46 acres	
Zoning:	C-2 (Heavy Commercial)	
Proposed Use:	Construction of covered storage shed addition at existing equipment rental business.	
Staff Recommendation:	Approval	
Planning & Zoning Commission:	After review of the application, P&Z recommends approval of the request.	
Recommended Motion:	"After review of the criteria, move for approval of the request."	
Zoning Action Standards:	 Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the Future Land Use Map (FLUM) designation and Character Area. 	
	Whether the site plan provides for adequate pedestrian and traffic access.	

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.
- 3. Whether the site plan provides for adequate space for offstreet parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
- 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to the development standards for site improvements.
- 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for site improvements, and buffer standards.
- 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI;
 Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
- 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by public services and for current or projected needs.
- 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
- 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
- 10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

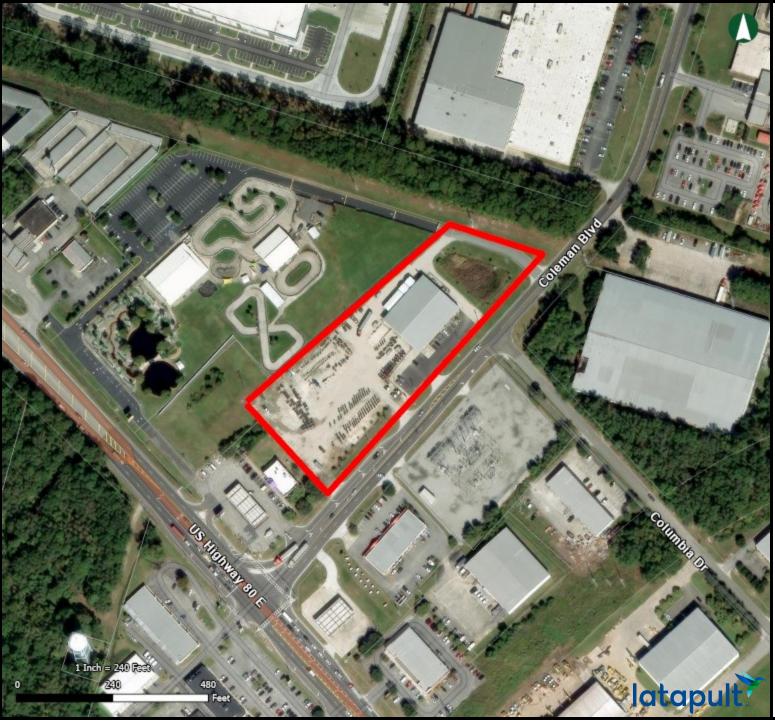
Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval of the request.**

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter

Attachment A





Vicinity Map - 55 Coleman Boulevard

01/08/2025

Parcels

This map was created using Latapult | www.latapult.com | Bigger Data Faster Maps Stronger Decisions



Site Plan Application

Page 2 of 3

Updated OCT 2023

Contact Information			
STEPHEN L.	RUSHING	S	912-695-3446
Applicant Name	1003411.0	-	Applicant Phone
17 ASHIEN CREA	K Dr. Mi	DWAY GA 31320	STEVE BURDETTE AVE. COM Applicant Email
Applicant Mailing Address		7,	Applicant Email
SAME			SAME
Property Owner Name			Property Owner Phone
CAMILE			SAME
SAMI & Property Owner Mailing Addr	ess		Property Owner Email
SAME			5
Contact Person Name		week and the second	Contact Person Phone
Contact Person Mailing Addre	255		S Ame Contact Person Email
Contact Person Mailing Addit	E55		Contact Ferson Email
Property Information			
55 COLEMAN	S BLUD 1	PONER GASISZE	2
Location Address	2000	J. J	
C-2			
Current Zoning			Parcel Identification #
1			
Brief Description of Proposed			Thereafter
bilet bescription of Proposee	Lana Development	Activity and osc of Land	The reality.
Contractor Information			
MARSY CONSTRUCTION Name	TIAN RL	C1000618	912-682-9902
Contractor Name	Cont	ractor License #	Contractor Phone
P.O. Box 372	STATESBO	0RO GA 3045	59
Contractor Mailing Address			Contractor Email
Zoning Actions			
	on all prior applica		ible, include application number, date of action of the whole or part of the land
proposed under uns applicat			
Application Number	Date	Action Requested	Action Taken

Attachment B



Site Plan Application

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Application Number	Date	Action Requested	Action	Taken
Application Number	Date	Action Requested	Action	Taken
Application Number	Date	Action Requested	Action	ı Taken
Approvals				
Environmental Product	Declaration (EPD) app	roval required?	□ No	Yes
Natural Resources Cons	servation Service (NRC	S) approval required?	□ No	☐ Yes,
Developments of Regio	nal Impact (DRI) revie	w triggered?	No	(date) ☐ Yes
Existing deed restriction	ns or covenants applica	able to this property?	-No	Yes, attached
being subdivided or dev Applicants must submit	reloped requiring an er a plat to GDOT for rev	DOT) requires a permit for any prop ntrance onto a State or Federal High view/comment. The Pooler Planning tion until GDOT has commented.	way.	Yes, attached
Affidavit				
I, the undersigned, cert information pertained in		xamined, and completed this applicate and correct.	ation and certify	that all the
I hereby certify that thi in effect for the propert		n/site plan does not violate any cove veloped.	nants or deed r	estrictions currently
I hereby certify that all outstanding.	taxes applicable to thi	s property have been paid and that	there are no de	elinquent taxes
I hereby certify that I a subdivision/developmen	im the owner or authont.	rized agent of the property being pro	oposed for	
STEPHEN C. Applicant Name		licant Signature	//- //- Date	24
Zoning Administrator/A	gent Name Zon	ing Administrator Signature	Date	



Applicant Name

Campaign Contribution Disclosure Form (Rezoning Action Applicant)

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Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

learing Information				
Rezoning Action/Agenda It	em			
Planning & Zoning Public H	earing/Meeting Date and	d Time		
City Council Public Hearing	/Meeting Date and Time	:		
Disclosure Statement				
		more Pooler City Official(s), includir he past two years that, when comb		
		ntributions to one or more Pooler n combined, total an amount grea		
past two year		ons to one or more Pooler City O ed, total an amount greater than s d below:		
City Official Name	Title	Dollar Value	Description of Gift >\$250	
City Official Name	Title	Dollar Value	Description of Gift >\$250	
City Official Name	Title	Dollar Value	Description of Gift >\$250	
I attest that all information		to fact.	11-11-24	

Date

Applicant Signature

Attachment B



Site Plan Review Checklist

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NOTICE TO APPLICANT

Please address each item below using an "ok" or "n/a" and indicate on which plan sheets each item can be located. This checklist is intended to serve as a guide for a complete site plan application but does not comprise all City standards. All City of Pooler Code of Ordinances' requirements must be met.

Project Information

Project Name	Date
Basic Engineering Information	
1. MA Development name; If not obvious, add a description	of the development
2 Location of site / location map: Sufficiently detailed to	pinpoint the site's location
3. MA Date of plans with space for revision dates	
4. Name and contact information of the engineer and engineer	gineering firm responsible for the plans
5. Name and contact information of owner, authorized ag	gent of the owner, and/or developer
6. <u>0</u> 24-hour contact with phone number	
7. OF Signed and dated P.E. stamp or other licensed profess	sional as allowed by law
8. A Sheet index	
9. Property size, disturbed area, impervious area, proper proposed square footage, proposed height	ty zoning, maximum building height,
10. Now property boundaries with metes and bounds de	scriptions
11. North arrow, graphic scale	
12. Show existing site features of the property, existing of V, Section 4 C), existing buildings, parking, driveway	ontours at 1-foot intervals (Appendix A, Article s, undeveloped areas, etc
13. DE Identify the ownership and use of all adjacent surrour	nding properties
14. Now adjacent roads and curb cuts within 500 feet (A	Appendix A, Article V, Section 4 C)
15. Name of adjacent roads. Route number if state or fed	eral route (Appendix A, Article V, Section 4 C)
16. Now and label the right-of-way of adjacent roads. (A	Appendix A, Article V, Section 4 C)



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- 17. Existing improvements inside adjacent road rights-of-way such as turn lanes, drainage systems, sidewalks/pathways, utilities, and any other items that may have an impact on this development
- 18. Observed Show existing drainage features on or around this site that may impact the development: creeks, ponds, ditches, swales, buffers, pipe systems, drainage easements, existing detention ponds, lakes, wetlands, floodplain limits, etc
- 19. Indicate whether or not FLOODPLAIN exists on the site. Provide a FEMA map reference and date of FEMA map
- 20. Indicate whether or not STATE WATERS exist on the site and if wrested vegetation is present.

 If State waters, with wrested vegetation, are present on site, delineate required buffers, extending from the wrested vegetation. (Georgia EPD jurisdiction)
- 21. Nimer Indicate whether or not WETLANDS exist on the site. All wetlands shall be delineated on the site plans and identified as jurisdictional or non-jurisdictional. If applicable, show required buffer (Corps of Engineers' jurisdiction)
- 22. Ok Location of existing utilities (Appendix A, Article V, Section 4 C 5)
- 23. pk Easements existing upon the property
- 24. Provide cut/fill computations for all proposed grading in the floodplain. If the cut/fill calculations result in a net fill, provide FEMA no- rise certification, accompanied by the calculations utilized to perform analysis (NFIP 60.3(d)(3)).

Proposed Development

- 1. New Developments & redevelopments reminder: Please assure the bonds are provided in accordance with 42-183.8 (stormwater), 42-204.1 (landscaping), and 74.136 (sidewalks)
- 2. N/A The site plan shall provide all pertinent data for proposed building construction or expansion, proposed parking, open areas, landscaping. (Appendix A, Article V, Section 4 C)
- 3. Show building setback lines and buffers from property lines and street right-of-way lines. (Appendix A, Article V, Section 4 C)
- 4. For commercial and industrial developments, provide details of the proposed driveway(s) onto the public rights-of-way. This may need to be at an enlarged scale to show all necessary information
- 5. HA Show sidewalk that is to be constructed or extended; in accordance with Appendix B, Article VI, Section 601.02. Include the City's sidewalk detail
- 6. Make sure intersection sight distance is not impacted
- 7. MA Show interior traffic pattern
- 8. Prosion control plans in accordance with State and local ordinances. Checkoff list is required if disturbed area is > 1 acre



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- 9. GDOT permit is required if any work is proposed in a State or US right-of-way. A copy of the approved Georgia DOT encroachment permit shall be required prior to obtaining a land disturbance permit
- 10. NA At least two benchmarks shall be established within a subdivision. Such benchmarks shall be at opposite corners of the property being subdivided. Benchmarks shall be included on site development plans with coordinates and elevation (Appendix B, Article VI, Section 607)
- 11. V Show all required easements (around utilities, around drainage structures, 25' access easements, etc)
- 12. Provide a utility plan that shows any proposed gas, electric, telephone and/or cable lines
- 13. V Greenbelt required as a buffer between incompatible zonings. (Appendix A, Article III, Section 27)
- Provide a fire access road meeting the requirements of the Fire Code. (Exceptions exist, but generally a paved road extending to within 150' of all portions of the facility with a minimum width of 20 feet and with a vertical clearance of 13'6"). See IFC 503
- Provide a Fire Protection Plan sheet that identifies all existing and proposed fire hydrant locations with hose lay distance in linear footage around each building from hydrant
- 16. H Show location of Mailbox Kiosk and provide details demonstrating it is ADA compliant
- 17. Provide building elevations and proposed architectural materials or proposed architectural materials if no elevations exist
- 18. Provide Phasing Plan when project is proposed to be constructed in phases (multi building sites)
- 19. Provide site lighting plan for all proposed lighting
- 20. N/A Traffic Impact Study or technical memo for traffic

New Streets

- 1. Mr If new streets are to be private, clearly indicate this
- 2. HA An identifying name of each new street with the proposed right-of-way
- 3. MA Street alignment to be in conformance with the approved Preliminary Plat
- 4. N/A Plan and profile of proposed streets; include profile grades, vertical curve lengths, K factors, etc
- 5. The maximum change in grade that does not require a vertical curve shall be as follows:

 20 mph 1.2%, 25 mph 1.1%, 30 mph 1.0%, 35 mph 0.9%, 40 mph 0.8%, 45 mph 0.7%,

 50 mph 0.6%, 55 mph 0.5%, 60 mph 0.4%, 65 mph 0.3%. If the cumulative effect of vertical grade breaks violates stopping sight distance criteria, these values shall be reduced
- 6. Minimum street profile grade is 0.3% (Chapter 74, Article V, Section 74-133f)



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- 7. Roadway pavement shall at a minimum meet the requirements outlined in the City of Pooler Standards and Specifications unless a geotechnical engineer requires a thicker pavement section more suitable for the proposed use of the road. (Chapter 74, Article V, Section 74-133b and c)
- 8. Provide the City's standard details that relate to street construction (street typical section, pavement specifications, curb detail, sidewalk detail, etc.)
- 9. A Neighborhood Grading and Drainage Plan is required for all subdivisions. (Appendix B, Article VI, Section 601.02)
- 10. Demonstrate that intersection sight distance is achieved
- Show the location of all proposed R/W monuments "Stone or concrete monuments four inches in diameter or square, 30 inches long, with a flat top, which shall be set at each street corner, and at all points where the street lines intersect the exterior boundaries of the subdivision, and at the P.C. and P.T. of each street. The top of the monuments shall contain a metal pin or be scored with an indented cross to identify the location." (Appendix B, Article VI, Sec. 605)
- 12. The city will not accept for maintenance any unpaved street or road. (Chapter 74, Article V, Section 74-134)
- 13. NA Show the location of all proposed road signs
- 14. N/A Show the location of all proposed pavement markings
- 15. All pavement markings and other traffic control items shall be in accordance with the latest edition of the MUTCD on both public streets and private streets that are "open to public travel".

 (MUTCD Introduction, page I-1, paragraph 03)
- 16. <u>H/A</u> Commercial developments: Show traffic control items (directional arrows, stop bars, stop signs, etc)
- 17. NA Label the curb radius at intersections
- 18. MG Gutter spread shall not extend beyond the center of the travel lane for 10-year design storm event
- 19. ** Ensure that the season high groundwater table elevation is a minimum of 24 inches below the bottom of the base course for proposed streets

Required Notes

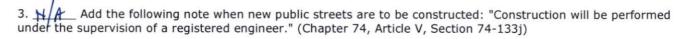
Include the following notes as applicable to the project:

- "In case of conflict between these plans and the City of Pooler's ordinances, standards, specifications or details, the City of Pooler requirements shall be required."
- 2. Add the following note when new public streets are being constructed: "Laboratory compaction, stability and density tests are required for the pavement with compression for the concrete curb and gutter." (Chapter 74, Article V, Section 74-133g)



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- 4. N/A "All road signage and pavement markings shall be in accordance with MUTCD specifications." (MUTCD Introduction, page I-1, paragraph 03)
- 5. Thermoplastic pavement markings are required within right of way (Standard Specifications 02500.2.06)
- 6. When new public streets are being constructed, include the following: Add a note or sufficient information on the plans to indicate that Petromat, Supex or other suitable material is required within 50 feet of intersections. (Appendix B, Article VI, Section 601.02)
- 7. Y/A Select fill SHALL be use in all roads to be dedicated to the City
- 8. Road fill shall be compacted to 100% standard proctor or 95% modified proctor (ASTM D698 or ASTM D1557)
- 9. Mar Traffic signs installed inside the public R/W must have High Intensity or Diamond Grade Sheeting
- 10. Naticle V, Section 74-135)
- 11. The owner must certify that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan (Chapter 42, Article V, Section 42- 183.4(6))
- 12. The designer must certify that the design meets the requirements of the City of Pooler and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda (Chapter 42, Article V, Section 42-183.4(5))

Drainage

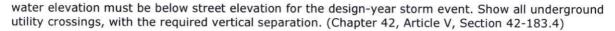
References: City of Pooler Code of Ordinances, Chapter 74, Article V, Section 74-132; Chapter 42, Article V, Section 42-156; Appendix B, Article VI, Section 602

- 1. ______ Internal subdivision drainage to be designed for a minimum of a 10-year 24-hour storm event with immediate runoff. (Chapter 74, Article V, Section 74-132i)
- 2. Storm drain pipe beneath city maintained streets shall be a minimum of 18 inches in diameter and shall be RCP. (Chapter 74, Article V, Section 74-132a)
- 3. Storm side-drain under driveways and walkways shall be 15 inch minimum. Plastic culverts are acceptable but shall have concrete headwalls to protect the pipe ends. (Chapter 74, Article V, Section 74-132b)
- 4. Metal pipe is not permitted in the city's rights-of-way or easements. (Chapter 74, Article V, Section 74-132c)
- 5. Provide a plan and profile of the proposed storm drainage system; Show the hydraulic grade line for the applicable design-year storm, for the full extent of the stormwater conveyance system. The high



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- 6. Lot drainage shall be from the rear to the front of lots; 0.5% grade minimum. Exceptions will be considered. (Chapter 74, Article V, Section 74-132d)
- 7. N/A Side lot drainage shall be piped; ditches on side lot lines are not permitted. Exceptions will be considered. (Chapter 74, Article V, Section 74-132e)
- 8. All drainage ditches/canal shall have a maintenance easement. The structure itself shall be in an easement with an additional 25-foot access easement on one side for mechanical cleaning access purposes. Side slopes shall be grassed and shall be 2:1 or flatter. Side slopes shall be constructed in such a manner that they do not erode and can be maintained with riding grass cutting equipment. The soil type encountered will be considered in selecting the proper slope. Slope approval shall be at the discretion of the city, with a laboratory report on the angle of repose. (Ch 74, Art V, Section 74-132f & h)
- 9. A swale is a drainage feature that receives stormwater from sheet flow and/or overland flow. Storm drainage pipe or gutter flow shall not discharge into a swale. (Chapter 74, Article V, Section 74-132g)
- Swales less than one foot deep shall be paved a minimum of two feet wide. Swales greater than one foot deep but less than three feet deep shall have a 4(H):1(V) side slope with a permanent stand of grass established on both slopes. (Chapter 74, Article V, Section 74-132g)
- 11. A drainage swale or ditch greater than three feet deep shall be piped unless it is a primary or secondary outfall. (Chapter 74, Article V, Section 74-132g)
- 12. The 100-yr floodplain shall be delineated on the site development plans, with Base Flood Elevation (BFE), when required. (Chapter 74, Article V, Section 74-132j)
- 13. Minimum lot elevation: finished floor elevations shall be at least one foot above the level of the Base Flood Elevation, associated with the 100-year floodplain. The entire lot shall be properly drained. (Appendix B, Article VI, Section 602 e)
- The peak post development discharge shall not exceed the predevelopment discharge. (Chapter 74, Article V, Section 74-132k; also Sec 601.02)
- 15. Detention ponds: must be located outside wetlands. (Chapter 42, Article V, Sec 42-156)
- 16. The City will not accept detention areas for maintenance or ownership. (Chapter 74, Article V, Section 74-132k)

Mobile Home Parks

- 1. NA Verify correct zoning
- 2. Minimum lot size 40' x 100' and a minimum of 4000 sf. (Appendix A, Article III, Section 10 A(2))
- 3. H/A Setback front: At least 20' from front lot line or 35' from center of road. (Appendix A, Article III, Section 10 B 1)



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- 4. Setback -sides: At least 5' with a 20' minimum between manufactured homes; (Appendix A, Article III, Section 10 B 2)
- 5. Setback rear: At least 5' with a 20' minimum between manufactured homes. (Appendix A, Article III, Section 10 B 3)
- 6. At least two (2) paved parking spaces per lot (Appendix A, Article III, Section 10 C)
- 7. Streets shall be 2-way and a minimum of 20 feet wide. No on-street parking. (Appendix A, Article III, Section 10 I)
- 8. Water supply City of Pooler when available. The development of an independent water supply can be used only upon approval of the county health officer. (Appendix A, Article III, Section 10 D)
- 9. Sewerage disposal City of Pooler when available. Alternative methods can only be used upon approval in writing by the county health officer. (Appendix A, Article III, Section 10 E)
- 10. VIIIties underground only. (Appendix A, Article III, Section 10 G)
- 11. Street Lights Street lighting shall be provided, not to exceed 200 feet separation, including park entrance. (Appendix A, Article III, Section 10 H)
- Recreation area < 25 units: a minimum of 5,000 square feet shall be reserved for recreation. > 25 units, a minimum of 10% of the total area. (This 10% shall not include bodies of water.) Such recreation areas shall be made safe from traffic by an enclosure or other device. (Appendix A, Article III, Section 10J)
- 13. Maximum distance to a fire hydrant shall be 250 feet. (Appendix A, Article III, Section 10 L)

Utilities

References: City of Pooler Code of Ordinances, Chapter 74, Article V, Section 74-138 and Appendix B, Article VI, Section 606

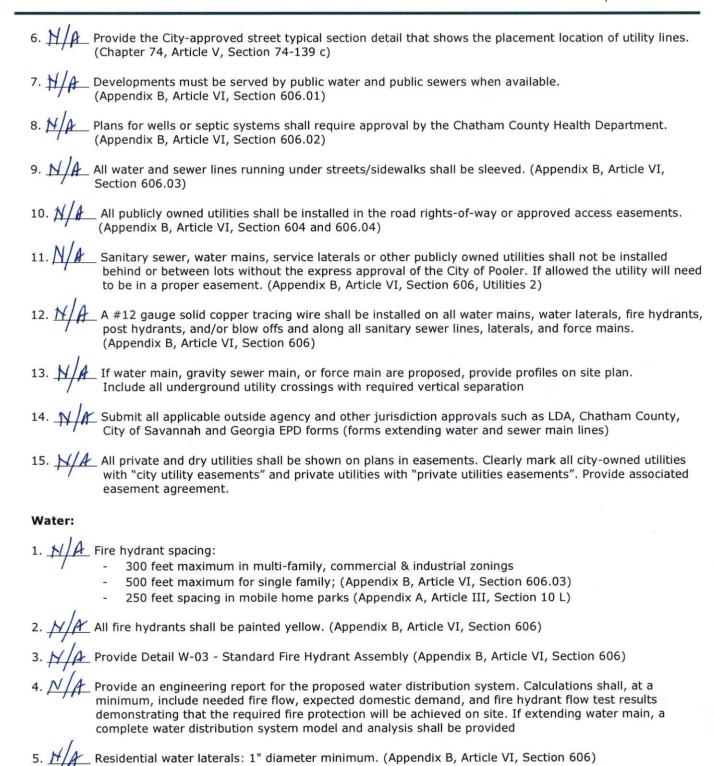
General:

- 1. Look at the overall layout of the water lines. The plan needs to show the location of where it connects to an existing system with all the usual information
- 2. HA All utilities are to be installed underground
- 3. VIA Utilities shall not be placed longitudinally under street pavement. (Chapter 74, Article V, Section 74- 138 c)
- 4. Minimize unnecessary water/sewer crossings to the extent possible. Minimum parallel separation: 10' horizontal and 18" vertical separation between water & sewer (Sanitary & Storm)
- 5. Water mains must be DIP when crossing under storm or sewer mains. Include detail W-16



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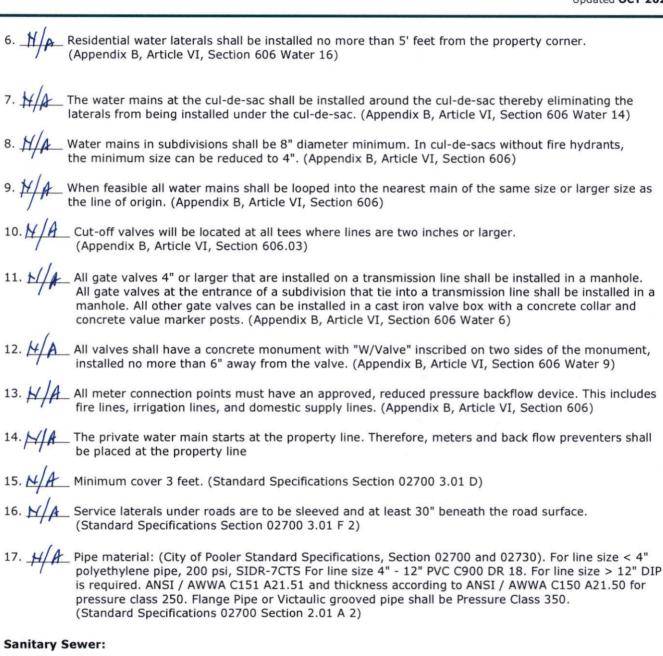
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- 1. MA Sanitary manholes shall not exceed 350-foot spacing. (Appendix B, Article VI, Section 606, Sewer 1)
- 2. N 8 inches diameter minimum. (Appendix B, Article VI, Section 606, Sewer 3)
- 3. Market If proposing a gravity sanitary sewer main, an engineering report shall be provided, with calculations for expected demand and sewer pipe sizing



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- 4. H/A Minimum size sanitary lateral is 4". (Appendix B, Article VI, Section 606, Sewer 4)
- 5. Laterals shall connect directly to the manhole when possible, entering at an angle of at least 90 degrees to the direction of flow. (Appendix B, Article VI, Section 606, Sewer 2)
- 6. Residential sewer laterals shall be installed within 15 feet of the property corner. (Appendix B, Article VI, Section 606, Sewer 9)
- 7. Please assure that the sanitary sewer cleanouts are flood proofed and designed prevent infiltration of flood waters into the system (Appendix B, Article VI, Section 606.01 and Chapter 50, Section 50-91)
- 8. Use watertight manhole rings and covers within or below Base Flood Elevation + 1' (Standard Specifications.02720.2.02.G.2)
- 9. H/A Sewer laterals: Cleanouts should be provided every 100' and at the bends. Cleanouts located within the pavement should be traffic rated
- 10. 17 Try to move manholes out of sidewalk
- 11. NA Pipe Material:
 - SDR 26 PVC sewer pipe meeting the requirements of ASTM D3034 for pipes 15" and smaller and ASTM F679 for 18" and larger
 - DIP manufactured in accordance with ANSI A21.51 with thickness according to ANSI A21.50
- 12. Min cover 3'
- Drop manholes are required when the 'invert in' is 2.0 feet or more above the 'invert out'. The MH must be a 6' diameter precast MH and conform to ASTM C478. The drop pipe shall be the same size as the influent pipe. All hardware on ductile iron piping associated with drop manholes must be stainless steel. (Standard Specifications Section 02720 2.02)
- 14. MAD Drop manholes inside and outside drop manhole details S-7, S-8
- 15. MA Sanitary sewer line minimum slope:

8"	0.40%	21"	0.10%
10"	0.28%	24"	0.08%
12"	0.22%	27"	0.07%
14"	0.17%	30"	0.06%
15"	0.15%	33"	0.05%
16"	0.14%	36"	0.05%
18"	0.12%	42"	0.04%

Grease Traps:

1. Grease trap is required for restaurants / eating establishments (any establishment with kitchen facilities). A sampling manhole shall be installed downstream of the grease trap and upstream of sanitary sewer main tie-in. Sampling MH shall be a minimum of 18 inches in diameter. Grease traps shall be sized at 20 gallons per seat, or a minimum capacity of 1,000 gallons and must be singular or in series



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and directly accessible from the exterior of the building. (Chapter 86, Article V, Division 4, Section 86-226 and 228)

Sanitary Sewer Lift Stations:

- 1. City must approve lift station locations. Lift stations should not be located behind residential homes or commercial property. (Appendix B, Article VI, Section 606, Utilities 3)
- 2. The lift station shall have a 25-ft (minimum) access easement from a paved public road. (Appendix B, Article VI, Section 606, Utilities 4 and 5)
- The easement shall provide an all-weather access road at least 15 feet wide, constructed of 8-inches of graded aggregate base with geo-textile fabric (or grid) if necessary to assure stability. (Appendix B, Article VI, Section 606, Utilities 5)
- 4. The immediate entrance at the paved public roadway to the access easement shall be constructed of a 15' x 15' x 4" thick concrete pad. The concrete shall be 4,000 psi @ 28 days fiber reinforced concrete mixture. (Appendix B, Article VI, Section 606, Utilities 6)
- 5. The lift station access shall have a vehicle turn-a-round drive provided, unless it is deemed not necessary by the water and sewer superintendent. (Appendix B, Article VI, Section 606, Utilities 7)
- 6. All lift stations, with three HP or larger motors, shall have a true three phase power supply. No single phase, rotophase, capacitor banks, shall be permissible. (Appendix B, Article VI, Section 606, Utilities 8)
- 7. All lift stations shall be constructed with submersible pumps only. (Appendix B, Article VI, Section 606, Utilities 9)
- 8. The city and its engineers shall approve the pump size and manufacturer. (Appendix B, Article VI, Section 606 Utilities 9)
- 9. All lift stations sites shall be fenced in. The minimum gate opening is 12-foot with a 180 degree gate swing. The fence material can be either wood or cyclone. All fences shall be of privacy manner. (Appendix B, Article VI, Section 606, Utilities 10)
- 10. The mounting panel for the controls, etc., shall be constructed out of three-inch galvanized post and galvanized support brackets. (Appendix B, Article VI, Section 606, Utilities 11)
- All proposed Lift Stations shall be accompanied by an engineering report. The following information shall be included in the report:
 - Title page Title page should include the project name, date, developer/owner's name, the engineering firm preparing the plans and PE stamp
 - Sewer system information type, location and size of development
 - Existing sewer system location and type of gravity system the force main will discharge into
 - Future plans for sewer system the number of lots this phase will encompass initially, if future



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phases will be constructed, and the extent to which the proposed system will serve future phases

- Pump Station and Force Main Design Calculations the Average Daily Flow (ADF), Peak Daily Flow
 (PDF), Total Dynamic Head, Force Main (velocity produced in force main and maximum operating pressure) and Wet Well Buoyancy Calculation
- Cycle Times volume in wet well needed to turn primary pump on, cycle time for ADF, cycle time for PDF and total cycle time

Force Mains:

Reference: Appendix B, Article VI, Section 606 Utilities 12, Standard Specifications Section 02710

- 1. Show force main location and all associated appurtenances. All force mains shall be installed in the access easement or public road right-of-way
- 2. M/A Identify the size and material type of the force main pipe
- 3. Manholes that are the termination point for force mains are be lined with Raven Lining Systems spray-in liner
- 4. Force main markers are to be place every 500 feet and at change of direction. Attach the #12 solid copper tracing wire to each marker. (City of Pooler Standards & Specifications Section 02710.3.05)

Stormwater Management

References:

- City of Pooler Code of Ordinances, Part 2, Chapter 42, Article V-
- Georgia Stormwater Management Manual
- Coastal Supplement to the Georgia Stormwater Management Manual. (Chapter 42, Article V, Section 42-180.7)

General:

Water quantity may be handled through a master system, water quality/run-off reduction needs to be addressed as part of the individual development site.

Applicability and Exemptions (Chapter 42, Article V, Section 42-180.3)

- 1. What developments do the City of Pooler Stormwater Management provisions apply to? (Chapter 42, Article V, Section 42-180.3 (1))
 - a. New development that involves the creation of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - b. Redevelopment that involves the creation, addition or replacement of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - c. New development or redevelopment, regardless of size, that is part of a larger common plan



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of development, even though multiple, separate and distinct land disturbing activities may take place at different times and on different schedules; or

- d. New development or redevelopment, regardless of size, that involves the creation or modification of a stormwater hotspot, as defined by the director
- 2. The following activities are exempt: (Chapter 42, Article V, Section 42-180.3 (2))
 - a. New development or redevelopment that involves the creation, addition or replacement of < 5,000 sf of impervious cover and that involves < 1 acre of other land disturbing activities
 - b. New development or redevelopment activities on individual residential lots that are not part of a larger common plan of development and do not meet any of the applicability criteria listed above
 - Additions or modifications to existing single-family homes and duplex residential units that do not meet any of the applicability criteria listed above
 - d. Development projects that are undertaken exclusively for agricultural or silvicultural purposes within areas zoned for agricultural or silvicultural
 - e. Maintenance and repairs of any green infrastructure or stormwater management practices deemed necessary by the director
 - f. Any part of a land development project that was approved by the director prior to the adoption of this article
 - g. Redevelopment activities that involve the replacement of impervious cover when the original impervious cover was wholly or partially lost due to natural disaster or other acts of God occurring after April 12, 2012
- 3. Hedevelopment projects must handle stormwater run-off in at least one of the following methods. The method(s) selected must be acceptable to the City of Pooler (Section 42-184.8):
 - a. existing site impervious cover by at least 20 percent
 - b. Manage the stormwater runoff from at least 20 percent of the site's existing impervious cover in addition to any new impervious cover. Stormwater shall be managed with criteria selected, designed, constructed and maintained in accordance with the information presented in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - c. Provide off-site stormwater management practices

Design Plan (Chapter 42, Article V, Section 42-183.4)

- 4. Provide a hydrologic analysis of the EXISTING conditions that includes: (Section 42-183.4 (1))
 - a. Existing conditions map
 - b. Describe the existing conditions of each on-site drainage area of the development site (e.g.



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size, soil types, land cover characteristics)

- c. Describe the existing conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
- d. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each on-site drainage area of the development site
- e. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each off-site drainage area that contributes runoff to the development site
- f. Documentation showing how the existing conditions hydrologic analysis was completed

5. Provide a hydrologic analysis of the **proposed** conditions that includes: (Section 42-183.4 (2))

- a. Proposed conditions map (Sec 42-183.2(4))
- b. Describe the proposed conditions of each on-site drainage area of the development site (e.g. size, soil types, land cover characteristics)
- c. Describe the proposed conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
- d. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each on-site drainage area of the development site
- e. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each off-site drainage area that contributes runoff to the development site
- f. Documentation (e.g. model diagram) and calculations showing how the proposed conditions hydrologic analysis was completed

Provide a POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN that illustrates: (Section 42-183.4 (3))

- a. Proposed topography
- b. Proposed drainage divides and patterns
- c. Existing and proposed roads, buildings, parking areas and other impervious surfaces
- d. Existing and proposed primary and secondary conservation areas
- e. Plan view of existing and proposed low impact development and stormwater management practices
- f. Cross-section and profile views of existing and proposed low impact development and stormwater management practices, including information about water surface elevations, storage volumes and inlet and outlet structures (e.g. orifice sizes)



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- g. Plan view of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains)
- h. Cross-section and profile views of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains), including information about invert and water surface elevations
- i. Existing and proposed channel modifications (e.g. bridge or culvert installations)
- 7. Provide a post-construction stormwater management system narrative that includes information about: (Section 42-183.4 (4))
 - a. How post-construction stormwater runoff will be managed on the development site, including a list of the low impact development and stormwater management practices that will be used
 - b. It shall also include documentation and calculations that demonstrate how the selected low impact development and stormwater management practices satisfy the post-construction stormwater management criteria that apply to the development site, including information about the existing and proposed conditions of each of the drainage areas found on the development site (e.g. size, soil types, land cover characteristics)
- 8. The Certification by plan preparer that the stormwater management design plan meets the requirements of the City's stormwater management ordinance and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda. (Section 42-183.4 (5))
- 9. Certification by owner that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan. (Section 42-183.4 (6))

Inspection and Maintenance Plan: (Chapter 42, Article V, Section 42-183.5 and Section 42-186.2)

- 10. An Inspection and Maintenance Agreement and Plan must be submitted. This document is a binding agreement signed by the applicant or owner that is binding on all subsequent owners unless the stormwater management system is dedicated to and accepted by the City. The plan must include the following:
 - a. Identification by name or official title the person(s) responsible for carrying out the inspection and maintenance
 - b. A statement confirming that responsibility for the operation and maintenance of the stormwater management system shall remain with the property owner and shall pass to any successive owner
 - c. A provision stating that, if portions of the development site are sold, legally binding arrangements shall be made to pass the responsibility for the operation and maintenance of the stormwater management system to the appropriate successors in title. These arrangements shall designate, for each portion of the stormwater management system, the person(s) to be permanently responsible for its inspection and maintenance
 - d. A maintenance schedule stating when, what, and how often routine inspection and maintenance will occur to ensure proper function of the system. (Section 42-186.2)

Off-Site Stormwater Management Practices: (Chapter 42, Article V, Section 42-183.9)



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- 11. Off-site or regional stormwater management practice must meet the following criteria:
 - a. Located on property legally dedicated to that purpose
 - b. Be designed and sized to meet the post-construction stormwater management criteria presented below
 - c. Provide stormwater quality and quantity control that is equal to or greater than that which would be provided by on-site green infrastructure and stormwater management practices
 - d. Stormwater management practices shall be installed, where necessary, to protect properties and drainage channels that are located between the development site and the location of the off-site or regional stormwater management practice
- 12. Submit a stormwater management design plan that demonstrates the off-site or regional stormwater management practice will not result in the following impacts:
 - a. Increased threat of flood damage or endangerment to public health or safety
 - b. Deterioration of existing culverts, bridges, dams and other structures
 - c. Accelerated streambank or streambed erosion or siltation
 - d. Degradation of in-stream biological functions or habitat
 - e. Water quality impairment in violation of state water quality standards and/or violation of any other state or federal regulations

Post-Construction Stormwater Management (Section 42-184)

- 1. Natural resources inventory (Section 42-184.1) Prior to the start of any land disturbing activities, including any clearing and grading activities, site reconnaissance and surveying techniques should be used to complete an assessment of the natural resources, both terrestrial and aquatic, found on a development site. The natural resources inventory shall be completed in accordance with the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual. The preservation and/or restoration of these natural resources may be assigned quantifiable stormwater management "credits" that can be used when calculating the stormwater runoff volumes (sections 42-184.3 through 42-184.7). The green infrastructure practices that qualify for these "credits," and information about how they can be used is provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 2. Green Infrastructure Practices (Section 42-184.2) Green infrastructure practices shall be used to the maximum extent practical
- 3. Stormwater runoff reduction (Section 42-184.3) The stormwater runoff volume generated by the runoff reduction storm event shall be reduced on-site. A system is presumed to comply with this criteria if:
 - a. It includes green infrastructure practices that provide for the interception, evapotranspiration,



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infiltration or capture and reuse of stormwater runoff, that have been selected, designed, constructed and maintained in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda

b. It is designed to provide the amount of stormwater runoff reduction specified in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual

4. H/F

Water quality protection (Section 42-184.4) - Post-construction stormwater runoff shall be adequately treated before it is discharged from a development site. Applicants can satisfy this criteria by satisfying the stormwater runoff reduction criteria (section 42-184.3). However, if any of the stormwater runoff volume generated by the runoff reduction storm event cannot be reduced on the development site, it shall be intercepted and treated in one or more stormwater management practices that provide at least an 80% reduction in TSS loads and reduce nitrogen and bacteria loads to the maximum extent practical. When seeking to satisfy this criteria through the use of one or more stormwater management practices, applicants shall:

- a. Intercept and treat stormwater runoff in stormwater management practices that have been selected, designed, constructed and maintained in accordance with the information presented in the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
- b. Provide adequate documentation to the City of Pooler to show that total suspended solids, nitrogen and bacteria removal were considered during the selection of the stormwater management practices that will be used to intercept and treat stormwater runoff on the development site

5. HA

Aquatic resource protection (Section 42-184.5) - In order to protect local aquatic resources from the negative impacts of the land development process, applicants shall provide aquatic resource protection in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual

6. N/A

Overbank flood protection (Section 42-184.6) - Stormwater management systems shall control the peak discharge generated by the overbank flood protection storm event. A stormwater management system is presumed to comply if it is designed to provide overbank flood protection in accordance with the information provided in the coastal stormwater supplement to the Georgia Stormwater Management Manual

7. N/A

Extreme flood protection (Section 42-184.7) - Stormwater management systems shall control the peak discharge generated by the extreme flood protection storm event. A system is presumed to comply with this criteria if it is designed to provide extreme flood protection in accordance with the information provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual

Note only: Certification, final inspection and as-built plans - The applicant is responsible for certifying that the project has been completed in accordance with the approved stormwater management design plan. The applicant is also responsible for submitting as-built plans for all green infrastructure and stormwater management practices shown on the approved plan. The as-built plans must show the final design specifications for all green infrastructure and stormwater management practices and must be certified by a licensed design professional such as a landscape architect, professional surveyor or professional engineer. A final inspection shall be conducted by the City staff to confirm the accuracy of the as built plans. (Sec 42-185.3)



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Tree Protection Ordinance

Reference: City of Pooler Code of Ordinances, Chapter 42, Article VI

Minimum Tree Coverage (Section 42-197)

1. Residential tree requirement—A residential lot shall have a minimum of 3 preferred trees, of which

one shall be located in the front of the residence and selected from large or medium tree species list. (Chapter 42, Article VI, Section 42-197)

Multi-family, commercial and industrial requirement—The minimum allowable post development tree coverage for all development sites shall be 15 existing trees (excluding pine trees and Sweet Gums), six-inch diameter at breast height (dbh) or larger per acre of developable land (excluding buffers and wetlands). Each tree with a diameter of 24 inches dbh or larger (18 inches dbh for Live Oaks) must be designated on the landscape plan and may count as three trees towards meeting the minimum allowable coverage. Each tree with a diameter of 40 inches dbh or larger must also be designated on the landscape plan and may count as five trees towards meeting the minimum allowable coverage. (Chapter 42, Article VI, Section 42-197)

Significant Trees (Section 42-198)

- 3. Significant tree A tree with dbh of ≥ 24" (except sweet gums and pines). Live oaks with dbh of > 18"
- 4. Significant tree If a significant tree is to be removed, the planting of new trees of the same species, or preferred species if the same species is not available, totaling the same number of inches in diameter will be required. Replacement trees shall have a minimum dbh of six inches

Replacement (Section 42-199)

- 5. Where pre-development tree coverage is less than the prescribed minimum, replacement trees shall be at least 2" dbh and 8' tall. (Chapter 42, Article VI, Section 42-199)
- 6. If a developer will be contributing to the city's tree planting program in order to meet the provisions of this ordinance, provide a statement on the plans to this effect along with supporting documentation as to why the payment is necessary and cannot be achieved through design alternatives. (Chapter 42, Article VI, Section 42- 199(3))

Parking Lot Coverage (Section 42-200)

7. Parking lot islands - a 500 sf (min) landscaped island area with at least 1 preferred tree is required for every 12 parking spaces. (Chapter 42, Article VI, Section 42-200)

Protection Zones (Section 42-201)

8. The area within the tree protection zone must be open and unpaved, except where approved pervious pavers may be utilized or tree aeration systems and tree wells are installed.

(Chapter 42, Article VI, Section 42-201)



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- 9. The protection zone is defined as a circle with a radius of 1' per 1" dbh extending outwardly from the tree to be protected or the extent of the drip line, whichever is more restrictive.

 (Chapter 42, Article VI, Section 42-201)
- Tree protective barriers must be at least 4' in height, be prominent visually and erected completely around the protection zone. The use of chain link fencing is required as a minimum. No change in grade within the protection zone shall be allowed around existing trees except for a max two inches of mulch. Those trees to be preserved as shown on the approved landscaping plan shall be marked on-site with a bright blue ribbon encircling the trunks prior to clearing and grading. The construction plan must clearly state the purpose of the blue ribbon to prevent any confusion at the site. (Chapter 42, Article VI, Section 42-201)

Landscape Plan (Section 42-204)

- 11. Each phase of a development must include a landscape plan. (Chapter 42, Article VI, Section 42-204). The Landscaping Plan must show utility easements and areas to be covered with asphalt or concrete
- 12. Required note "Trees shall not be planted within 10 feet of any underground utility or storm drain."
- A tree survey showing existing tree coverage, completed by a state registered land surveyor. If a portion of the tract is not to be disturbed, then a tree survey is not required on that portion. Provide an arborist report of significant tree conditions. (Chapter 42, Article VI, Section 42-204)
 - Any tree except a pine or sweet gum tree 6" dbh or greater shall be included.
 - Any tree except a pine or sweet gum with a dbh between 6" and 17" shall have their common name provided.
 - Any tree except a pine or sweet gum with a dbh of 18" or greater shall have their specific name provided.
 - Any pine or sweet gum with a dbh of 24" or greater shall be included with their specific name provided.
- 14. A clearing plan showing the location of significant trees to be removed; (Chapter 42, Article VI, Section 42-204.2)
- 15. A tree replacement plan; (Chapter 42, Article VI, Section 42-204.3)
- 16. NA The method of tree protection to be used; (Chapter 42, Article VI, Section 42-204.3)
- 17. If a residential subdivision, a typical lot layout is required showing the minimum tree requirement of three trees per lot; (Chapter 42, Article VI, Section 42-204.5)
- 18. No Location, size and types of trees, shrubs and groundcover to be planted on the site. (Chapter 42, Article VI, Section 42-204.6)
- 19. All trees and landscaped areas shall be provided with a means for delivery of water in a quantity that is sufficient to establish and maintain the viability of the plants; A water supply is not required for areas of established trees and other vegetation that are retained for green space, provided that site grading or development activities will not result in damage to said areas. (Chapter 42, Article VI, Section 42-204.7)

Attachment B



Site Plan Review Checklist

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eferred Tree List: (Secti	on 42-198)	
LARGE SPECIES	MEDIUM SPECIES	SMALL SPECIES
American Beech	American Holly	Eastern Redbud
American Elm hybrids	Maple, Red	Holly, attenuate hybrids
American Sycamore	Maple, Florida	Holly, Yaupon
Ash, Green	Maple, Trident	Magnolia, Sweetbay
Ash, White	Cedar, Eastern Red	Fringe tree
Cypress, Bald		
Cypress, Pond	_	
Gingko (male)		
Hickory species		
Magnolia, Southern	_	
Oak, Live		
Oak, Nuttall		
Oak, Overcup		
Oak, Shumard		
Oak, White		
Oak, Willow		
Oak, Southern Red		
Poplar, Yellow		

Upon recommendation of the City Arborist, a species different from one listed may be approved

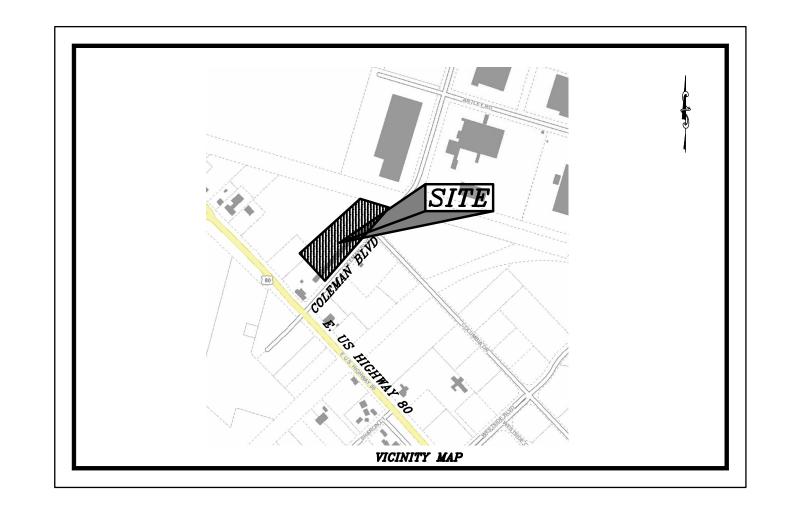
Site Work Plans

FOR THE NEW

Covered Shed Addition 55 Coleman Blvd. Pooler, Georgia 31322

FOR

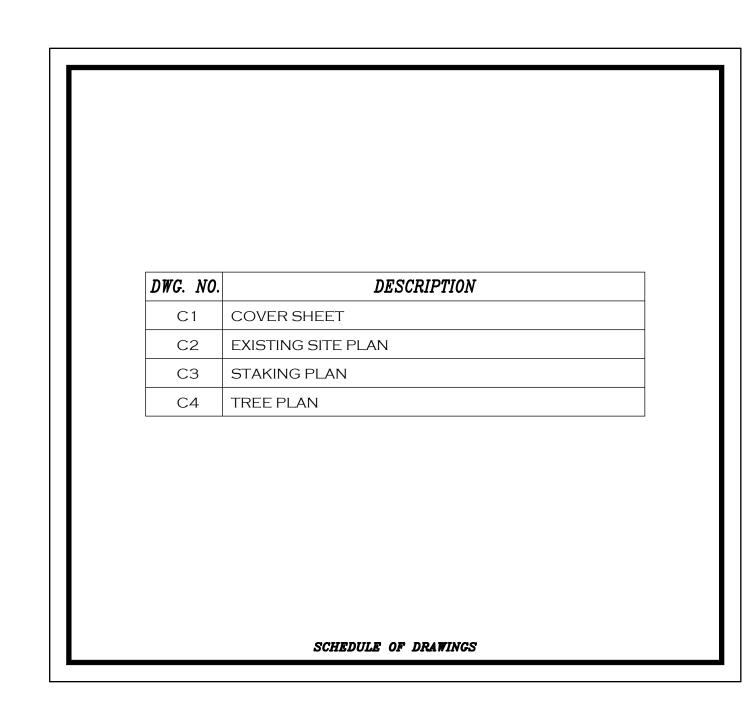
South East Industrial Equipment (Contact: Steve Rushing) 17 Ashley Creek Drive Midway, Georgia 31320



January, 2025

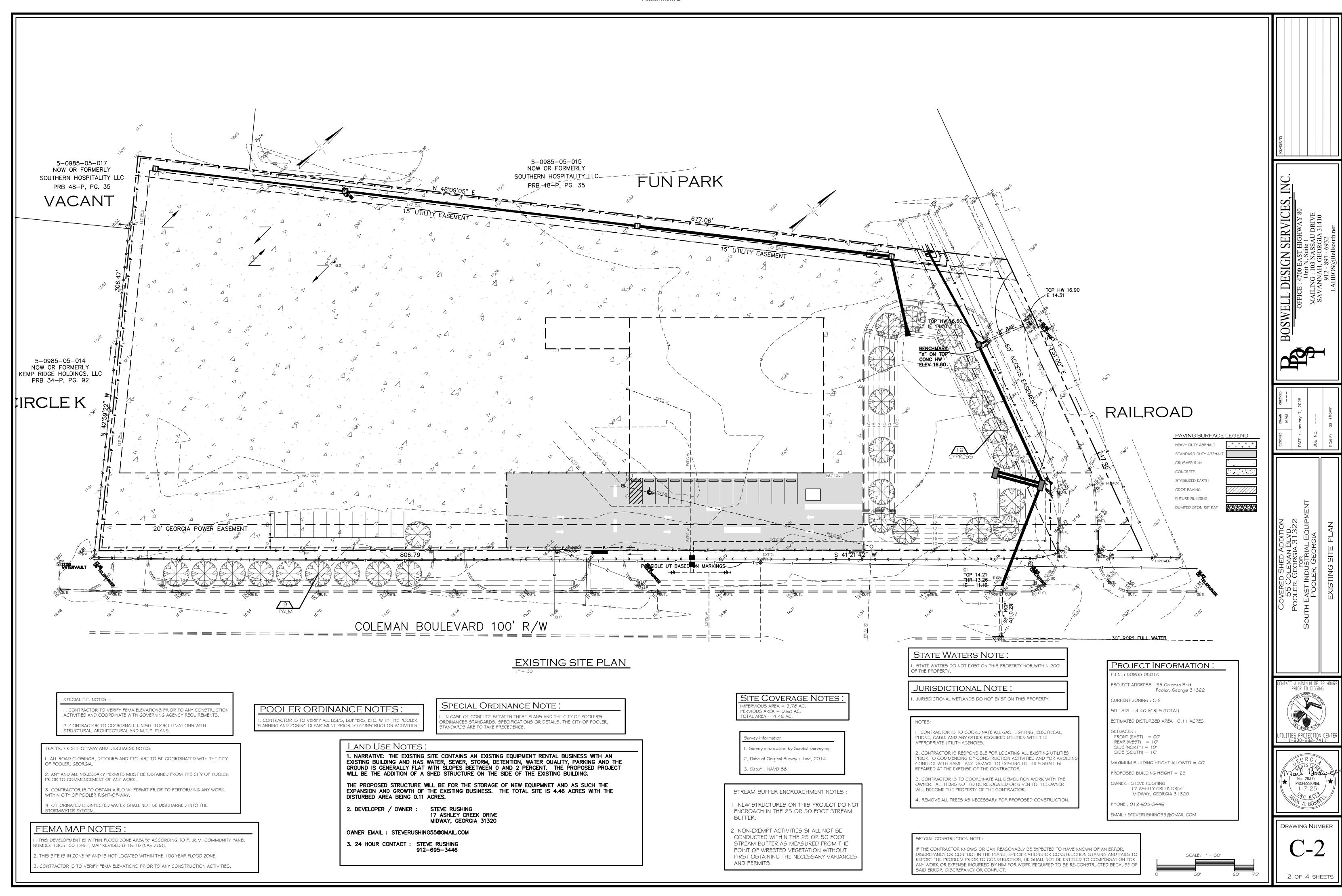


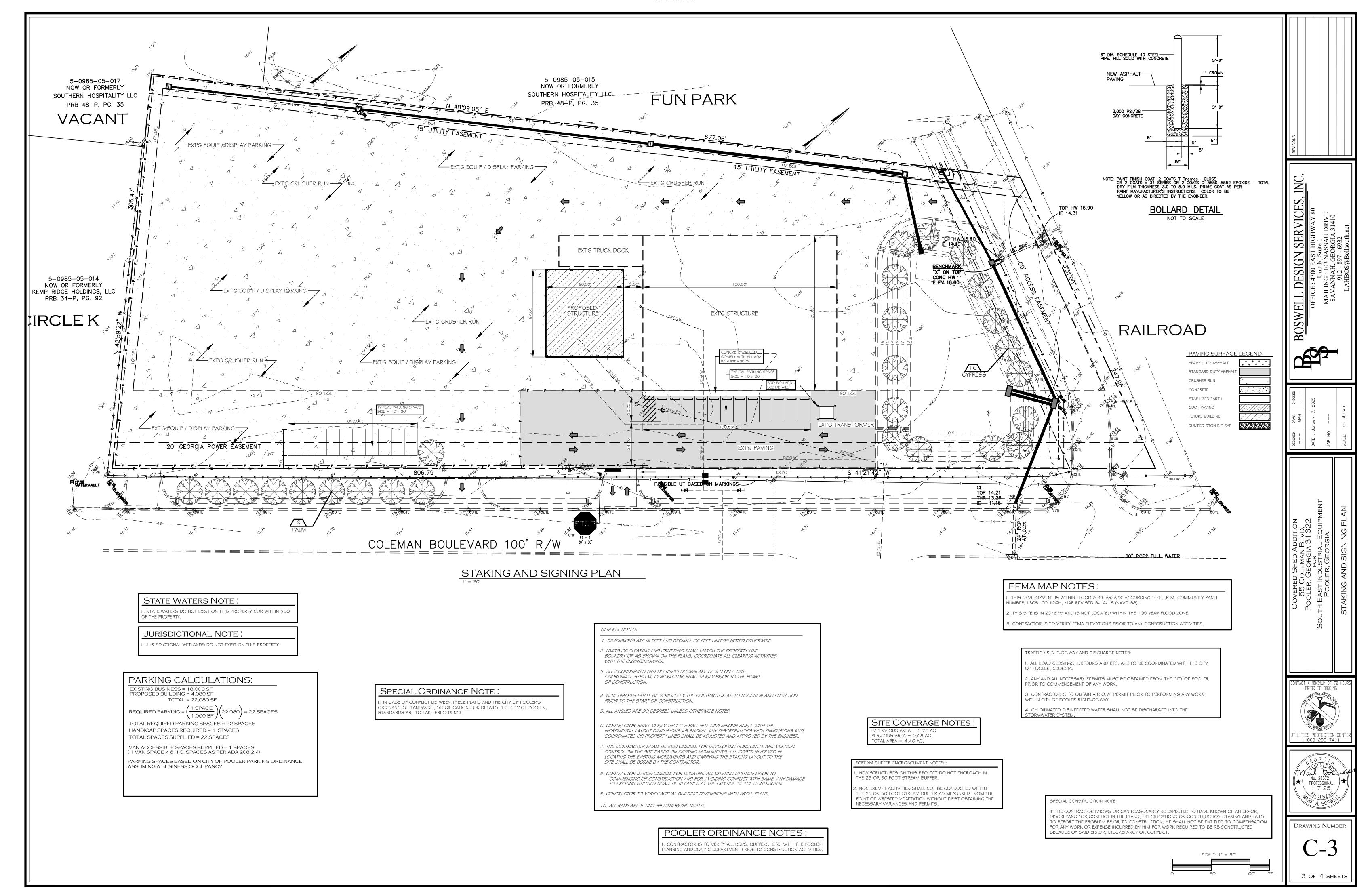


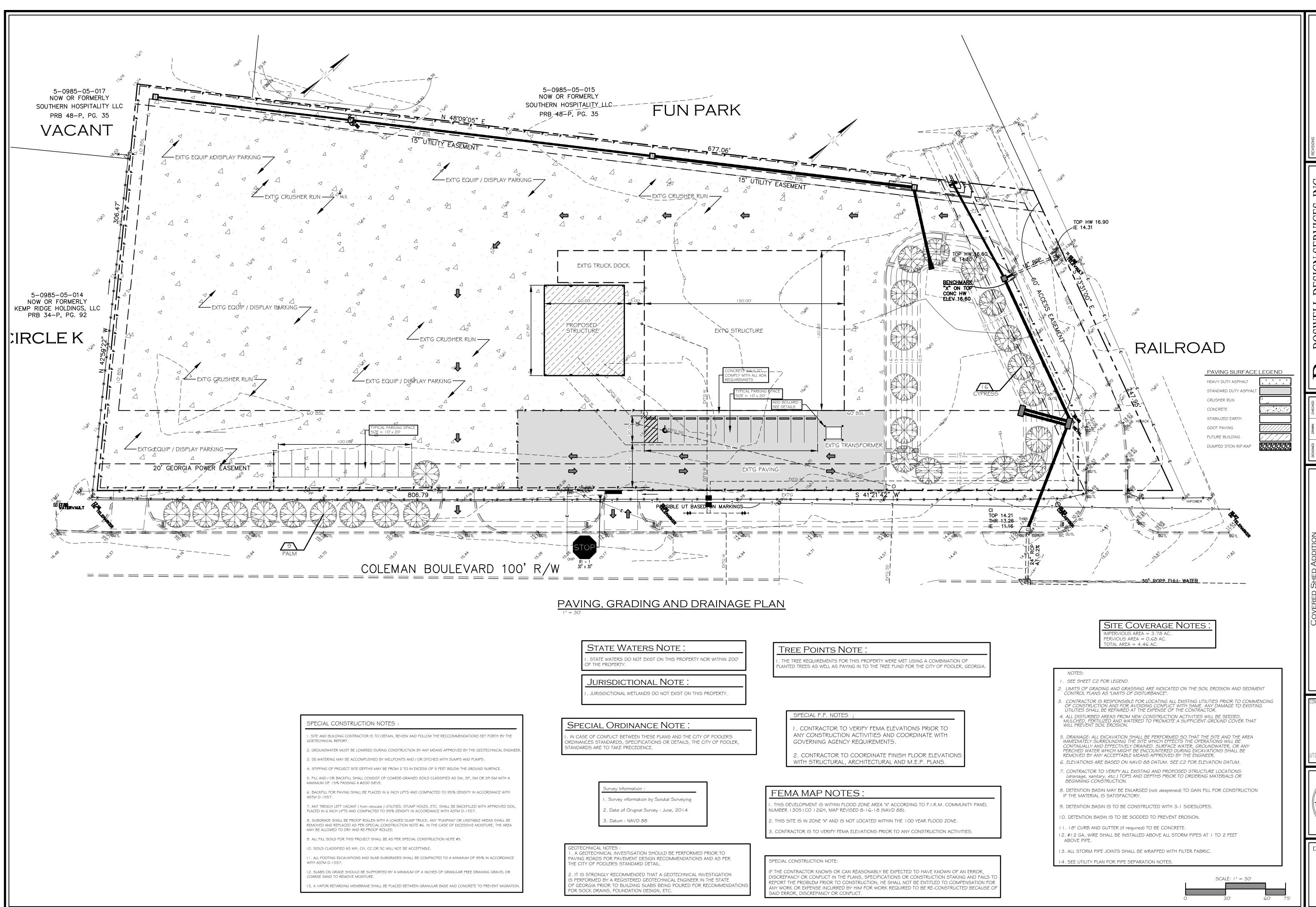


24 HOUR CONTACT: STEVE RUSHING 17 ASHLEY CREEK DRIVE MIDWAY, GEORGIA, 31320 912-695-3446 STEVERUSHING55@GMAIL.COM











IN BLVD. SIA 3132

PRIOR TO DIGGING

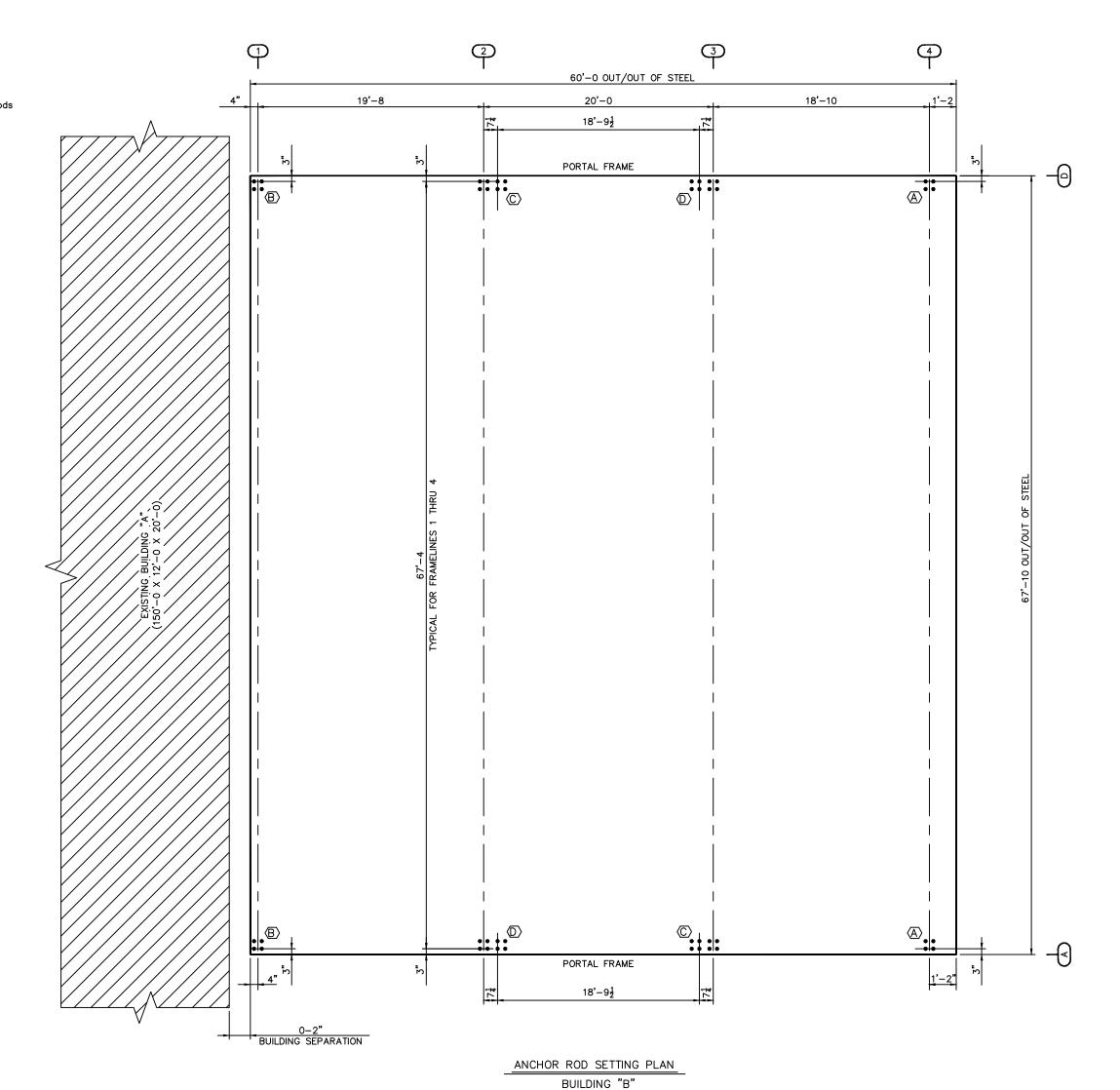
Drawing Number

4 OF 4 SHEETS

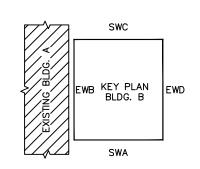
Anchor Rod Drawings

- This drawing is for anchor rod placement only and is not foundation design.
 Foundation must be square and level with all anchor rods true in size, location,
- Foundation must be square and level with all anchor rods true in size, location, and projection.
 Projection shown must be held to keep threads clear of finished concrete.
 This structural design data includes magnitude and location of design loads and support conditions, material properties, and type and size of major structural members necessary to show compliance with the Order Documents at the time of this issue. Any change to building loads or dimensions may change structural member sizes and locations shown. This structural design data will be superseded and voided by any future mailing.
 Anchor rod size as noted on the drawings has been determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer. Anchor rods are not provided by the metal building manufacturer.
 Anchor rods are ASTM F1554 Gr. 36 material unless noted otherwise.
 3000 psi concrete compressive strength (f'c) is assumed for the purpose of column base plate design unless otherwise noted.

FINISH FLOOR AT ELEVATION 100'-0



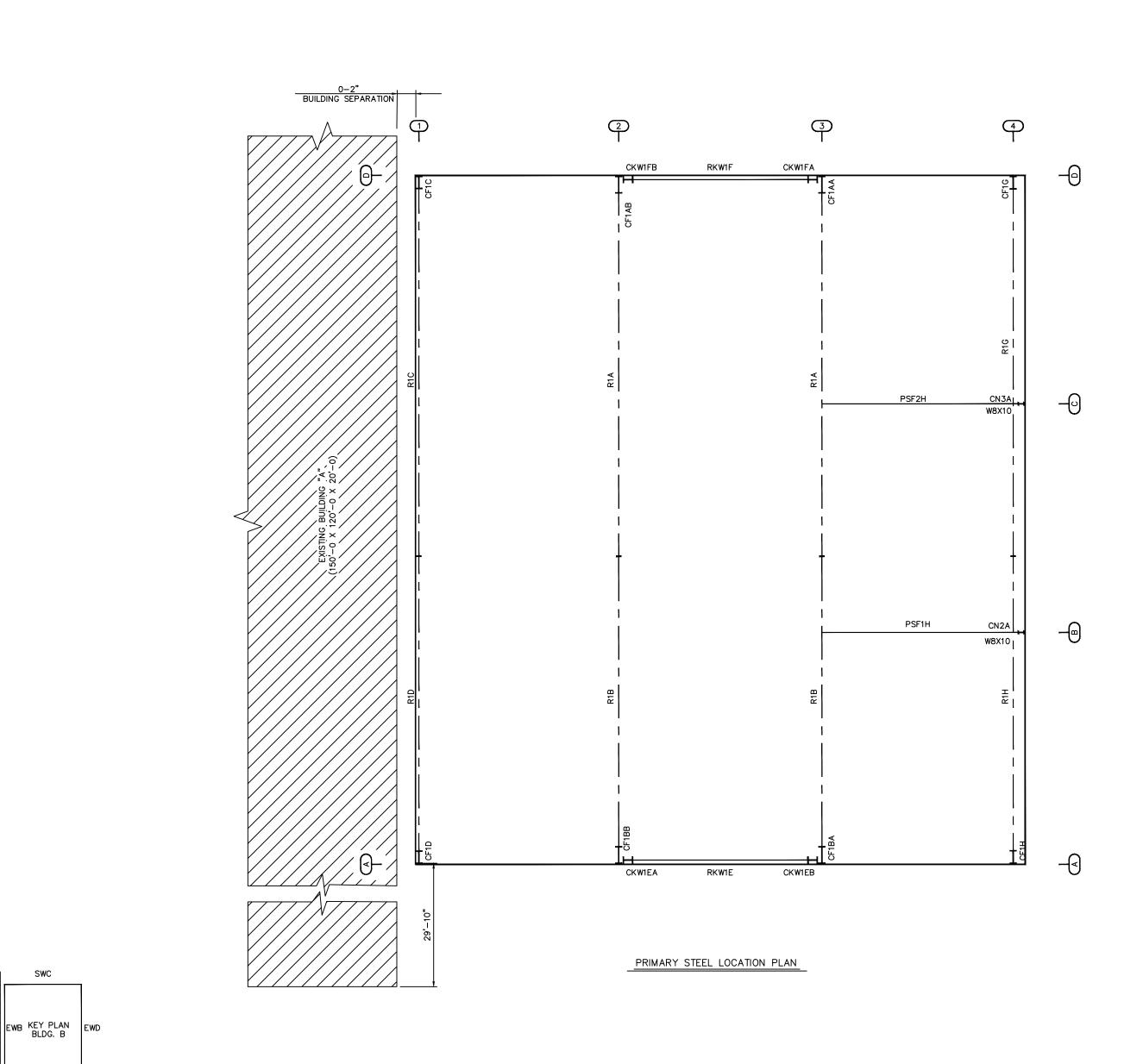
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Description										
Date										
Revision Date										
Cornerstone Building Brands	13105 Northwest Freeway, Suite 500 Houston, TX 77040	Cornerstonebuildingbrands.com	According to the contract and the contra	Stomer: Project Name & Location:	ARSH CONSTRUCTION SERVICES LLC STEVE RUSHING	35 COLEMAN BLVD	ATTN: ABIJAH IZNAGA PTTN: ABIJAH IZNAGA	awing Status: Issued For Approval	(Not For Construction)	Issued For Permit
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Sheet Number: F1 of 3 The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.										
BRIAI GEOF							.E.,	P.E.		



ANCHOR BOLTS TO BE DESIGNED BY FOUNDATION ENGINEER USING DIAMETERS SHOWN IN THIS TABLE.

ANCHOR ROD DESCRIPTION QUANTITY ₹ "ø DIAMETER X

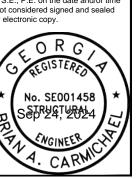


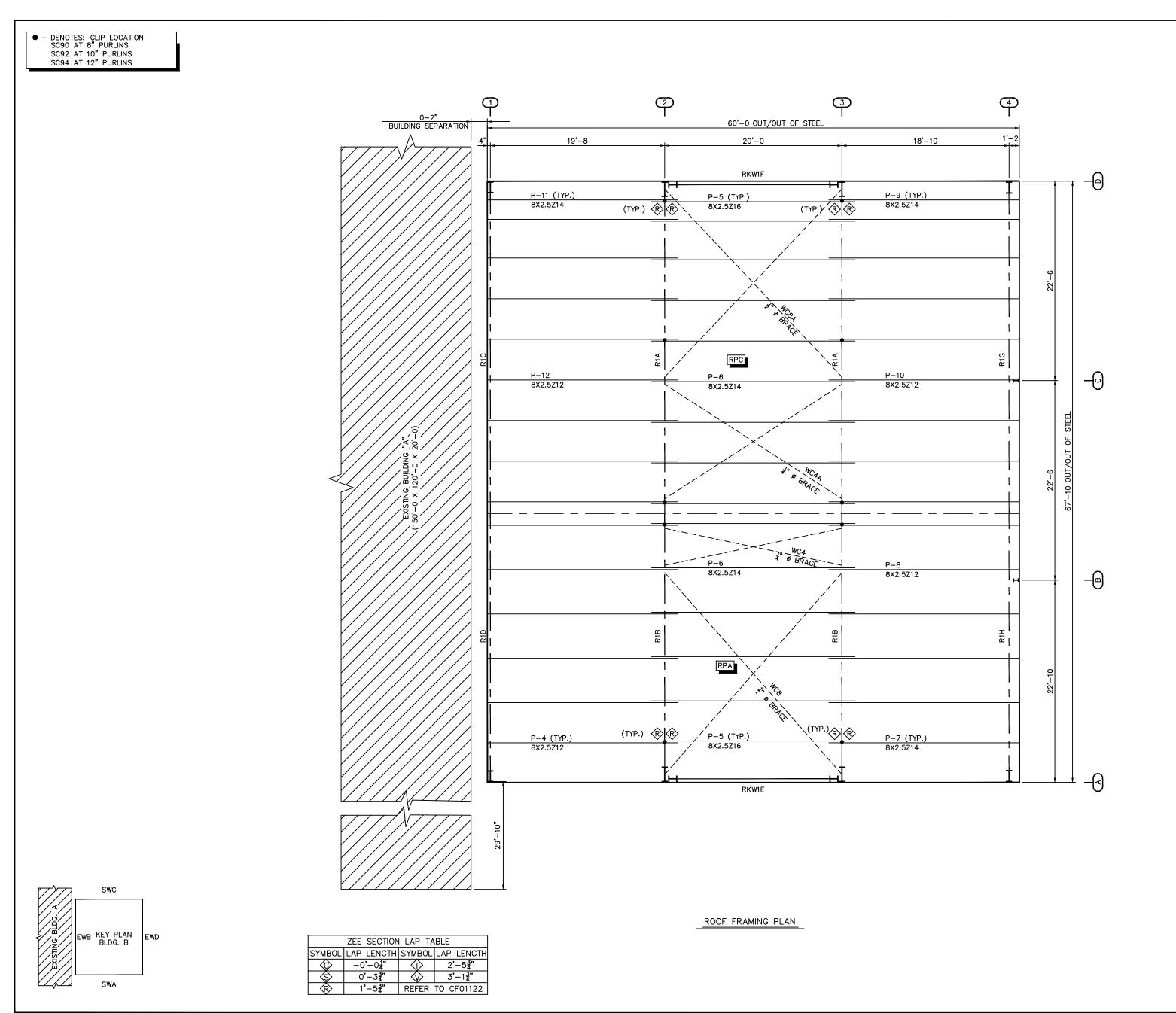


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Drawn by: AD 9/17/24 Checked by: Project Engineer: JC Job Number: 19-B-72693-1 Sheet Number: E2 of 15

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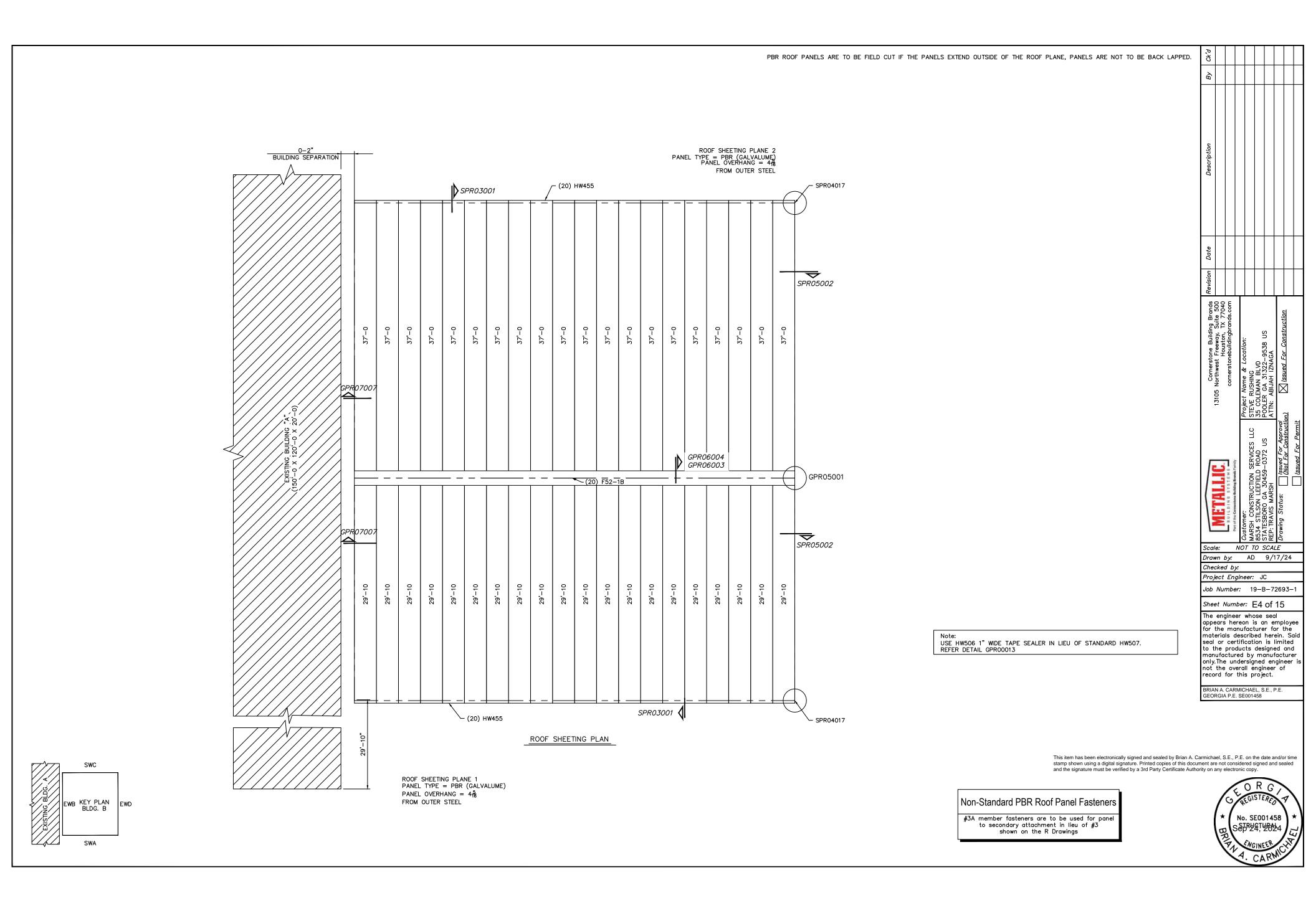
BRIAN A. CARMICHAEL, S.E., P.E. GEORGIA P.E. SE001458

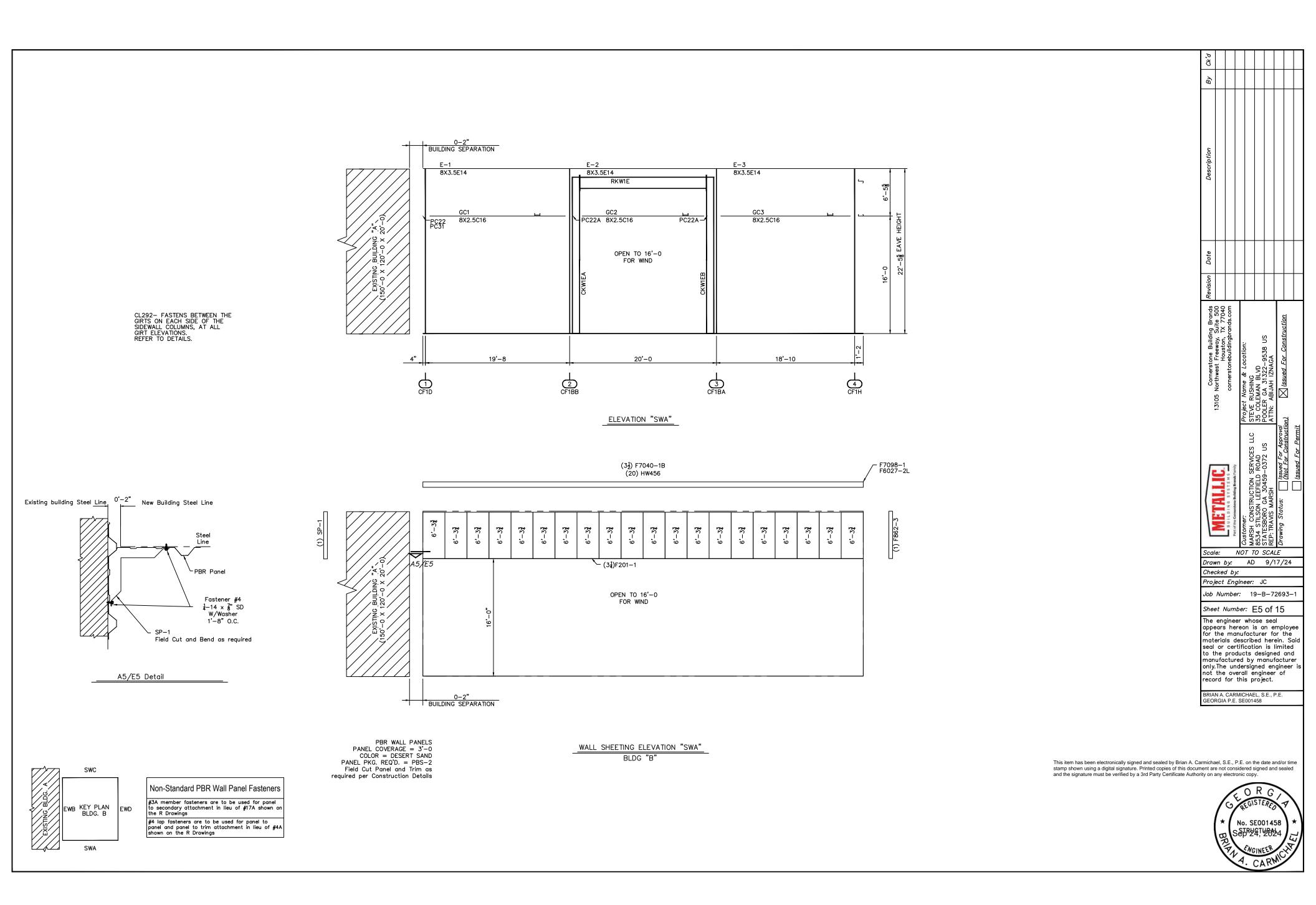


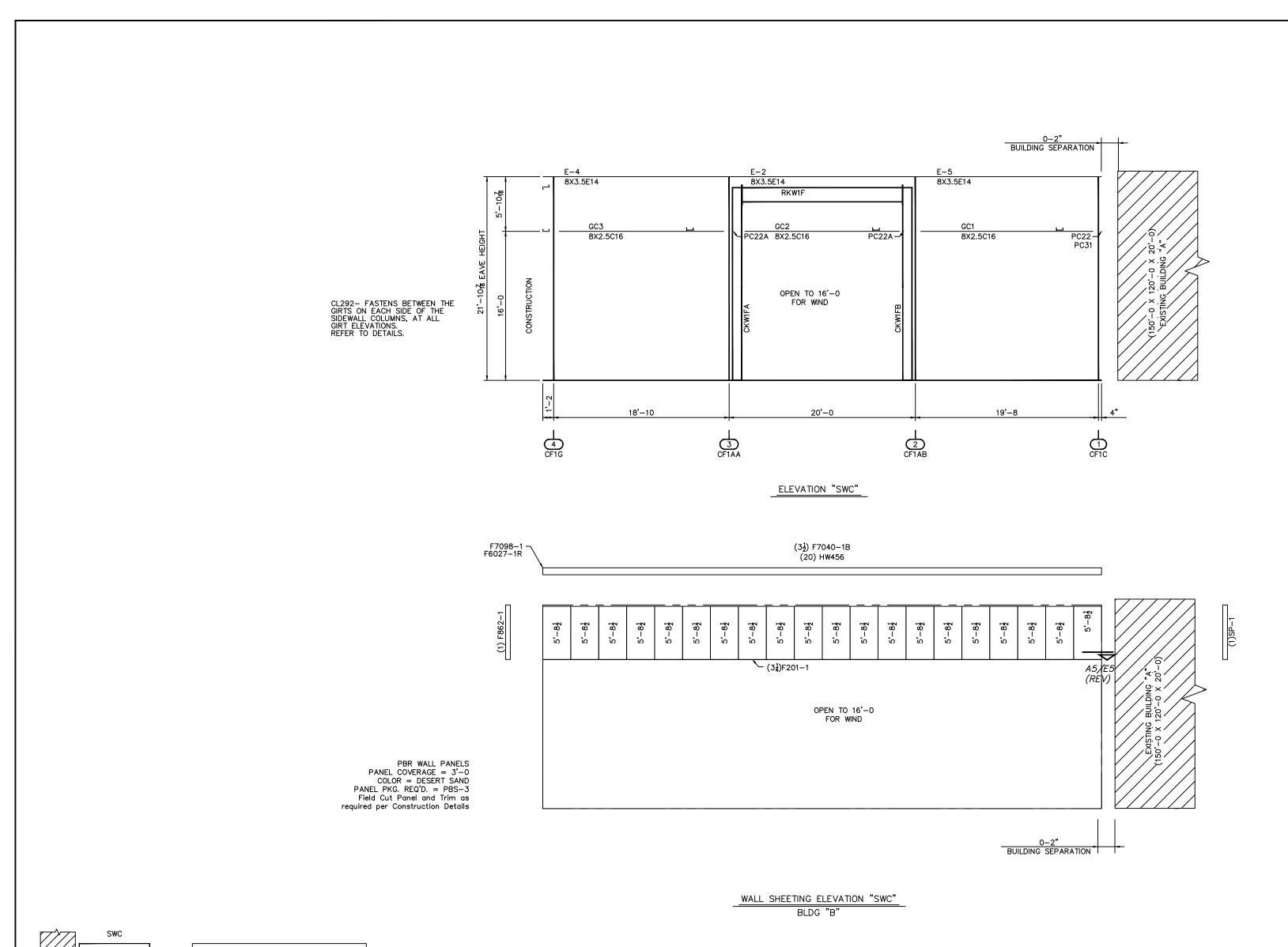


Scale: NOT TO SCALE Drawn by: AD 9/17/24 Checked by: Project Engineer: JC Job Number: 19-B-72693-1 Sheet Number: E3 of 15 The engineer whose seal The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project. BRIAN A. CARMICHAEL, S.E., P.E. GEORGIA P.E. SE001458









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Checked by:

GEORGIA P.E. SE001458

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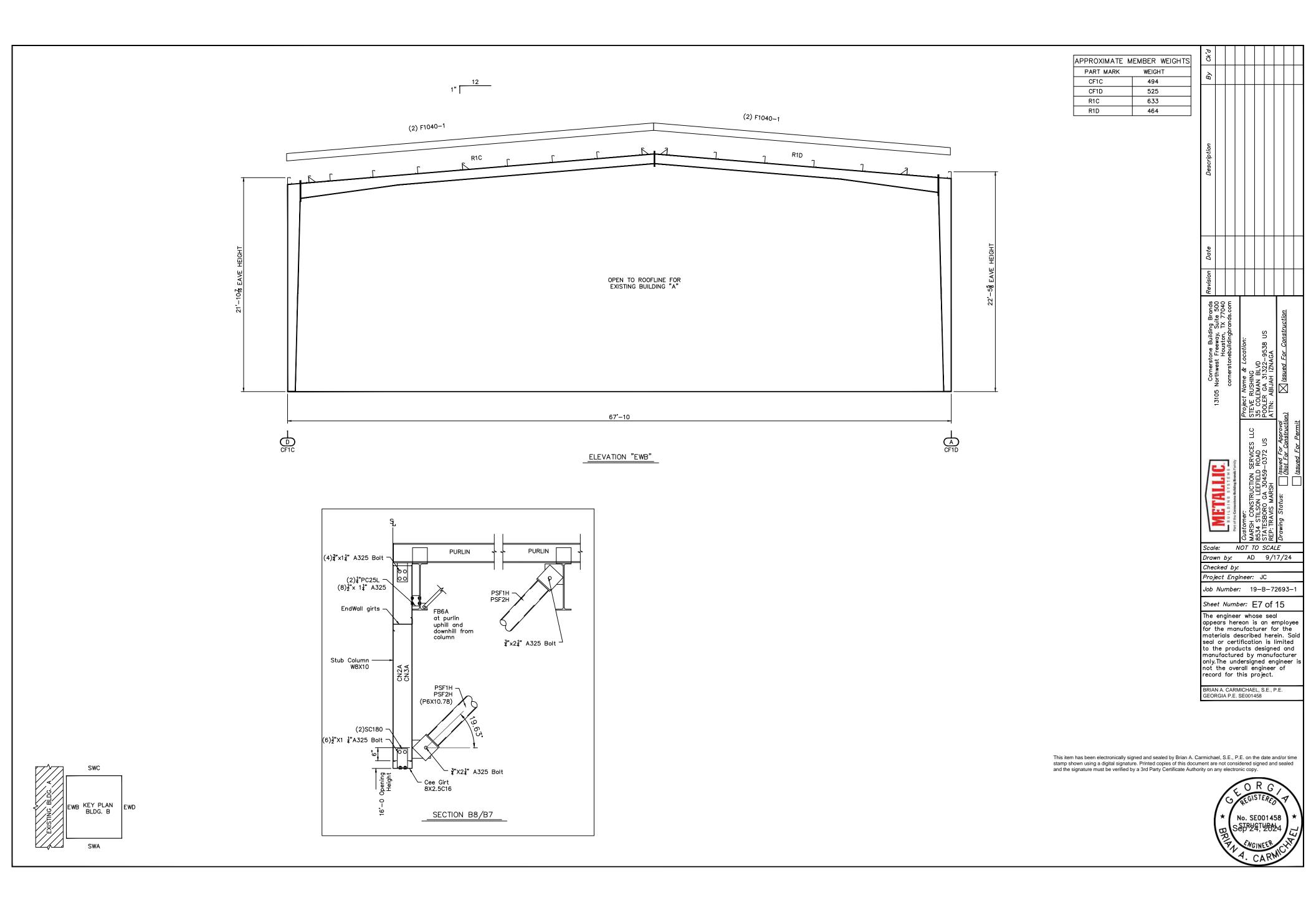
Non-Standard PBR Wall Panel Fasteners

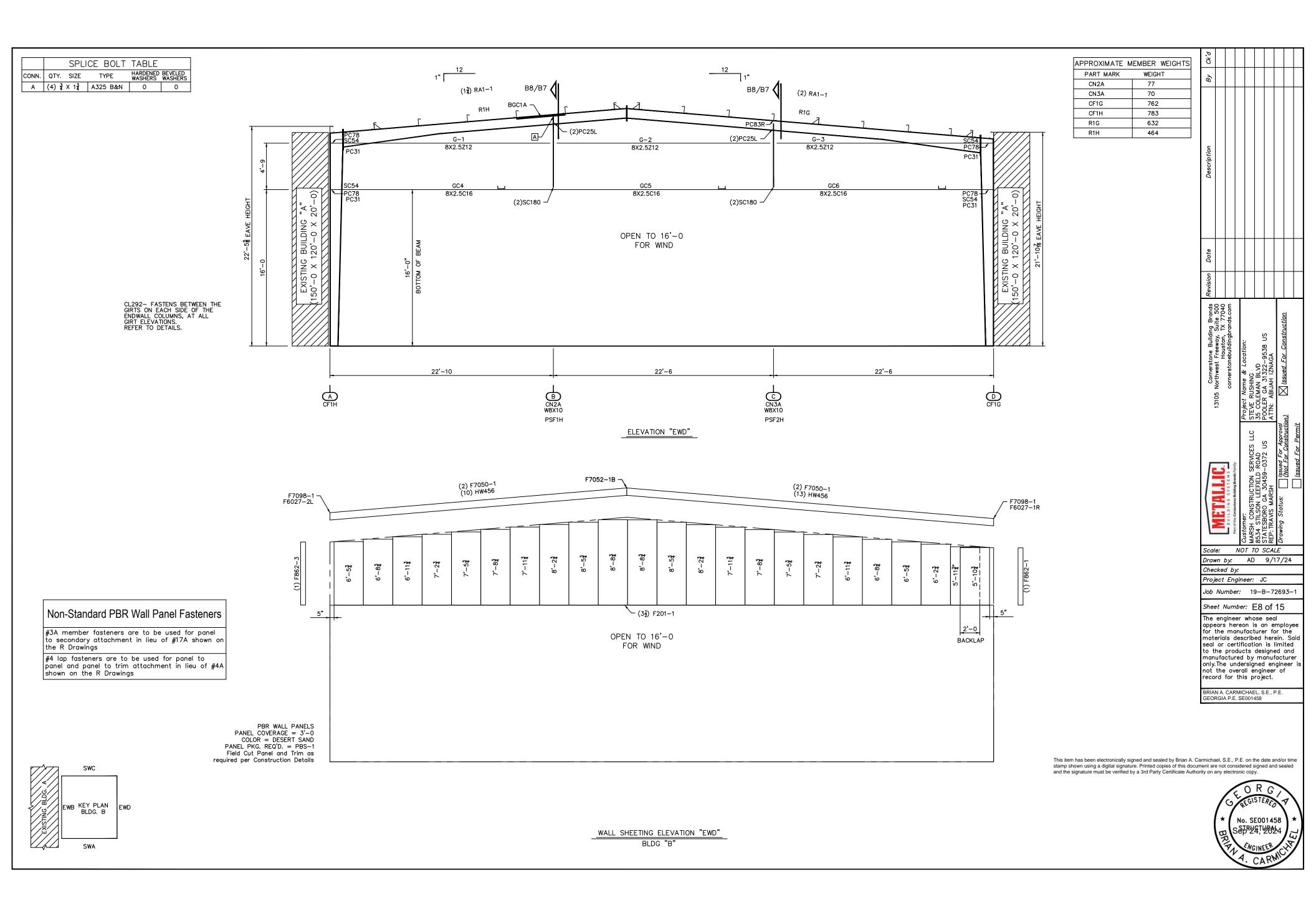
#3A member fasteners are to be used for panel to secondary attachment in lieu of #17A shown on the R Drawings

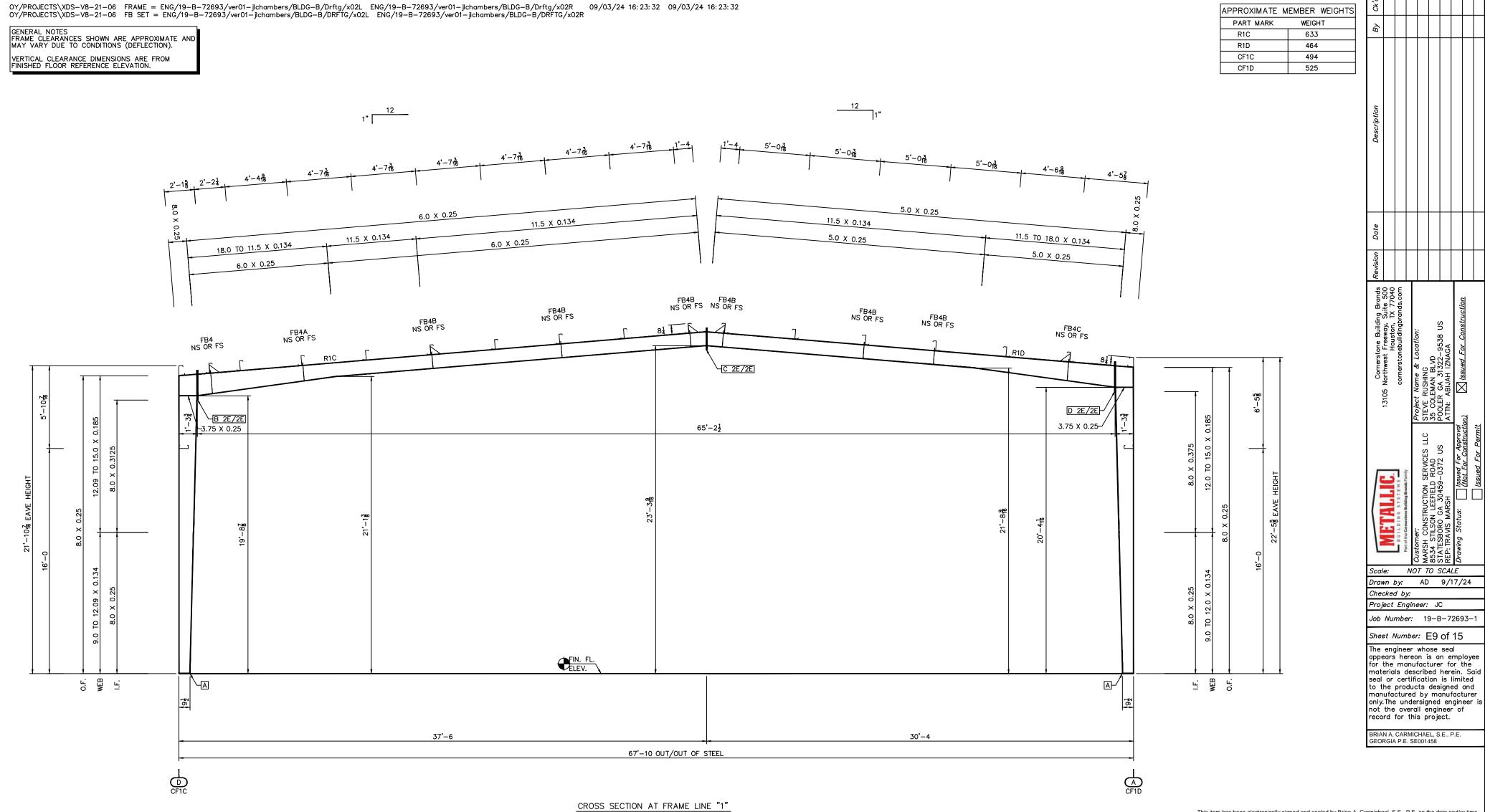
EWB KEY PLAN BLDG. B

EWD

#4 lap fasteners are to be used for panel to panel and panel to trim attachment in lieu of #4A shown on the R Drawings

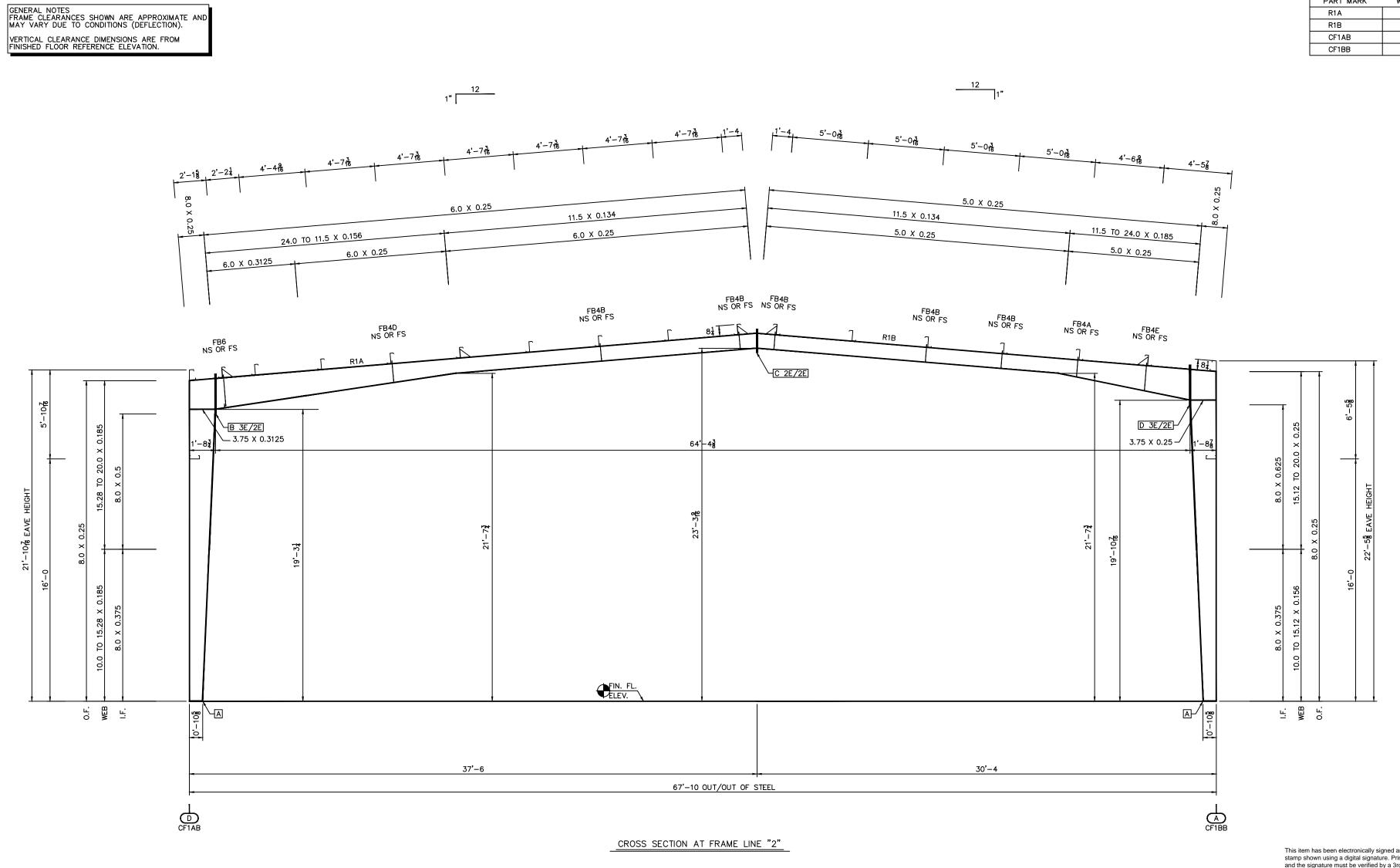






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stamp shown using a digital signature. Printed copies of this document are not considered signed and seal
and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

	PLATE SIZE	TABLE	SPLI	CE BOLT	TABLE	
CONN.	LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	BE W
Α	8 X 0.375 X 9½					
В	8 X 0.5 X 2'-1 1 6	6 X 0.5 X 2'-01€	$(8) \frac{3}{4} \times 2\frac{1}{4}$	A325 B&N	0	
С	6 X 0.375 X 1'-6 ³ / ₁₆	6 X 0.375 X 1'-6 3	$(8) \frac{3}{4} \times 1\frac{3}{4}$	A325 B&N	0	
D	8 X 0.5 X 2'-1 5	6 X 0.5 X 2'-013	(8) ¾ X 2¼	A325 B&N	0	



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R1B 507	
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Project Engineer: JC

Job Number: 19-B-72693-1

Sheet Number: E10 of 15

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	PLATE SIZE	TABLE	SPLI	CE BOLT	TABLE	
CONN.	LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	BEVELED WASHERS
Α	8 X 0.375 X 0'-105					
В	8 X 0.5 X 2'-7 ⁷ ₁₆	6 X 0.5 X 2'−6 1 8	(10) ¾ X 2¼	A325 B&N	0	0
С	6 X 0.5 X 1'-6 16	6 X 0.5 X 1'-6 16	$(8) \frac{3}{4} \times 2\frac{1}{4}$	A325 B&N	0	0
D	8 X 0.625 X 2'-7g	6 X 0.5 X 2'-6g	(10) ¾ X 2¼	A325 B&N	0	0

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GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).

VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION.

APPROXIMATE	М	EMBER	WEIGHTS
PART MARK		WEIGH	4T
R1A		698	
R1B		507	•
CF1AA		648	
CF1BA		739	

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Project Engineer: JC
Job Number: 19-B-72693-1

Sheet Number: E11 of 15

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CROSS SECTION AT FRAME LINE "3"

	PLATE SIZE	TABLE	SPLI	CE BOLT	TABLE	
CONN.	LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	BEVELED WASHERS
Α	8 X 0.375 X 0'-105					
В	8 X 0.5 X 2'-7 ⁷ ₁₆	6 X 0.5 X 2'-6提	(10) ¾ X 2¼	A325 B&N	0	0
С	6 X 0.5 X 1'-6 ³ 6	6 X 0.5 X 1'−6 16	$(8) \frac{3}{4} \times 2\frac{1}{4}$	A325 B&N	0	0
D	8 X 0.625 X 2'-78	6 X 0.5 X 2'-68	(10) ¾ X 2¼	A325 B&N	0	0

	2'-1\frac{8}{8} 2'-2\frac{1}{4} 4'-4\frac{1}{16} 4'-7\frac{3}{16} 4'-7\frac{3}{16} 4'-7\frac{3}{16} 6.0 \times 0.156 6.0 \times 0.25	1" $4'-7\frac{7}{16}$ 4	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	4'-61g 4'-5g	
5'-10 7 6 15.28 TO 20.0 X 0.185 8.0 X 0.5	FB4D NS OR FS R1A R1A R1A 1'-8\frac{3}{2} 3.75 X 0.3125	FB4B NS OR FS	FB4B NS OR FS	FB4B NS OR FS NS OR FS NS OR FS NS OR FS R1B B D 3E/2E 3.75 × 0.25 1'-88	8.0 x 0.625 15.12 TO 20.0 x 0.25 6'-58
16'-0 8.0 × 0.25 10.0 TO 15.28 × 0.185 8.0 × 0.375	19,-3	FIN. FL.	25-55	21'-7\frac{2}{4}	8.0 x 0.375 10.0 TO 15.12 x 0.156 8.0 x 0.25 16'-0 16'-0
O.F.	-0 -1 -0 -1 -0 -1 -0 -1 -1 -1 -1 -1 -1 -1 -1 -1 -1 -1 -1 -1	37'–6	717	A-4	O.F. 1
	CF1AA		O OUT/OUT OF STEEL AT FRAME LINE "3"	L A CF1BA	

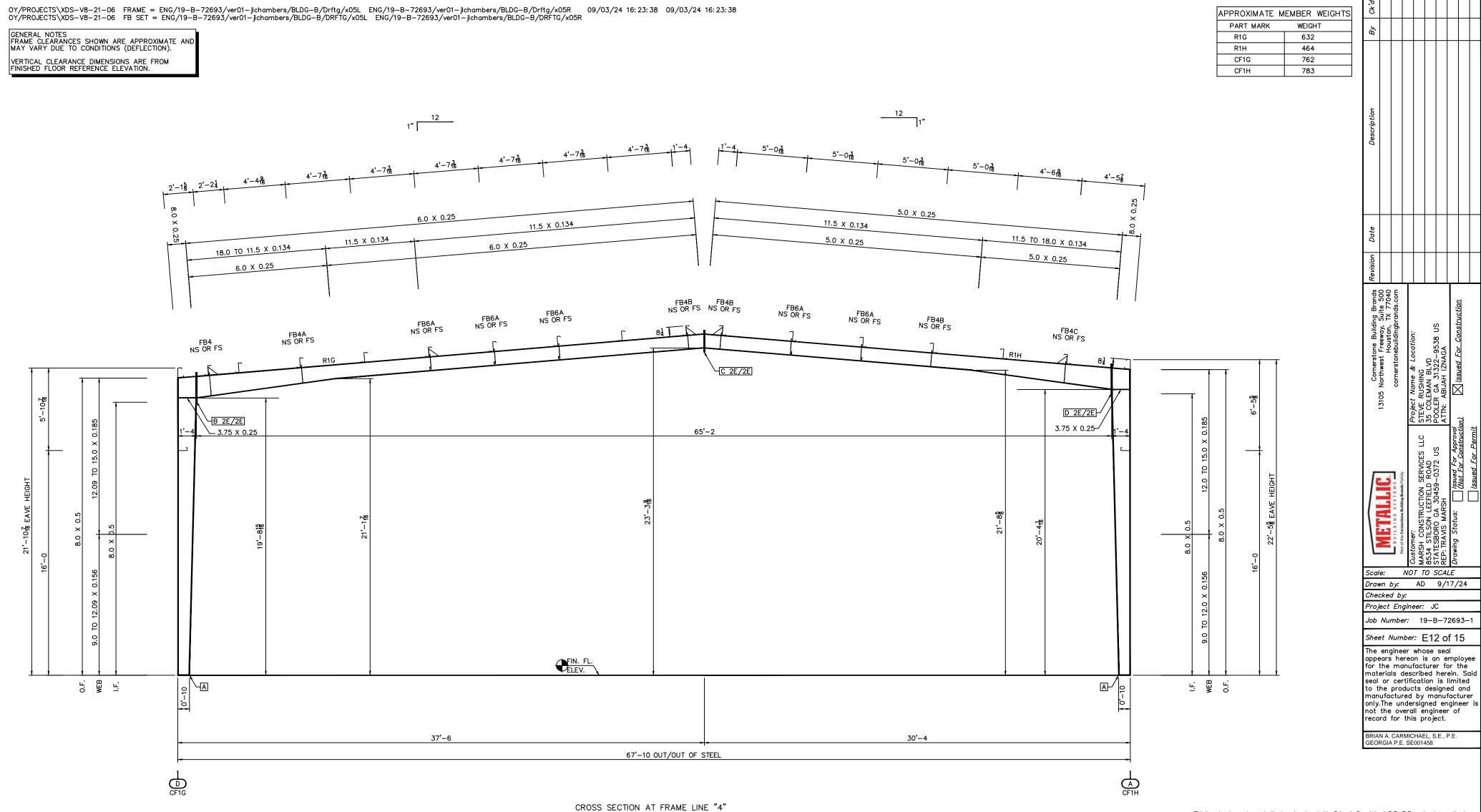


	PLATE SIZE	TABLE	SPLI	CE BOLT	TABLE	
CON	I. LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	BEVE WASH
Α	8 X 0.375 X 0'-10					
В	8 X 0.5 X 2'-1 ⁵ / ₁₆	6 X 0.5 X 2'−0 13	(8) ¾ X 2¼	A325 B&N	0	0
С	6 X 0.375 X 1'-6 ³ / ₁₆	6 X 0.375 X 1'-6 ³ / ₁₆	(8) ¾ X 1¾	A325 B&N	0	0
D	8 X 0.5 X 2'-1 5	6 X 0.5 X 2'−0 13	(8) ¾ X 2¼	A325 B&N	0	0



OY/PROJECTS\XDS-V8-21-06 FRAME = ENG/19-B-72693/ver01-jlchambers/BLDG-B/Drftg/x03L 08/29/24 18:04:37

GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).

VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION.

APPROXIMATE N	<i>I</i> EMBER	WEIGHTS
PART MARK	WEIGH	1 T
RKW1E	418	
CKW1EA	563	
CKW1EB	563	

7,10	א א										
	py										
O control of the	Description										
450	vevision Date										
20,00	nevision										
		13103 Northwest Freeway, Suite 300 Houston, TX 77040	Cornerstonebuildingbrands.com		Designation	MARSH CONSTRUCTION SERVICES LLC	8534 STILSON LEEFII	STATESBURG GA 30459-0372 US REP: TRAVIS MARSH	Drawing Status: İşsued For Approval	[[Not For Construction] Seven For Construction	Issued For Permit
	cal cau	e: vn L	b <i>y:</i>	Ν	0	<i>T 1</i>		<i>SCA</i> 9/	<i>LE</i> 17/	′24	
Cl	hec	kec	d b		'n	eer:	, 14	n.			
		Nui						3–7	269	93-	1
Sł	nee	et N	lum	ь	ei	: E	<u>Ξ</u> 1:	3 o	f 1	5	
fo m se to m or	Sheet Number: E13 of 15 The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.										

				1,-2		Ż	- -	(4) ¾ Ø X 1¾	A325 BOL	 .TS			(4) ¾"ø X 1	3 A325 E	OLTS	<u> </u>	Ż	,				
(4)	₹ 3"	øχ	1 3 /	A325 BOI	_TS				RKW	/1E								(4)	₹"ø X	1≩ A	325 B0	OLTS
22'-5\$	8.0 X 0.3125	11.5 X 0.25	8.0 × 0.375		_			19'-9g CLEAR							C 3E/3E				8.0 X 0.375	11.5 X 0.25	8.0 X 0.3125	
		11.5 X 0.156	8.0 × 0.25								∕ ►FIN. F	'L				CKW1EB			8.0 X 0.25	11.5 X 0.156		
	0	· (MER MER	<u>r.</u>	41/4		90	A			17'-3	38			A -	1,-04		41/4	<u></u>	WEB	0.F.	
					(1 2 1BB			<u>_C</u>	ROSS SE	CTION AT	PORTAL F	RAME_			() A				

AT GRID LINE "A"

8.0 X 0.25 18.0 X 0.134 8.0 X 0.25

PC28 —

This item has been electronically signed and sealed by Brian A. Carmichael, S.E., P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

	PLATE SIZE	TABLE	SPLICE BOLT TABL					
CONN.	LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	B		
Α	8" X 0.375 X 1'-016					Ī		
В	8" X 0.375 X 11'-6¼	8" X 0.375 X 2'-08	(12) ¾ X 1¾	A325 B&N	0	Ī		
С	8" X 0.375 X 2'-05	8" X 0.375 X 11'-64	(12) ¾ X 1¾	A325 B&N	0	Ī		
						_		



BRIAN A. CARMICHAEL, S.E., P.E. GEORGIA P.E. SE001458 (4) ¾"ø X 1¾ A325 BOLTS

PC28 ~

(4) ¾"ø X 1¾ A325 BOLTS ✓

OY/PROJECTS\XDS-V8-21-06 FRAME = ENG/19-B-72693/ver01-jlchambers/BLDG-B/Drftg/x04L 08/29/24 18:06:06

GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).

VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION.

APPROXIMATE M	MEMBER WEIGHTS
PART MARK	WEIGHT
RKW1F	418
CKW1FA	546
CKW1FB	546

_ PC28

(4) ¾"ø X 1¾ A325 BOLTS

ι .				_						Τ
By Ck'd										
Ву										
Description										
Date										
Revision										
Cornerstone Building	Cornerstone Building Brands Revision 1 13105 Northwest Freeway, Suite 500 Houston, TX 77040 cornerstonebuildingbrands.com			Project Name & Location:	STEVE RUSHING	35 COLEMAN BLVD	ATTN: ABIJAH IZNAGA	┑╮	ion)	<u>vit</u>
	METALLIC	Does Affin Consentant Building Broads Comply		Customer:			REP: TRAVIS MARS	Drawing Status: Issued For Approva	Not For Construct	Ssued For Permi
Scal Drav		by:	N	0	7 AD		9/	<i>LE</i> 17/	24	
Chec Pro i	ckec	lb,		76	er.	.10				
Project Engineer: JC Job Number: 19-B-72693-1 Sheet Number: E14 of 15 The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.										

11.5 × 0.25 8.0 × 0.375 21'-10 1 6	B 3E/3E	C 3E	/3E		8.0 × 0.375	11.5 X 0.25	8.0 x 0.3125	
11.5 × 0.156 8.0 × 0.25	CKWIFA 19'-11 CLEAR			CKW1FB	8.0 × 0.25	11.5 X 0.156	8.0 ×	
4.1 O O E	1'-01	17'-3 ³ / ₈ 20'-0	A 1'-	-018 2 CF1/2	 . F.i	WEB	0.F.	

CROSS SECTION AT PORTAL FRAME
AT GRID LINE "D"

8.0 X 0.25 18.0 X 0.134 8.0 X 0.25

This item has been electronically signed and sealed by Brian A. Carmichael, S.E., P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.



BRIAN A. CARMICHAEL, S.E., P.E. GEORGIA P.E. SE001458

	PLATE SIZE	TABLE	SPLI	TABLE	E		
CONN.	LOW SIDE	HIGH SIDE	QTY. SIZE	TYPE	HARDENED WASHERS	BEVELED WASHERS	
Α	8" X 0.375 X 1'-0 ¹ / ₁₆						
В	8" X 0.375 X 10'-11 ¹ / ₁₆	8" X 0.375 X 2'-05	(12) ¾ X 1¾	A325 B&N	0	0	
С	8" X 0.375 X 2'-05	8" X 0.375 X 10'-1116	$(12) \frac{3}{4} \times 1\frac{3}{4}$	A325 B&N	0	0	



January 8th, 2025

Mark A. Boswell, P.E. Boswell Design Services Inc. 103 Nassau Dr. Savannah, GA 31410

Dear Mr. Boswell,

I am pleased to provide you with a recommendation for <u>Approval</u> of the Site Plans submitted for the Covered Shed Addition at 55 Coleman Blvd, which can be seen below.

Submittal Documents: Site Development Plans Jan. 2024

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the city, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item on the plan. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

The Owner and the Design Consultant are fully responsible for ensuring that the project and site are constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply with all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the proposed Covered Shed Addition is in general conformance with the City of Pooler's applicable standards, codes and ordinances. In concurrence with City Staff, we hereby recommend <u>Approval</u> of the site plans.

Please contact me if you have any questions. I can be reached via email or phone at tshoemaker@eomworx.com or (912) 445-0050 ext. 4400.

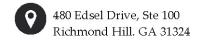
Sincerely.

Trevor Shoemaker

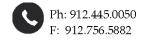
Trevor Shoemaker

Project Manager

EOM



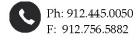






CC: Nicole Johnson; Director of Planning & Development – City of Pooler Marcella Benson; City Planner- City of Pooler
 Ryan Jarles; City Planner – City of Pooler
 Rachael Brown; Zoning Administrator – City of Pooler
 Liberto Chacon, PE; Sr. Vice President of Operations – EOM







PLANNING & ZONING STAFF REPORT

Site Development Plan for 100 William Blakely Crossing

Project:	#AA1173/231558
P&Z Meeting Date:	January 13, 2025
City Council Meeting Date:	January 21, 2025
Applicant and Authorized Agent:	JSSL Holdings LLC/Travis Burke, Coleman Company
Location (Address):	100 William Blakely Crossing/Lot A Blakely Commons
Parcel (PIN):	51009 01116
Acreage:	Approximately 4.786 acres
Zoning:	PUD (Savannah Quarters PUD)
Proposed Use:	Construction of a 93 room hotel and associated infrastructure.
,	
Staff Recommendation:	Approval
Planning & Zoning Commission:	After review of the application, P&Z recommends approval of the request.
Recommended Motion:	"After review of the criteria, move for approval of the request."
Zoning Action Standards:	 Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the Future Land Use Map (FLUM) designation and Character Area. Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.
- 3. Whether the site plan provides for adequate space for offstreet parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
- 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to the development standards for site improvements.
- 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for site improvements, and buffer standards.
- 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI;
 Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
- 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by public services and for current or projected needs.
- 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - The site plan complies with the provisions related to buffer and screening standards.
- 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.

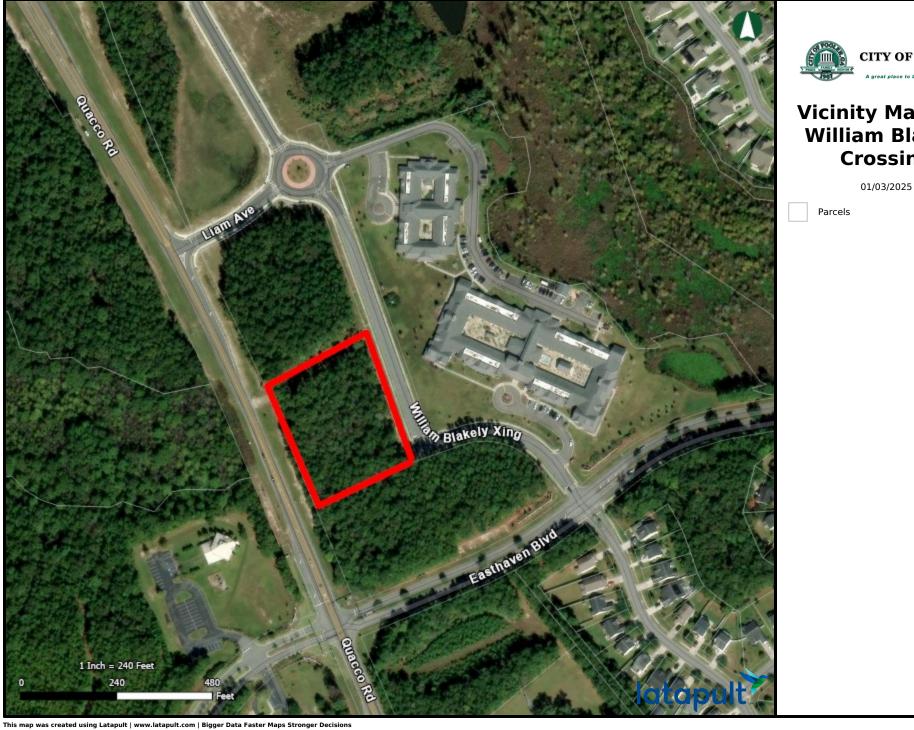
- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
- 10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval of the request.**

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter





Vicinity Map 100 William Blakely Crossing





ZONING DEPARTMENT

Project # 231558

Site Plan Application

(page 1 of 3)

Applicant JSSL Holdings LLC (Attn: Sunyung Lee)								
Mailing address 3700 Crestwood Pkwy, Suite 10	00							
City Duluth	State GA Zip 30096							
Telephone (334) 782-0370	Fax ()							
Property Owner(s) JSSL Holdings LLC								
Mailing address 3700 Crestwood Pkwy, Suite 10	000							
City Duluth	State GA Zip 30096							
Telephone (334) 782-0370	Fax ()							
Contact Person(s) Coleman Company - Travis Burke								
Mailing address 1480 Chatham Parkway - Suite 1	00							
City Savannah	State GA Zip 31405							
Telephone (912) 200-3041	(tburke@cci-sav.com							
Location address 100 William Blakely Crossing								
Current Zoning PUD Parcel Ident	ification Number 51009 01116							
Please provide a brief description of the proposed land development the subject property:	opment activity and use of land thereafter to take a place on							
Construction of a 93 room hotel and associate	ed infrastructure							
<u> </u>								

CEIVEL NOV 0 1 2023

SITE PLAN APPLICATION (page 2 of 3)

tions Participating Contractors										
Previous Zoning Actions			on Requested	Action Taken						
Campaign Contributions	of the Planning Commission than \$250.00? No. I have not made	n, during the past two	or more Pooler City Off o years that when com ons to any Pooler City s to one or more Poole Dollar Value	· *						
	If more space is needed for either contractors or campaign contributions, attach another copy of this form. I attest that all the information provided is true to fact:									
ature & Date (required)	Please check if NRCS Approval	s needed		Applicants Signature) and date submitted.						
Signature & Date (required)	Date: 10 / 13 /	2023	Attest: #	ning Administrator or Agent thereof)						

Attachment B RECEIVED



ZONING DEPARTMENT

SITE PLAN APPLICATION (page 3 of 3)

Georgia Dept. of Transportation (GDOT)	All applications in which property being subdivided/developed that require an entrance onto a State or Federal Highway, a permit is required by the Georgia Department of Transportation. Applicants are required to submit a plat to GDOT for review. The application will not be considered by the Pooler Planning & Zoning Commission until GDOT has commented. If applicable, the comments must accompany the application.								
Covenants/Deed Restrictions	A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached. X_There are no added restrictions or subdivision covenants on this property.								
Certifications	1. I hereby certify that this proposed subdivision/site plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided/developed. 2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding. (Attach a copy of receipt) 3. I hereby certify that I am the owner of the property being proposed for subdivision/development. 4. I hereby certify that all the information pertained in this application is true and correct. Signature of Owner Date 10/13/2023								
Signature & Date (required)	Signature: Date: 10/13/2023								



Name of applicant:



ZONING DEPARTMENT

City of Pooler

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning, Conditional Use, Variance, Site Plans & Subdivision Submittals

I swear that I am the owner of the property which is the subject matter of the attached application, as shown in the records of Chatham County, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance, conditional use, rezoning of property or a site plan submittal.

Coleman Company, Inc. - Travis Burke, P.E.

Address: 1480 Chatham Park	way, Suite	100			
City & State: Savannah, GA	l with	×15	Zip	31405	
Telephone number: 912-210-30	141				
			a	an	
				Signature	of owner
Personally appeared before me Who swears that the information of best his/her knowledge and belief.	contained in		tion is true	and correct	et to the
hurtes	lo				
Notary Publishment					
ATE OF ALABAMININ					

PARID: 51009 01116 SOUTHWEST QUADRANT DEVELOPMENT COMPANY L

NOV 0 1 2020

0 QUACCO RD

Tax Commissioner Summary

ZONING DEPARTMENT

Status ACTIVE Alternate ID 3236467 Bill # 3236467 Tax District/Description 050-POOLER

PT LOT 13-A REMAINDER SUB OF TRACT 13 SW QUADRANT OF SAVANNAH

QUARTERS BOOK 51 PG 693 8.123AC

Appeal Status

Legal Description

Parcel Status

Parcel Deferral Status Exist Active No

Years Support

Total Millage Rate 31.9290

Parcel Information

Property Class Mortgage Company Exemptions

C4 - Commercial Small Tracts

Most Current Owner

Current Owner

Co-Owner

Care Of

Mailing Address

JSSL HOLDINGS, LLC

3700 CRESTWOOD PARKWAY SUITE 1000 DULUTH GA 30096

Digest Owner (January 1)

Co-Owner Care Of Mailing Address

SOUTHWEST QUADRANT DEVELOPMENT COMPANY L

BOX 2309 PAWLEYS ISLAND SC 29585

Tax (Penalties and Interest Included through Current Date)

Year	Cycle	Billed	Paid	Due
2023	1	17,117.77	-8,688.09	8,429.68
2022	1	17,376.72	-17,376.72	0.00
2021	1	18,373.36	-18,373.36	0.00
2020	1	18,268.28	-18,268.28	0.00
	Total:	71,136.13	-62,706.45	8,429.68

Payment Information

Payment Sequence	User ID Location	Effective Date Source	Business Date Pymt Type	Payment Applied	Tolerance/ Overpayment	Payment Methods	Total Payment
4164055067	TSHUSBAND-2683	07/05/2023	07/05/2023	\$8,688.09	\$0.00	CHECK/8,688.09	\$8,688.09
	CASHIER	MAIL	P23		\$0.00		

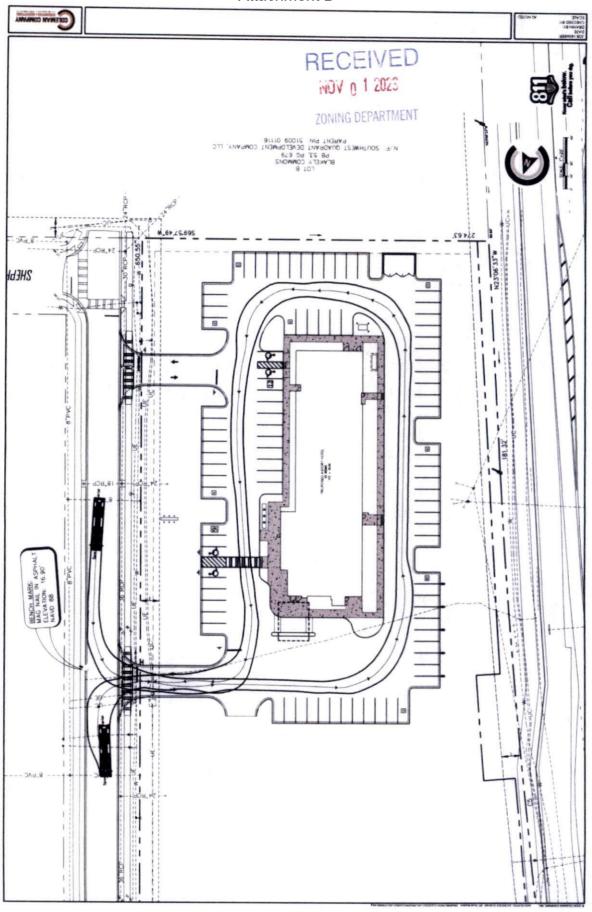
Payer Details

Payment Sequence

User ID Location **Effective Date** Source

Total Payment

Payer Information



SURVEYORS ENGINEERS

13°C IVISION OF AN 8,123 ACRE PORTION OF LOT 13-A REMAINDER, LOT AMON AREA, SOUTHWEST QUADRANT OF SAVANNAH QUARTERS 5 SUBDIVISION OF AND CON 8TH G BEING A SUBD

G.M. DISTRICT, CITY OF POOLER, CHATHAM COUNTY, GEORGIA

PREPARED FOR: JSSL HOLDINGS, LLC

JOB NUMBER: DATE: DRAWN BY: CHECKED BY: SCALE:

CNR 1" = 60"

23-245

09/21/2023

MINOR SUBDIVISION

SHEET:

DON EDWARD TAYLOR, JR.

GA REG. LAND SURVEYOR NO. 3417

COLEMAN COMPANY, INC.
CERTIFICATE OF AUTHORIZATION; LSF 1167

FORTH IN O.C.G.A. SECTION 15-6-67.

ADJUSTED BY LEAST SQUARES:

PLAT ERROR OF CLOSURE: 1/327,755

FIELD ERROR OF CLOSURE: 1/80,096





City of Pooler - PLAN REVIEW CHECKLIST

PROJECT I	NAME:	Lot A - Blakely Commons	
DATE: 10	0/13/20	23	

Please address each item below using an "ok" or "n/a", and indicate what plan sheets the item can be located on. This checklist is intended to serve as a guide for a complete site plan application but does not consist of all City standards. All City of Pooler Code of Ordinance requirements must be met.

BASIC ENGINEERING INFORMATION

- COV 1. OK Development name; If not obvious, add a description of the development
- COV 2. OK Location of site / location map: Sufficiently detailed to pinpoint the site's location
- COV 3. OK Date of plans with space for revision dates
- C0.0 4. OK Name and contact information of the engineer and engineering firm responsible for the plans
- C0.0 5. OK Name and contact information of owner, authorized agent of the owner, and/or developer
- C0.0 6. OK 24-hour contact with phone number
- COV 7. OK Signed and dated P.E. stamp or other licensed professional as allowed by law
- COV 8. OK Sheet index
- CO.0 9. OK Property size, disturbed area, impervious area, property zoning, maximum building height, proposed square footage, proposed height
- C1.0 10. OK Show property boundaries with metes and bounds descriptions
- ALL 11. OK North arrow, graphic scale
- C1.0 12. OK Show existing site features of the property, existing contours at 1-foot intervals (Appendix A, Article V, Section 4 C), existing buildings, parking, driveways, undeveloped areas, etc
- C1.0 13. OK Identify the ownership and use of all adjacent surrounding properties
- C1.0 14. OK Show adjacent roads and curb cuts within 500 feet (Appendix A, Article V, Section 4 C)
- C1.0 15. OK Name of adjacent roads. Route number if state or federal route (Appendix A, Article V, Section 4 C)
- C1.0 16. OK Show and label the right-of-way of adjacent roads. (Appendix A, Article V, Section 4 C)
- C1.0 17. OK Existing improvements inside adjacent road rights-of-way such as turn lanes, drainage systems, sidewalks/pathways, utilities, and any other items that may have an impact on this development

- C1.018. OK Show existing drainage features on or around this site that may impact the development: creeks, ponds, ditches, swales, buffers, pipe systems, drainage easements, existing detention ponds, lakes, wetlands, floodplain limits, etc
 - 19. N/A Indicate whether or not FLOODPLAIN exists on the site. Provide a FEMA map reference and date of FEMA map
 - 20. <u>N/A</u> Indicate whether or not STATE WATERS exist on the site and if wrested vegetation is present. If State waters, with wrested vegetation, are present on site, delineate required buffers, extending from the wrested vegetation. (Georgia EPD jurisdiction)
 - 21. N/A Indicate whether or not WETLANDS exist on the site. All wetlands shall be delineated on the site plans and identified as jurisdictional or non-jurisdictional. If applicable, show required buffer (Corps of Engineers jurisdiction)
- C1.0 22. OK Location of existing utilities (Appendix A, Article V, Section 4 C 5)
- C1.0 23. OK Easements existing upon the property
 - 24. N/A Provide cut/fill computations for all proposed grading in the floodplain. If the cut/fill calculations result in a net fill, provide FEMA no- rise certification, accompanied by the calculations utilized to perform analysis (NFIP 60.3(d)(3)).

PROPOSED DEVELOPMENTS

- 1. OK New Developments & redevelopments reminder: Please assure the bonds are provided in accordance with 42-183.8 (stormwater), 42-204.1 (landscaping), and 74.136 (sidewalks)
- 2. OK The site plan shall provide all pertinent data for proposed building construction or expansion, proposed parking, open areas, landscaping. (Appendix A, Article V, Section 4 C)
- C2.0 3. OK Show building setback lines and buffers from property lines and street right-of-way lines.

 (Appendix A, Article V, Section 4 C)
 - 4. OK For commercial and industrial developments, provide details of the proposed driveway(s) onto the public rights-of-way. This may need to be at an enlarged scale to show all necessary information
- C2.0 5. N/A Show sidewalk that is to be constructed or extended; in accordance with Appendix B, Article VI, Section 601.02. Include the City's sidewalk detail
- C2.0 6. N/A Show location of freestanding signage if proposed. Make sure intersection sight distance is not impacted
 - 7. OK Show interior traffic pattern
- CE 8. OK Erosion control plans in accordance with State and local ordinances. Checkoff list is required if disturbed area is > 1 acre
 - 9. <u>N/A</u> GDOT permit is required if any work is proposed in a State or US right-of-way. A copy of the approved Georgia DOT encroachment permit shall be required prior to obtaining a land disturbance permit
 - 10. OK At least two benchmarks shall be established within a subdivision. Such benchmarks shall be at opposite corners of the property being subdivided. Benchmarks shall be included on site development plans with coordinates and elevation (Appendix B, Article VI, Section 607)

- 11. OK Show all required easements (around utilities, around drainage structures, 25' access easements, etc)
- 12. OK Greenbelt required as a buffer between incompatible zonings (Appendix A, Article III, Section 27)
- 13. OK Provide a fire access road meeting the requirements of the Fire Code. (Exceptions exist, but generally a paved road extending to within 150' of all portions of the facility with a minimum width of 20 feet and with a vertical clearance of 13'6"). See IFC 503
- 14. N/A Show location of Mailbox Kiosk and provide details demonstrating it is ADA compliant
- 15. OK Provide building elevations and proposed architectural materials or proposed architectural materials if no elevations exist
- 16. OK Provide Phasing Plan when project is proposed to be constructed in phases (multi building sites)
- 17. OK Provide site lighting plan for all proposed lighting.
- 18. OK Provide Traffic Impact Study or technical memo for traffic

NEW STREETS

- 1. N/A If new streets are to be private, clearly indicate this
- 2. N/A An identifying name of each new street with the proposed right-of-way
- 3. N/A Street alignment to be in conformance with the approved Preliminary Plat
- 4. N/A Plan and profile of proposed streets; include profile grades, vertical curve lengths, K factors, etc
- 5. N/A The maximum change in grade that does not require a vertical curve shall be as follows: 20 mph -1.2%, 25 mph -1.1%, 30 mph -1.0%, 35 mph -0.9%, 40 mph -0.8%, 45 mph -0.7%, 50 mph -0.6%, 55 mph -0.5%, 60 mph -0.4%, 65 mph -0.3%. If the cumulative effect of vertical grade breaks violates stopping sight distance criteria, these values shall be reduced
- N/A Minimum street profile grade is 0.3% (Chapter 74, Article V, Section 74-133f)
- OK Roadway pavement shall at a minimum meet the requirements outlined in the City of Pooler Standards and Specifications unless a geotechnical engineer requires a thicker pavement section more suitable for the proposed use of the road. (Chapter 74, Article V, Section 74-133b and c)
- 8. OK Provide the City's standard details that relate to street construction (street typical section, pavement specifications, curb detail, sidewalk detail, etc.)
- 9. OK A Neighborhood Grading and Drainage Plan is required for all subdivisions. (Appendix B, Article VI, Section 601.02)
- 10. OK Demonstrate that intersection sight distance is achieved
- 11. OK Show the location of all proposed R/W monuments "Stone or concrete monuments four inches in diameter or square, 30 inches long, with a flat top, which shall be set at each street corner, and at all points where the street lines intersect the exterior boundaries of the subdivision, and at the P.C. and P.T. of each street. The top of the monuments shall contain a metal pin or be scored with an indented cross to identify the location." (Appendix B, Article VI, Sec. 605)

- 12. OK The city will not accept for maintenance any unpaved street or road. (Chapter 74, Article V, Section 74-134)
- 13. N/A Show the location of all proposed road signs
- NOV 0 1 ZUZE
- 14. OK Show the location of all proposed pavement markings NING DEVACE
- 15. OK All pavement markings and other traffic control items shall be in accordance with the latest edition of the MUTCD on both public streets and private streets that are "open to public travel". (MUTCD Introduction, page I-1, paragraph 03)
- C2.0 16. OK Commercial developments: Show traffic control items (directional arrows, stop bars, stop signs, etc)
 - 17. OK Label the curb radius at intersections
 - 18. OK Gutter spread shall not extend beyond the center of the travel lane for 10-year design storm event
 - OK Ensure that the season high groundwater table elevation is a minimum of 24 inches below the bottom of the base course for proposed streets

REQUIRED NOTES:

Include the following notes as applicable to the project:

- 1. OK "In case of conflict between these plans and the City of Pooler's ordinances, standards, specifications or details, the City of Pooler requirements shall be required."
- 2. OK Add the following note when new public streets are being constructed: "Laboratory compaction, stability and density tests are required for the pavement with compression for the concrete curb and gutter." (Chapter 74, Article V, Section 74-133g)
- 3. OK Add the following note when new public streets are to be constructed: "Construction will be performed under the supervision of a registered engineer." (Chapter 74, Article V, Section 74-133j)
- 4. OK "All road signage and pavement markings shall be in accordance with MUTCD specifications." (MUTCD Introduction, page I-1, paragraph 03)
- 5. OK_Thermoplastic pavement markings are required within right of way (Standard Specifications 02500.2.06)
- 6. OK When new public streets are being constructed, include the following: Add a note or sufficient information on the plans to indicate that Petromat, Supex or other suitable material is required within 50 feet of intersections. (Appendix B, Article VI, Section 601.02)
- 7. OK Select fill SHALL be use in all roads to be dedicated to the City
- OK Road fill shall be compacted to 100% standard proctor or 95% modified proctor (ASTM D698 or ASTM D1557)
- 9. N/A Traffic signs installed inside the public R/W must have High Intensity or Diamond Grade Sheeting
- 10. N/A Street name signs shall be provided by the developer. (Chapter 74, Article V, Section 74-135)
- 11. OK The owner must certify that all land disturbing and development activities will be completed

in accordance with the approved stormwater management design plan (Chapter 42, Article V, Section 42-183.4(6))

12. OK The designer must certify that the design meets the requirements of the City of Pooler and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda (Chapter 42, Article V, Section 42, 183(4(3)) 2023

DRAINAGE:

ZONING DEPARTMENT

References: City of Pooler Code of Ordinances, Chapter 74, Article V, Section 74-132; Chapter 42, Article V, Section 42-156; Appendix B, Article VI, Section 602

- 1. OK Internal subdivision drainage to be designed for a minimum of a 10-year 24-hour storm event with immediate runoff. (Chapter 74, Article V, Section 74-132i)
- 2. N/A Storm drain pipe beneath city maintained streets shall be a minimum of 18 inches in diameter and shall be RCP. (Chapter 74, Article V, Section 74-132a)
- 3. OK Storm side-drain under driveways and walkways shall be 15 inch minimum. Plastic culverts are acceptable but shall have concrete headwalls to protect the pipe ends. (Chapter 74, Article V, Section 74-132b)
- 4. OK Metal pipe is not permitted in the city's rights-of-way or easements. (Chapter 74, Article V, Section 74-132c)
- 5. OK_Provide a plan and profile of the proposed storm drainage system; Show the hydraulic grade line for the applicable design-year storm, for the full extent of the stormwater conveyance system. The high water elevation must be below street elevation for the design-year storm event. Show all underground utility crossings, with the required vertical separation. (Chapter 42, Article V, Section 42-183.4)
- 6. OK Lot drainage shall be from the rear to the front of lots; 0.5% grade minimum. Exceptions will be considered. (Chapter 74, Article V, Section 74-132d)
- 7. OK Side lot drainage shall be piped; ditches on side lot lines are not permitted. Exceptions will be considered. (Chapter 74, Article V, Section 74-132e)
- 8. OK All drainage ditches/canal shall have a maintenance easement. The structure itself shall be in an easement with an additional 25-foot access easement on one side for mechanical cleaning access purposes. Side slopes shall be grassed and shall be 2:1 or flatter. Side slopes shall be constructed in such a manner that they do not erode and can be maintained with riding grass cutting equipment. The soil type encountered will be considered in selecting the proper slope. Slope approval shall be at the discretion of the city, with a laboratory report on the angle of repose. (Ch 74, Article V, Section 74-132f & h)
- 9. OK A swale is a drainage feature that receives stormwater from sheet flow and/or overland flow. Storm drainage pipe or gutter flow shall not discharge into a swale. (Chapter 74, Article V, Section 74-132g)
- 10. OK Swales less than one foot deep shall be paved a minimum of two feet wide. Swales greater than one foot deep but less than three feet deep shall have a 4(H):1(V) side slope with a permanent stand of grass established on both slopes. (Chapter 74, Article V, Section 74-132g)
- 11. OK A drainage swale or ditch greater than three feet deep shall be piped unless it is a primary or secondary outfall. (Chapter 74, Article V, Section 74-132g)
- 12. OK The 100-yr floodplain shall be delineated on the site development plans, with Base Flood

General:

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- C3.0 1. OK Look at the overall layout of the water lines. The plan needs to show the location of where it connects to an existing system with all the usual information ZONING DEPARTMENT
- C3.0 2. OK All utilities are to be installed underground
 - 3. N/A Utilities shall not be placed longitudinally under street pavement. (Chapter 74, Article V, Section 74-138 c)
- C3.04. OK Minimize unnecessary water/sewer crossings to the extent possible. Minimum parallel separation: 10' horizontal and 18" vertical separation between water & sewer (Sanitary & Storm)
 - 5. OK Water mains must be DIP when crossing under storm or sewer mains. Include detail W-16
 - 6. OK Provide the City-approved street typical section detail that shows the placement location of utility lines. (Chapter 74, Article V, Section 74-139 c)
 - 7. OK Developments must be served by public water and public sewers when available. (Appendix B, Article VI, Section 606.01)
 - 8. N/A Plans for wells or septic systems shall require approval by the Chatham County Health Department. (Appendix B, Article VI, Section 606.02)
 - 9. OK All water and sewer lines running under streets/sidewalks shall be sleeved. (Appendix B, Article VI, Section 606.03)
 - 10. OK All publicly owned utilities shall be installed in the road rights-of-way or approved access easements. (Appendix B, Article VI, Section 604 and 606.04)
 - 11. OK Sanitary sewer, water mains, service laterals or other publicly owned utilities shall not be installed behind or between lots without the express approval of the City of Pooler. If allowed the utility will need to be in a proper easement. (Appendix B, Article VI, Section 606, Utilities 2)
 - 12. OK A #12 gauge solid copper tracing wire shall be installed on all water mains, water laterals, fire hydrants, post hydrants, and/or blow offs and along all sanitary sewer lines, laterals, and force mains. (Appendix B, Article VI, Section 606)
 - 13. OK If water main, gravity sewer main, or force main are proposed, provide profiles on site plan. Include all underground utility crossings with required vertical separation
 - 14. OK Submit all applicable outside agency and other jurisdiction approvals such as LDA, Chatham County, City of Savannah and Georgia EPD forms (forms extending water and sewer main lines)

Water:

- 1. Fire hydrant spacing:
 - 300 feet maximum in multi-family, commercial & industrial zonings
 - 500 feet maximum for single family; (Appendix B, Article VI, Section 606.03)
 - 250 feet spacing in mobile home parks (Appendix A, Article III, Section 10 L)
- 2. N/A All fire hydrants shall be painted yellow. (Appendix B, Article VI, Section 606)
- 3. N/A Provide Detail W-03 Standard Fire Hydrant Assembly (Appendix B, Article VI, Section 606)
- 4. N/A Provide an engineering report for the proposed water distribution system. Calculations shall, at a

minimum, include needed fire flow, expected domestic demand, and fire hydrant flow test results demonstrating that the required fire protection will be achieved on site. If extending water main, a complete water distribution system model and analysis shall be provided 1 2023

- 5. N/A Residential water laterals: 1" diameter minimum. (Appendix B, Article VI, Section 606)
- 6. N/A Residential water laterals shall be installed no more than 5' feet from the property corner. (Appendix B, Article VI, Section 606 Water 16)
- 7. N/A The water mains at the cul-de-sac shall be installed around the cul-de-sac thereby eliminating the laterals from being installed under the cul-de-sac. (Appendix B, Article VI, Section 606 Water 14)
- 8. N/A Water mains in subdivisions shall be 8" diameter minimum. In cul-de-sacs without fire hydrants, the minimum size can be reduced to 4". (Appendix B, Article VI, Section 606)
- 9. N/A When feasible all water mains shall be looped into the nearest main of the same size or larger size as the line of origin. (Appendix B, Article VI, Section 606)
- 10. OK Cut-off valves will be located at all tees where lines are two inches or larger. (Appendix B, Article VI, Section 606.03)
- 11. OK All gate valves 4" or larger that are installed on a transmission line shall be installed in a manhole. All gate valves at the entrance of a subdivision that tie into a transmission line shall be installed in a manhole. All other gate valves can be installed in a cast iron valve box with a concrete collar and concrete value marker posts. (Appendix B, Article VI, Section 606 Water 6)
- 12. OK All valves shall have a concrete monument with "W/Valve" inscribed on two sides of the monument, installed no more than 6" away from the valve. (Appendix B, Article VI, Section 606 Water 9)
- 13. OK All meter connection points must have an approved, reduced pressure backflow device. This includes fire lines, irrigation lines, and domestic supply lines. (Appendix B, Article VI, Section 606)
- 14. OK The private water main starts at the property line. Therefore, meters and back flow preventers shall be placed at the property line
- 15. OK Minimum cover 3 feet. (Standard Specifications Section 02700 3.01 D)
- 16. \underline{OK} Service laterals under roads are to be sleeved and at least 30" beneath the road surface. (Standard Specifications Section 02700 3.01 F 2)
- 17. OK Pipe material: (City of Pooler Standard Specifications, Section 02700 and 02730)

For line size < 4" polyethylene pipe, 200 psi, SIDR-7CTS

For line size 4" - 12" PVC C900 DR 18

For line size > 12" DIP is required. ANSI / AWWA C151 A21.51 and thickness according to ANSI / AWWA C150 A21.50 for pressure class 250. Flange Pipe or Victaulic grooved pipe shall be Pressure Class 350. (Standard Specifications 02700 Section 2.01 A 2)

Sanitary Sewer:

- 1. N/A Sanitary manholes shall not exceed 350-foot spacing. (Appendix B, Article VI, Section 606, Sewer 1)
- 2. N/A 8 inches diameter minimum. (Appendix B, Article VI, Section 606, Sewer 3)
- 3. N/A If proposing a gravity sanitary sewer main, an engineering report shall be provided, with calculations

for expected demand and sewer pipe sizing

- 4. OK Minimum size sanitary lateral is 4". (Appendix B, Article VI, Section 606, Sewer 4)
- 5. OK Laterals shall connect directly to the manhole when possible entering at an angle of at least 90 degrees to the direction of flow. (Appendix B, Article VI, Section 606, Sewer 2)
- 6. OK Residential sewer laterals shall be installed within 15 feet of the property corner. (Appendix B, Article VI, Section 606, Sewer 9)
- OK Please assure that the sanitary sewer cleanouts are flood proofed and designed prevent infiltration of flood waters into the system (Appendix B, Article VI, Section 606.01 and Chapter 50, Section 50-91)
- 8. OK Use watertight manhole rings and covers within or below Base Flood Elevation + 1' (Standard Specifications.02720.2.02.G.2)
- OK Sewer laterals: Cleanouts should be provided every 100' and at the bends. Cleanouts located within the pavement should be traffic rated
- 10. OK Try to move manholes out of sidewalk
- 11. OK Pipe Material:
 - SDR 26 PVC sewer pipe meeting the requirements of ASTM D3034 for pipes 15" and smaller and ASTM F679 for 18" and larger
 - DIP manufactured in accordance with ANSI A21.51 with thickness according to ANSI A21.50
- 12. OK Min cover 3'
- 13. OK Drop manholes are required when the 'invert in' is 2.0 feet or more above the 'invert out'. The MH must be a 6' diameter precast MH and conform to ASTM C478. The drop pipe shall be the same size as the influent pipe. All hardware on ductile iron piping associated with drop manholes must be stainless steel. (Standard Specifications Section 02720 2.02)
- 14. OK Drop manholes inside and outside drop manhole details S-7, S-8
- 15. OK Sanitary sewer line minimum slope:

8"	0.40%	21"	0.10%
10"	0.28%	24"	0.08%
12"	0.22%	27"	0.07%
14"	0.17%	30"	0.06%
15"	0.15%	33"	0.05%
16"	0.14%	36"	0.05%
18"	0.12%	42"	0.04%

Grease Traps:

1. OK Grease trap is required for restaurants / eating establishments (any establishment with kitchen facilities). A sampling manhole shall be installed downstream of the grease trap and upstream of sanitary sewer main tie-in. Sampling MH shall be a minimum of 18 inches in diameter. Grease traps shall be sized at 20 gallons per seat, or a minimum capacity of 1,000 gallons and must be singular or in series and directly accessible from the exterior of the building. (Chapter 86, Article V, Division 4, Section 86-226 and 228)

Sanitary Sewer Lift Stations: N/A The City must approve lift station locations. Lift stations should not be located behind residential homes or commercial property. (Appendix B, Article VI, Section 606, Utilities 3) The lift station shall have a 25-ft (minimum) access lease ment from a paved public road. (Appendix B, Article VI, Section 606, Utilities 4 and 5) _The easement shall provide an all-weather access road at least 15 feet wide, constructed of 8inches of graded aggregate base with geo-textile fabric (or grid) if necessary to assure stability. (Appendix B, Article VI, Section 606, Utilities 5) __The immediate entrance at the paved public roadway to the access easement shall be constructed of a 15' x 15' x 4" thick concrete pad. The concrete shall be 4,000 psi @ 28 days fiber reinforced concrete mixture. (Appendix B, Article VI, Section 606, Utilities 6) The lift station access shall have a vehicle turn-a-round drive provided, unless it is deemed not necessary by the water and sewer superintendent. (Appendix B, Article VI, Section 606, Utilities 7) All lift stations, with three HP or larger motors, shall have a true three phase power supply. No single phase, rotophase, capacitor banks, shall be permissible. (Appendix B, Article VI, Section 606, Utilities 8) All lift stations shall be constructed with submersible pumps only. (Appendix B, Article VI, Section 606, Utilities 9) The city and its engineers shall approve the pump size and manufacturer. (Appendix B, Article VI, Section 606 Utilities 9) _All lift stations sites shall be fenced in. The minimum gate opening is 12-foot with a 180 degree gate swing. The fence material can be either wood or cyclone. All fences shall be of privacy manner. (Appendix B, Article VI, Section 606, Utilities 10) The mounting panel for the controls, etc., shall be constructed out of three-inch galvanized post and galvanized support brackets. (Appendix B, Article VI, Section 606, Utilities 11) All proposed Lift Stations shall be accompanied by an engineering report. The following information shall be included in the report: Title page – Title page should include the project name, date, developer/owner's name, the engineering firm preparing the plans and PE stamp. > Sewer system information - type, location and size of development Existing sewer system – location and type of gravity system the force main will discharge into > Future plans for sewer system - the number of lots this phase will encompass initially, if future phases will be constructed, and the extent to which the proposed system will serve future phases > Pump Station and Force Main Design Calculations - the Average Daily Flow (ADF), Peak Daily

Flow (PDF), Total Dynamic Head, Force Main (velocity produced in force main and maximum

Cycle Times – volume in wet well needed to turn primary pump on, cycle time for ADF, cycle

operating pressure) and Wet Well Buoyancy Calculation

time for PDF and total cycle time

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Force Mains: N/A

Reference: Appendix B, Article VI, Section 606 Utilities 12, Standard Specifications Section 02710 Show force main location and all associated appurtenances. All force mains shall be installed in the access easement or public road right-of-way Identify the size and material type of the force main pipe Manholes that are the termination point for force mains are be lined with Raven Lining Systems spray-in liner Force main markers are to be place every 500 feet and at change of direction. Attach the #12 solid copper tracing wire to each marker. (City of Pooler Standards & Specifications Section 02710.3.05) STORMWATER MANAGEMENT References: City of Pooler Code of Ordinances, Part 2, Chapter 42, Article V Georgia Stormwater Management Manual Coastal Supplement to the Georgia Stormwater Management Manual. (Chapter 42, Article V, Section 42-180.7) General Water quantity may be handled through a master system, water quality/run-off reduction needs to be addressed as part of the individual development site. Applicability and exemptions (Chapter 42, Article V, Section 42-180.3) 1. OK What developments do the City of Pooler Stormwater Management provisions apply to? (Chapter 42, Article V, Section 42-180.3 (1)) a. New development that involves the creation of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or b. Redevelopment that involves the creation, addition or replacement of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or c. New development or redevelopment, regardless of size, that is part of a larger common plan of development, even though multiple, separate and distinct land disturbing activities may take place at different times and on different schedules; or d. New development or redevelopment, regardless of size, that involves the creation or modification of a stormwater hotspot, as defined by the director 2. _____The following activities are exempt: (Chapter 42, Article V, Section 42-180.3 (2)) a. New development or redevelopment that involves the creation, addition or replacement of < 5,000 sf of impervious cover and that involves < 1 acre of other land disturbing activities b. New development or redevelopment activities on individual residential lots that are not part of a

larger common plan of development and do not meet any of the applicability criteria listed above c. Additions or modifications to existing single-family homes and duplex residential units that do not

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meet any of the applicability criteria listed above

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- d. Development projects that are undertaken exclusively for agricultural or silvicultural purposes within areas zoned for agricultural or silvicultural
- e. Maintenance and repairs of any green infrastructure or stormwater management practices deemed necessary by the director
- f. Any part of a land development project that was approved by the director prior to the adoption of this article
- g. Redevelopment activities that involve the replacement of impervious cover when the original impervious cover was wholly or partially lost due to natural disaster or other acts of God occurring after April 12, 2012
- 3. OK Redevelopment projects must handle stormwater run-off in at least one of the following methods. The method(s) selected must be acceptable to the City of Pooler (Section 42-184.8):
 - a. Reduce existing site impervious cover by at least 20 percent
 - b. Manage the stormwater runoff from at least 20 percent of the site's existing impervious cover in addition to any new impervious cover. Stormwater shall be managed with criteria selected, designed, constructed and maintained in accordance with the information presented in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - c. Provide off-site stormwater management practices

Stormwater Management DESIGN PLAN (Chapter 42, Article V, Section 42-183.4)

- 4. OKProvide a hydrologic analysis of the EXISTING conditions that includes: (Section 42-183.4 (1))
 - a. Existing conditions map
 - b. Describe the existing conditions of each on-site drainage area of the development site (e.g. size, soil types, land cover characteristics)
 - c. Describe the existing conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
 - d. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each on-site drainage area of the development site
 - e. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each off-site drainage area that contributes runoff to the development site
 - f. Documentation showing how the existing conditions hydrologic analysis was completed
- 5. OK Provide a hydrologic analysis of the PROPOSED conditions that includes: (Section 42-183.4 (2))
 - a. Proposed conditions map (Sec 42-183.2(4))
 - b. Describe the proposed conditions of each on-site drainage area of the development site (e.g. size, soil types, land cover characteristics)
 - c. Describe the proposed conditions of off-site drainage areas that contribute runoff to the

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development site (e.g. size, soil types, land cover characteristics) 1 2023

d. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each on-site drainage area of the development site ONING DEPARTMENT

- e. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each off-site drainage area that contributes runoff to the development site
- f. Documentation (e.g. model diagram) and calculations showing how the proposed conditions hydrologic analysis was completed
- 6. OK Provide a POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN that illustrates: (Section 42-183.4 (3))
 - a. Proposed topography
 - b. Proposed drainage divides and patterns
 - c. Existing and proposed roads, buildings, parking areas and other impervious surfaces
 - d. Existing and proposed primary and secondary conservation areas
 - e. Plan view of existing and proposed low impact development and stormwater management practices
 - f. Cross-section and profile views of existing and proposed low impact development and stormwater management practices, including information about water surface elevations, storage volumes and inlet and outlet structures (e.g. orifice sizes)
 - g. Plan view of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains)
 - h. Cross-section and profile views of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains), including information about invert and water surface elevations
 - i. Existing and proposed channel modifications (e.g. bridge or culvert installations)
- 7. OK Provide a post-construction stormwater management system narrative that includes information about: (Section 42-183.4 (4))
 - a. How post-construction stormwater runoff will be managed on the development site, including a list of the low impact development and stormwater management practices that will be used
 - b. It shall also include documentation and calculations that demonstrate how the selected low impact development and stormwater management practices satisfy the post-construction stormwater management criteria that apply to the development site, including information about the existing and proposed conditions of each of the drainage areas found on the development site (e.g. size, soil types, land cover characteristics)
- 8. <u>OK</u> Certification by plan preparer that the stormwater management design plan meets the requirements of the City's stormwater management ordinance and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda. (Section 42-183.4 (5))
- 9. OK _Certification by owner that all land disturbing and development activities will be completed in

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accordance with the approved stormwater management design alah. [Section 42-183.4 (6))

Inspection and Maintenance Plan: (Chapter 42, Article V, Section 42-183, 5 and Section 42-186.2)

- 10. OK An Inspection and Maintenance Agreement and Plan must be submitted. This document is a binding agreement signed by the applicant or owner that is binding on all subsequent owners unless the stormwater management system is dedicated to and accepted by the City. The plan must include the following:
 - a. Identification by name or official title the person(s) responsible for carrying out the inspection and maintenance
 - b. A statement confirming that responsibility for the operation and maintenance of the stormwater management system shall remain with the property owner and shall pass to any successive owner
 - c. A provision stating that, if portions of the development site are sold, legally binding arrangements shall be made to pass the responsibility for the operation and maintenance of the stormwater management system to the appropriate successors in title. These arrangements shall designate, for each portion of the stormwater management system, the person(s) to be permanently responsible for its inspection and maintenance
 - d. A maintenance schedule stating when, what, and how often routine inspection and maintenance will occur to ensure proper function of the system. (Section 42-186.2)

Off-Site Stormwater Management Practices (Chapter 42, Article V, Section 42-183.9)

- 11. OK Off-site or regional stormwater management practice must meet the following criteria:
 - a. Located on property legally dedicated to that purpose
 - b. Be designed and sized to meet the post-construction stormwater management criteria presented below
 - c. Provide stormwater quality and quantity control that is equal to or greater than that which would be provided by on-site green infrastructure and stormwater management practices
 - d. Stormwater management practices shall be installed, where necessary, to protect properties and drainage channels that are located between the development site and the location of the off-site or regional stormwater management practice
- 12. OK Submit a stormwater management design plan that demonstrates the off-site or regional stormwater management practice will not result in the following impacts:
 - a. Increased threat of flood damage or endangerment to public health or safety
 - b. Deterioration of existing culverts, bridges, dams and other structures
 - c. Accelerated streambank or streambed erosion or siltation
 - d. Degradation of in-stream biological functions or habitat
 - e. Water quality impairment in violation of state water quality standards and/or violation of any other state or federal regulations



Post-construction stormwater management (Section 42-1840 1 202)

- 1. OK Natural resources inventory (Section 42-184.1) Prior to the start of any land disturbing activities, including any clearing and grading activities, site reconnaissance and surveying techniques should be used to complete an assessment of the natural resources, both terrestrial and aquatic, found on a development site. The natural resources inventory shall be completed in accordance with the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual. The preservation and/or restoration of these natural resources may be assigned quantifiable stormwater management "credits" that can be used when calculating the stormwater runoff volumes (sections 42-184.3 through 42-184.7). The green infrastructure practices that qualify for these "credits," and information about how they can be used is provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual
- OK Green Infrastructure Practices (Section 42-184.2) Green infrastructure practices shall be used to the maximum extent practical
- 3. OK Stormwater runoff reduction (Section 42-184.3) The stormwater runoff volume generated by the runoff reduction storm event shall be reduced on-site. A system is presumed to comply with this criteria if:
 - a. It includes green infrastructure practices that provide for the interception, evapotranspiration, infiltration or capture and reuse of stormwater runoff, that have been selected, designed, constructed and maintained in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - b. It is designed to provide the amount of stormwater runoff reduction specified in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Manual
- 4. OK Water quality protection (Section 42-184.4) Post-construction stormwater runoff shall be adequately treated before it is discharged from a development site. Applicants can satisfy this criteria by satisfying the stormwater runoff reduction criteria (section 42-184.3). However, if any of the stormwater runoff volume generated by the runoff reduction storm event cannot be reduced on the development site, it shall be intercepted and treated in one or more stormwater management practices that provide at least an 80% reduction in TSS loads and reduce nitrogen and bacteria loads to the maximum extent practical. When seeking to satisfy this criteria through the use of one or more stormwater management practices, applicants shall:
 - a. Intercept and treat stormwater runoff in stormwater management practices that have been selected, designed, constructed and maintained in accordance with the information presented in the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - b. Provide adequate documentation to the City of Pooler to show that total suspended solids, nitrogen and bacteria removal were considered during the selection of the stormwater management practices that will be used to intercept and treat stormwater runoff on the development site
- 5. OK Aquatic resource protection (Section 42-184.5) In order to protect local aquatic resources from the negative impacts of the land development process, applicants shall provide aquatic resource protection in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual

- 6. OK Overbank flood protection (Section 42-184.6) Stormwater management systems shall control the peak discharge generated by the overbank flood protection storm event. A stormwater management system is presumed to comply if it is designed to provide overbank flood protection in accordance with the information provided in the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 7. OK_Extreme flood protection (Section 42-184.7) Stormwater management systems shall control the peak discharge generated by the extreme flood protection storm event. A system is presumed to comply with this criteria if it is designed to provide extreme flood protection in accordance with the information provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual

Note only: Certification, final inspection and as-built plans - The applicant is responsible for certifying that the project has been completed in accordance with the approved stormwater management design plan. The applicant is also responsible for submitting as-built plans for all green infrastructure and stormwater management practices shown on the approved plan. The as-built plans must show the final design specifications for all green infrastructure and stormwater management practices and must be certified by a licensed design professional such as a landscape architect, professional surveyor or professional engineer. A final inspection shall be conducted by the City staff to confirm the accuracy of the as built plans. (Sec 42-185.3)

TREE PROTECTION ORDINANCE

Reference: City of Pooler Code of Ordinances, Chapter 42, Article VI

Minimum Tree Coverage (Section 42-197)

- 1. OK Residential tree requirement—A residential lot shall have a minimum of 3 preferred trees, of which one shall be located in the front of the residence and selected from large or medium tree species list. (Chapter 42, Article VI, Section 42-197)
- 2. OK Multi-family, commercial and industrial requirement—The minimum allowable post development tree coverage for all development sites shall be 15 existing trees (excluding pine trees and Sweet Gums), six-inch diameter at breast height (dbh) or larger per acre of developable land (excluding buffers and wetlands). Each tree with a diameter of 24 inches dbh or larger (18 inches dbh for Live Oaks) must be designated on the landscape plan and may count as three trees towards meeting the minimum allowable coverage. Each tree with a diameter of 40 inches dbh or larger must also be designated on the landscape plan and may count as five trees towards meeting the minimum allowable coverage. (Chapter 42, Article VI, Section 42-197)

Significant Trees (Section 42-198)

- 3. OK Significant tree A tree with dbh of \geq 24" (except sweet gums and pines). Live oaks with dbh of \geq 18"
- 4. OK Significant tree If a significant tree is to be removed, the planting of new trees of the same species, or preferred species if the same species is not available, totaling the same number of inches in diameter will be required. Replacement trees shall have a minimum dbh of six inches

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Replacement (Section 42-199)

- OK Where pre-development tree coverage is less than the prescribed minimum, replacement trees shall be at least 2" dbh and 8' tall. (Chapter 42, Article VI, Section 42-199) ON G DEPARTMENT
- 6. OK_If a developer will be contributing to the city's tree planting program in order to meet the provisions of this ordinance, provide a statement on the plans to this effect along with supporting documentation as to why the payment is necessary and cannot be achieved through design alternatives. (Chapter 42, Article VI, Section 42- 199(3))

Parking Lot Coverage (Section 42-200)

7. OK Parking lot islands - a 500 sf (min) landscaped island area with at least 1 preferred tree is required for every 12 parking spaces. (Chapter 42, Article VI, Section 42-200)

Protection Zones (Section 42-201)

- 8. OK The area within the tree protection zone must be open and unpaved, except where approved pervious pavers may be utilized or tree aeration systems and tree wells are installed. (Chapter 42, Article VI, Section 42-201)
- 9. OK The protection zone is defined as a circle with a radius of 1' per 1" dbh extending outwardly from the tree to be protected or the extent of the drip line, whichever is more restrictive. (Chapter 42, Article VI, Section 42-201)
- 10. OK Tree protective barriers must be at least 4' in height, be prominent visually and erected completely around the protection zone. The use of chain link fencing is required as a minimum. No change in grade within the protection zone shall be allowed around existing trees except for a max two inches of mulch. Those trees to be preserved as shown on the approved landscaping plan shall be marked on-site with a bright blue ribbon encircling the trunks prior to clearing and grading. The construction plan must clearly state the purpose of the blue ribbon to prevent any confusion at the site. (Chapter 42, Article VI, Section 42-201)

Landscape Plan (Section 42-204)

- L1.0 11. OK Each phase of a development must include a landscape plan. (Chapter 42, Article VI, Section 42-204). The Landscaping Plan must show utility easements and areas to be covered with asphalt or concrete
- L1.1 12. OK Required note "Trees shall not be planted within 10 feet of any underground utility or storm drain."
 - 13. N/A A tree survey showing existing tree coverage, completed by a state registered land surveyor. If a portion of the tract is not to be disturbed, then a tree survey is not required on that portion. Provide an arborist report of significant tree conditions. (Chapter 42, Article VI, Section 42-204)
 - Any tree except a pine or sweet gum tree 6" dbh or greater shall be included.
 - Any tree except a pine or sweet gum with a dbh between 6" and 17" shall have their common name provided.
 - Any tree except a pine or sweet gum with a dbh of 18" or greater shall have their specific name provided.

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 Any pine or sweet gum with a dbh of 24" or greater shall be included with their specific name provided.

ZONING DEPARTMENT

- 14. N/A clearing plan showing the location of significant trees to be removed; (Chapter 42, Article VI, Section 42-204.2)
- 15. N/A A tree replacement plan; (Chapter 42, Article VI, Section 42-204.3)
- 16. N/A The method of tree protection to be used; (Chapter 42, Article VI, Section 42-204.3)
- 17. N/A If a residential subdivision, a typical lot layout is required showing the minimum tree requirement of three trees per lot; (Chapter 42, Article VI, Section 42-204.5)
- L1.0 18. OK Location, size and types of trees, shrubs and groundcover to be planted on the site. (Chapter 42, Article VI, Section 42-204.6)
 - 19. OK All trees and landscaped areas shall be provided with a means for delivery of water in a quantity that is sufficient to establish and maintain the viability of the plants; A water supply is not required for areas of established trees and other vegetation that are retained for green space, provided that site grading or development activities will not result in damage to said areas. (Chapter 42, Article VI, Section 42-204.7)
 - 20. OK In ground irrigation systems installed with water supply to all newly planted trees and plant material shall result in a 20 percent reduction of the landscape establishment bond. (Chapter 42, Article VI, Section 42-204.8)

Preferred Tree List: (Section 42-198)

LARGE SPECIES	MEDIUM SPECIES	SMALL SPECIES Eastern Redbud	
American Beech	American Holly		
American Elm hybrids	Maple, Red	Holly, attenuate hybrids	
American Sycamore	Maple, Florida	Holly, Yaupon	
Ash, Green	Maple, Trident	Magnolia, Sweetbay	
Ash, White	Cedar, Eastern Red	Fringe tree	
Cypress, Bald			
Cypress, Pond			
Gingko (male)			
Hickory species			
Magnolia, Southern			
Oak, Live			
Oak, Nuttall			
Oak, Overcup			
Oak, Shumard			
Oak, White			
Oak, Willow			

Oak, Southern Red	
Poplar, Yellow	

- 1. No more than 30% of trees may be from the small species list or from one species
- 2. Upon recommendation of the City Arborist, a species different from one listed may be approved



Business Hotel

(312)

REO 1 2023

ZONING DEPARTMENT

Vehicle Trip Ends vs: Rooms

On a: Weekday,

AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 10 Avg. Num. of Rooms: 136

Directional Distribution: 41% entering, 59% exiting

Vehicle Trip Generation per Room

Average Rate

Range of Rates

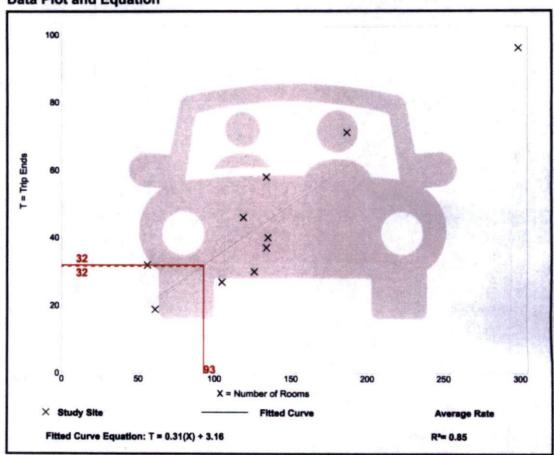
Standard Deviation

0.34

0.24 - 0.57

0.08

Data Plot and Equation



Trip Gen Manual, 11th Edition

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Business Hotel

(312)

REC 1 2023

ZONING DEPARTMENT

Vehicle Trip Ends vs: Rooms

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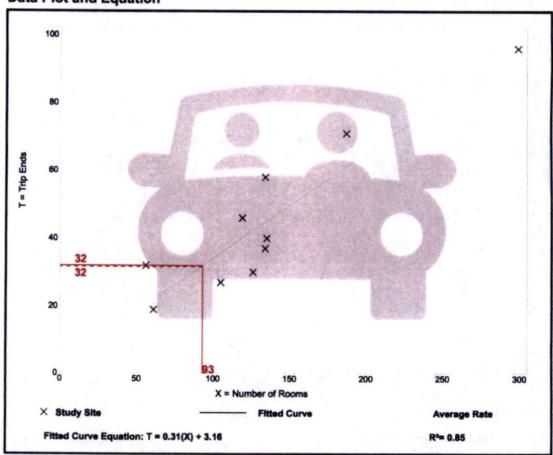
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Vehicle Trip Generation per Room

 Average Rate
 Range of Rates
 Standard Deviation

 0.34
 0.24 - 0.57
 0.08

Data Plot and Equation



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Business Hotel

(312)

RECEIVED NOV 0 1 2023

ZONING DEPARTMENT

Vehicle Trip Ends vs: Rooms

On a: Weekday,

PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 10 Avg. Num. of Rooms: 136

Directional Distribution: 59% entering, 41% exiting

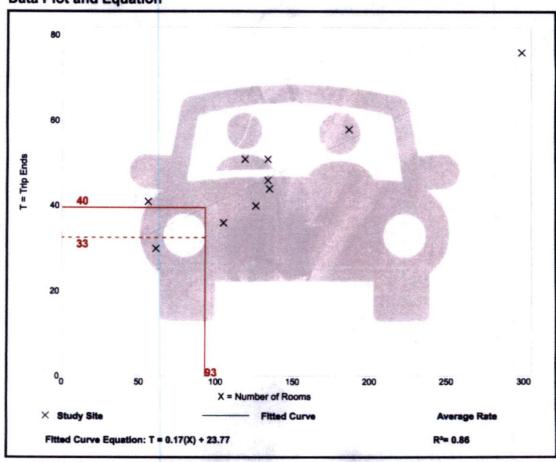
Vehicle Trip Generation per Room

Average Rate Range of Rates 0.35 0.25 - 0.73

Standard Deviation

0.11

Data Plot and Equation



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CIVIL CONSTRUCTION PLANS FOR

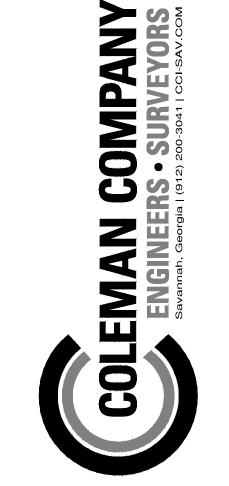
LOT A BLAKELY COMMONS

PREPARED FOR MARSHALL DESIGN BUILD

DESIGN PROFESSIONAL'S CREDENTIALS:
ENGINEER'S NAME (PRINTED):
GEORGIA PE NI IMBER:
31215

GSWCC LEVEL II CERTIFICATION NUMBER:

VICINITY MAP (N.T.S.) **REVISIONS** PROJECT SITE DATA SHEET INDEX Sheet Number Sheet Title PROJECT ADDRESS: 100 WILLIAM BLAKELY CROSSING C0.0 **CONSTRUCTION NOTES** PROJECT CITY, STATE: POOLER, GEORGIA C1.0 **EXISTING CONDITIONS** OWNER/REPRESENTATIVE: MARSHALL DESIGN BUILD C2.0 STAKING PLAN PROPERTY AREA: 4.786 AC C3.0 UTILITY PLAN C4.0 **GRADING PLAN** DISTURBED AREA: 4.16 AC C5.0 DRAINAGE PLAN **ZONING:** PUD C6.0 PAVING PLAN **VERTICAL DATUM:** NAVD 88 C7.0 **PROFILES** C8.0 **CONSTRUCTION DETAILS** HORIZONTAL DATUM: NAD 83 **CONSTRUCTION DETAILS** ZONE X FLOOD ZONE: CE1.0 INITIAL ES&PC PLAN **WATER & SEWER PROVIDER:** CITY OF POOLER CE2.0 INTERM ES&PC PLAN CE3.0 FINAL ES&PC PLAN 51009 01116 CE4.0 **EROSION CONTROL DETAILS** COLEMAN COMPANY, INC. SURVEY PREPARED BY: CE4.1 **EROSION CONTROL DETAILS** CE5.0 NPDES PERMIT NOTES **GEOTECHNICAL BY:** CE5.1 NPDES PERMIT NOTES HRH ARCHITECTS **ARCHITECT: EXISTING CONDITIONS** CONSTRUCTION EXIT LOCATION: N032.06859, W081.27365 LANDSCAPE PLAN LANDSCAPE DETAILS





REVISIONS:

LOT A
SLAKELY COMMONS
ATED IN POOLER, GEORGIA

LOT A
BLAKELY CON

JOB NUMBER: 23-245
DATE: 08/05/2024
DRAWN BY: DJM
CHECKED BY: TGB
SCALE: AS NOTED

COVER

SHEET:

COV

2. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AS REQUIRED FOR APPROVAL

OF THE WORK WITH THE GOVERNMENTAL AGENCY WITH JURISDICTION.

3. CONTRACTOR WILL BE RESPONSIBLE FOR COST OF AND COORDINATION WITH LOCAL UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO, ALL EXISTING UTILITIES INCLUDING POWER AND TELEPHONE POLES AND WIRES.

4. ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL DATUM, NAVD 88.

DEPTH AT ABUTMENTS WITH BUILDINGS OR OTHER CONCRETE STRUCTURES.

5. A MINIMUM SHOULDER WIDTH OF 4 FEET WITH A MINIMUM TRANSVERSE SLOPE OF 5% WILL BE PROVIDED ADJACENT TO CURBS AND WALKS. ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM TRANSVERSE SLOP OF 5%.

6. MAXIMUM EARTH SLOPES WILL BE 3:1. GRADE FROM SHOULDER EDGE TO RIGHT- OF-WAY AT 1% MINIMUM.

7. REMOVAL AND REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL WILL BE PAID FOR ON A CUBIC YARD BASIS IN PLACE MEASUREMENT, AT SUCH AUTHORIZED PRICE PER CUBIC YARD, AS AUTHORIZED BY THE ENGINEER.

8. PROVIDE 1/2" EXPANSION JOINT IN NEW WALKS FOR DEPTH OF CONCRETE, WITH BITUMINOUS SEAL FOR TOP 1 INCH MINIMUM

9. SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4 DEPTH OF CONCRETE

10. ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING, EDGE OF SURFACE COURSE OR FACE OF CURBING UNLESS OTHERWISE

11. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

12. THE CONTRACTOR SHALL KEEP ACCURATE RECORDS FOR "AS BUILT" PURPOSES AND PROVIDE THIS INFORMATION TO THE ENGINEER AT THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO FURNISH THIS INFORMATION, THE ENGINEER WILL OBTAIN THE NECESSARY INFORMATION AND CHARGE THE CONTRACTOR FOR THE SERVICES. THE ENGINEER WILL CHECK INFORMATION PROVIDED BY THE CONTRACTOR FOR ACCURACY. AS BUILT INFORMATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: ALL UTILITIES INCLUDING INVERTS, TOP ELEVATIONS, PIPE LENGTHS AND TYPE OF CONSTRUCTION MATERIAL; SPOT ELEVATIONS ON FORCE MAINS AND WATER LINES; THE DISTANCE OF THE CENTERLINE OF UTILITIES FROM A PERMANENT STRUCTURE. ALL VALVE MANHOLES AND VALVE BOXES SHALL BE LOCATED WITH RESPECT TO A PERMANENT STRUCTURE. GRADES SHALL BE CONFIRMED IN ROADS AND PARKING AREAS AS WELL AS SWALES TO SHOW DIRECTION OF STORMWATER FLOW. THE FINISHED FLOOR ELEVATION SHALL BE SHOWN ON ALL BUILDINGS. IF THE LANDSCAPING IS CHANGED IN ANY WAY AN AS BUILT OF THE LANDSCAPE PLAN IS TO BE SUBMITTED TO THE ENGINEER.

13. ALL NEW DISTURBED AREAS WILL BE GRASSED BY SEEDING OR SPRIGGING IN ACCORDANCE WITH CURRENT VERSION OF THE MANUAL FOR EROSION & SEDIMENT CONTROL IN GEORGIA, AND AS DIRECTED BY THE ENGINEER.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

15. CONTRACTOR SHALL PROVIDE DUST CONTROL OF ALL DISTURBED AREAS BY THE USE OF WATER AND FAST GROWING, TEMPORARY VEGETATION ON ALL STOCKPILED SOILS.

16. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.

17. ALL EXISTING INLETS AND DITCHES SUBJECT TO STORM WATER RUNOFF FROM THE SITE AND ALL NEW INLETS SHALL BE PROVIDED WITH HAY BALES OR OTHER APPROVED SILT BARRIERS TO MINIMIZE SOIL TRANSPORT OFF SITE BY STORM WATERS.

18. ALL MATERIAL AND INSTALLATION PRACTICES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OF POOLER AND CHATHAM COUNTY DEVELOPMENT REGULATIONS AND SPECIFICATIONS.

19. TESTING - PROVIDE ALL TESTING AS REQUIRED IN THE SPECIFICATIONS. PROVIDE ENGINEER WITH COPY DIRECT FROM TESTING

20. CONTRACTOR SHALL MAINTAIN SITE ON A DAILY BASIS TO PROVIDE FOR POSITIVE DRAINAGE. CONTRACTOR, AT HIS COST, SHALL GRADE SITE AND PROVIDE NECESSARY TEMPORARY DRAINAGE SWALES TO INSURE STORM WATER DOES NOT POND ON

21. ANY DETENTION BASINS SHALL BE CONSTRUCTED IN CONJUNCTION WITH CLEARING AND GRADING TO HELP PREVENT THE LOSS OF SEDIMENT FROM THE SITE. THE CONTRACTOR SHALL CLEAN OUT ANY SEDIMENT DEPOSITED IN THE BASINS DURING THE CONSTRUCTION PERIOD SO THAT THE SPECIFIED WATER DEPTH AT NORMAL POOL IS MAINTAINED. THE CONTRACTOR MAY OVER EXCAVATE THE BASINS TO ACCOMPLISH THIS, IF DESIRED, AT HIS OWN EXPENSE AND WITH THE CONCURRENCE OF THE

22. PRIOR TO CONSTRUCTION, ALL BUILDING AREAS, PLUS 10 FEET ON EACH SIDE AND ALL AREAS TO BE PAVED, SHALL BE STRIPPED OF ALL VEGETATION, TOP SOIL AND ROOT SYSTEMS.

23. SITE DRAINAGE SHALL BE ESTABLISHED TO PREVENT ANY PONDED WATER CONDITIONS WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE RAPID RUN-OFF OF STORM WATER.

24. ANY STUMP HOLES OR OTHER DEPRESSIONS SHALL BE CLEARED OF LOOSE MATERIAL AND DEBRIS AND SHALL THEN BE BACKFILLED WITH APPROVED FILL. THE BACKFILL SHALL BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557

25. ANY UTILITIES THAT UNDERLIE THE SITE SHALL BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH

26. THE SUBGRADE SHALL BE PROOFROLLED WITH A LOADED DUMP TRUCK TO LOCATE UNSTABLE OR SOFT AREAS. THESE AREAS SHALL THEN BE INVESTIGATED TO DETERMINE THE CAUSE OF THE INSTABILITY. IF DUE TO UNSUITABLE SOIL, SUCH AS HIGHLY ORGANIC SOILS OR SOFT CLAYS, THE AREA SHALL BE UNDERCUT TO A FIRM SOIL AND REPLACED WITH APPROVED FILL COMPACTED IN SIX INCH LIFTS TO MINIMUM DENSITY OF 95% IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE SUITABLE SOIL, THE AREA SHALL BE DRAINED AND COMPACTED TO 95% DENSITY. ANY FILL REQUIRED TO LEVEL OR RAISE THE SITE SHOULD THAN BE PLACED IN 6" THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY

27. ALL OF THE FILL FOR THIS PROJECT SHALL CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL SHALL BE FREE OF OBJECTIONABLE ROOTS, CLAY LUMPS AND DEBRIS.

28. ALL COMPACTION SHALL BE PERFORMED AT MATERIAL MOISTURE CONTENTS WITHIN 3 PERCENTAGES POINTS, PLUS, OR MINUS,

29. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE

HYDRANT METER OBTAINED FROM THE CITY OF POOLER CONVEYANCE AND DISTRIBUTION DEPARTMENT. 30. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO FOLLOW THE COMPREHENSIVE MONITORING PLAN PREPARED FOR

31. ALL TAPS ON A MAIN FOR SERVICE LATERALS SHALL BE MADE WITH AN ALL STAINLESS STEEL DOUBLE STRAP EPOXY COATED TAPPING SADDLE. THE SIZE OF THE SADDLE SHALL BE WATER MAIN DIAMETER C-900 + 1"c.c. THREAD".

32. ALL FIRE HYDRANTS AND VALVES SHALL BE MANUFACTURED BY AMERICAN, DARLING, MUELLER OR M&H.

33, 50 L.F. OF 6" UNDERDRAIN AND ROCK SHALL BE INSTALLED FROM EACH SIDE OF EACH GRATE INLET. CONTRACTOR SHALL

VERIFY THE STATIC WATER ELEVATION OF THE PROPOSED/EXISTING DRAINAGE SYSTEM EACH ROADSIDE INLET IS A COMPONENT OF AND NOT INSTALL THE UNDERDRAIN BELOW THAT STATIC ELEVATION.

34. ANY AND ALL UTILITY CROSSINGS FOR WATER MAINS BETWEEN STORM OR SEWER PIPING SHOULD BE ACCOMPLISHED BY USING OF 45° BENDS BOTH DOWN AND UP.

35. ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.

36. CONTRACTOR(S) SHALL VERIFY THE LOCATION OF ALL UNDERGOUND UTILITIES. CONTRACTOR(S) ARE RESPONSIBLE FOR LOCATING, PROTECTING, REPAIRING, AND REPLACING ANY AND ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION. COLEMAN COMPANY, INC. HAS MADE A DILIGENT EFFORT TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES BUT CANNOT GUARANTEE THAT ALL PRESENT UTILITIES HAVE BEEN IDENTIFIED. CONTRACTOR SHALL CALL UTILITY PROTECTION CENTER (1-800-282-7411) AT LEAST SEVENTY TWO (72) HOURS PRIOR TO DIGGING AND SHALL NOT BEGIN DIGGING UNTIL ALL UNDERGROUND UTILITY LOCATIONS ARE COMPLETE.

37. ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED AT THE CONTRACTOR'S EXPENSE.

38. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR GRAVITY SEWER AND FORCE MAINS AT APPROXIMATELY 30" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL, IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO MANHOLE RINGS. ON PIPE RUNS GREATER THAN 500'. THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.

39. ALL SANITARY SEWER LATERALS SHALL BE PROPERLY MARKED AT THE POINT WHERE LATERALS TERMINATE WITH PVC PIPE PAINTED GREEN. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. LATERALS SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.

40. A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR WATER MAINS AT APPROXIMATELY 18" TO 24" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO CURB STOPS AND BROUGHT TO TOP OF VALVE, ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.

41. ALL WATER SERVICES SHALL BE PROPERLY MARKED ABOVE GROUND WITH PVC PIPE PAINTED BLUE, ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT, SERVICES SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.

42. TRACER WIRE SHALL BE REQUIRED ON ALL STORM PIPE.

THE DEVELOPER BY COLEMAN COMPANY, INC.

43. THE CONTRACTOR SHALL HAVE APPROVED PLANS ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.

44. THE CONTRACTOR SHALL HAVE A CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.

45. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF POOLER AND CHATHAM COUNTY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.

46.ALL CURB AND GUTTER TO BE 18" MOUNTABLE CONCRETE CURB AND GUTTER UNLESS OTHERWISE NOTED THE PLANS.

47. FOR CITY WATER AND SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.

48.NO SOIL TEST HAS BEEN PERFORMED ON THIS SITE.

49.STORM SEWER SPECIFICATIONS FOR MANHOLE COVER IN STREET:

GENERAL: ALL CASTINGS SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA BY NEENAH FOUNDRY COMPANY, U.S. FOUNDRY & MANUFACTURING CORPORATION, EAST JORDAN IRON WORKS, INC. OR APPROVED EQUAL. THEY SHALL BE OF UNIFORM QUALITY, FREE FROM SAND HOLES, SHRINKAGE, CRACKS, COLD SHUTS OR OTHER DEFECTS. CASTINGS SHALL BE SMOOTH AND WELL CLEANED BY SHOT BLASTING.

MATERIALS: GRAY IRON CASTINGS SHALL BE MANUFACTURED FROM IRON CONFORMING TO ASTM A48 CLASS 35B AND ASTM A48 CLASS 30. DUCTILE IRON CASTINGS SHALL BE MANUFACTURED TRUE TO PATTERN AND COMPONENT PARTS SHALL FIT TOGETHER PROPERLY. ROUND MANHOLE FRAMES, COVERS AND GRATES SHALL HAVE MACHINED BEARING SURFACES TO PREVENT ROCKING. TO FRANCES SHALL BE ACCEPTED FOLINDRY STANDARDS AS OLITLINED IN THE IRON CASTINGS HANDROOK PUBLISHED BY THE AMERICAN FOUNDRYMEN'S SOCIETY, INC. CASTING'S WEIGHT SHALL NOT VARY MORE THAN 5% ABOVE OR BELOW THOSE VALUES REPRESENTED BY THE MANUFACTURER.

MARKINGS: ALL CASTINGS SHALL BE CLEARLY MARKED WITH THE MANUFACTURE'S NAME, COMPANY LOGO AND "MADE IN USA" IN CAST LETTERS. ADDITIONALLY. THE TOP OR TRAFFIC SIDE OF ALL CASTINGS SHALL BE CLEARLY MARKED "STORM" AND "CITY OF POOLER " IN FLUSH CAST LETTERS AND THE TOP OR TRAFFIC SIDE OF ALL CASTINGS DESIGNED TO COLLECT WATER, (CATCH BASINS, GRATES, ETC.) SHALL BE CLEARLY MARKED "DRAINS TO RIVER - DO NOT DUMP" OR SIMILAR VERBIAGE THAT ACHIEVES THE SAME MEANING.

50.INTERNATIONAL FIRE CODE, 2012 EDITION:

ACCESS FOR FIREFIGHTING REQUIRED ACCESS. APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR

DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET (30.5 METERS) OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.

WATER SUPPLY FOR FIRE PROTECTION

3313.1 AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. ON COMMENCEMENT OF VERTICAL COMBUSTIBLE CONSTRUCTION AND ON INSTALLATION OF A STANDPIPE SYSTEM IN BUILDINGS UNDER CONSTRUCTION, IN ACCORDANCE WITH SECTIONS 3313.2

51.IN THE CASE OF ANY CONFLICT OF THESE CONSTRUCTION DOCUMENTS AND THE CITY OF POOLER CODIFIED ORDINANCES, STANDARDS, SPECIFICATIONS, OR DETAILS, THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE.

52.PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY INTO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC RIGHT OF WAY. THE CONSTRUCTION EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS, MATERIALS, DIMENSIONS, ETC. AS DESCRIBED IN THE CURRENT VERSION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S "MANUAL FOR EROSION AND SEDIMENT CONTROL".

53.MAXIMUM BUILDING HEIGHT IS TO BE 50' PER THE PUD MASTERPLAN

MINIMUM CLEAR WIDTH IS 3'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PASSING SPACES AT LEAST 5'X5' SHALL BE LOCATED EVERY 200' OR LESS (INTERSECTING SIDEWALKS MEET THIS REQUIREMENT). LONGITUDINAL (RUNNING) SLOPE MAY NOT EXCEED

5% UNLESS RAMP IS INSTALLED (RAMPS MAY NOT EXCEED 8.33%). CROSS SLOPE MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH. 2. FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS:

A. 0 TO 1/4": NO REQUIREMENTS B. 1/4" TO 1/2" : BEVEL WITH 1:2 SLOPE

C. LARGER THAN 1/2": CONFORM TO REQUIREMENTS FOR RAMP

3. RAMPS: •• MAX RAMP SLOPE 8.33% (1:12)

RAMPS STEEPER THAN 8.33% ARE NOT ACCEPTABLE

 MAX RISE FOR ANY RAMP RUN IS 30" (AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 30") MAX CROSS SLOPE OF RAMP 2% (1:50)

A. LANDINGS:

RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP.

LANDINGS SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT. LANDING LENGTH SHALL BE MINIMUM 5' CLEAR

IF RAMPS CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 5'X5'. ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.

HANDRAILS ARE REQUIRED ON BOTH SIDES (MIN. 36" CLEAR BETWEEN HANDRAILS)

WHEN RAMP RISE IS GREATER THAN 6". PROVIDE MINIMUM 12" LONG HANDRAIL EXTENSIONS AT TOP AND BOTTOM

PROVIDE MINIMUM 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO

RAMP IF RAMP HAS DROP-OFFS. ROUTES BETWEEN BUILDINGS WITH ONLY DWELLING UNITS DO NOT HAVE TO HAVE

STAIRS ARE NOT ALLOWED AS PART OF ACCESSIBLE ROUTE BUT IF ADJACENT TO ROUTE OR PART OF TENANT THEY SPACE MUST MEET REQUIREMENTS FOR STAIR

4. CURB RAMPS:

7. SIGNAGE

•• MAX SLOPE OF CURB RAMP 8.33%

MAX SLOPE OF SIDE FLARES 10% MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 5%.

MIN WIDTH 36" (NOT INCLUDING SIDE FLARES).

DETECTABLE WARNING IS REQUIRED ON CURB RAMPS IN PUBLIC RIGHT OF WAYS, AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.

5. PAVEMENT MARKINGS: •• AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK

MARKING TO DESIGNATE ACCESSIBLE PEDESTRIAN ROUTE) 6. PARKING SPACES :

MINIMUM 8' WIDE ACCESSIBLE PARKING SPACE.

MINIMUM 5' WIDE ACCESS AISLE AT STANDARD SPACES

MINIMUM 8' WIDE ACCESS AISLE AT VAN ACCESSIBLE SPACES MAXIMUM 2% (1:50) SLOPE IN ANY DIRECTION

ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL. SUCH SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE (SIGNAGE TO BE INSTALLED AT A MINIMUM HEIGHT OF 7' TO BOTTOM OF VAN ACCESSIBLE DESIGNATION, AND 7' MINIMUM TO THE BOTTOM OF ALL OTHER SIGN FACES). 8. ACCESSIBLE ROUTES:

MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICC/ANSI A117.1-2003

DESIGN PROFESSIONAL'S CREDENTIALS: ENGINEER'S NAME (PRINTED):

GEORGIA PE NUMBER: GSWCC LEVEL II CERTIFICATION NUMBER: Attachment B

POOLER CONSTRUCTION SPECIFICATIONS.

WITNESSED BY THE CITY'S INSPECTOR

WATER - SEWER NOTES:

1. HIGHLY CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION

2. ANY PIPE, SOLDER AND FLUX USED DURING INSTALLATION OF THE WATER LINES MUST BE "LEAD

FREE" IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS. 3. MAINTAIN MINIMUM HORIZONTAL/VERTICAL CLEARANCE IN ACCORDANCE WITH THE LATEST CITY OF

4. WHERE THE WATER MAIN CROSSES SEWER OR STORM PIPES, THE WATER LINE SHALL BE DUCTILE IRON IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.

5. THE CONTRACTOR IS RESPONSIBLE TO BRING PROPOSED MANHOLE TOPS TO GRADE.

6. MAXIMUM COVER FOR THE WATER MAIN SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF POOLER CONSTRUCTION SPECIFICATIONS.

7. CONTRACTOR TO VERIFY ALL INVERT ELEVATIONS OF SANITARY SEWER LATERALS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH INVERT DATA TO INSURE THERE ARE NO CONFLICTS. 8. ALL FILLING AND HYDROSTATIC TESTING OF NEW MAINS SHALL BE COORDINATED WITH AND

9. INTERNAL FIRE SPRINKLER PROTECTION IS TO BE DESIGNED AND SUBMITTED SEPARATELY, BY OTHERS, TO BUILDING INSPECTIONS AS NECESSARY.

10. INDUSTRIAL WASTEWATER DISCHARGE IS NOT ANTICIPATED NOR DESIGNED FOR WITH THIS DEVELOPMENT.

11. IN ADDITION TO THE SEDIMENTATION AND EROSION CONTROL MEASURES AS INDICATED ON THE PLANS THE CONTRACTOR SHALL TAKE WHATEVER ACTIONS AS ARE NECESSARY TO ENSURE THAT ALL SEDIMENTATION IS CONFINED TO THE SITE AND THAT NO OFFSITE EROSION IS CAUSED BY THE WORK EITHER DIRECTLY OR INDIRECTLY.

DEVELOPMENT REQUIREMENTS

FRONT SETBACK: SIDE YARD SETBACKS: 10' REAR YARD SETBACK: 10'

IMPERVIOUS AREA: 1.49 AC / 61.2%

*PER PUD - FRONT SETBACK CAN VARY TO A MIN. 10' FROM R.O.W. TO PROMOTE STAGGERED FRONTAGES CANOPY

BUILDING AREA = 10,900 S.F. PARKING REQUIRED = 78 SPACES

SETBACK FROM R.O.W. 45.22'

PARKING PROVIDED = 96 SPACES, INCLUDING 4 ADA

SITE INFORMATION:

PARENT PIN: 51009 01116

ZONING DISTRICT: PUD FLOOD ZONE: ZONE X

SIZE: 4.786 AC

PROPOSED LAND USE: HOTEL

EROSION CONTROL NOTES:

1. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP) DURING ALL PHASES OF CONSTRUCTION AND SHALL INSTALL & MAINTAIN ALL EROSION CONTROL MEASURES ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN

2. NARRATIVE DESCRIPTION:

LOCATION: 100 WILLIAM BLAKELY CROSSING POOLER, GEORGIA

PINS: 51009 01116

NATURE OF WORK: HOTEL AND ASSOCIATED INFRASTRUCTURE

TOTAL PROPERTY ACREAGE: 4.786 AC DISTURBED ACREAGE:

ZONING CLASSIFICATION: PUD PHASES: THE WORK WILL BE PERFORMED IN ONE PHASE.

3. THERE ARE NO APPARENT WATERS OF THE UNITED STATES WITHIN 200 FEET OF THE PROJECT

5. ALL SUITABLE TOPSOIL WILL BE STOCKPILED BY THE CONTRACTOR AND SPREAD IN PROPOSED

4. THERE ARE NO APPARENT WETLANDS PRESENT ON THE PROPERTY.

VEGETATIVE AREAS PRIOR TO LANDSCAPE INSTALLATION.

6. THE SOILS ON SITE ARE: PELHAM LOAMY SAND (PI)

7. THIS SITE IS CURRENTLY UNDEVELOPED 8. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES. WHETHER

TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER. 9. THE CONTRACTOR SHALL ENSURE THAT STRUCTURAL EROSION CONTROL MEASURES ARE INSPECTED DAILY. ANY DEFICIENCIES, INCLUDING SEDIMENT ACCUMULATION AND REMOVAL, OBSERVED SHALL BE CORRECTED BY THE END OF THAT DAY'S WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A DAILY INSPECTION LOG AND NOTIFYING THE OWNER AND ENGINEER OF ANY DEFICIENCIES IDENTIFIED IN THE EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE STABILIZED.

10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND

11. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT

12. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. 13. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, AS PREPARED BY THE FEDERAL

EMERGENCY MANAGEMENT AGENCY, THIS PROJECT SITE DOES NOT APPEAR TO LIE IN A FLOOD

HAZARD AREA AS DEPICTED ON FIRM PANEL NO. 13051C0109F EFFECTIVE DATE: AUGUST 16, 2018. 14. CONTACT INFORMATION:

F: 912.200.3056

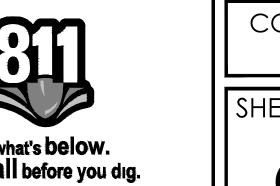
STABILIZATION IS ACHIEVED.

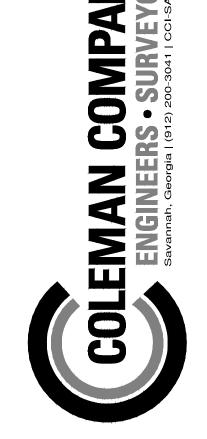
CIVIL ENGINEER: OWNER/REPRESENTATIVE CONTACT: TRAVIS G. BURKE, PE MARSHALL DESIGN BUILD COLEMAN COMPANY, INC. ATTN: TRAVIS MARSHALL 1480 CHATHAM PKWY 4437 ATLANTA HIGHWAY SAVÄNNAH, GA 31405 MONTGOMERY, AL, 36109 P: 912.200.3041

16. THE INITIAL RECEIVING WATER FOR THIS PROJECT IS A WET POND TOWARD THE SAVANNAH AND OGEECHEE CANAL. FINAL RECEIVING WATERS ARE THE LITTLE OGEECHEE RIVER AND ONTO THE ATLANTIC OCEAN 17. ANY ON-SITE FUEL STORAGE TANK MUST BE PROTECTED FROM LEAKS, SPILLS, AND RUPTURE AS PER APPLICABLE CODES. 18. SILT FENCE MUST BE INSPECTED DAILY FOR FAILURES AND CLEANED OUT WHEN SILT REACHES

19. ALL TEMPORARY BMPS FOR EROSION & SEDIMENT CONTROL SHALL BE REMOVED ONCE FINAL

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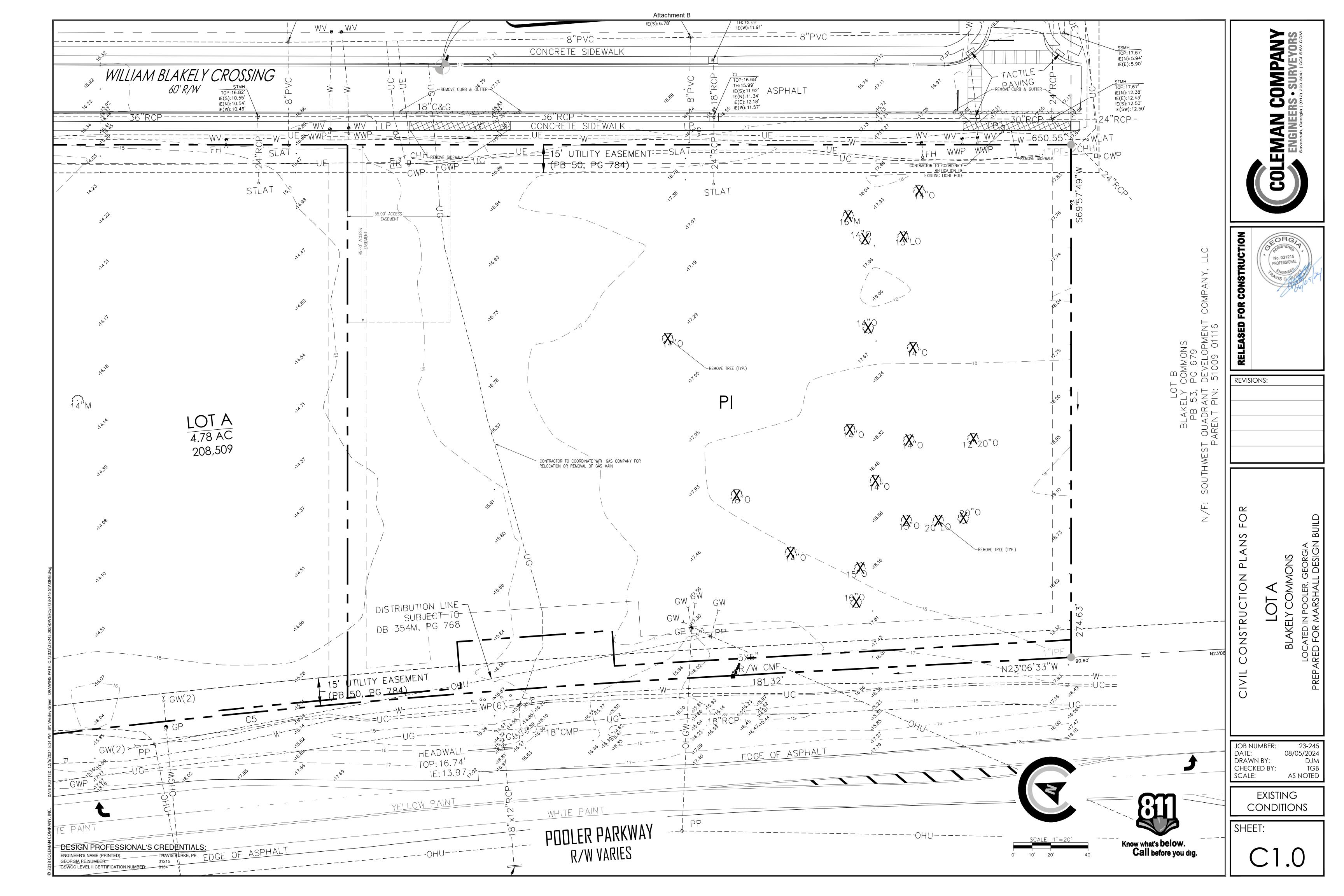


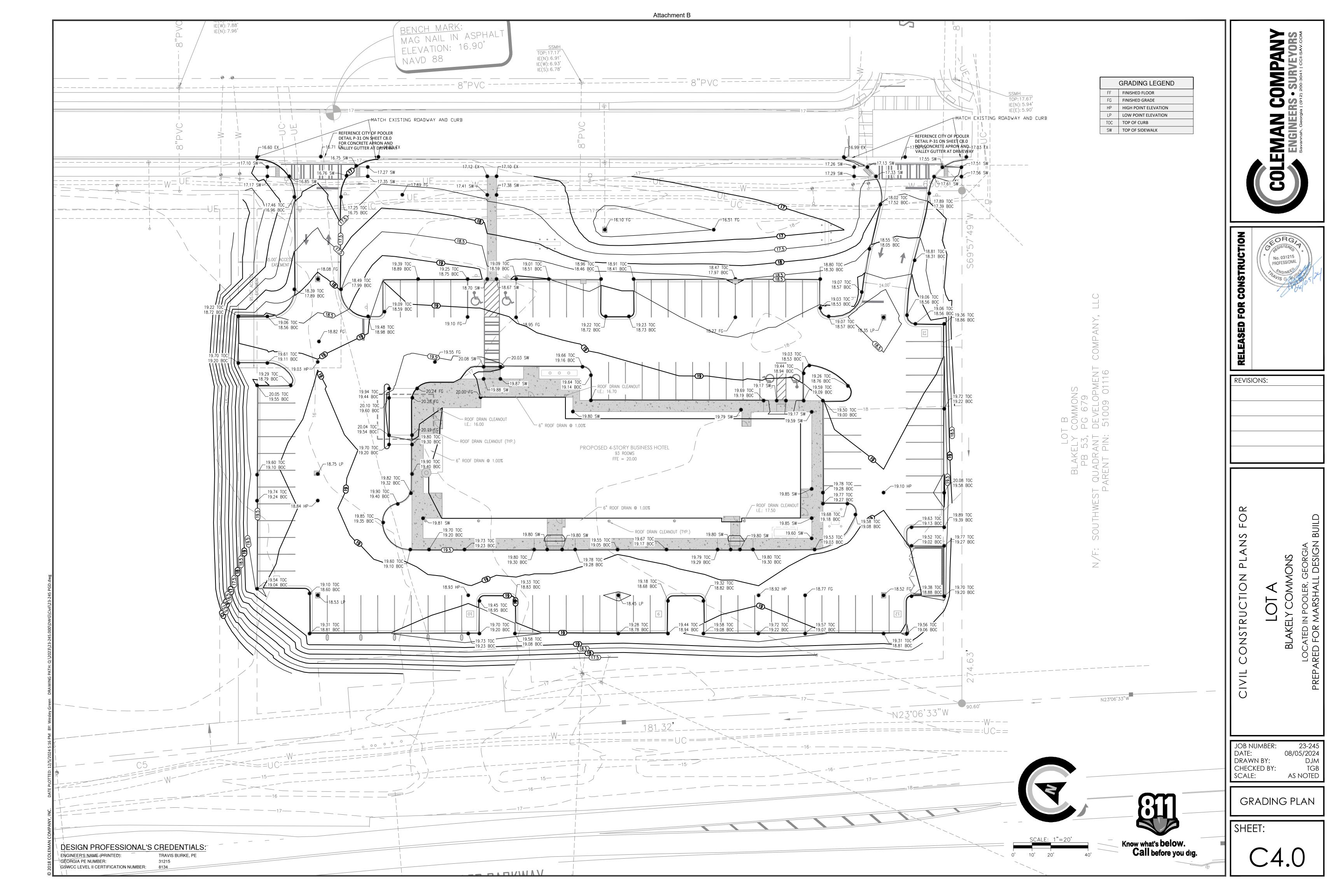


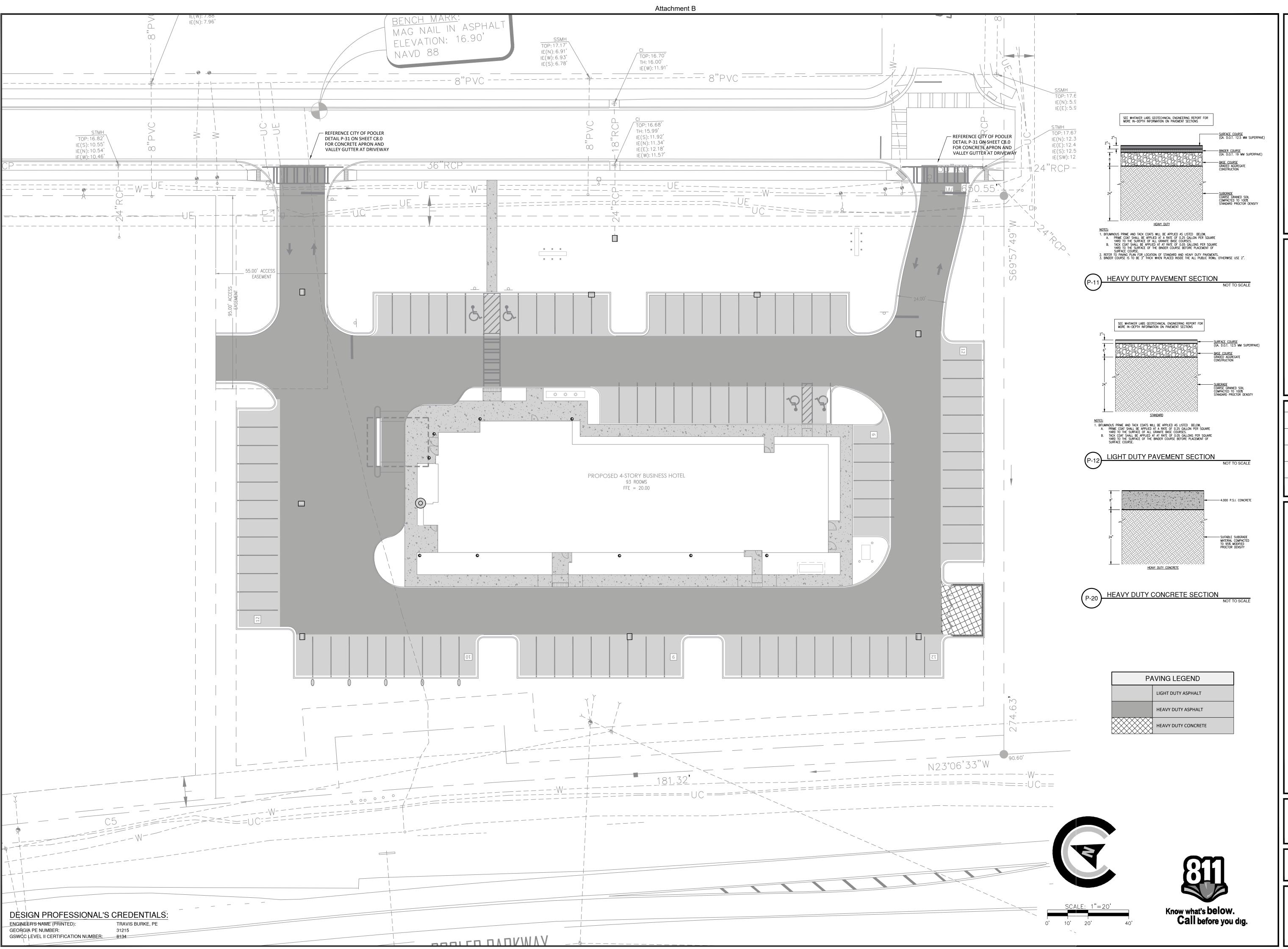
REVISIONS:

JOB NUMBER: 23-245 08/05/2024

AS NOTED CONSTRUCTION







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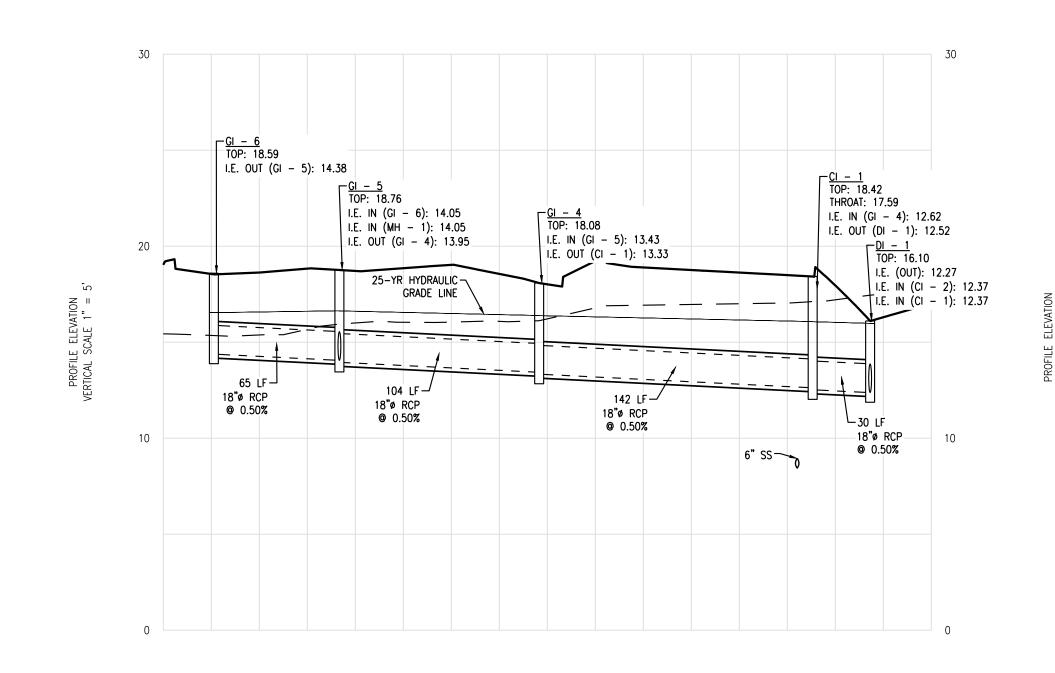
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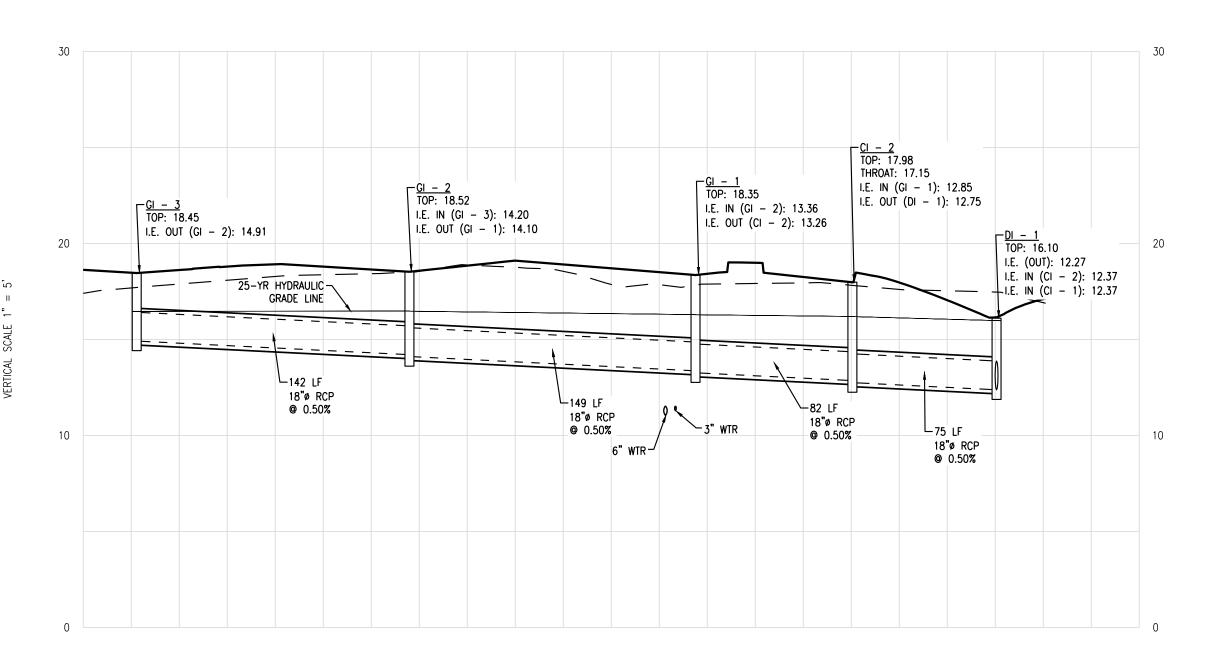
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JOB NUMBER: DATE: DRAWN BY: CHECKED BY: SCALE: 23-245 08/05/2024 DJM

PAVING PLAN

SHEET:





STATION HORIZONTAL SCALE 1" = 50'

STRM 1 CENTERLINE PROFILE STA. 0+00.00 TO STA. 4+00.00

STATION HORIZONTAL SCALE 1" = 50'

STRM 2 CENTERLINE PROFILE STA. 0+00.00 TO STA. 5+50.00

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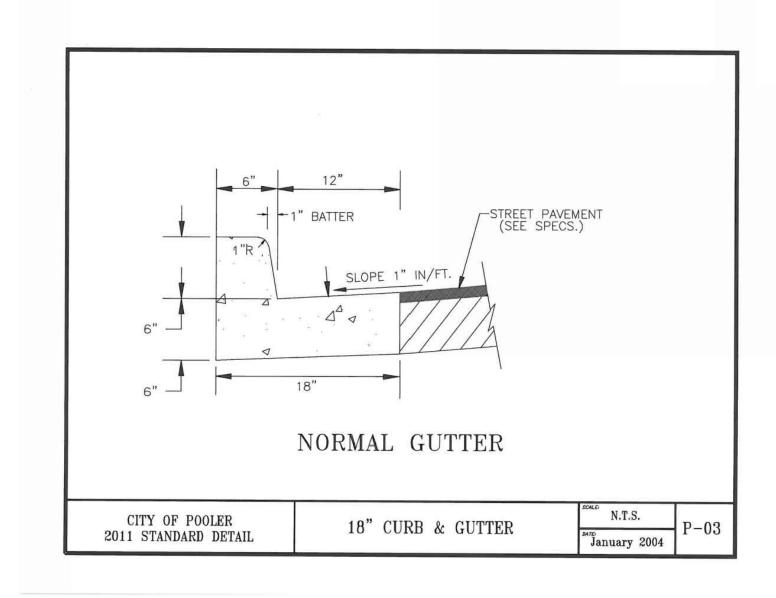
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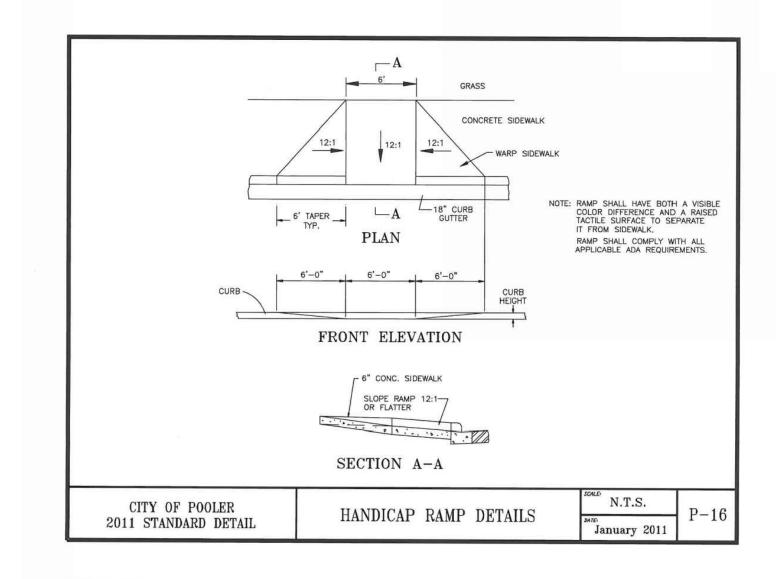
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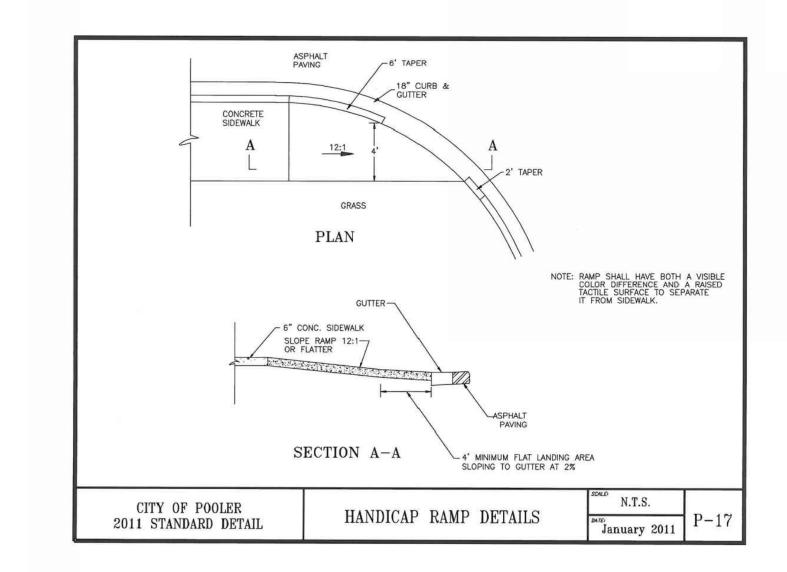
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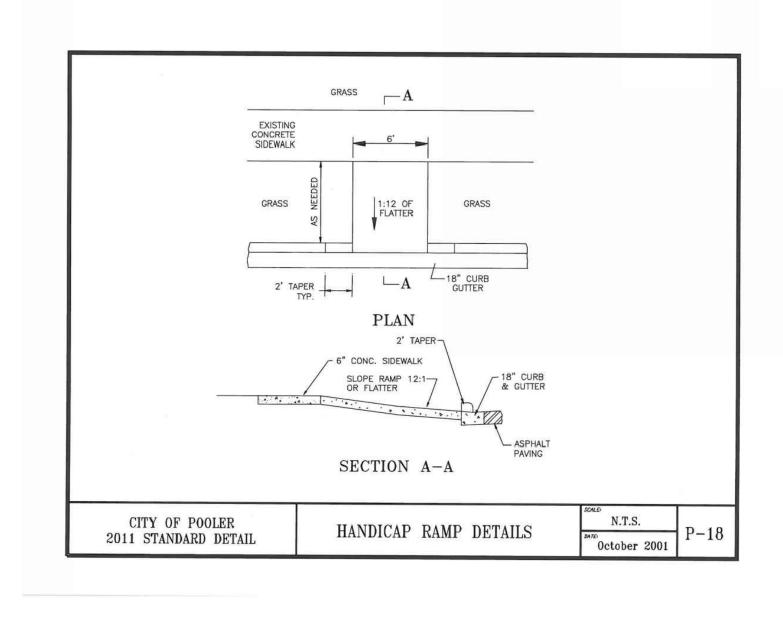
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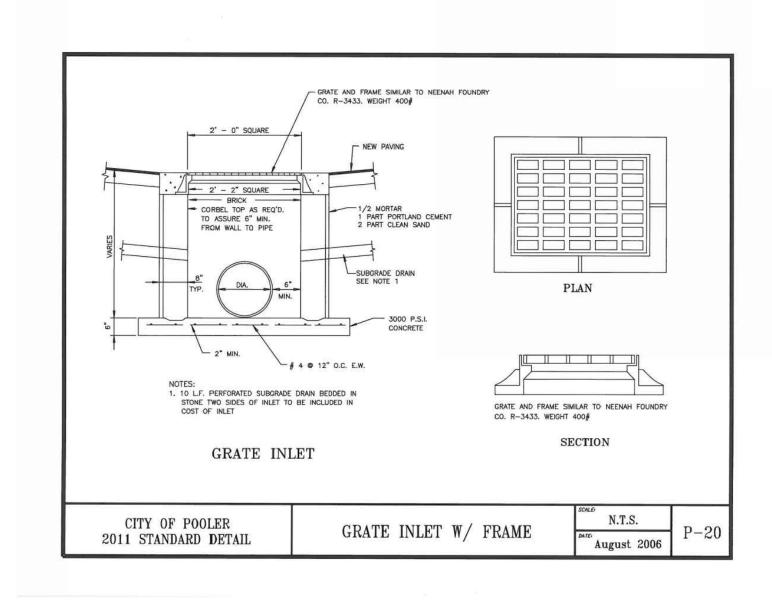
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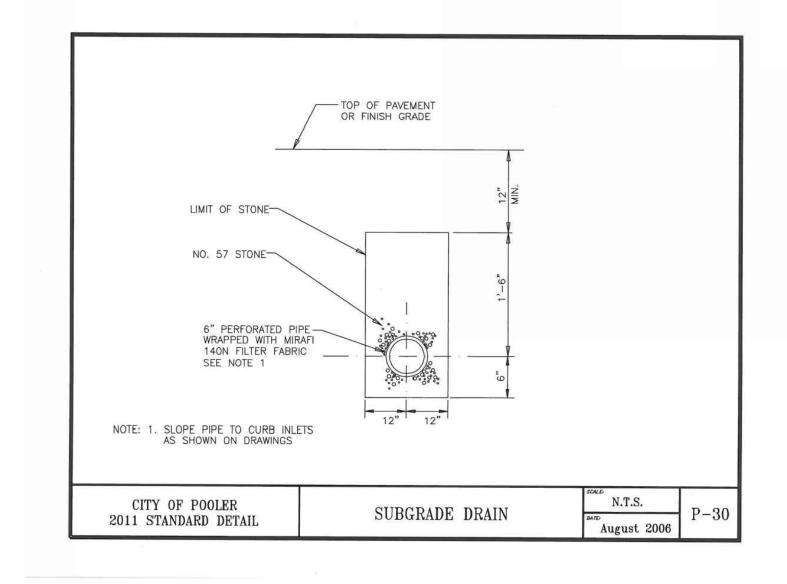


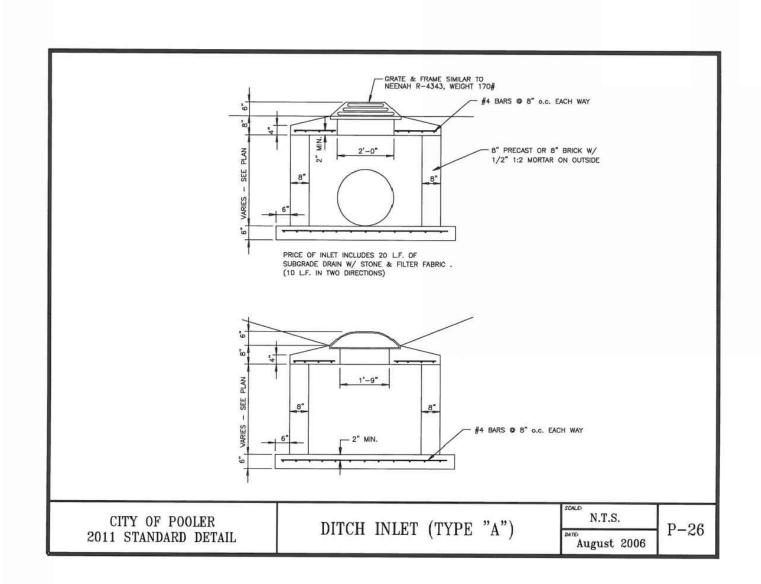


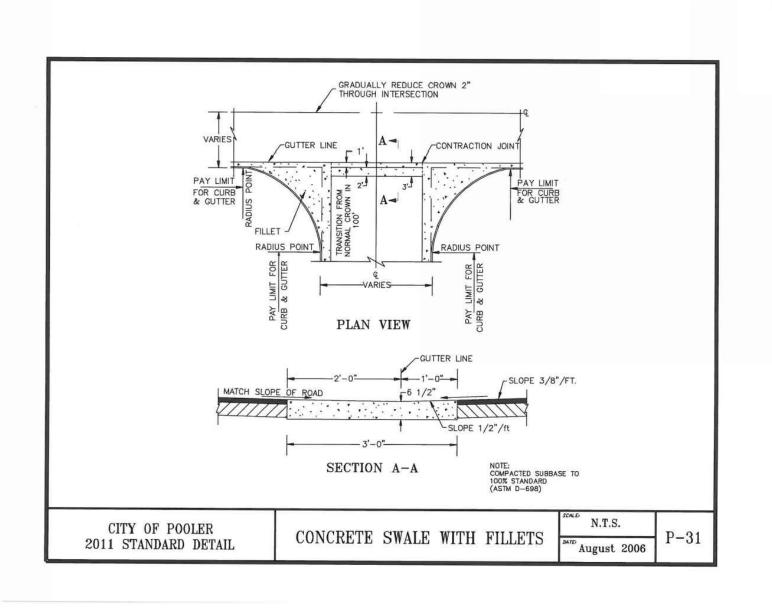




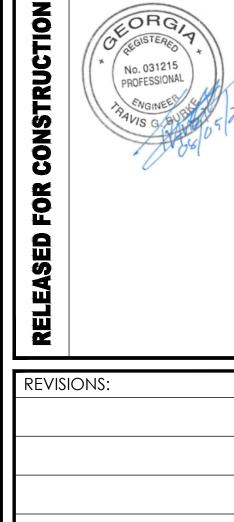












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ONSTRUCTION

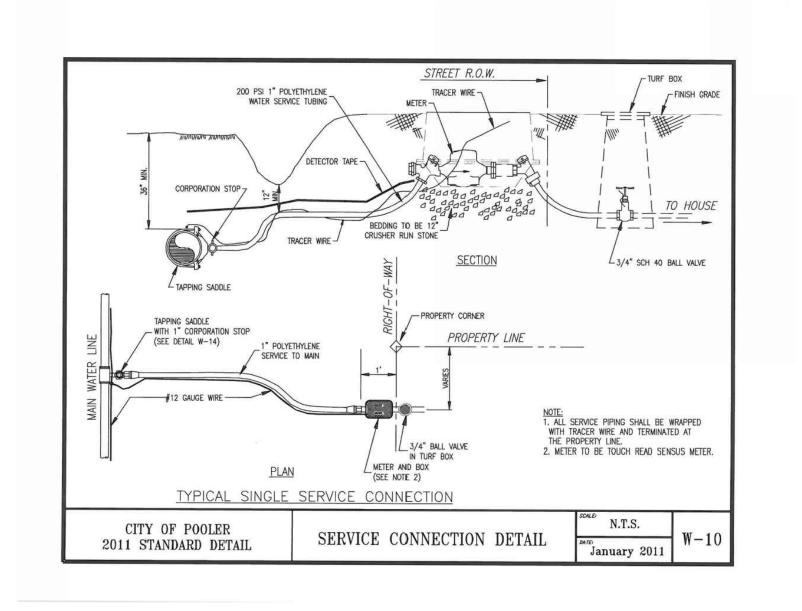
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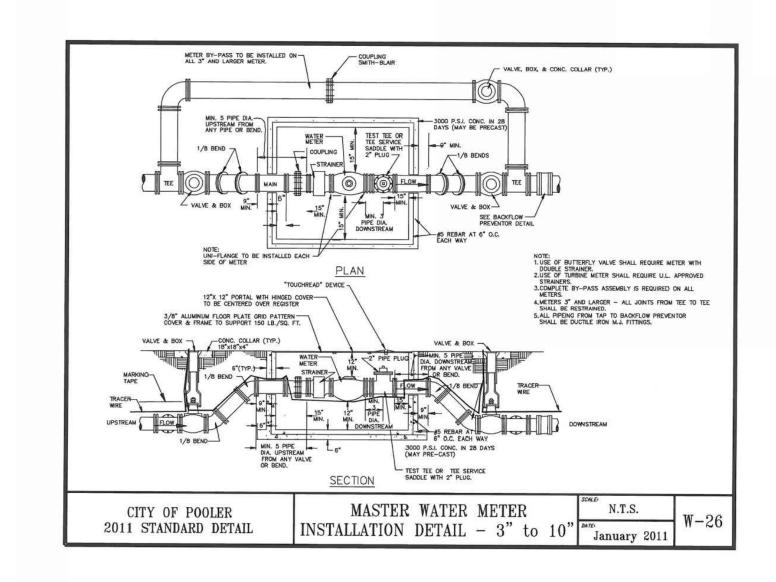
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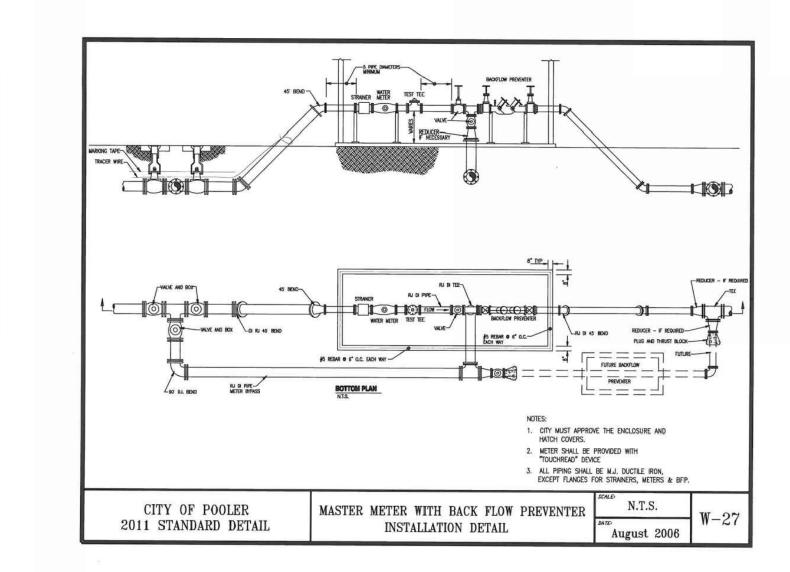
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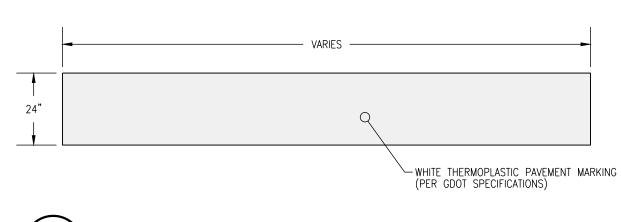
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CONSTRUCTION DETAILS



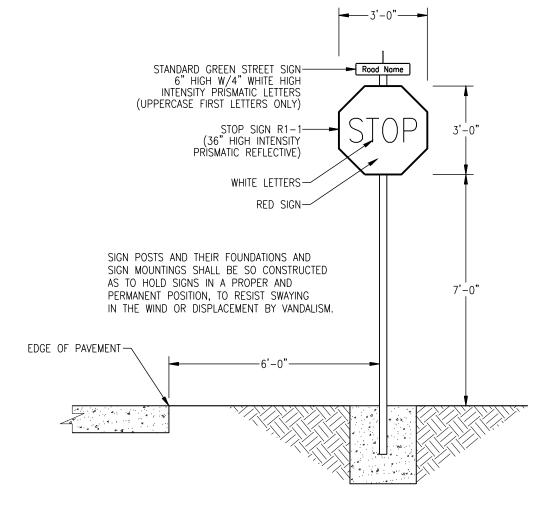


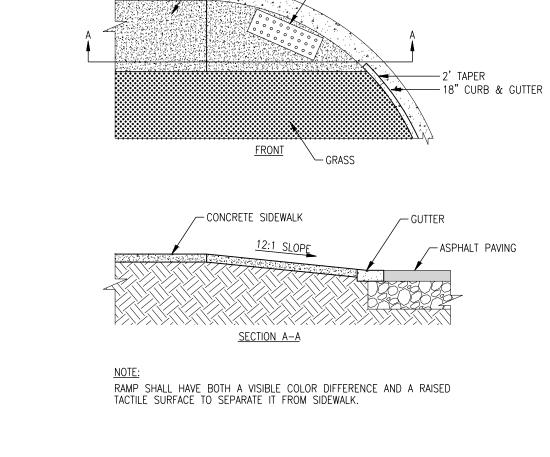




TRAFFIC STOP BAR NOT TO SCALE

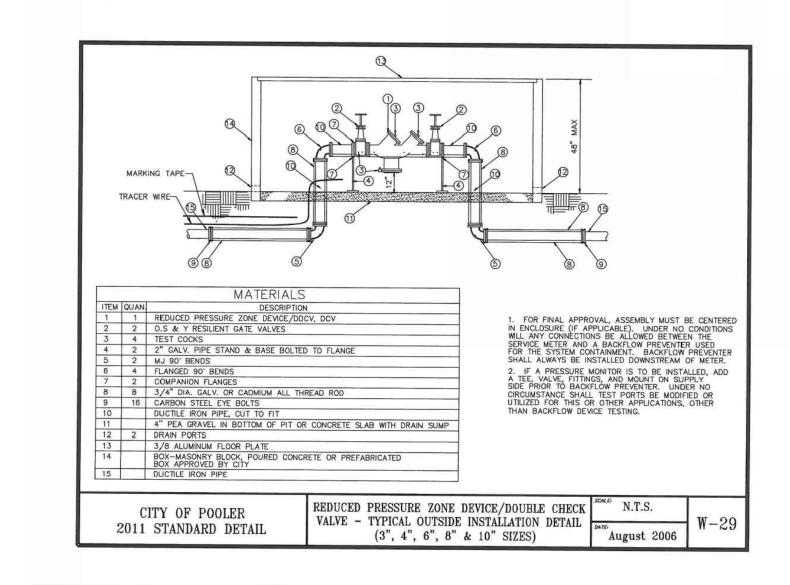
→ 48" MIN →





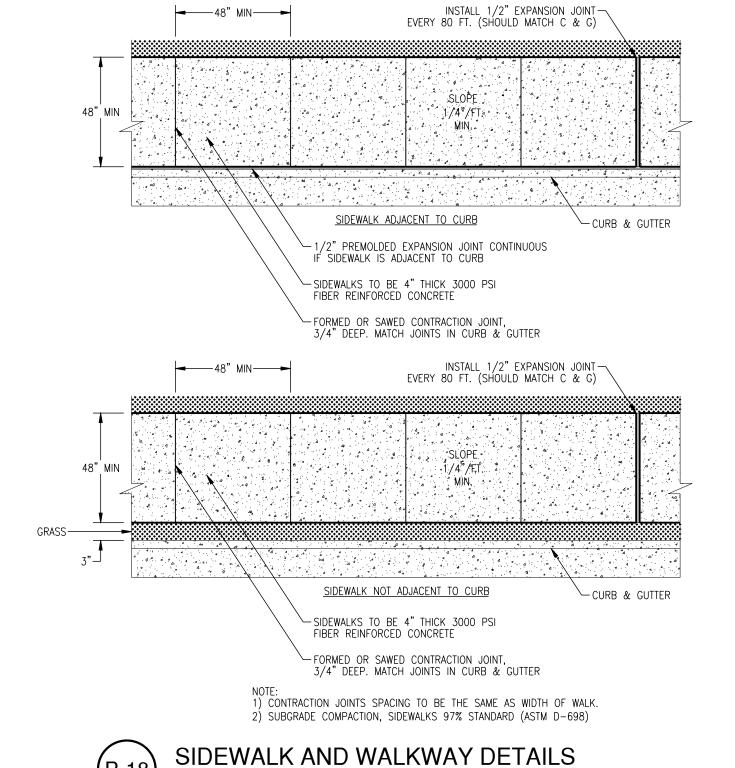
CONCRETE SIDEWALK

- TRUNCATED DOMES PAD

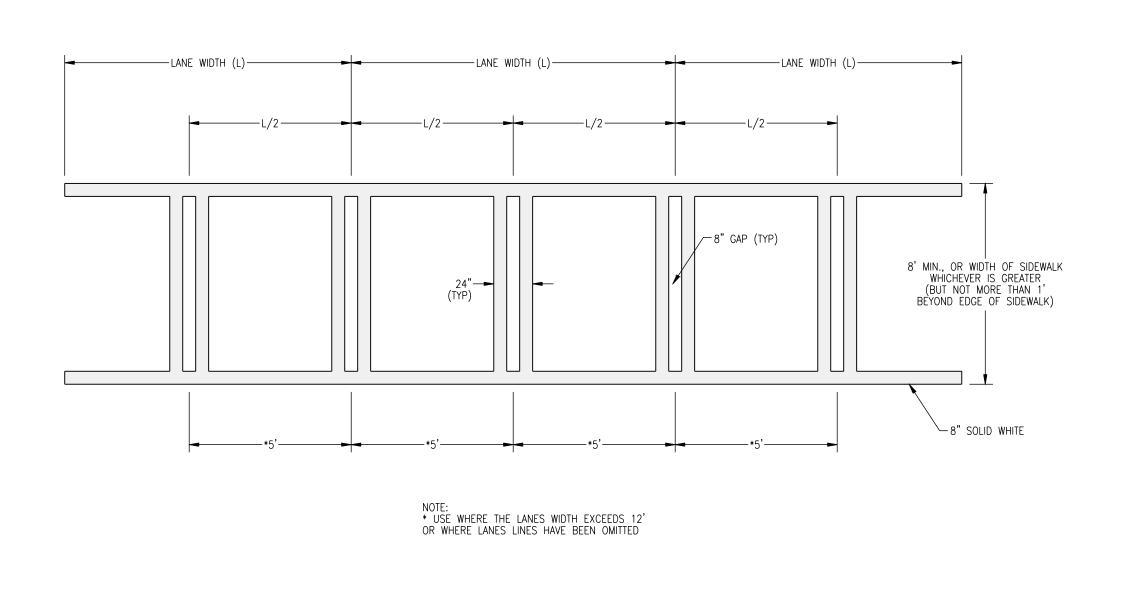


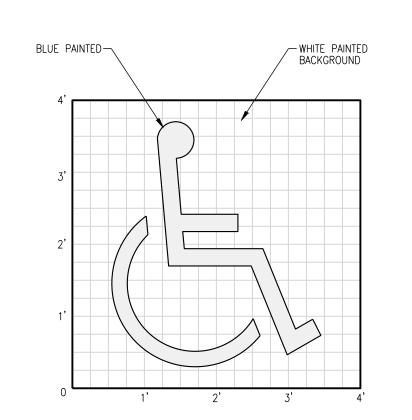






NOT TO SCALE





CROSSWALK DETAIL NOT TO SCALE





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CONSTRUCTION No. 031215 FOR SED

REVISIONS:

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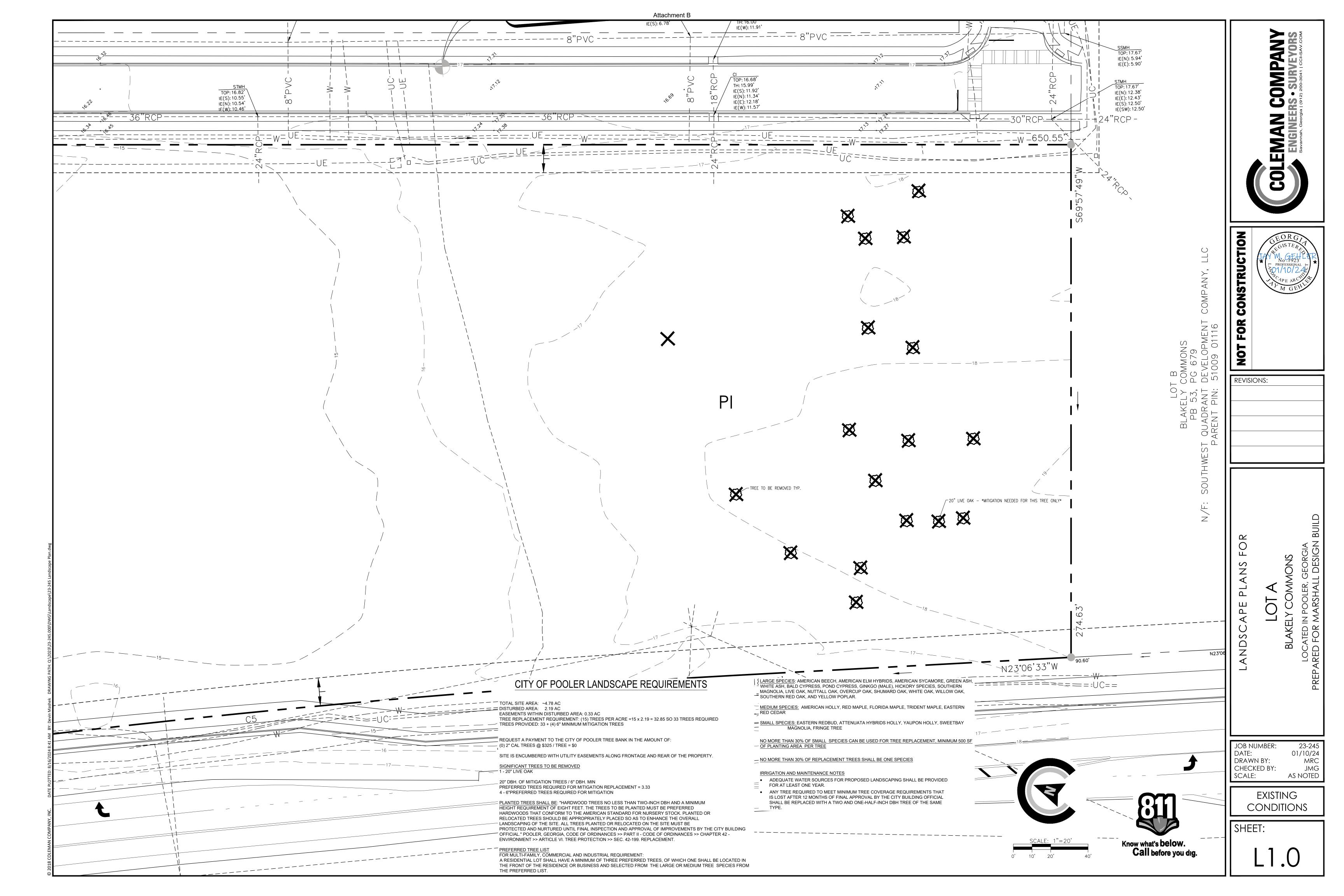
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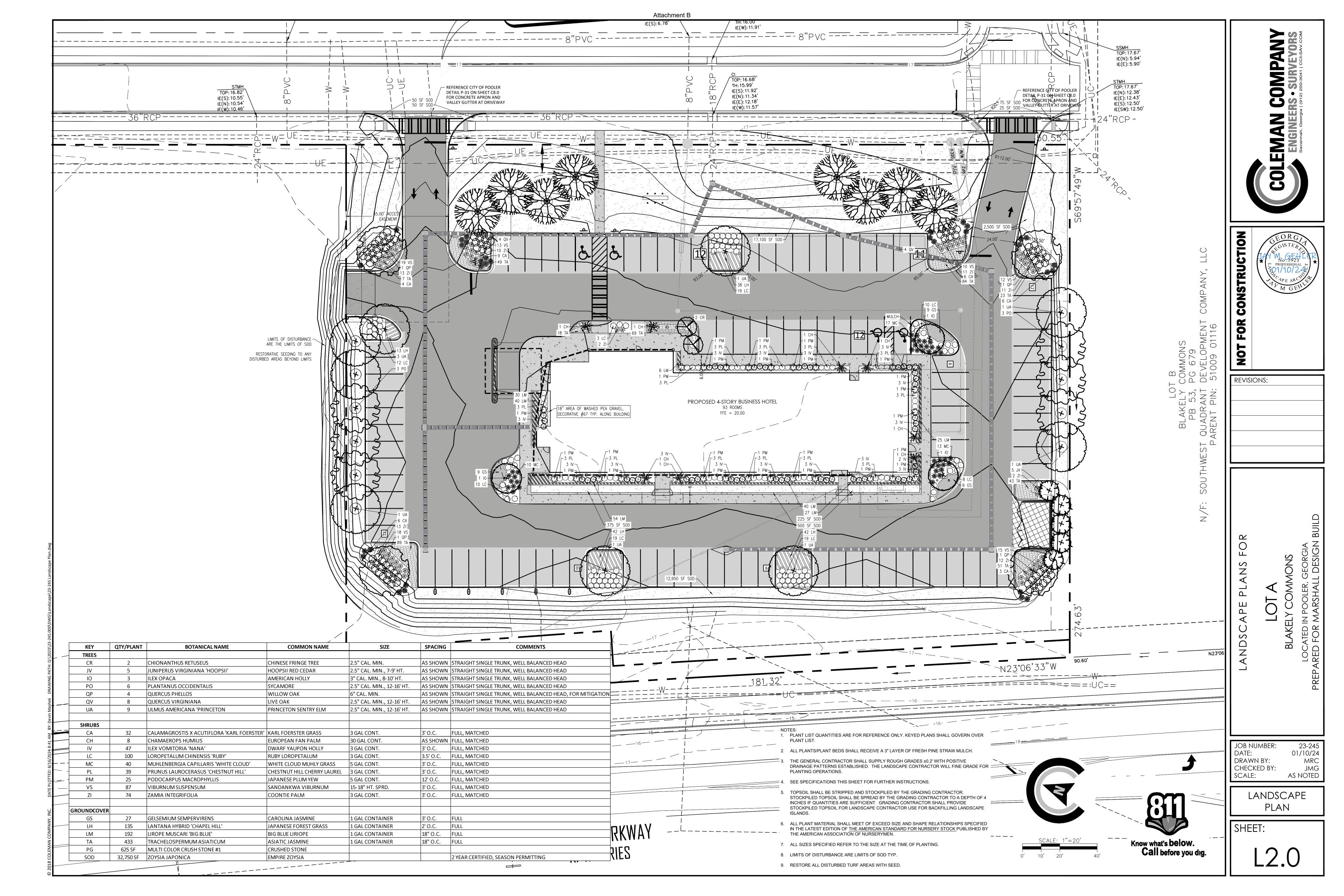
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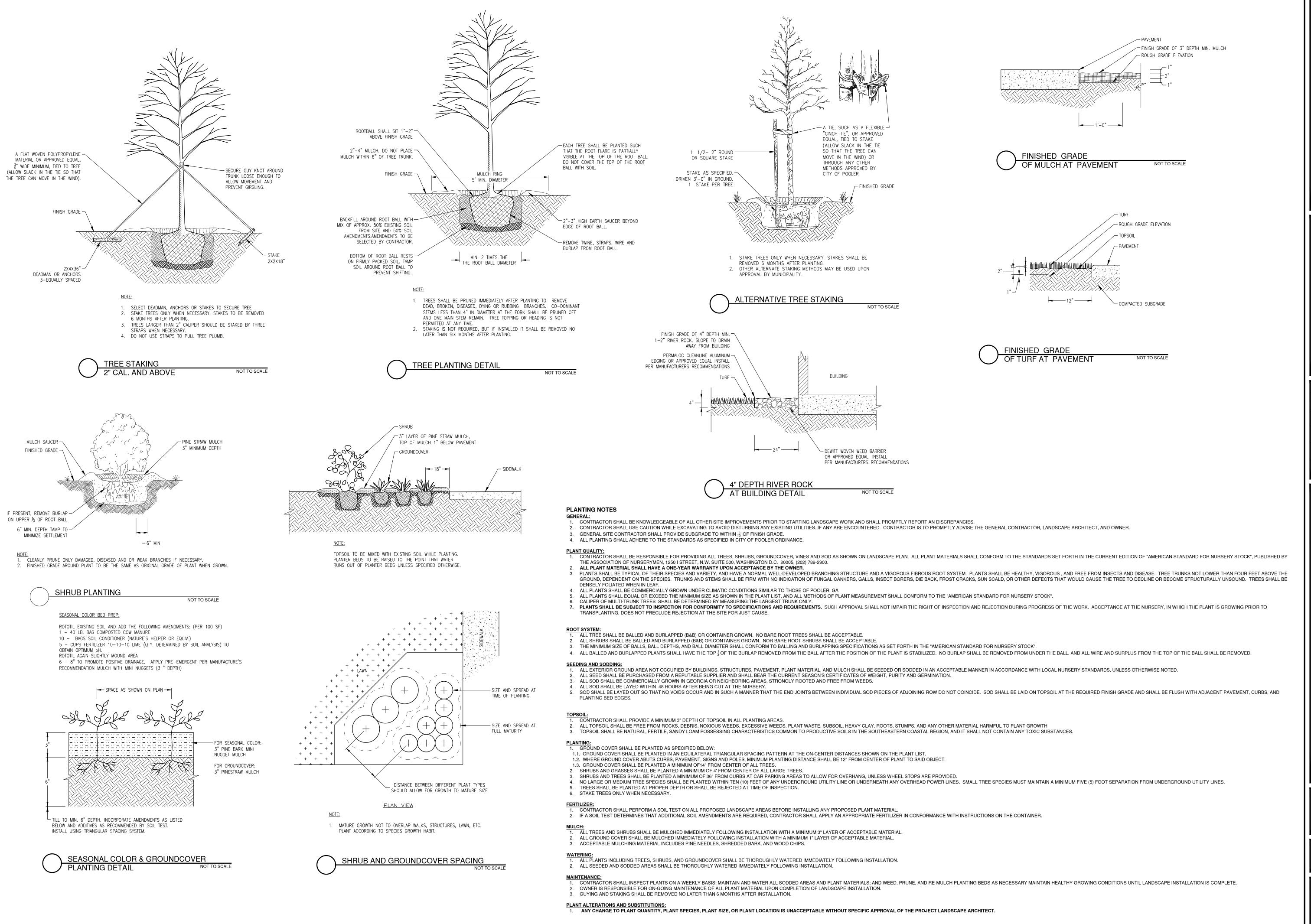
CONSTRUCTION **DETAILS**

SHEET:

DESIGN PROFESSIONAL'S CREDENTIALS: ENGINEER'S NAME (PRINTED): GEORGIA PE NUMBER: 31215 GSWCC LEVEL II CERTIFICATION NUMBER: 8134







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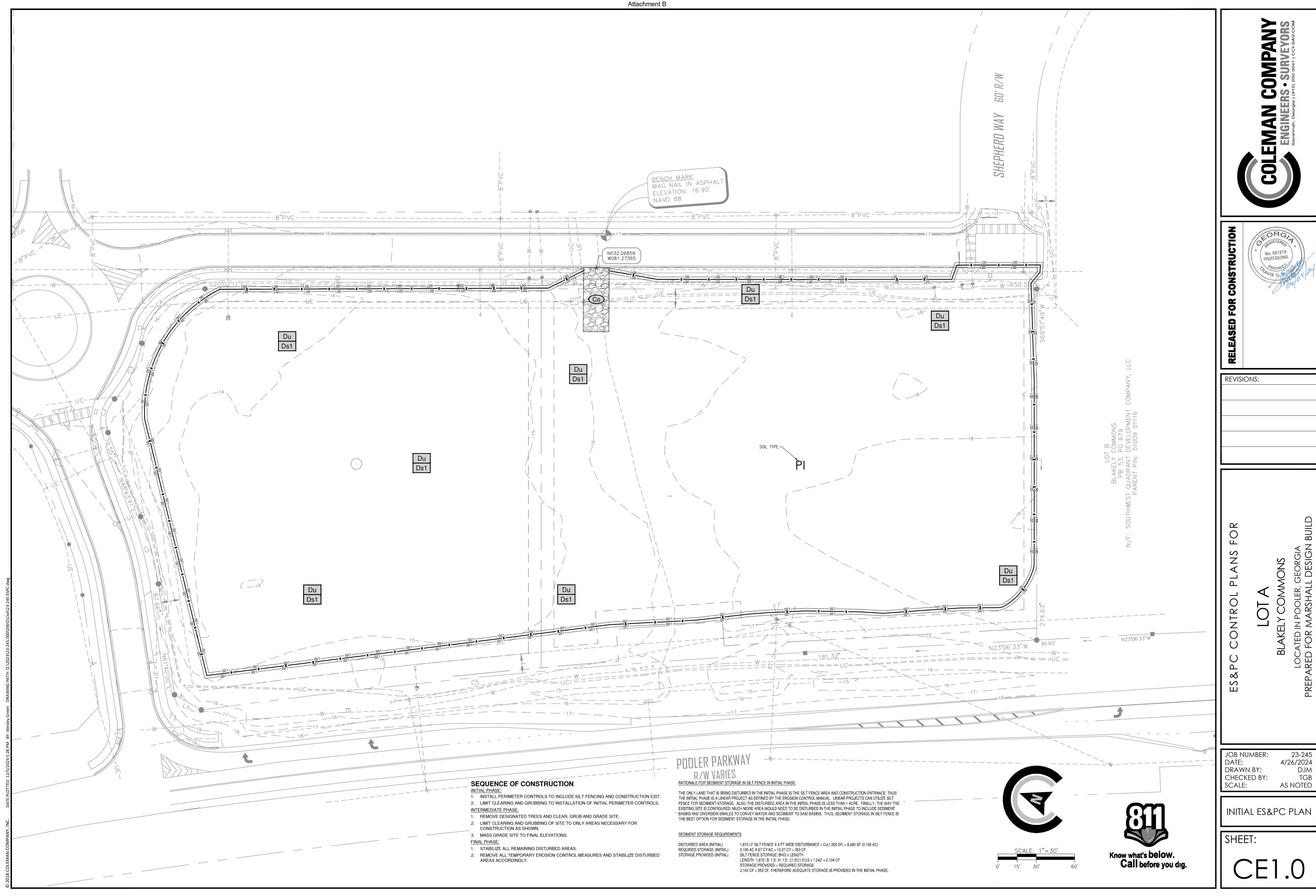
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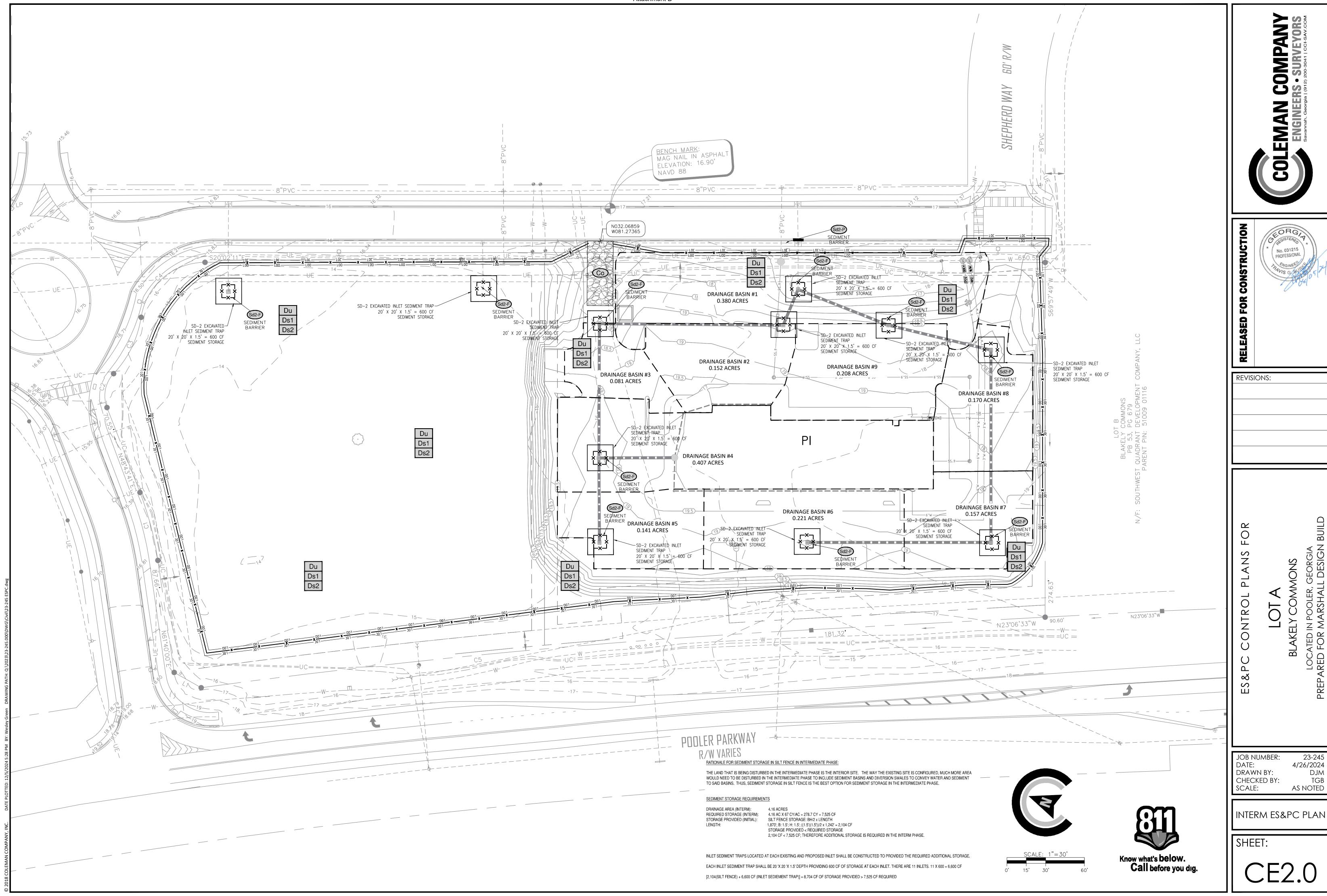
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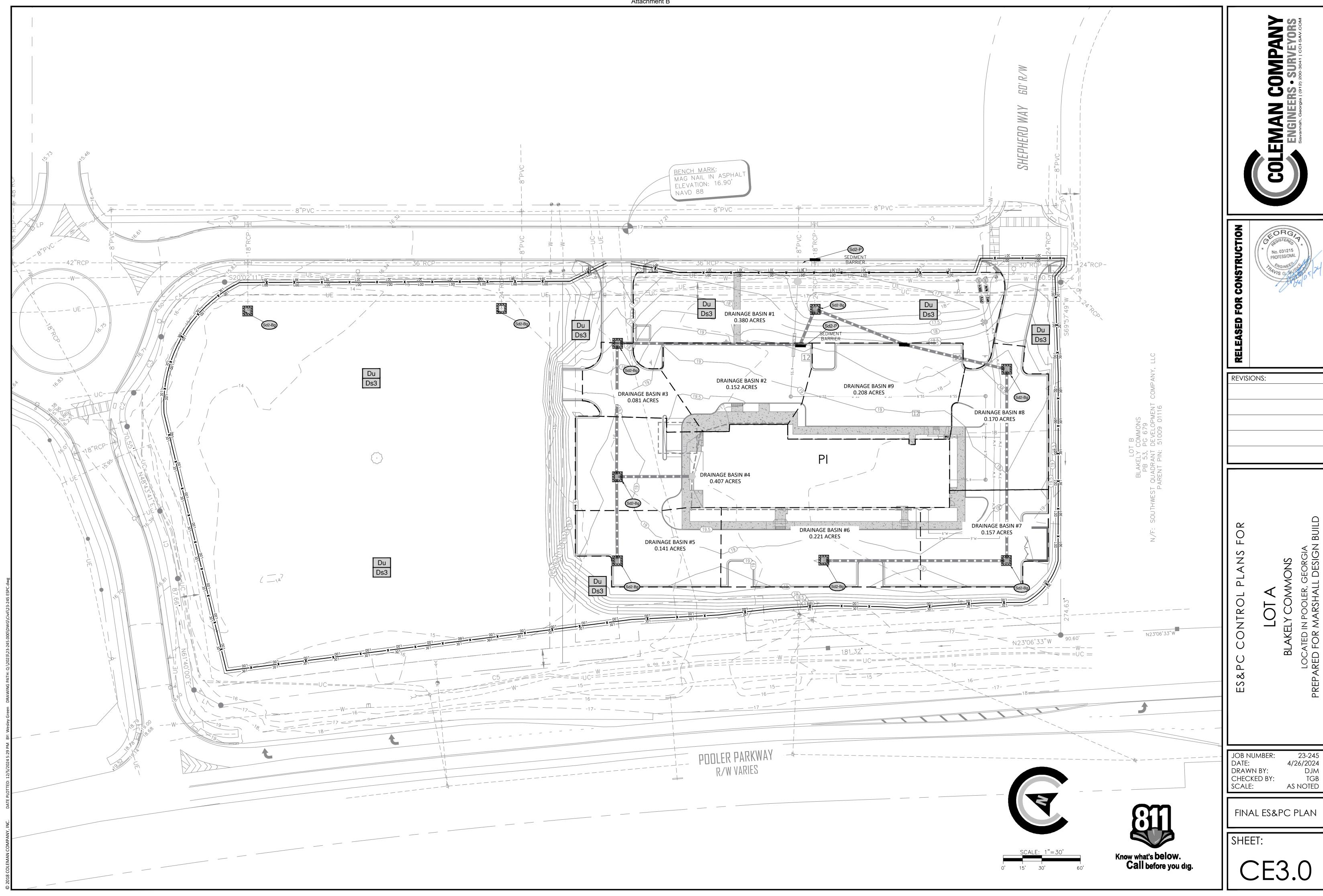
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> LANDSCAPE DETAILS

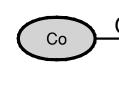






1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.

- 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
- 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%...
- 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL
- 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL $\underline{\text{SUITABLE}}$ FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



CRUSHED STONE CONSTRUCTION EXIT

WITH TEMPORARY SEEDING)

DISTURBED OR DENUDED AREAS.

CONDITIONS

<u>SPECIFICATIONS</u>

GRADING AND SHAPING

SEEDBED PREPARATION

LIME AND FERTILIZER

MULCHING ONLY).

IRRIGATION

SEEDING EQUIPMENT IS TO BE USED.

THE ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS FOR SEASONAL PROTECTION ON

TEMPORARY GRASSING, INSTEAD OF MULCH, CAN BE APPLIED TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR

ASSURE ECONOMICAL AND EFFECTIVE STABILIZATION. MOST TYPES OF TEMPORARY VEGETATION ARE IDEAL TO USE AS

COMPANION CROPS UNTIL THE PERMANENT VEGETATION IS ESTABLISHED.

HANDSEEDING, SEEDBED PREPARATION IS NOT REQUIRED IF THE

SOIL MATERIAL IS LOOSE AND NOT SEALED BY RAINFALL.

ONE TON PER ACRE. GRADED AREAS REQUIRE LIME

COVER SEED WITH SOIL IF SEEDED BY HAND.

APPLICATIONS SHOULD BE MADE WHEN NEEDED.

SUCH AS CLOSED DRAINS, DITCHES, DIKES, DIVERSIONS, SEDIMENT BARRIERS AND OTHERS.

LESS THAN SIX MONTHS. TEMPORARY VEGETATIVE MEASURES SHOULD BE COORDINATED WITH PERMANENT MEASURES TO

EXCESSIVE WATER RUN-OFF SHALL BE REDUCED BY PROPERLY DESIGNED AND INSTALLED EROSION CONTROL PRACTICES

NO SHAPING OR GRADING IS REQUIRED IF SLOPES CAN BE STABILIZED BY HAND-SEEDED VEGETATION OR IF HYDRAULIC

WHEN A HYDRAULIC SEEDER IS USED, SEEDBED PREPARATION IS NOT REQUIRED. WHEN USING CONVENTIONAL OR

WHEN SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, THE SOIL SHALL BE PITTED,

AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF

APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS OR SOIL

SELECT A GRASS OR GRASS-LEGUME MIXTURE SUITABLE TO THE AREA AND SEASON OF THE SEED SHALL BE APPLIED

SEED AND FERTILIZER). DRILL OR CULTIPACKER SEEDERS SHOULD NORMALLY PLACE SEED ONE-QUARTER TO ONE-HALF

UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRAULIC SEEDER (SLURRY INCLUDING

INCH APPROPRIATE DEPTH OF PLANTING IS TEN TIMES THE SEED DIAMETER. SOIL SHOULD BE "RAKED" LIGHTLY TO

TEMPORARY VEGETATION CAN, IN MOST CASES, BE ESTABLISHED WITHOUT THE USE OF MULCH WITHOUT SEEDING

SHOULD BE CONSIDERED FOR SHORT TERM PROTECTION. REFER TO DS1 - DISTURBED AREA STABILIZATION (WITH

DURING TIMES OF DROUGHT, WATER SHALL BE APPLIED AT A RATE NOT CAUSING RUNOFF AND EROSION. THE SOIL

SEEDING RATES FOR

TEMPORARY SEEDING

0.1 LB

RATE PER RATE PER PLANTING

1,000 SF | ACRE* | DATES**

3.9 LBS | 3 BU | 9/1-3/1

0.9 LB | 40 LBS | 8/15-4/1

0.9 LB | 40 LBS | 1/15-3/15

1.4 LBS | 60 LBS | 3/1-8-1

0.9 LB | 40 LBS | 4/1-7/15

4.1 LBS | 3 BU | 9/15-2/1

4 LBS | 2/15-6/15

SHALL BE THOROUGHLY WETTED TO A DEPTH THAT WILL INSURE GERMINATION OF THE SEED. SUBSEQUENT

SPECIES

RYFGRASS

LESPEDEZA

LOVEGRASS

WHEAT

SUDANGRASS

MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10

FERTILIZER OR THE EQUIVALENT PER ACRE (12-16 LBS./1,000 SQ. FT.) SHALL BE APPLIED. FERTILIZER SHOULD BE

TRENCHED OR OTHERWISE SCARIFIED TO PROVIDE A PLACE FOR SEED TO LODGE AND GERMINATE.

APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

MULCHING WITHOUT TEMPORARY GRASSING:
WOOD MULCH SHALL BE PLACED AT A RATE OF 140 TONS PER ACRE AND APPLIED TO A DEPTH OF 2 TO 3 INCHES.

TEMPORARY GRASSING: AGRICULTURAL LIME: APPLY 1 TON/ACRE

AFTER THE MIXTURE IS MADE.

FERTILIZER: FOR SOILS WITH VERY LOW FERTILITY, APPLY 500-700 LBS 10-10-10 PER ACRE FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. SOIL TEST ARE REQUIRED PRIOR TO PERMANENT VEGETATION. PERMANENT GRASSING SHALL BE SOD.

MIX THE SEED (INOCULATED IF NEEDED), FERTILIZER, AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH WITH WATER AND APPLY IN A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. APPLY WITHIN ONE HOUR

MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDED AREAS SHALL ACHIEVE 75% SOIL COVER.

SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS 1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2-1/2 TONS PER

2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER WILL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE

INDICATED ABOVE) AFTER HYDRAULIC SEEDING. 3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.

4. <u>SERICEA LÉSPEDEZA HAY</u> CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE. 5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3

INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUALITY MAY BE USED WHERE ORNAMENTALS OR OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDED AREAS.

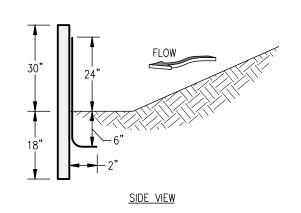
6. WHEN USING <u>TEMPORARY EROSION CONTROL BLANKETS</u> OR BLOCK SOD, MULCH IS NOT REQUIRED. 7. <u>BITUMINOUS TREATED ROVING</u> MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. * WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING

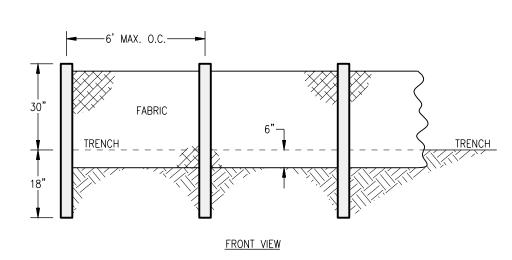
STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE. WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT.

DESIGN PROFESSIONAL'S CREDENTIALS: ENGINEER'S NAME (PRINTED) TRAVIS BURKE, PE

GSWCC LEVEL II CERTIFICATION NUMBER: 8134

NRCS ORIGINAL SUBMITTAL: 6/5/2023 NRCS SECOND SUBMITTAL





1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SILT FENCE - TYPE NON-SENSITIVE

NOT TO SCALE

WITH PERMANENT VEGETATION)

THE PLANTING OF PERENNIAL VEGETATION SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON EXPOSED AREAS FOR FINAL PERMANENT STABILIZATION. PERMANENT PERENNIAL VEGETATION SHALL BE USED TO ACHIEVE FINAL STABILIZATION.

PERMANENT PERENNIAL VEGETATION IS USED TO PROVIDE A PROTECTIVE COVER FOR EXPOSED AREAS INCLUDING CUTS, FILLS, DAMS, AND OTHER DENUDED AREAS.

GRADING AND SHAPING MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. VERTICAL BANKS SHALL BE SLOPED TO ENABLE PLANT ESTABLISHMENT. WHEN CONVENTIONAL SEEDING AND FERTILIZING ARE TO BE DONE GRADE AND SHAPE WHERE FEASIBLE AND PRACTICAL, SO THAT EQUIPMENT CAN BE USED SAFELY AND EFFICIENTLY DURING

SAFE OUTLET. DIVERSIONS AND OTHER TREATMENT PRACTICES SHALL CONFORM WITH THE APPROPRIATE STANDARDS AND SPECIFICATIONS.

SEEDBED PREPARATION MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. WHEN CONVENTIONAL SEEDING IS TO BE USED, SEEDBED PREPARATION WILL BE DONE AS FOLLOWS:

- 1. TILLAGE AT A MINIMUM, SHALL ADEQUATELY LOOSEN THE SOIL TO A DEPTH OF 4 TO 6 INCHES; ALLEVIATE COMPACTION; INCORPORATE LIME AND FERTILIZER; SMOOTH AND FIRM THE SOIL; ALLOW FOR THE PROPER PLACEMENT OF SEED, SPRIGS, OR PLANTS; AND ALLOW FOR THE ANCHORING OF STRAW OR HAY MULCH IF A DISK IS TO BE USED.
- 3. TILLAGE SHOULD BE DONE ON THE CONTOUR WHERE FEASIBLE.
- 4. ON SLOPES TOO STEEP FOR THE SAFE OPERATION OF TILLAGE EQUIPMENT, THE SOIL SURFACE SHALL BE PITTED OR TRENCHED ACROSS THE SLOPE WITH APPROPRIATE HAND TOOLS TO PROVIDE TWO PLACES 6 TO 8 INCHES APART IN WHICH SEED MAY LODGE AND GERMINATE. HYDRAULIC SEEDING MAY ALSO BE USED.

INDIVIDUAL PLANTS

- HOLES, OPENING FURROWS, OR DIBBLE PLANTING.
- 2. FOR NURSERY STOCK PLANTS, HOLES SHALL BE LARGE ENOUGH TO ACCOMMODATE ROOTS WITHOUT CROWDING.
- WHERE PINE SEEDLINGS ARE TO BE PLANTED, SUBSOIL UNDER THE ROW 36 INCHES DEEP ON THE CONTOUR FOUR TO SIX MONTHS PRIOR TO PLANTING. SUBSOILING SHOULD BE DONE WHEN THE SOIL IS DRY, PREFERABLY IN AUGUST OR SEPTEMBER.

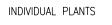
HYDRAULIC SEEDING

MIX THE SEED (INNOCULATED IF NEEDED), FERTILIZER, AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH WITH WATER AND APPLY IN A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED.

CONVENTIONAL SEEDING

PLANTING, USE A CULTIPACKER SEEDER, DRILL, ROTARY SEEDER, OTHER MECHANICAL SEEDER, OR HAND SEEDING TO DISTRIBUTE THE SEED UNIFORMLY OVER THE AREA TO BE TREATED. COVER THE SEED LIGHTLY WITH 1/8 TO 1/4 INCH OF SOIL FOR SMALL SEED AND 1/2 TO 1 INCH FOR LARGE SEED WHEN USING A CULTIPACKER OR OTHER SUITABLE EQUIPMENT.

NO-TILL SEEDING IS PERMISSIBLE INTO ANNUAL COVER CROPS WHEN PLANTING IS DONE FOLLOWING MATURITY OF THE COVER CROP OR IF THE TEMPORARY COVER STAND IS SPARSE ENOUGH TO ALLOW ADEQUATE GROWTH OF THE PERMANENT (PERENNIAL) SPECIES. NO-TILL SEEDING SHALL BE DONE WITH APPROPRIATE NO-TILL SEEDING EQUIPMENT. THE SEED MUST BE UNIFORMLY DISTRIBUTED AND PLANTED AT THE PROPER DEPTH.



SHRUBS. VINES AND SPRIGS MAY BE PLANTED WITH APPROPRIATE PLANTERS OR HAND PINE TREES SHALL BE PLANTED MANUALLY IN THE SUBSOIL FURROW. EACH PLANT SHALL BE SET IN A MANNER THAT WILL AVOID CROWDING THE ROOTS. NURSERY STOCK PLANTS SHALL BE PLANTED AT THE SAME DEPTH OR SLIGHTLY DEEPER THAN THEY GREW AT THE NURSERY. THE TIPS OF VINES AND SPRIGS MUST BE AT OR SLIGHTLY ABOVE THE GROUND SURFACE. WHERE INDIVIDUAL HOLES ARE DUG. FERTILIZER SHALL BE PLACED IN THE BOTTOM OF THE HOLE, TWO INCHES OF SOIL SHALL BE ADDED AND THE PLANT SHALL BE SET IN THE HOLE.

FND OF FABRIC FENC

TOP VIEW

STAPLE PLACEMENT

FRONT VIEW

1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO

PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

OVERLAP AT FABRIC ENDS

FASTENERS FOR SILT FENCES

WOOD POST WITH-

NAIL PLACEMENT

MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED:

- 1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2 1/2 TONS PER ACRE.
- 2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRYSTRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE INDICATED ABOVE) AFTER HYDRAULIC SEEDING.
- 3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.
- 4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.
- 5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR
- 6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOD, MULCH IS NOT
- 7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION, BITUMINOUS TREATED ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING

APPLYING MULCH

STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL

WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT.

ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING

1. EMULSIFIED ASPHALT CAN BE (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE OR (B) SPRAYED ON THE MULCH IMMEDIATELY FOLLOWING MULCH

APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF GRADE SS-1H

CARE SHALL BE TAKEN AT ALL TIMES TO PROTECT STATE WATERS, THE PUBLIC, ADJACENT PROPERTY, PAVEMENTS, CURBS, SIDEWALKS, AND ALL OTHER STRUCTURES FROM ASPHALT

OR CSS-1H EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH.

2. HAY AND STRAW MULCH SHALL BE PRESSED INTO THE SOIL IMMEDIATELY AFTER THE MULCH IS SPREAD. A SPECIAL "PACKER DISK" OR DISK HARROW WITH THE DISKS SET STRAIGHT MAY BE USED. THE DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT, LEAVING MUCH OF IT IN AN ERECT POSITION. MULCH SHALL NOT BE PLOWED INTO THE SOIL.

- 3. SYNTHETIC TACKIFIERS OR BINDERS APPROVED BY GDOT SHALL BE APPLIED IN CONJUNCTION WITH OR IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC TACKIFIERS SHALL BE MIXED AND APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. REFER TO TB - TACKIFIERS
- 4. RYE OR WHEAT CAN BE INCLUDED WITH FALL AND WINTER PLANTINGS TO STABILIZE THE THEY SHALL BE APPLIED AT A RATE OF ONE-QUARTER TO ONE HALF BUSHEL PER ACRE.
- 5. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW THESE MATERIALS SHALL BE INSTALLED AND ANCHORED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NOT TO SCALE

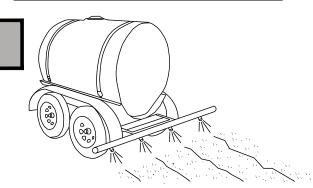
IRRIGATION SHALL BE APPLIED AT A RATE THAT WILL NOT CAUSE RUNOFF SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**		
BAHIA	1.4 LBS	60 LBS	1/1-12/31		
BERMUDA	0.2 LB	10 LBS	2/15-7/1		
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1		
LESPEDEZA	1.7 LB	75 LBS	1/1-12/31		
WEEPING LOVE GRASS	0.1 LB	4 LBS	2/1-6/15		
SWITCHGRASS	0.9 LBS	40 LBS	3/15-6/1		
* UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER					

** SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

LIME AND FERTILIZER AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS, OR SOIL MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (12-16 LBS./1,000 SQ. FT.) SHALL BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A

DUST CONTROL ON DISTURBED AREAS



CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LIMIT THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES:

*TEMPORARY METHODS: -MULCHES -VEGETATIVE COVER -SPRAY ON ADHESIVES -TILLAGE -IRRIGATION -BARRIERS

RESIN-IN-

EMULSION

-CALCIUM CHLORIDE

DISK, RIPPER OR CHISEL.

-PERMANENT VEGETATION -STONE COVER

*PERMANENT METHODS

ADHESIVE APPLICATION ADHESIVE NOZZLE DILUTION RATE (GAL/AC) ANIONIC SPRAY ASPHALT 1200 **EMULSION** 12 1/2:1 235 **EMULSION**

SPRAY

*CHEMICAL CONTROL

0

REVISIONS:

ED OR

JOB NUMBER: 23-245 4/26/2024 DRAWN BY: CHECKED BY:

AS NOTED EROSION CONTROL

DETAILS

31215

GEORGIA PE NUMBER:

* UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES ** SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

<u>SPECIFICATIONS</u> GRADING AND SHAPING

SEEDBED PREPARATION, SEEDING, MULCHING AND MAINTENANCE OF THE VEGETATION. CONCENTRATIONS OF WATER THAT WILL CAUSE EXCESSIVE SOIL EROSION SHALL BE DIVERTED TO A

SEEDBED PREPARATION

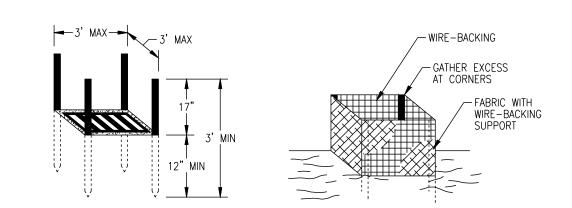
- 2. TILLAGE MAY BE DONE WITH ANY SUITABLE EQUIPMENT.

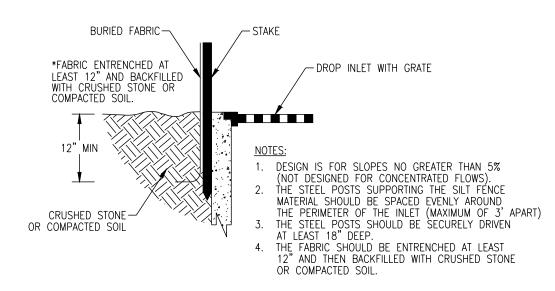
- 1. WHERE INDIVIDUAL PLANTS ARE TO BE SET, THE SOIL SHALL BE PREPARED BY EXCAVATING

PLANTING

APPLY WITHIN ONE HOUR AFTER THE MIXTURE IS MADE. SEEDING WILL BE DONE ON A FRESHLY PREPARED AND FIRMED SEEDBED. FOR BROADCAST



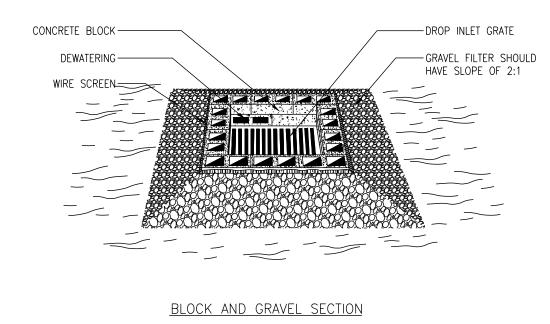




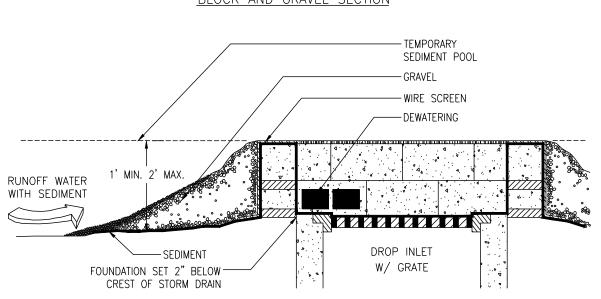


EXCAVATED INLET SEDIMENT TRAP CALCULATIONS Drainage Area = 4.16 ac 2. Required sediment storage = 67 cy/ac * Drainage Area Required sediment storage = 07 cy/ac * 4.16 ac
Required sediment storage = 278.7 cy = 7,525 cf

3. Assume excavation depth (minimum of 1.5 ft.) = 1.5 ft 4. Assume slopes of sides (shall not be steeper than 2:1) = 2:1 5. Determine required surface area SAmin = Required sediment storage / excavation depth SAmin = $\frac{7,525}{5,017}$ cf / $\frac{1.5}{5}$ ft 6. Assume shape of excavation and determine dimensions. (A rectangle shape with 2:1 length to width ratio is recommended) Shape: Rectangle Dimensions: $I = \underline{20}$ ft $w = \underline{20}$ ft Excavated Inlet Sediment Trap = 20' (w) x 20' (l) x 1.5' (depth) = 600 cf storage 11 Excavated Inlet Sediment Traps x 600 cf = 6,600 cf of storage

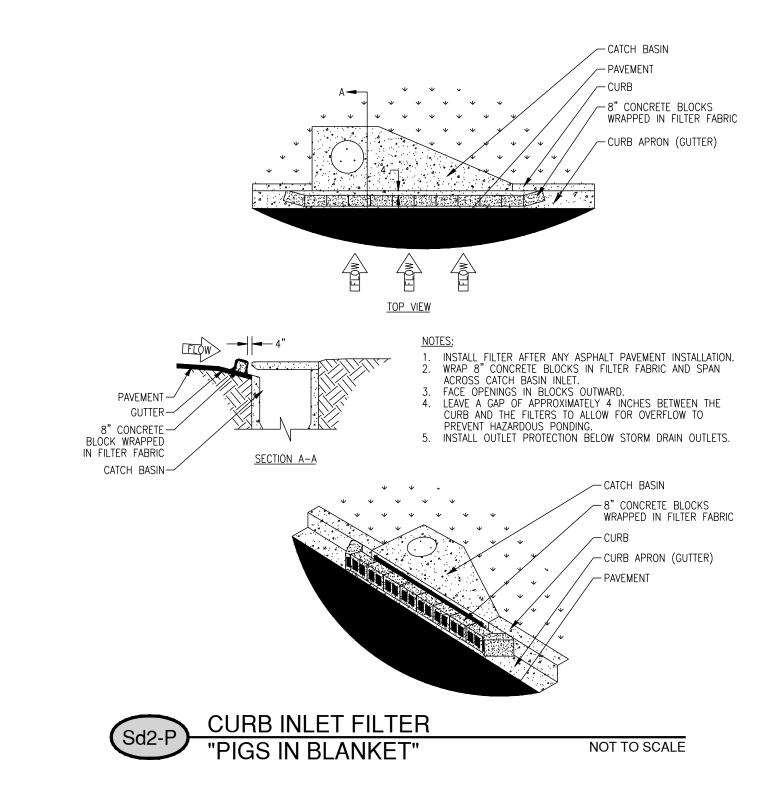


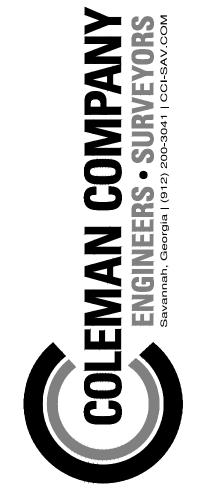
BLOCK AND GRAVEL PERSPECTIVE



 HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH ½ INCH OPENINGS SHALL BE FITTED OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
 THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. THE FIRST ROW OF BLOCKS WILL BE PLACED HERE FOR LATERAL SUPPORT. 3. ONE BLOCK (AS SHOWN) IS TO BE PLACED ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW FOR POOL DRAINAGE.

BLOCK GRAVEL DROP INLET PROTECTION NOT TO SCALE







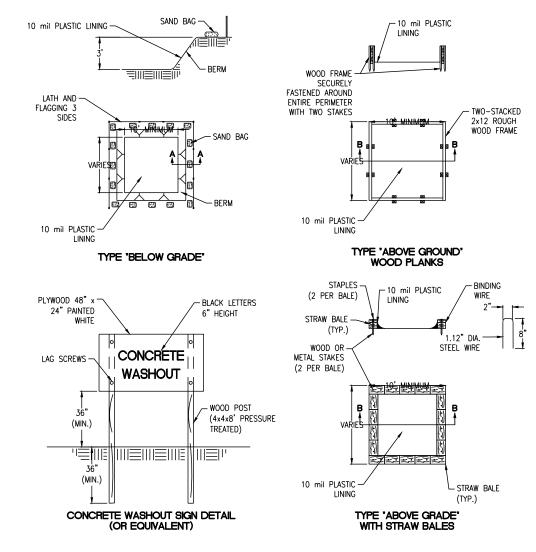
REVISIONS:

JOB NUMBER: 4/26/2024 DRAWN BY:

 DJM CHECKED BY: TGB **AS NOTED**

23-245

EROSION CONTROL DETAILS



CONCRETE WASHOUT DETAIL

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.

4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION. 5. MUST BE LOCATED >50 FT AWAY FROM INLETS/WATERWAYS UNLESS THERE IS NO OTHER PRACTICAL ALTERNATIVE.

DESIGN PROFESSIONAL'S CREDENTIALS: ENGINEER'S NAME (PRINTED): TRAVIS BURKE, PE GEORGIA PE NUMBER: 31215

NRCS ORIGINAL SUBMITTAL: 6/5/2023 NRCS SECOND SUBMITTAL:

GSWCC LEVEL II CERTIFICATION NUMBER: 8134

5 PRIMARY PERMITTEE / DEVELOPER / OWNER MARSHALL DESIGN-BUILD, INC. 4437 ATLANTA HWY MONTGOMERY, AL

THE TOTAL ACREAGE FOR THE SITE IS 4.786 AC ACRES DISTURBED ACREAGE IN THIS PHASE IS 4.16 AC ACRES

334-277-8820

7 THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE IS 32.06855° LATITUDE, 81.27363° LONGITUDE

9 DESCRIPTION AND NATURE OF THE CONSTRUCTION ACTIVITY AND EXISTING SITE CONDITIONS THE EXISTING SITE IS CURRENTLY A VACANT, UNDEVELOPED, GRASS VEGETATED LOT. THIS PROJECT WILL CONSIST OF THE CONSTRUCTION OF A 93 ROOM HOTEL WITH ASSOCIATED PARKING AND INFRASTRUCTURE.

 \langle 47angle THE EXISTING SITE HAS THE FOLLOWING: PELHAM LOAMY SAND

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

TRAVIS BURKE, PE - DESIGN PRO SSIONAL - GSWCC LEVEL II CERTIFICATION NUMBER: 8134

(12) I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR BY MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

TRAVIS BURKE, PE - DESIGN PROFESSION GSWCC LEVEL II CERTIFICATION NUMBER: 8134

 $\langle 13
angle$ I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

TRAVIS BURKE, PE - DESIGN PTO FESSIONAL - GSWCC LEVEL II CERTIFICATION NUMBER: 8134

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angle$ FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPS HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

> DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION DATE OF INSPECTION: ????

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

TRAVIS BURKE, PE - DESIGN PROFESSIONAL - GSWCC LEVEL II CERTIFICATION NUMBER: 8134

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN:

THESE DEFICIENCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

27 PRODUCT SPECIFIC PRACTICES

CONTRACTOR SHALL MAINTAIN WEATHER-PROOF COVER FOR ALL BUILDING MATERIALS AND PRODUCTS STORED ON SITE -PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS SHALL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS SHALL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER INLETS, IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS. FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS SHALL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL

-PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS SHALL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT SHALL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS SHALL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. -CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE

OR DRUM WASH WATER ONSITE. -FERTILIZER/HERBICIDES - THESE PRODUCTS SHALL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS SHALL BE UNDER ROOF IN SEALED CONTAINERS.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS SHALL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH

MATERIAL SHALL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES. 25 SPILL CLEANUP AND CONTROL PRACTICES

SHALL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND PROCEDURES SHALL BE MADE AVAILABLE TO SITE PERSONNEL

- MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

- SPILL PREVENTION PRACTICES AND PROCEDURES SHALL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.

- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS SHALL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS. - FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC)

- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) SHALL BE CONTACTED WITH IN 24 HOURS AT

- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE EPD SHALL BE CONTACTED WITHIN 24 HOURS AT (800) 241-4113 OR (404) 656-4863 - FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL SHALL BE CLEANED UP AND LOCAL AGENCIES SHALL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM ARE STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR SHALL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

(26) MEASURES THAT SHALL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT

WASH DOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS, AND THE REAR OF THE VEHICLES SHALL BE ALLOWED AT THE CONCRETE WASHOUT AREA, TO BE DESIGNATED IN THE FIELD BY THE CONTRACTOR. WASHOUT OF THE CONCRETE MIXER'S DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

" ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR

SHALL REMAIN IN PLACE AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED: PERMANENT VEGETATIVE STABILIZATION (DS3) AND PIGS IN A BLANKET (SD2-P). THE SITE SHALL UTILIZE A SERIES OF PRACTICAL BMP'S. DIVERSION DITCHES SHALL BE USED TO CONVEY THE STORM WATER TO THE EXISTING WET DETENTION POND. THE REGIONAL POND IS A CONSTRUCTED BASIN THAT CONTAINS A PERMANENT POOL OF WATER AND TREATS POLLUTED STORM WATER RUNOFF VIA SETTLEMENT. THE WET DETENTION POND DETAINS THE STORM WATER RUNOFF LONG ENOUGH FOR CONTAMINATED SEDIMENTS TO SETTLE AND REMAIN IN THE POND, AS IT EVENTUALLY OUTFALLS THROUGH A SLOTTED BOARD RETROFIT. THIS SETTLEMENT PROCESS REMOVES PARTICULATES, ORGANIC MATTER, AND METALS FROM THE WATER WHILE NUTRIENTS ARE REMOVED THROUGH BIOLOGICAL UPTAKE. THE WET DETENTION POND SHALL OUTLET THE STORM WATER RUNOFF AT A SIGNIFICANTLY REDUCED RATE.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

"AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."

"WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT

VOLUME AND THE VELOCITY OF THE RUNOFF CONTRIBUTING TO THE DOWNSTREAM CONVEYANCE.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBING ACTIVITIES." EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED

PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE." PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES

AFTER COMPLETION OF CONSTRUCTION ACTIVITIES 1. PERMANENT SEEDING: THE SITE SHALL BE STABILIZED UTILIZING PERMANENT SEEDING TO PRE-TREAT THE STORMWATER RUNOFF PRIOR TO ENTERING THE DOWNSTREAM CONVEYANCE BY REMOVING SEDIMENT AS WELL AS ANY ATTACHED CHEMICALS FROM RUNOFF. PERMANENT SEEDING ALSO PREVENTS EROSION, REDUCES THE VOLUME AND VELOCITY OF THE

RUNOFF AND IMPROVES WATER QUALITY. 2. TEMPORARY DIVERSION DITCHES WILL ACT AS NATURAL BIOFILTERS TO REDUCE STORM WATER VELOCITY AND POLLUTANT LOAD PRIOR TO RELEASE OF THE RUNOFF INTO THE DOWNSTREAM CONVEYANCE. THIS IS ACCOMPLISHED VIA INFILTRATION

AND SETTLEMENT. 3. WET POND: THE PERMANENT POOL OF THE WET POND ENHANCES PARTICULATE SETTLING BY INCREASING RESIDENCE TIME AND WILL EFFECTIVELY HAVE AN 80% TSS REMOVAL RATE, BY ALLOWING SETTLEMENT OF THE SEDIMENT AND OTHER POLLUTANTS THAT ARE TRANSFERRED TO THE POND VIA OTHER CONVEYANCES, THUS ELIMINATING THE RELEASE INTO AND IMPROVING THE WATER QUALITY OF THE DOWNSTREAM CONVEYANCE. WET PONDS ALSO SIGNIFICANTLY REDUCE THE

(30) INSPECTIONS REQUIREMENTS BY THE PERMITTEE:

A. PRIMARY PERMITTEE REQUIREMENTS.

(1). EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

(2). MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.

(3). CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE: (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OF POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED. (4), CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH

DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR. POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING

(5). BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

(6). A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION. SEDIMENTATION AND POLITITION CONTROL PLAN AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV D.4 A (5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2 OF THIS PERMIT

I.THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT, SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS, SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPI USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY THE EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;

THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;

THE DATE(S) ANALYSES WERE PERFORMED:

THE TIME(S) ANALYSES WERE INITIATED: THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;

REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS

THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS:

RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE APPLICABLE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI

33 SAMPLE ANALYSIS

STORM WATER SHALL BE SAMPLED FOR NEPHLOMETRIC TURBIDITY UNITS (NTU) AT THE OUTFALL LOCATION. THE DISCHARGE OF STORMWATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING , THE VALUE SELECTED FROM APPENDIX B IN PERMIT NO. GAR100001. THE NTU IS BASED UPON THE DISTURBED ACREAGE OF 4.16 AC AC FOR THE CONSTRUCTION SITE, THE SURFACE WATER DRAINAGE AREA OF 0.03 SQUARE MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES.

THIS CONSTRUCTION ACTIVITY WHICH DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT MUST COMPLY WITH PART III. C. OF THE PERMIT. (INCLUDE THE COMPLETED APPENDIX 1 LISTING ALL THE BMPS THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT.)

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED) TRAVIS BURKE, PE GEORGIA PE NUMBER: 31215 GSWCC LEVEL II CERTIFICATION NUMBER:

FOR STAND ALONE FOR DEFINITIONS AND DETAILS.**

APPENDIX B NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLES - WARM WATER (SUPPORTING WARM WATER FISHERIES) STATE OF GEORGIA, DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION, PAGE 46 OF 46, PERMIT NO. GAR100001 SURFACE WATER DRAINAGE AREA (SQUARE MILES) 10-24.99 25-49.99 50-99.99 100-249.99 250-499.99 1.00-10 750 200 750 750 750 400 750 10.01-25 100 100 200 300 500 750 25.01-50 100 200 750 50 100 300 750 50.01-100 50 50 100 100 150 300 600 50 100.01+ 50 50 100 50 50 100 200

**REFER TO GA DEPARTMENT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR100001

Attachment B

ADDITIONAL SITE/EROSION CONTROL NOTES: A. ZONING: THE PRESENT ZONING CLASSIFICATION FOR THIS SITE IS PUD. PIN(S): 51009 01116

(16) B. BUFFER REQUIREMENTS: AS REQUIRED BY ARTICLES 15 OF SECTION 12-7-6 OF THE "GEORGIA EROSION AND SEDIMENTATION ACT OF 1975", THERE IS ESTABLISHED A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR DETERMINES TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF THE NATURAL RESOURCES AND THE ENVIRONMENT, WHERE OTHERWISE ALLOWED BY THE DIRECTOR PURSUANT TO OCGA 12-2-8, OR WHERE A DRAINAGE STRUCTURE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED. "NO BUFFERS ARE REQUIRED FOR THIS PROJECT."

C. EROSION CONTROL PROGRAM: CLEARING SHALL BE KEPT TO AN ABSOLUTE MINIMUM. VEGETATION AND MULCH SHALL BE APPLIED TO APPLICABLE AREAS IMMEDIATELY AFTER GRADING IS COMPLETED. GRAVEL SHALL BE APPLIED TO PARKING AREAS AND ROADWAYS AS SOON AS GRADING IS COMPLETED. LAND SHALL BE SCHEDULED TO LIMIT EXPOSURE OF BARE SOILS TO EROSION ELEMENTS, STORM WATER MANAGEMENT STRUCTURES SHALL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS. EROSION AT THE EXITS OF ALL STORM WATER STRUCTURES SHALL BE PREVENTED BY THE INSTILLATION OF STORM DRAIN OUTLET PROTECTION DEVICES.

D. STANDARDS AND SPECIFICATIONS: ALL DESIGNS SHALL CONFORM TO AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED, "MANUAL FOR EROSION AND SEDIMENT

CONTROL IN GEORGIA' E. SAFETY PROTECTION: CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.

F. MAINTENANCE PROGRAM: SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY, ANY DAMAGES OBSERVED SHALL BE REPAIRED BY THE END OF THAT DAY. CLEANOUT OF SEDIMENT CONTROL STRUCTURES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. BARRIERS SHALL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. THE SEDIMENT FENCES, AND THE BARRIERS SHALL THEN BE REMOVED AND THE AREAS OCCUPIED BY THESE DEVICES SHALL THEN BE VEGETATED. GUIDELINES FOR THE MAINTENANCE OF ESTABLISHED VEGETATION SHALL BE PROVIDED TO THE OWNER WHEN ALL DISTURBED AREAS ARE STABILIZED.

G. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE

H. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER.

I. BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE PUD, IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBER 13051C0109G DATED 8/16/2018.

J. THERE ARE NOT STATE WATERS LOCATED ON OR WITHIN 200' OF THIS SITE. K. THE POINT OF CONTACT FOR CIVIL SITE WORK FOR THIS PROJECT IS:

COLEMAN COMPANY 1480 Chatham Parkway, Suite 100 SAVANNAH, GA 31405 (912) 200-3041

RETENTION OF RECORDS

THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS

A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI: a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;

b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;

THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH

A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;

A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND

g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT. 2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

 $raket{45}$ ESTIMATED PEAK DISCHARGE OR RUNOFF CURVE NUMBER FOR PRE AND POST CONDITIONS: RUNOFF CURVE NUMBER PRE-DEVELOPED 92 POST-DEVELOPED 97

(SCS METHOD USED FOR LARGE SITE)

IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES RESIDENTIAL AREAS, WETLANDS, MARSHLANDS, ETC. WHICH MAY BE AFFECTED: THE RECEIVING WATERS OF THE EXISTING SYSTEM IS A WET POND TOWARD THE SAVANNAH AND OGEECHEE CANAL. THE FINAL RECEIVING WATERS ARE THE LITTLE OGEECHEE RIVER.

IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 22 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOI, THE ES&PC PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN.

SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS REQUIREMENTS:

SAMPLING REQUIREMENTS THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FINE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.

a.SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING: (1)A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE DEVELOPMENT: (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM. WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE

FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP: (2). A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES . THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;

(3). WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND (4). ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

(1). ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD. (2). SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

(3). SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. (4). LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES . THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION. (5). MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION.

UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE

(6). SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

c. SAMPLING POINTS. (1), FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRÉSENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:

(A). THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE

SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE. (B). THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

(C). IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S). (D). CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE

OUTFALL STORM WATER CHANNEL. (E). THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

(F). THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

THE REGION).

(G). PERMITTEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP ·OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR

(H). ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4.., WHICHEVER IS APPLICABLE.

*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR 

REVISIONS:

4/26/2024 DRAWN BY: CHECKED BY: **AS NOTED**

NPDES PERMIT NOTES

SAMPLING REQUIREMENTS PART IV.D.6

AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

CLEANED THOROUGHLY TO AVOID CONTAMINATIONS.

STORMWATER OUTFALL CHANNEL(S).

THE PROJECT.

10. DILUTION OF SAMPLES IS NOT REQUIRED.

12. SAMPLES ARE NOT REQUIRED TO BE COOLED.

SAMPLING FREQUENCY PART IV.D.6.D

WATER OR FROM AN OUTFALL:

1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.

4. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORMWATER CHANNEL.

THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.

11. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER.

STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

HOURS AFTER THE BEGINNING OF THE STORMWATER DISCHARGE.

AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST.

14. TURBIDITY RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS " EXCEEDS 1000 NTU."

1. SAMPLING FREQUENCY SHALL OCCUR IN ACCORDANCE WITH PART IV.D.6.D (3) OF THE PERMIT.

NON-WORKING SATURDAY, NON-WORKING SUNDAY & NON-WORKING FEDERAL HOLIDAY.

ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES

HAVE BEEN APPROVED), THE GUIDANCE DOCUMENT TITLED " NPDES STORMWATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001"

2. LARGE MOUTH, CLEAN AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE

3. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE

5. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED

6. IF MANUAL SAMPLING IS EMPLOYED. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM, THE

7. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE

FIRST STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FURTHEST UPSTREAM AT THE SITE) BUT

8. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST

APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE

9. PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY

UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE

ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

13. SAMPLES AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY

2. FOR A QUALIFYING EVENT, SAMPLES MUST BE TAKEN WITHIN FORTY-FIVE (45) MINUTES OF OR AS SOON AS POSSIBLE:

MONITORED RECEIVING WATER OR FROM A MONITORED OUTFALL HAS BEGUN PRIOR TO THE ACCUMULATION.

A. THE ACCUMULATION OF THE MINIMUM AMOUNT OF RAINFALL FOR THE QUALIFYING EVENT, IF THE STORMWATER DISCHARGE TO A

B. THE BEGINNING OF ANY STORMWATER DISCHARGE TO A MONITORED RECEIVING WATER OR FROM A MONITORED OUTFALL. IF THE

PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12)

DISCHARGE BEGINS AFTER THE ACCUMULATION OF THE MINIMUM AMOUNT OF RAINFALL FOR THE QUALIFYING EVENT.

C. WHERE MANUAL AND AUTOMATIC SAMPLING ARE NOT IMPOSSIBLE (AS DEFINED IN THE PERMIT), OR ARE BEYOND THE

D. NORMAL BUSINESS HOURS, AS DEFINED BY THE PERMIT, ARE MONDAY THROUGH FRIDAY, 8:00 AM TO 5:00 PM EXCLUDING ANY

A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT

GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;

3. SAMPLING SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING

REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED

IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS

B, IN ADDITION TO (A) ABOVE, FOR EACH OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST

4. IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED

INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN 2 BUSINESS DAYS, AND TURBIDITY

SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL

5. NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF NO. 3.A AND NO. 3.B BY COLLECTING TURBIDITY SAMPLES

FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK."

"NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS

MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS

MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES

HOLIBS AS DEFINED IN THIS PERMIT FITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING

POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED.

RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS

OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A N.O.T., IN THE DRAINAGE AREA OF THE LOCATION SELECTED

STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E. THE DISCHARGE FARTHERMOST DOWNSTREAM AT THE SITE) BUT

DOWNSTREAM OF ANY OTHER STORMWATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE

SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF

SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS, AND CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM

IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPING OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE AND ALL STREAM BUFFERS SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY TO OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY. THE CONSTRUCTION EXIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS, MATERIALS, DIMENSIONS, ETC. AS DESCRIBED IN THE CURRENT VERSION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S "MANUAL FOR EROSION AND SEDIMENT CONTROL".

THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY:

IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXIT(S). ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE EROSION CONTROL PLAN.

TYPE 'NS' & 'S', IF REQUIRED, AND TYPE 'S' AS APPLICABLE, SILT FENCE SHALL BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-27.2. THE SILT FENCE SHALL BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHED ½ THE HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHALL BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLAN. SEE SEPARATE DETAILS FOR SPECIFICS ON TYPE OF INLET PROTECTION SPECIFIED.

4. STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN.

5. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE ACTIVITY AND MAINTAINED UNTIL FINAL LANDSCAPE IS INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSPECTED DAILY. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.

AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF SAID EROSION CONTROL MEASURES. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTION.

AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRUBBING ACTIVITIES. AS CLEARING PERMITS THE CONTRACTOR SHALL CONSTRUCT INLET PROTECTION AS SHOWN ON THE INTERMEDIATE PHASE PLAN TO CONTROL EROSION AND STORM WATER RUN OFF.

THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION CONTROL INSTALLATION PLAN WILL INSPECT THE INSTALLATION OF THE BMPS WITHIN SEVEN DAYS AFTER INITIAL CONSTRUCTION ACTIVITY BEGINS.

INTERMEDIATE PHASE

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INTERMEDIATE PHASE OF CONSTRUCTION. NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPING OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREFORE LIMITED DURATIONS, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED. NOTE SUB PHASES SHOWN ON PLANS.

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

MADE.

TYPE "NS" SILT FENCE SHALL BE INSTALLED AT THE TOE OF ALL FILL SLOPES 10 FEET OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6.27.1. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT FENCE SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 THE HEIGHT OF THE BARRIER, ADDITIONALLY, DIVERSION DIKES SHALL BE CONSTRUCTED ALONG THE TOP OF ALL SAID FILL SLOPES WITH THE USE OF TEMPORARY DOWN DRAINS TO CONTROL STORM WATER RUN OFF AS SHOWN ON THE PLANS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE AS SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIERS SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

CUT AND FILL SLOPES ARE NOT TO EXCEED " 3H:1V"

THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON THE PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON THE PLAN AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL

TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND INLET PROTECTION ARE CONSTRUCTED AS SHOWN ON THE INTERMEDIATE PHASE ALL SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171- SILT FENCE FOR THE DEPARTMENT OF TRANSPORTATION, STATE OF

GEORGIA, STANDARD SPECIFICATIONS, CONSTRUCTION OF TRANSPORTATION SYSTEMS 2013 EDITION. ALL ITEMS IN THIS SECTION OF THE SPECIFICATIONS SHALL MEET THE REQUIREMENTS AS SET FORTH IN SECTION 161, 162, 163, AND 165

OF THE GEORGIA D.O.T. STANDARD SPECIFICATIONS, CONSTRUCTION OF TRANSPORTATION SYSTEMS, 2013 EDITION.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION. SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE

INSTALLED IF NEW CHANNELS HAVE DEVELOPED THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1"-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED,

DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR THE CIVIL ENGINEER.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

TYPE "NS" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION. NLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN

VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION. STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS, AS SHOWN ON THE PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED

FINAL PHASE THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF LAND DISTURBANCE.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED

SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE HALF WAY POINT ON THE RISER OR THE SPECIFIED ELEVATION ON THE CLEANOUT STAKE.

AFTER CURBING, GRADED AGGREGATE BASE, AND PAVEMENT HAVE BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON SINGLE AND DOUBLE WING CATCH BASINS ALONG WITH ANY CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER PROTECTION. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL AREAS ADJACENT TO ROADWAY AND PARKING AREAS SHOULD HAVE A VEGETATIVE COVER APPLIED AS SOON AS FINAL GRADE IS

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC

RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1"-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED. DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR THE CIVIL ENGINEER.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

UPON COMPLETION OF THE PROJECT AND RECEIPT OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE OF THE SITE, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED ON PLANS.

THIS PLAN HAS BEEN PREPARED TO MEET THE REQUIREMENTS UNDER THE STATE OF GEORGIA, DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION (EDP) FOR AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FOR STAND ALONE CONSTRUCTION

AUTHORIZED DISCHARGES

PERMIT COVERAGE

1. ALL DISCHARGES OF STORM WATER ASSOCIATED WITH STAND ALONE CONSTRUCTION PROJECTS THAT WILL RESULT IN LAND DISTURBANCE EQUAL TO OR GREATER THAT ONE ACRE. PART I.C.1.

2. ALL DISCHARGES COVERED BY THIS PERMIT SHALL BE COMPOSED ENTIRELY OF STORM WATER EXCEPT AS PROVIDED IN PART 1.C.2 AND PART III.A.2 OF THE PERMIT.

3. AUTHORIZED MIXED STORM WATER DISCHARGES: PART 1.C.2 A. THE INDUSTRIAL SOURCE OR ACTIVITY OTHER THAN CONSTRUCTION IS LOCATED ON THE SAME SITE AS THE CONSTRUCTION ACTIVITY AND IS AN INTEGRAL PART OF THE CONSTRUCTION ACTIVITY.

B. THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE OCCURRING ARE IN COMPLIANCE WITH THE TERMS OF THIS PERMIT.

C. STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION ARE OCCURRING ARE COVERED BY DIFFERENT NPDES GENERAL PERMIT OR INDIVIDUAL PERMIT AUTHORIZING SUCH DISCHARGES AND THE DISCHARGES ARE IN COMPLIANCE WITH A DIFFERENT NPDES PERMIT

4. AUTHORIZED NON-STORMWATER DISCHARGES: PART III.A.2

A. FIRE FIGHTING ACTIVITIES B. FIRE HYDRANT FLUSHING C. POTABLE WATER SOURCES INCLUDING WATER LINE FLUSHING

D. IRRIGATION DRAINAGE

E. AIR CONDITIONING CONDENSATE

G. UNCONTAMINATED GROUND WATER

H. FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS OR POLLUTANTS.

LIMITATIONS ON COVERAGE PART I.C.3

1. THE FOLLOWING STORM WATER DISCHARGES FROM CONSTRUCTION SITES ARE NOT AUTHORIZED BY THIS PERMIT:

A. STORM WATER DISCHARGES ASSOCIATED WITH AN INDUSTRIAL ACTIVITY THAT ORIGINATE FROM THE SITE AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.

B. DISCHARGES THAT ARE MIXED WITH SOURCES OF NON-STORMWATER OTHER THAN DISCHARGES WHICH ARE IDENTIFIED IN PART III.A.2 OF THIS PERMIT AND WHICH ARE IN COMPLIANCE WITH PART IV.D.7 (NON-STORMWATER DISCHARGES) OF THIS PERMIT.

C. STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY THAT ARE SUBJECT TO AN EXISTING NPDES INDIVIDUAL OR GENERAL PERMIT, SUCH DISCHARGES MAY BE AUTHORIZED UNDER THIS PERMIT AFTER AN EXISTING PERMIT EXPIRES PROVIDED THE EXISTING PERMIT DID NOT ESTABLISH NUMERIC LIMITATIONS FOR SUCH DISCHARGES.

D. STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT THE DIRECTOR (EPD) HAS DETERMINED TO BE OR MAY REASONABLY BE EXPECTED TO BE CONTRIBUTING TO A VIOLATION OF A WATER QUALITY STANDARD.

2. THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL IN THE STORMWATER DISCHARGE(S) FROM A SITE SHALL BE PRVENTED. THIS PERMIT DOES NOT BELIEVE THE PERMITTEE OF THE REPORTING REQUIREMENTS OF GEORGIA'S OIL OR HAZARDOLIS MATERIALS. SPILLS OR RELEASE ACT (O.C.G.A 12-14-2 ET SEQ), 40 CFR PART 117 AND 40 CFR PART 302. WHERE A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT FOLIAL TO OR IN EXCESS OF A REPORTING QUANTITY ESTABLISHED LINDER FITHER GEORGIA'S OIL OR HAZARDOUS MATERIAL SPILLS OR RELEASES ACT (O.C.G.A 12-14-2, ET SEQ.), 40 CFR 117 OR 40 CFR 302 OCCURS DURING A 24-HOUR PERIOD, THE PERMITTEE IS REQUIRED TO NOTIFY THE FOLLOWING AGENCIES IN ACCORDANCE WITH THE ABOVE-MENTIONED REGULATIONS AS SOON AS HE HAS KNOWLEDGE OF THE DISCHARGE: EPD AT (404) 656-4863 OR (800) 241-4113, AND THE NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802, PART III.B.1

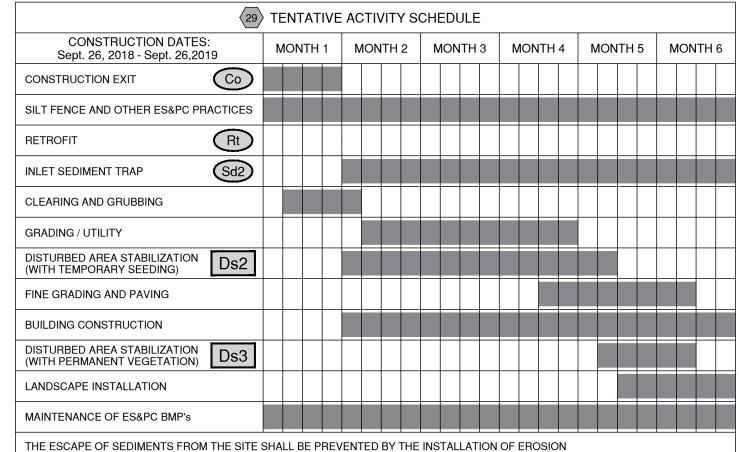
3. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL RESULTING FROM AN ON-SITE SPILL. PART

NO DISCHARGES AUTHORIZED BY THIS PERMIT SHALL CALISE VIOLATIONS OF GEORGIA'S IN-STREAM WATER OLIALITY STANDARDS AS PROVIDED BY THE RULES AND REGULATIONS FOR WATER QUALITY CONTROL, CHAPTER 391-3-6-03. WATER QUALITY COMPLIANCE PART

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED)

GSWCC LEVEL II CERTIFICATION NUMBER:



AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

E,S&PC PLAN CHECKLIST NUMBER

NRCS ORIGINAL SUBMITTAL

GEORGIA UNIFORM CODING SYSTEM FOR SOIL AND SEDIMENT CONTROL PRACTICES STRUCTURAL PRACTICES CODE PRACTICE A small temporary barrier or dam constructed across a swale, drainage ditch or area of Cd CHECKDAM concentrated flow. Ch channel, existing stream, or ditch. TABILIZATION construction site exit to provide a place fo CONSTRUCTION Co removing mud from tires thereby protecting public streets. CONSTRUCTION construction plan including access roads, Cr 'I subdivision roads, parking areas and other STABILIZATION on-site vehicle transportation routes. A temporary channel constructed to convey STREAM Dc flow around a construction site while a permanent structure is being constructed. 🤊 An earth channel or dike located above, below Di or across a slope to divert runoff. This may be a temporary or permanent structure. A flexible conduit of heavy-duty fabric or TEMPORAR' other material designed to safely conduct Dn1 DOWNDRAIN surface runoff down a slope. This is tempore STRUCTURE and inexpensive. Dn2 A paved chute, pipe, sectional conduit or Dn2 DOWNDRAIN STRUCTURE similar material designed to safely conduct surface runoff down a slope. A temporary stone barrier constructed at Fr storm drain inlets and pond outlets. Rock filter baskets which are hand-placed Ga into position forming soil stabilizing Permanent structures installed to protect channels or waterways where otherwise the Gr slope would be sufficient for the running **STRUCTURE** A structure to convert concentrated flow of LEVEL SPREADER Lv water into less erosive sheet flow. This should be constructed only on undisturbed A permanent or temporary stone filter dam ROCK FILTER DAM Rd installed across small streams or A wall installed to stabilize cut and fill slopes RETAINING where maximum permissible slopes are not Re obtainable. Each situation will require special A device or structure placed in front of a permanent stormwater detention pond outlet RETRO FITTING Rt structure to serve as a temporary sedimen the construction site. It may be sandbags, Sd1 bales of straw or hay, brush, logs and poles gravel, or a silt fence. An impounding area created by excavating around a storm drain drop inlet. The Sd2 SEDIMENT TRAP excavated area will be filled and stabilized a completion of construction activities. Sd3 A basin created by excavation or a dam TEMPORAR' across a waterway. The surface water runo Sd3 s temporarily stored allowing the bulk of the sediment to drop out. A small temporary pond that drains a disturbed area so that sediment can settle ///////out. The principle feature distinguishing a I temporary sediment trap from a temporary sediment basin is the lack of a pipe or ris A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow. Sk basins at a controlled rate of flow. Linear control device constructed as a diversion perpendicular to the direction of SEEP BERM SpB runoff to enhance dissipation and infiltration while creating multiple sedimentation chamber with the employment of intermediate dikes. (Sr) A temporary bridge or culvert-type TEMPORAR' structure protecting a stream or watercourse Sr STREAM from damage by crossing construction CROSSING (St) | A paved or short section of riprap channel STORMDRAIN at the outlet of a storm drain system St preventing erosion from the concentrated **PROTECTION** A rough soil surface with horizontal Su depressions on a contour or slopes left in ROUGHENING oughened condition after grading. (Tc) A floating or staked barrier installed within Tc the water (it may also be referred to as a loating boom, silt barrier, or silt curtain). The practice of stripping off the more fertile soil, storing it, then spreading it over the Tp TOPSOILING disturbed area after completion of show striping and construction activities. To protect desirable trees from injury during Tr **PROTECTION** construction activity. diversions, terraces, berms, dikes or similar STORMWATER CONVEYANCE structures. CHANNEL **VEGETATIVE PRACTICES** CODE PRACTICE DETAIL DESCRIPTION enhanced or restored existing vegetation or BUFFER ZONE the reestablishment of vegetation surrounding an area of disturbance or bordering streams nting vegetation on dunes that are denude artificially constructed, or re-nourished. DISTURBED AREA disturbed areas where seedlings may not have a suitable growing season to produce an Establishing a temporary vegetative cove with fast growing seedings on disturbed Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas. nermanent veaetative cover using sods of ighly erodable or critically eroded lands. ontrolling surface and air movement of dust on construction site, roadways and ubstance formulated to assist in the | solids/liquid separation of suspended The use of readily available native plant STREAMBANK materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems. A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or Substance used to anchor straw or hay mulch by causing the organic material to

CTIO No. 031215 PROFESSIONAL

REVISIONS:

S

JOB NUMBER: DATE: DRAWN BY:

23-245 4/26/2024 CHECKED BY: **AS NOTED**

TGB

NPDES PERMIT NOTES





TEAM MEMBERS

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ARCHITECT: HRH ARCHITECTS, INC. 3605 SANDY PLAINS ROAD **SUITE 240-263**

MARIETTA, GEORGIA 30066 STRUCTURAL: MH STRUCTURES, LLC 5077 DALLAS HIGHWAY, SUITE 201

POWDER SPRINGS, GEORGIA 30127

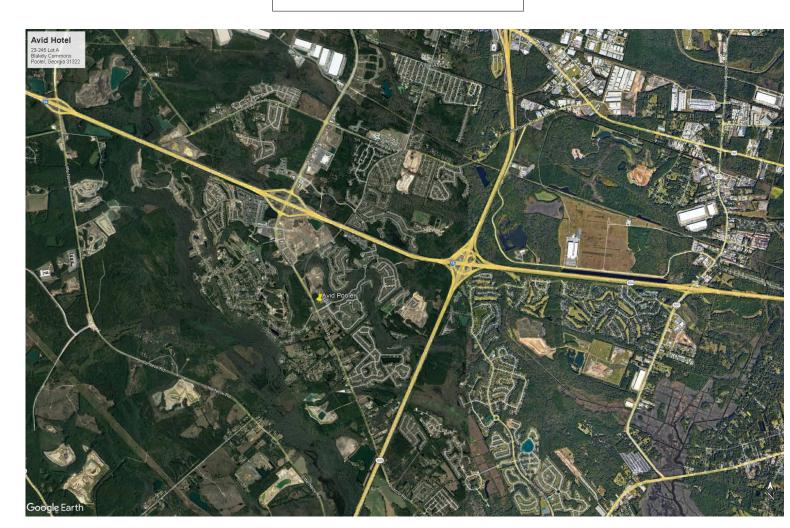
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MATTHEW HAMOND, PE. SE 404-495-4889

COLEMAN COMPANY, INC. TRAVIS BURKE, P.E. 1480 CHATHAM PARKWAY 912-200-3041 SAVANNAH, GEORGIA 31405 PROFICIENT ENGINEERING, INC. **BRIAN ARMENTA** 6991 PEACHTREE INDUSTRIAL BLVD 404-330-9798 BLDG. 700 PEACHTREE CORNERS, GEORGIA 30092 **MECHANICAL:** PROFICIENT ENGINEERING, INC. **BRIAN ARMENTA** 6991 PEACHTREE INDUSTRIAL BLVD 404-330-9798 BLDG. 700 PEACHTREE CORNERS, GEORGIA 30092 **ELECTRICAL**: PROFICIENT ENGINEERING, INC. **BRIAN ARMENTA** 6991 PEACHTREE INDUSTRIAL BLVD 404-330-9798 BLDG. 700 PEACHTREE CORNERS, GEORGIA 30092

SITE MAP



GENERAL NOTES

1. CONTRACTOR TO VERIFY BUILDING CONSTRUCTION TO CONFORM TO ALL PREVAILING CODES & ORDINANCES (NATIONAL, STATE & LOCAL). ANY DISCREPANCIES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT.

3.CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS, NOT SCALED FROM DRAWINGS. THE ARCHITECT WILL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.

4.CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION, AND SHALL PAY ALL APPLICABLES FEES.

5. REFER TO IHG'S INTERIOR DRAWINGS AND SPECIFICATIONS FOR INTERIOR MATERIAL SELECTIONS.

6.THE AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD

7.DRAFTSTOPPING SHALL BE PROVIDED PER CODE AND FIRE MARSHAL'S REQUIREMENTS.

8.FIRE BLOCKING SHALL BE CONSTRUCTED IN COMPLIANCE WITH STATE AND LOCAL BUILDING CODES.

9.CAULK ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOWS OR DOOR FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS AND ALL PENETRATIONS OF UTILITIES THROUGH WALLS AND ROOFS AND BETWEEN ALL DISSIMILAR MATERIALS.

10.CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING TO ASSURE AN EXACT FIT. THE CABINETS SHALL MATCH PLANS (NOTIFY THE ARCHITECT OF ANY DISCREPANCES).

11.GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING ALL CURRENT FRANCHISE STANDARDS AND CODES. REPORT ANY DISCREPANCES BETWEEN THESE DRAWINGS AND FRANCHISE STANDARDS TO THE ARCHITECT FOR CLARIFICATIONS.NO ADDITIONAL COST WILL BE APPROVED DUE TO FAILURE OF GC TO OBTAIN CLARIFICATION PRIOR TO SIGNING OF CONSTRUCTION CONTRACT.

12.ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTOR OR OWNER DRIVEN CHANGES OR DEVIATIONS TO CONSTRUCTION DOCUMENTS. ALL REVISIONS, VALUE ENGINEERING ITEMS & CLARIFICATIONS TO BE APPROVED

13.GENERAL CONTRACTOR SHALL DRY-IN AND CONDITION BUILDING PRIOR TO INSTALLING FINISHES.

14.BLOCKING AT OPENINGS, DOORS, WINDOOWS, WALL HUNG EQUIPMENT OR DEVICES, ETC. SHALL BE FIRE RETARDANT TREATED 2X NOMINAL MATERIALS. ALL BLOCKING IN CONTACT WITH CONCRETE OR CMU SHALL ALSO BE PRESSURE TREATED. ALTERNATE: MIN. 16 GA X 8" MATERIAL SHALL BE INSTALLED WITH METAL FASTENERS.

15.IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO PROVIDE A COMPLETE WATERPROOF BUILDING ENVELOPE. NOTIFY THE ARCHITECT IMMEDIATELY REGARDING ANY CONDITIONS THAT WOULD PREVENT THIS.

16.THERE SHALL BE NO BACK TO BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS.

17.UNLESS NOTED OTHERWISE ALL EIFS SLOPES SHALL BE 6/12.

18.VINYL CORNER GUARDS ARE REQUIRED TO MATCH THE ADJACIENT WALL COLOR.

19. EMERGENCY LIGHTING: SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS AND MEET THE FOLLOWING SPECIFICATIONS:

ALONG EMERGENCY EGRESS ROUTES

ALL PUBLIC AREAS GREATER THAN 150 SF ALL BACK-OF-HOUSE SPACES GREATER THAN 540SF WHERE COLLEAGUES WORK.

ALL CRITICAL MECHANICAL AND ELECTRICAL SPACES; SUCH AS BOILER ROOMS, GENERATOR ROOMS, AND SWITCH

FIXTURES SHALL PROVIDE A MIN. 60 MINUTE ILLUMINATION IN THE EVENT OF A POWER FAILURE; AND MEET MIN. ILLUMINATION LEVELS PER CODE REQUIREMENTS AND IHG BRAND STANDARDS.

20. EMERGENCY EXIT SIGNS: SHALL BE PROVIDED AT EACH EMERGENCY EXIT LOCATION. DIRECTIONAL EXIT SIGNAGE SHALL BE LOCATED WHEREVER EXIT SIGNAGE IS NOT IMMEDIATELY VISIBLE. EXIT SIGNS SHALL REMAIN AUTOMATICALLY ILLUMINATED FOR A MIN. DURATION OF 60 MINUTES IN THE EVENT OF POWER FAILURE.

21. ATTIC DRAFTSTOPPING PROTECTION: G.C. SHALL PROVIDE ATTIC PROTECTION VIA SPRINKLER SYSTEM OR SUBDIVIDE THE ATTIC WITH DRAFT STOPS AT A SPACING NOT TO EXCEED 3,000SF AND PROVIDE FIRE DETECTION DEVICE (SMOKE OR HEAT DETECTOR CONNECTED TO THE FIRE ALARM CONTROL PANEL) WITHIN EACH SUBDIVIDED

22. FIRE DETECTION, ALARM, AND FIRE SPRINKLER SHOP DRAWINGS: SHALL MEET OR EXCEED CODE REQUIREMENTS AND IHG BRAND SAFETY STANDARDS. SUBMIT FOR IHG REVIEW AND APPROVAL IN ADDITION TO LOCAL CODE JURISDICTION PRIOR TO INSTALLATION.

23. MAXIMUM TRAVEL DISTANCE: TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET THROUGHOUT THE HOTEL.

24. EMERGENCY PHONES: SHALL BE PROVIDED AT THE FITNESS, MEETING ROOM AND ELEVATORS. EMERGENCY PHONES SHALL NOT CONNECT DIRECTLY TO GUESTROOMS AND SHALL BE LOCATED IN A CLEARLY VISIBLE LOCATION AND CONNECT TO AN ON-SITE STATION THAT IS PERMANENTLY STAFFED OR DIRECTLY TO EMERGENCY SERVICES.

25.KNOX FDC AND STANDPIPE LOCKING CAPS ARE REQUIRED.

26.THE OS&Y VALVES IN PIT OR HOT BOX SHALL BE MONITORED.

27.ACCESSIBLE SIGNAGE: REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS:

ACCESSIBLE PARKING SPACES

ACCESSIBILE PASSENGER LOADING ZONES ACCESSIBLE AREA OF REFUGE

ACCESSIBLE ROOMS WHERE MULTIPLE SINGLE USER TOILETS ARE CLUSTERED AT A SINGLE LOCATION UNISEX TOILETS

SIGNS IDENTIFYING PERMINENT ROOMS AND SPACES SHALL BE TACTILE.

DIRECTIONAL AND INFORMATIONAL SIGNAGE SHALL BE TACTILE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACIENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND AN EXIT DISCHARGE.

28.ENSURE ADA HANDICAP COMPLIANCE WITH BRAILLE SIGNAGE. LEVERED HARDWARE OR PUSHED DOOR HANDLES.

29.ALL EXTERIOR BUILDING AND SITE SIGNAGE SHALL BE REVIEWED AND APPROVED BY AN IHG-APPROVED SIGNAGE VENDOR AND SCOTT ROSS (scott.ross@ihg.com) RECOMMENDATIONS WILL INCLUDE SIGNS THAT ARE PROPERLY CONFIGURED AND SIZED FOR PLACEMENT ON THE BUILDING FACADES WITHOUT CROWDING ADJACIENT ARCHITECTURAL FEATURES.



Designing the Future HOSPITALITY RETAIL HIGHRISE 3605 Sandy Plains Road Marietta, Georgia 30066

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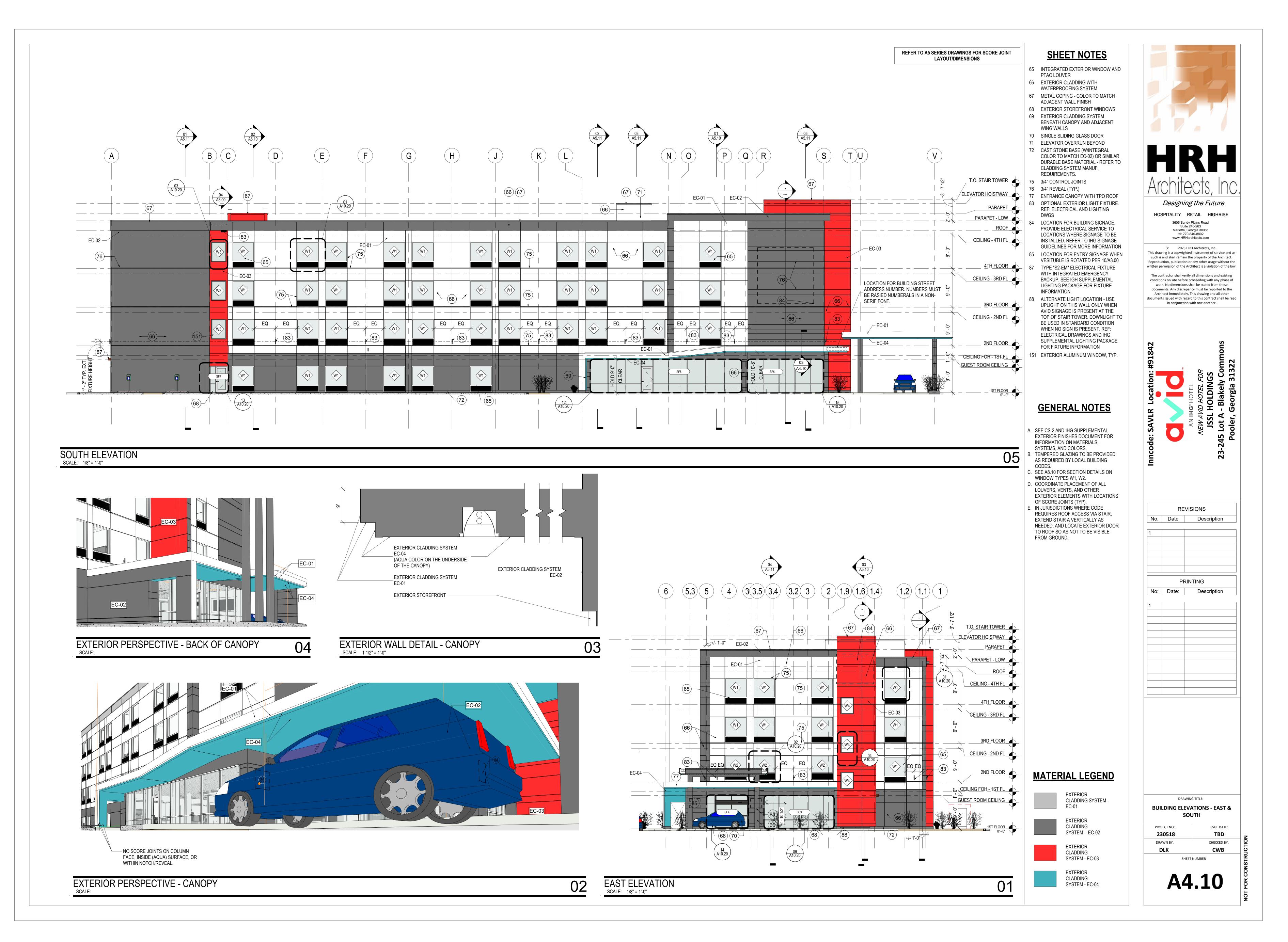
The contractor shall verify all dimensions and existing conditions on site before proceeding with any phase of work. No dimensions shall be scaled from these documents. Any discrepancy must be reported to the Architect immediately. This drawing and all other documents issued with regard to this contract shall be read in conjunction with one another.

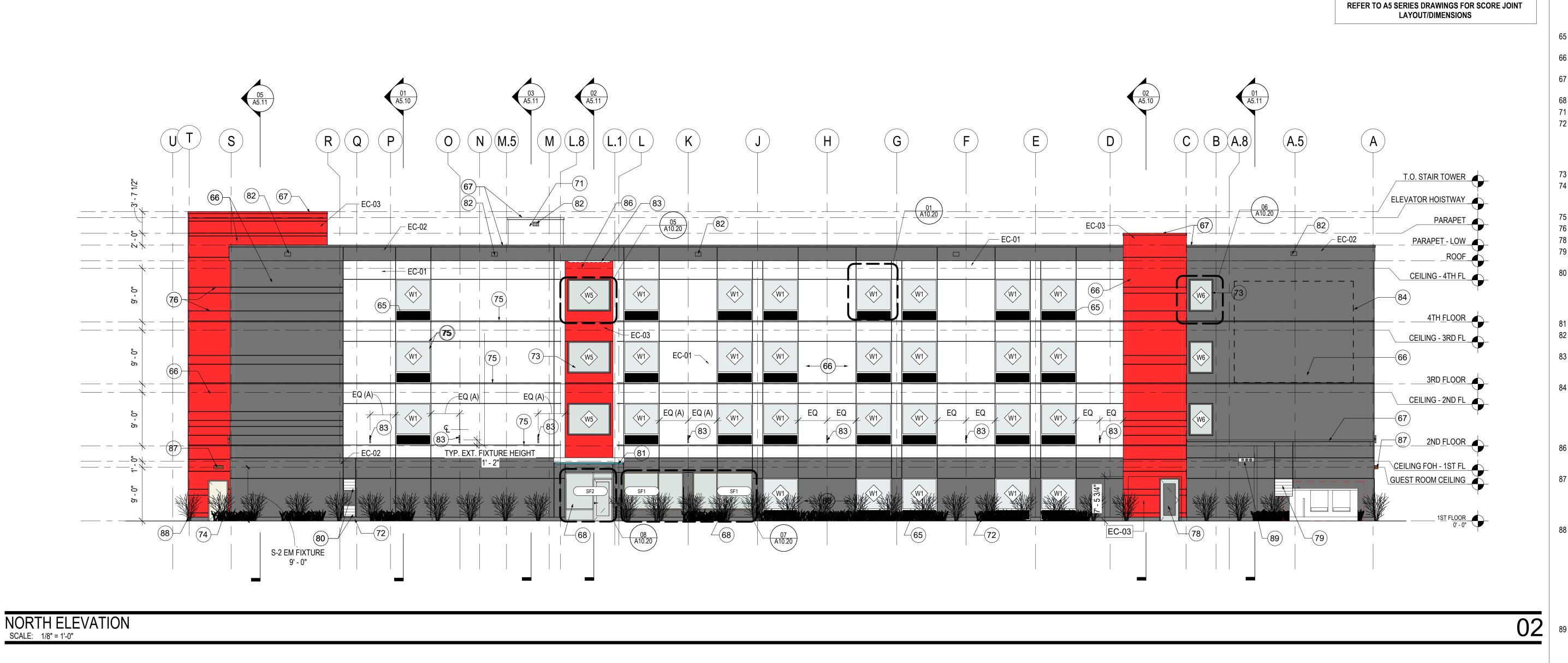


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No.	Date	Description
	PF	RINTING
No:	Date:	Description
1		IHG PRELIM

DRAWING TITLE **COVER SHEET**

PROJECT NO: ISSUE DATE: 230518 **TBD** DRAWN BY: CHECKED BY: DLK **CWB** SHEET NUMBER





SHEET NOTES

- 65 INTEGRATED EXTERIOR WINDOW
- AND PTAC LOUVER 66 EXTERIOR CLADDING WITH
- WATERPROOFING SYSTEM
- 67 METAL COPING COLOR TO MATCH ADJACENT WALL FINISH 68 EXTERIOR STOREFRONT WINDOWS
- 71 ELEVATOR OVERRUN BEYOND 72 CAST STONE BASE (W/INTEGRAL COLOR TO MATCH EC-02) OR SIMILAR DURABLE BASE MATERIAL -

REFER TO CLADDING SYSTEM MANUF. REQUIREMENTS.

- 73 EXTERIOR ALUMINUM WINDOW, TYP 74 EXTERIOR HOLLOW METAL DOORS PAINTED TO MATCH ADJACENT
- WALLS (TYP.) 75 3/4" CONTROL JOINTS
- 76 3/4" REVEAL (TYP.) 78 STOREFRONT DOOR
- 79 3'-0" X 3'-0" HOT WATER TANK INTAKE EXHAUST
- 80 LAUNDRY EXHAUST, COORDINATE WITH MANUFACTURER FOR LOUVER SIZES AND LOCATIONS- ALIGN EDGES OF LOUVER WITH WINDOW IF FEASIBLE
- 81 PREFABRICATED CANOPY 82 SCUPPER - PAINT TO MATCH ADJACENT WALL
- 83 OPTIONAL EXTERIOR LIGHT FIXTURE. REF: ELECTRICAL AND LIGHTING DWGS
- 84 LOCATION FOR BUILDING SIGNAGE. PROVIDE ELECTRICAL SERVICE TO LOCATIONS WHERE SIGNAGE TO BE INSTALLED. REFER TO IHG SIGNAGE GUIDELINES FOR MORE
- INFORMATION 86 COORDINATE LENGTH OF STRUCTURAL JOISTS AT BUILDING SETBACK
- 87 TYPE "S2-EM" ELECTRICAL FIXTURE WITH INTEGRATED EMERGENCY BACKUP. SEE IGH SUPPLEMENTAL LIGHTING PACKAGE FOR FIXTURE INFORMATION.
- 88 ALTERNATE LIGHT LOCATION USE UPLIGHT ON THIS WALL ONLY WHEN AVID SIGNAGE IS PRESENT AT THE TOP OF STAIR TOWER. DOWNLIGHT TO BE USED IN STANDARD CONDITION WHEN NO SIGN IS PRESENT. REF: ELECTRICAL DRAWINGS AND IHG SUPPLEMENTAL LIGHTING PACKAGE FOR FIXTURE INFORMATION
- 89 GAS WATER HEATER CONCENTRIC

GENERAL NOTES

A. SEE CS-2 AND IHG SUPPLEMENTAL EXTERIOR FINISHES DOCUMENT FOR INFORMATION ON MATERIALS, SYSTEMS, AND COLORS.

B. TEMPERED GLAZING TO BE PROVIDED

- AS REQUIRED BY LOCAL BUILDING C. SEE A8.10 FOR SECTION DETAILS ON
- WINDOW TYPES W1, W2. D. COORDINATE PLACEMENT OF ALL LOUVERS, VENTS, AND OTHER
- EXTERIOR ELEMENTS WITH LOCATIONS OF SCORE JOINTS (TYP). E. IN JURISDICTIONS WHERE CODE REQUIRES ROOF ACCESS VIA STAIR, EXTEND STAIR A VERTICALLY AS NEEDED, AND LOCATE EXTERIOR DOOR TO ROOF SO AS NOT TO BE VISIBLE FROM GROUND.
- REVISIONS No. Date Description PRINTING No: Date: Description

Architects, Inc.

Designing the Future

HOSPITALITY RETAIL HIGHRISE

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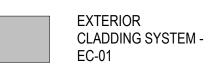
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documents issued with regard to this contract shall be read

MATERIAL LEGEND



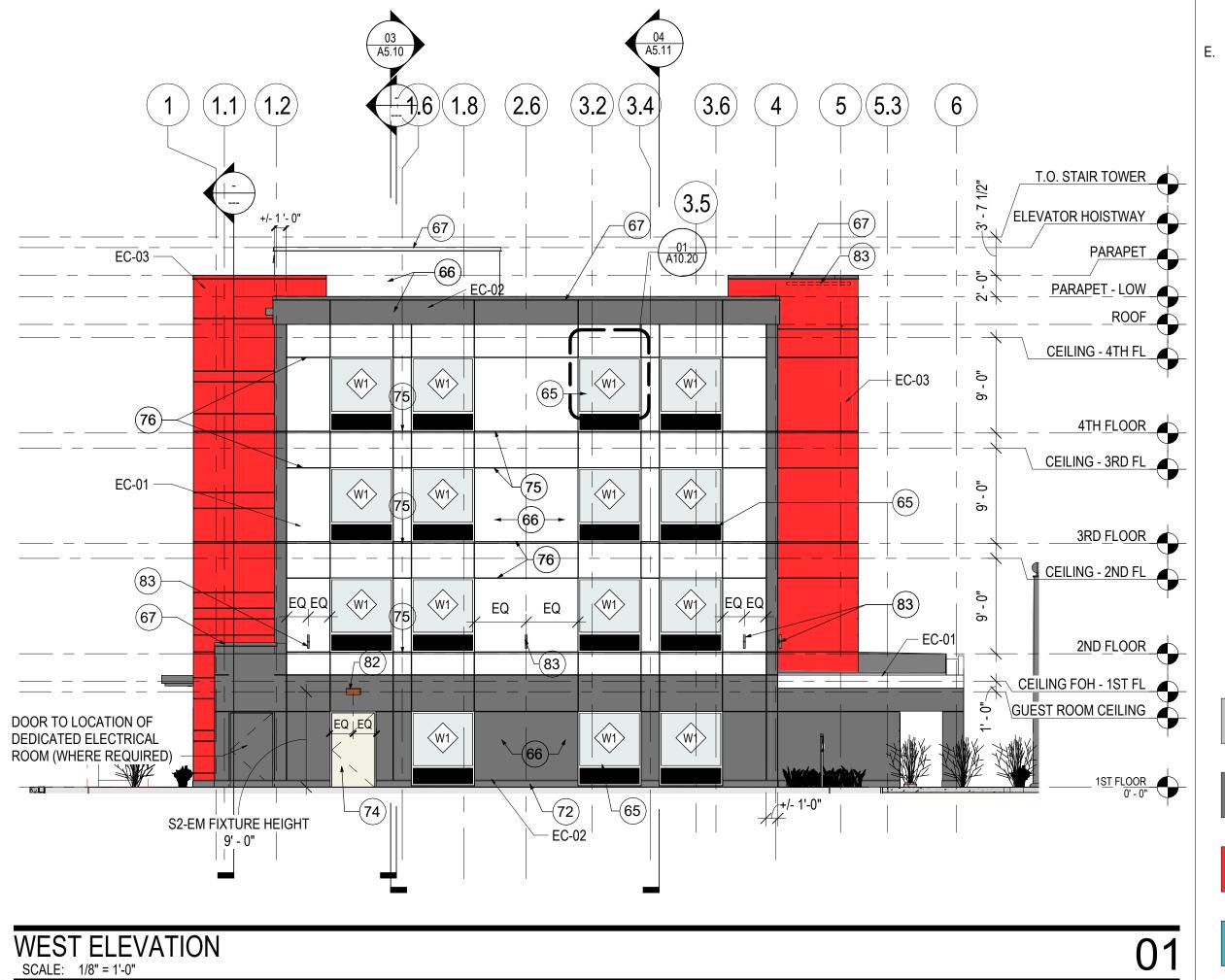
EXTERIOR CLADDING SYSTEM - EC-02

EXTERIOR CLADDING SYSTEM - EC-03

EXTERIOR CLADDING SYSTEM - EC-04

DRAWING TITLE: **BUILDING ELEVATIONS - WEST &** NORTH PROJECT NO: ISSUE DATE: 230518 TBD DRAWN BY: CHECKED BY: DLK **CWB**

SHEET NUMBER A4.20





January 3rd, 2025

Travis G. Burke, P.E. Coleman Company 1480 Chatham Pkwy. Savannah, GA 31405

Dear Mr. Burke,

I am pleased to provide you with a recommendation for <u>Approval</u> of the site development plans submitted under the cover of Lot A - Blakely Commons, which is provided below.

Submittal Documents:	Site Plans	Dec. 2024
	Master Hydrology Report	Dec. 2024
	Resolution Letter for Variance Approval	
	Stormwater Maintenance Agreement	Dec. 2024
	Traffic Memorandum	Nov. 2024
	Auto-Turn Exhibit	Nov. 2024
	GSWCC Approval Letter	Nov. 2024

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

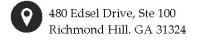
The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend <u>Approval</u> of the site development plans.

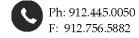
Please contact me if you have any questions. I can be reached via email or phone at <u>tshoemaker@eomworx.com</u> or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker
Project Manager
EOM



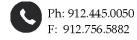






CC: Nicole Johnson; Director of Planning & Development – City of Pooler Marcella Benson; City Planner- City of Pooler Ryan Jarles; City Planner – City of Pooler Rachael Brown; Zoning Administrator – City of Pooler Liberto Chacon, PE; Sr. Vice President of Operations – EOM







PLANNING & ZONING STAFF REPORT

Site Development Plan Revisions for Oxford Pooler Phase 1

Project:	#A24-0159
P&Z Meeting Date:	January 13, 2025
City Council Meeting Date:	January 21, 2025
Applicant and Authorized Agent:	Oxford Properties/Hunter Whitfield, Hussey Gay Bell
Location (Address):	500 Fox Farm Street
Parcel (PIN):	51011 01073
Acreage:	Approximately 18.29 acres
Zoning:	PUD (Morgan Family Tract PUD)
Proposed Use:	Revision to the dog park and pickleball court area of previously approved multi-family development.
Staff Recommendation:	Approval
Planning & Zoning Commission:	After review of the application, P&Z recommends approval of the request.
Recommended Motion:	"After review of the criteria, move for approval of the request."
Zoning Action Standards:	 Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans. The site plan is consistent with the recommendations and policies of the 2040 Comprehensive Plan for the Future Land Use Map (FLUM) designation and Character Area. Whether the site plan provides for adequate pedestrian and traffic access.

- The site plan complies with the provisions for access and circulation; Sec. 11 of App. A, Art. V related to traffic impacts; and Sec. 2 of App A, Art. III for traffic access.
- 3. Whether the site plan provides for adequate space for offstreet parking and loading/unloading zones where applicable.
 - The site plan complies with the provisions of Sec. 5 of App. A, Art. III for parking and loading standards.
- 4. Whether the site plan provides for the appropriate location, arrangement, size, and design of buildings, lighting, and signs, giving due consideration to the applicable zoning district(s).
 - The site plan complies with the provisions related to the development standards for site improvements.
- 5. Whether the site plan is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties.
 - The site plan complies with the provisions related to the location of uses/development areas, development standards for site improvements, and buffer standards.
- 6. Whether the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure.
 - The site plan complies with Sec. 606 of App. B, Art. VI;
 Chapter 74, Art. V; and Chapter 42, Art. V related to servicing of utilities and infrastructure.
- 7. Whether the proposed development site is adequately served by other public services to account for current or projected needs.
 - The site is adequately served by public services and for current or projected needs.
- 8. Whether the site plan provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features.
 - $\circ\quad$ The site plan complies with the provisions related to buffer and screening standards.
- 9. Whether the site plan provides adequate landscaping, including type and arrangement of trees, shrubs, and other landscaping, which may provide a visual or noise-deterring buffer between adjacent properties.

- The site plan complies with the provisions of Chapter 42, Art. VI for tree and landscaping requirements, in general, and related buffers.
- 10. Whether the site plan provides for improvements in accordance with all applicable federal, state, and local laws, including without limitation the Code of Ordinances for the City of Pooler.
 - The site plan complies with the provisions of the City of Pooler Code of Ordinances, specifications, or standards, and all other applicable laws.

Conclusion:

The site plan addresses the site plan approval criteria. As such, staff recommends **Approval of the request.**

Attachments:

- A. Vicinity Map
- B. Application and Submittal Documentation
- C. Approval Letter





Vicinity Map Oxford Pooler Phase 1 Revised Site Plan 500 Fox Farm Street

12/20/2024

Parcels

 $\textbf{This map was created using Latapult} \mid \textbf{www.latapult.com} \mid \textbf{Bigger Data Faster Maps Stronger Decisions}$



Site Plan Application

Page 1 of 3

Updated OCT 2023

NOTICE TO APPLICANT

With the exception of residential one- and two-family structures, all land development activities, regardless of zoning district, must go through the site plan approval process. The fee for this process is \$3,000.00. All forms, fees, and additional documentation must be submitted to the Zoning Administrator **at least thirty** (30) days prior to the Planning & Zoning Meeting. Only complete applications will be accepted.

Upon submittal of the site plans, the City Planner will review for noticeable discrepancies and determine if there is a need to apply for other zoning actions. Site plans are also provided to the City Engineer, the Public Works Department, and the Fire-Rescue Services Department for review. Once the applicant has addressed all engineering comments, the plan will be placed on the Planning & Zoning Meeting agenda for recommendations. If no revisions are needed, it will move to the next regularly scheduled City Council Meeting agenda. Please note that site plan approval does not constitute approval of any other zoning action or permit.

Restaurants serving alcoholic beverages by the drink should refer to the Pooler Code of Ordinances, Chapter 6, Article I, Sections 6-11 for requirements. General questions concerning this application may be directed to the Zoning Administrator.

Packet Contents (City Forms)

This packet contains all forms required to be completed prior to submission.

- 1. Site Plan Application
- 2. Site Plan Submission Checklist
- 3. Property Owner Authorization
- 4. Site Plan Approval Standards Affidavit
- 5. Campaign Contribution Report
- 6. Site Plan Review Checklist

Additional Items for Submission

In addition to the above forms, the following must also be included with your application submission:

- 1. Three (3) sets of completed hardcopy plans (to include landscaping and lighting) plus one electronic copy
- 2. Application fee payment of \$3,000.00
- 3. Project narrative
- 4. Proof taxes have been paid in full
- 5. Existing deed restrictions or covenants applicable to this property (if applicable)



Site Plan Application

Page 2 of 3

Contact Information			
Applicant Name			Applicant Phone
Applicant Mailing Address			Applicant Email
Property Owner Name			Property Owner Phone
Property Owner Mailing Add	Iress		Property Owner Email
Contact Person Name			Contact Person Phone
Contact Person Mailing Add	ress		Contact Person Email
Property Information			
Location Address			
Current Zoning			Parcel Identification #
Brief Description of Propose	d Land Developm	ent Activity and Use of Land Therea	after
Contractor Information			
Contractor Name	C	ontractor License #	Contractor Phone
Contractor Mailing Address			Contractor Email
Zoning Actions			
	n on all prior appl	past three (3) years. If possible, in ications filed for the zoning action o	
Application Number	Date	Action Requested	Action Taken



Site Plan Application

Page 3 of 3

Application Number	Date	Action Requested	Action	n Taken
Application Number	Date	Action Requested	Action	n Taken
Application Number	Date	Action Requested	Action	n Taken
pprovals				
Environmental Product De	claration (EPD) app	proval required?	□No	☐ Yes
Natural Resources Conserv	vation Service (NR	CS) approval required?	□No	☐ Yes,(date)
Developments of Regional	Impact (DRI) revie	ew triggered?	□No	Yes
Existing deed restrictions	or covenants applic	cable to this property?	□No	☐ Yes, attached
being subdivided or develo Applicants must submit a	oped requiring an e plat to GDOT for re	GDOT) requires a permit for any prontrance onto a State or Federal High eview/comment. The Pooler Plannin ation until GDOT has commented.	ghway.	Yes, attached
ffidavit				
I, the undersigned, certify information pertained in the		examined, and completed this appli ue and correct.	cation and certify	that all the
I hereby certify that this p in effect for the property b		n/site plan does not violate any coveveloped.	venants or deed r	estrictions currentl
I hereby certify that all tax outstanding.	xes applicable to th	is property have been paid and tha	at there are no de	elinquent taxes
I hereby certify that I am subdivision/development.		prized agent of the property being p	proposed for	
		Samuel Paul Aust	in	
Applicant Name	Ар	plicant Signature	Date	



Site Plan Submission Checklist

Page 1 of 1

Updated JUNE 2023

NOTICE TO APPLICANT

The site plan approval process is intended to provide the general public, Planning & Zoning Commission, Mayor, and Councilmembers with information pertinent to how a new development will affect the surrounding area and the City as a whole. There is no evaluation process or set of regulations other than what is required to be shown on the map and listed upon the application. Site plan approval does not constitute approval of any zoning action or permit. If the documents listed below are not submitted, your project will neither be reviewed, nor processed.

The Planning & Zoning Commission may require elevations or other engineering or architectural drawings covering the proposed development. Mayor & Council will not act upon a zoning decision that requires a site plan until the site plan has met the approval of the City Engineer or his designee.

\$3,000.00 application fee payment
☐ Tree Survey prepared by a registered land surveyor with accurate locations of all trees on site and up to 20' off site on all sides. List the trunk diameter at 4.5' above grade and identify the species.
The location, size and other pertinent data of all land uses on the site including types, location and height of building, parking, open area and landscaping
Dimension setback lines from property lines and street rights-of-way.
Lighting Plan
Adjacent thoroughfares and all curb-cuts within five hundred (500) feet including:
Proposed new cut (s) onto public rights-of-way with turning radii & width
☐ Dimensions of all rights-of-way
Drainage plan to conform to city engineering department's standards
Location of all utilities
☐ Tabulated data including at least:
☐ Gross density of dwelling units
☐ Parking ratio per dwelling unit
☐ Percentage and amount of land coverage by use; and,
Percentage and amount of floor area by use and by type.
Topographical map showing existing and proposed contours at one foot (I ') intervals and natural features.
☐ Developments of Regional Impact (check only if your project requires this)



Site Plan Approval Standards

Page 1 of 1

Updated SEPT 2023

The site plan approval process is intended to provide the general public, planning commission, and city council with information pertinent to how a new development will affect the surrounding area and the city as a whole. Site plan approval does not constitute approval of any other zoning action or permit.

In order to promote the public health, safety, and general welfare of the City of Pooler against the unrestricted development upon property, the following standards and any other factors relevant to balancing the above stated public interest will be considered, when deemed appropriate, by City Council in approving any site plan:

- 1. Whether the site plan is consistent with the Comprehensive Plan for the City of Pooler and any other small area plans;
- 2. provides for adequate pedestrian and traffic access;
- 3. provides adequate space for off-street parking and loading/unloading zones where applicable;
- 4. provides for appropriate location, arrangement, size, and design of buildings, lighting, signs, giving due consideration to the applicable zoning district(s);
- 5. is appropriate in scale and relation to proposed use(s) to one another and those of adjacent properties;
- 6. the proposed development site is adequately served by existing or proposed public facilities, including roads, water, sanitary sewer, and stormwater infrastructure;
- 7. the proposed development site is adequately served by other public services to account for current or projected needs;
- 8. provides adequate protection for adjacent properties against noise, glare, unsightliness, or other objectionable features;
- 9. provides adequate landscaping, including the type and arrangement of trees, shrubs, and other landscaping, which may (or may not) provide a visual or noise-deterring buffer between adjacent properties; and
- 10. provides for improvements in accordance with all applicable federal, state, and local laws including without limitation, the Code of Ordinances for the City of Pooler.



Hearing Information

Campaign Contribution Disclosure Form (Rezoning Action Applicant)

Page 1 of 1



Updated MAY 2023

Per GA § 36-67A-3, rezoning action applicants and opponents are required to disclose campaign contributions or gifts with an aggregate value of \$250 or more made to any City Official within two years immediately preceding the filing of the application. City Officials include the Mayor, Councilmembers, and Planning & Zoning Commissioners. Rezoning action applicant disclosures shall be filed within ten days after the application for the rezoning action is first filed. If additional space is needed, please attach a second form.

Rezoning Action/Agenda Ite	m			
Planning & Zoning Public He	aring/Meeting	Date and Time		
City Council Public Hearing/l	Meeting Date a	nd Time		
Disclosure Statement				
				ng the Mayor, Councilmembers, nined, total an amount greater
		paign contributions to or at, when combined, tota		
past two year	s that, when c	ntributions to one or m combined, total an amo is listed below:		
City Official Name	Title		Dollar Value	Description of Gift >\$250
City Official Name	Title		Dollar Value	Description of Gift >\$250
City Official Name	Title		Dollar Value	Description of Gift >\$250
I attest that all information	provided above	e is true to fact.		
Applicant Name		Applicant Signature		Date



Site Plan Review Checklist

Page 1 of 20

Updated OCT 2023

NOTICE TO APPLICANT

Please address each item below using an "ok" or "n/a" and indicate on which plan sheets each item can be located. This checklist is intended to serve as a guide for a complete site plan application but does not comprise all City standards. All City of Pooler Code of Ordinances' requirements must be met.

Project Information

Project Name	The information below has already been provided in the		
Basic Engineering Information	past. Again, this is a field revision to the previously approved site plan ONLY.		
1 Development name; If no	ot obvious, add a description of the development		
2 Location of site / location	map: Sufficiently detailed to pinpoint the site's location		
3 Date of plans with space	for revision dates		
4 Name and contact inform	ation of the engineer and engineering firm responsible for the plans		
5 Name and contact inform	ation of owner, authorized agent of the owner, and/or developer		
6 24-hour contact with pho	ne number		
7 Signed and dated P.E. sta	amp or other licensed professional as allowed by law		
8 Sheet index			
9 Property size, disturbed a proposed square footage,	rea, impervious area, property zoning, maximum building height, , proposed height		
10 Show property boundaries	es with metes and bounds descriptions		
11 North arrow, graphic sca	le		
	es of the property, existing contours at 1-foot intervals (Appendix A, Article buildings, parking, driveways, undeveloped areas, etc		
13 Identify the ownership ar	nd use of all adjacent surrounding properties		
14 Show adjacent roads and	d curb cuts within 500 feet (Appendix A, Article V, Section 4 C)		
15 Name of adjacent roads.	Route number if state or federal route (Appendix A, Article V, Section 4 C)		
16 Show and label the right	of-way of adjacent roads. (Appendix A, Article V, Section 4 C)		



Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 2 of 20

17	Existing improvements inside adjacent road rights-of-way such as turn lanes, drainage systems, sidewalks/pathways, utilities, and any other items that may have an impact on this development
18	Show existing drainage features on or around this site that may impact the development: creeks, ponds, ditches, swales, buffers, pipe systems, drainage easements, existing detention ponds, lakes, wetlands, floodplain limits, etc
19	Indicate whether or not FLOODPLAIN exists on the site. Provide a FEMA map reference and date of FEMA map
20	Indicate whether or not STATE WATERS exist on the site and if wrested vegetation is present. If State waters, with wrested vegetation, are present on site, delineate required buffers, extending from the wrested vegetation. (Georgia EPD jurisdiction)
21	Indicate whether or not WETLANDS exist on the site. All wetlands shall be delineated on the site plans and identified as jurisdictional or non-jurisdictional. If applicable, show required buffer (Corps of Engineers' jurisdiction)
22	Location of existing utilities (Appendix A, Article V, Section 4 C 5)
23	Easements existing upon the property
24	Provide cut/fill computations for all proposed grading in the floodplain. If the cut/fill calculations result in a net fill, provide FEMA no- rise certification, accompanied by the calculations utilized to perform analysis (NFIP 60.3(d)(3)).
Propose	ed Development
1	New Developments & redevelopments - reminder: Please assure the bonds are provided in accordance with 42-183.8 (stormwater), 42-204.1 (landscaping), and 74.136 (sidewalks)
2	The site plan shall provide all pertinent data for proposed building construction or expansion, proposed parking, open areas, landscaping. (Appendix A, Article V, Section 4 C)
3	Show building setback lines and buffers from property lines and street right-of-way lines. (Appendix A, Article V, Section 4 C)
4	For commercial and industrial developments, provide details of the proposed driveway(s) onto the public rights-of-way. This may need to be at an enlarged scale to show all necessary information
5	Show sidewalk that is to be constructed or extended; in accordance with Appendix B, Article VI, Section 601.02. Include the City's sidewalk detail
6	Show location of freestanding signage if proposed. Make sure intersection sight distance is not impacted
7	Show interior traffic pattern
8	Erosion control plans in accordance with State and local ordinances. Checkoff list is required if disturbed area is > 1 acre



Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 3 of 20

9.	GDOT permit is required if any work is proposed in a State or US right-of-way. A copy of the approved Georgia DOT encroachment permit shall be required prior to obtaining a land disturbance permit
10	At least two benchmarks shall be established within a subdivision. Such benchmarks shall be at opposite corners of the property being subdivided. Benchmarks shall be included on site development plans with coordinates and elevation (Appendix B, Article VI, Section 607)
11	Show all required easements (around utilities, around drainage structures, 25' access easements, etc)
12	Provide a utility plan that shows any proposed gas, electric, telephone and/or cable lines
13	Greenbelt required as a buffer between incompatible zonings. (Appendix A, Article III, Section 27)
14	Provide a fire access road meeting the requirements of the Fire Code. (Exceptions exist, but generally a paved road extending to within 150' of all portions of the facility with a minimum width of 20 feet and with a vertical clearance of 13'6"). See IFC 503
15	Frovide a Fire Protection Plan sheet that identifies all existing and proposed fire hydrant locations with hose lay distance in linear footage around each building from hydrant
16	Show location of Mailbox Kiosk and provide details demonstrating it is ADA compliant
17	' Provide building elevations and proposed architectural materials or proposed architectural materials if no elevations exist
18	Provide Phasing Plan when project is proposed to be constructed in phases (multi building sites)
19	Provide site lighting plan for all proposed lighting
20	Traffic Impact Study or technical memo for traffic
Nev	v Streets
1.	If new streets are to be private, clearly indicate this
2.	An identifying name of each new street with the proposed right-of-way
3.	Street alignment to be in conformance with the approved Preliminary Plat
4.	Plan and profile of proposed streets; include profile grades, vertical curve lengths, K factors, etc
5.	The maximum change in grade that does not require a vertical curve shall be as follows: $20 \text{ mph} - 1.2\%$, $25 \text{ mph} - 1.1\%$, $30 \text{ mph} - 1.0\%$, $35 \text{ mph} - 0.9\%$, $40 \text{ mph} - 0.8\%$, $45 \text{ mph} - 0.7\%$, $50 \text{ mph} - 0.6\%$, $55 \text{ mph} - 0.5\%$, $60 \text{ mph} - 0.4\%$, $65 \text{ mph} - 0.3\%$. If the cumulative effect of vertical grade breaks violates stopping sight distance criteria, these values shall be reduced
6.	Minimum street profile grade is 0.3% (Chapter 74, Article V, Section 74-133f)



Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 4 of 20

/	and Specifications unless a geotechnical engineer requires a thicker pavement section more suitable for the proposed use of the road. (Chapter 74, Article V, Section 74-133b and c)
8	Provide the City's standard details that relate to street construction (street typical section, pavement specifications, curb detail, sidewalk detail, etc.)
9	A Neighborhood Grading and Drainage Plan is required for all subdivisions. (Appendix B, Article VI, Section 601.02)
10	Demonstrate that intersection sight distance is achieved
11	Show the location of all proposed R/W monuments – "Stone or concrete monuments four inches in diameter or square, 30 inches long, with a flat top, which shall be set at each street corner, and at all points where the street lines intersect the exterior boundaries of the subdivision, and at the P.C. and P.T. of each street. The top of the monuments shall contain a metal pin or be scored with an indented cross to identify the location." (Appendix B, Article VI, Sec. 605)
12	The city will not accept for maintenance any unpaved street or road. (Chapter 74, Article V, Section 74-134)
13	Show the location of all proposed road signs
14	Show the location of all proposed pavement markings
15	All pavement markings and other traffic control items shall be in accordance with the latest edition of the MUTCD on both public streets and private streets that are "open to public travel". (MUTCD Introduction, page I-1, paragraph 03)
16	Commercial developments: Show traffic control items (directional arrows, stop bars, stop signs, etc)
17	Label the curb radius at intersections
18	Gutter spread shall not extend beyond the center of the travel lane for 10-year design storm event
19	Ensure that the season high groundwater table elevation is a minimum of 24 inches below the bottom of the base course for proposed streets
Required	d Notes
Include	the following notes as applicable to the project:
1	"In case of conflict between these plans and the City of Pooler's ordinances, standards, specifications or details, the City of Pooler requirements shall be required."
2	Add the following note when new public streets are being constructed: "Laboratory compaction, stability and density tests are required for the pavement with compression for the concrete curb and gutter." (Chapter 74, Article V, Section 74-133g)



Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 5 of 20

	Add the following note when new public streets are to be constructed: "Construction will be performed he supervision of a registered engineer." (Chapter 74, Article V, Section 74-133j)
4	"All road signage and pavement markings shall be in accordance with MUTCD specifications." (MUTCD Introduction, page I-1, paragraph 03)
5	Thermoplastic pavement markings are required within right of way (Standard Specifications 02500.2.06)
6	When new public streets are being constructed, include the following: Add a note or sufficient information on the plans to indicate that Petromat, Supex or other suitable material is required within 50 feet of intersections. (Appendix B, Article VI, Section 601.02)
7	Select fill SHALL be use in all roads to be dedicated to the City
8	Road fill shall be compacted to 100% standard proctor or 95% modified proctor (ASTM D698 or ASTM D1557)
9	Traffic signs installed inside the public R/W must have High Intensity or Diamond Grade Sheeting
10	Street name signs shall be provided by the developer. (Chapter 74, Article V, Section 74-135)
11	The owner must certify that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan (Chapter 42, Article V, Section 42- 183.4(6))
12	The designer must certify that the design meets the requirements of the City of Pooler and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda (Chapter 42, Article V, Section 42-183.4(5))
Drainag	e
	nces: City of Pooler Code of Ordinances, Chapter 74, Article V, Section 74-132; Chapter 42, Article V, Section ; Appendix B, Article VI, Section 602
1	Internal subdivision drainage to be designed for a minimum of a 10-year 24-hour storm event with immediate runoff. (Chapter 74, Article V, Section 74-132i)
2	Storm drain pipe beneath city maintained streets shall be a minimum of 18 inches in diameter and shall be RCP. (Chapter 74, Article V, Section 74-132a)
3	Storm side-drain under driveways and walkways shall be 15 inch minimum. Plastic culverts are acceptable but shall have concrete headwalls to protect the pipe ends. (Chapter 74, Article V, Section 74-132b)
4	Metal pipe is not permitted in the city's rights-of-way or easements. (Chapter 74, Article V, Section 74-132c)
5	Provide a plan and profile of the proposed storm drainage system; Show the hydraulic grade line for the applicable design-year storm, for the full extent of the stormwater conveyance system. The high

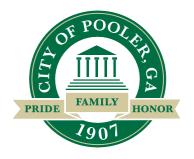


Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 6 of 20

	water elevation must be below street elevation for the design-year storm event. Show all underground utility crossings, with the required vertical separation. (Chapter 42, Article V, Section 42-183.4)
6	Lot drainage shall be from the rear to the front of lots; 0.5% grade minimum. Exceptions will be considered. (Chapter 74, Article V, Section 74-132d)
7	Side lot drainage shall be piped; ditches on side lot lines are not permitted. Exceptions will be considered. (Chapter 74, Article V, Section 74-132e)
8	All drainage ditches/canal shall have a maintenance easement. The structure itself shall be in an easement with an additional 25-foot access easement on one side for mechanical cleaning access purposes. Side slopes shall be grassed and shall be 2:1 or flatter. Side slopes shall be constructed in such a manner that they do not erode and can be maintained with riding grass cutting equipment. The soil type encountered will be considered in selecting the proper slope. Slope approval shall be at the discretion of the city, with a laboratory report on the angle of repose. (Ch 74, Art V, Section 74-132f & h)
9	A swale is a drainage feature that receives stormwater from sheet flow and/or overland flow. Storm drainage pipe or gutter flow shall not discharge into a swale. (Chapter 74, Article V, Section 74-132g)
10	Swales less than one foot deep shall be paved a minimum of two feet wide. Swales greater than one foot deep but less than three feet deep shall have a 4(H):1(V) side slope with a permanent stand of grass established on both slopes. (Chapter 74, Article V, Section 74-132g)
11	A drainage swale or ditch greater than three feet deep shall be piped unless it is a primary or secondary outfall. (Chapter 74, Article V, Section 74-132g)
12	The 100-yr floodplain shall be delineated on the site development plans, with Base Flood Elevation (BFE), when required. (Chapter 74, Article V, Section 74-132j)
13	Minimum lot elevation: finished floor elevations shall be at least one foot above the level of the Base Flood Elevation, associated with the 100-year floodplain. The entire lot shall be properly drained. (Appendix B, Article VI, Section 602 e)
14	The peak post development discharge shall not exceed the predevelopment discharge. (Chapter 74, Article V, Section 74-132k; also Sec 601.02)
15	Detention ponds: must be located outside wetlands. (Chapter 42, Article V, Sec 42-156)
16	The City will not accept detention areas for maintenance or ownership. (Chapter 74, Article V, Section 74-132k)
Mobile l	Home Parks
1	Verify correct zoning
2	Minimum lot size 40' x 100' and a minimum of 4000 sf. (Appendix A, Article III, Section 10 A(2))
3	Setback - front: At least 20' from front lot line or 35' from center of road. (Appendix A, Article III, Section 10 B 1)



Site Plan Review Checklist

The information below has already been provided in the past. Again, this is a field revision to the previously approved site plan ONLY.

Page 7 of 20

4	Setback -sides: At least 5' with a 20' minimum between manufactured homes; (Appendix A, Article III, Section 10 B 2)		
5	Setback - rear: At least 5' with a 20' minimum between manufactured homes. (Appendix A, Article III, Section 10 B 3)		
6	At least two (2) paved parking spaces per lot (Appendix A, Article III, Section 10 C)		
7	Streets shall be 2-way and a minimum of 20 feet wide. No on-street parking. (Appendix A, Article III, Section 10 I)		
8	Water supply - City of Pooler when available. The development of an independent water supply can be used only upon approval of the county health officer. (Appendix A, Article III, Section 10 D)		
9	Sewerage disposal - City of Pooler when available. Alternative methods can only be used upon approval in writing by the county health officer. (Appendix A, Article III, Section 10 E)		
10	Utilities - underground only. (Appendix A, Article III, Section 10 G)		
11	Street Lights - Street lighting shall be provided, not to exceed 200 feet separation, including park entrance. (Appendix A, Article III, Section 10 H)		
12	Recreation area - < 25 units: a minimum of 5,000 square feet shall be reserved for recreation. > 25 units, a minimum of 10% of the total area. (This 10% shall not include bodies of water.) Such recreation areas shall be made safe from traffic by an enclosure or other device. (Appendix A, Article III, Section 103)		
13	Maximum distance to a fire hydrant shall be 250 feet. (Appendix A, Article III, Section 10 L)		
Utilities	s		
Refere Section	ences: City of Pooler Code of Ordinances, Chapter 74, Article V, Section 74-138 and Appendix B, Article VI, n 606		
Genera	al:		
1	Look at the overall layout of the water lines. The plan needs to show the location of where it connects to an existing system with all the usual information		
2	All utilities are to be installed underground		
3	3 Utilities shall not be placed longitudinally under street pavement. (Chapter 74, Article V, Section 74- 138 c)		
4	Minimize unnecessary water/sewer crossings to the extent possible. Minimum parallel separation: 10' horizontal and 18" vertical separation between water & sewer (Sanitary & Storm)		
5	Water mains must be DIP when crossing under storm or sewer mains. Include detail W-16		



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6	Provide the City-approved street typical section detail that shows the placement location of utility lines. (Chapter 74, Article V, Section 74-139 c)		
7	Developments must be served by public water and public sewers when available. (Appendix B, Article VI, Section 606.01)		
8	Plans for wells or septic systems shall require approval by the Chatham County Health Department. (Appendix B, Article VI, Section 606.02)		
9	All water and sewer lines running under streets/sidewalks shall be sleeved. (Appendix B, Article VI, Section 606.03)		
10	All publicly owned utilities shall be installed in the road rights-of-way or approved access easements. (Appendix B, Article VI, Section 604 and 606.04)		
11	Sanitary sewer, water mains, service laterals or other publicly owned utilities shall not be installed behind or between lots without the express approval of the City of Pooler. If allowed the utility will need to be in a proper easement. (Appendix B, Article VI, Section 606, Utilities 2)		
12	A #12 gauge solid copper tracing wire shall be installed on all water mains, water laterals, fire hydrants post hydrants, and/or blow offs and along all sanitary sewer lines, laterals, and force mains. (Appendix B, Article VI, Section 606)		
13	If water main, gravity sewer main, or force main are proposed, provide profiles on site plan. Include all underground utility crossings with required vertical separation		
14	Submit all applicable outside agency and other jurisdiction approvals such as LDA, Chatham County, City of Savannah and Georgia EPD forms (forms extending water and sewer main lines)		
15	All private and dry utilities shall be shown on plans in easements. Clearly mark all city-owned utilities with "city utility easements" and private utilities with "private utilities easements". Provide associated easement agreement.		
Water:			
1	Fire hydrant spacing: - 300 feet maximum in multi-family, commercial & industrial zonings - 500 feet maximum for single family; (Appendix B, Article VI, Section 606.03) - 250 feet spacing in mobile home parks (Appendix A, Article III, Section 10 L)		
2	All fire hydrants shall be painted yellow. (Appendix B, Article VI, Section 606)		
3	Provide Detail W-03 - Standard Fire Hydrant Assembly (Appendix B, Article VI, Section 606)		
4	Provide an engineering report for the proposed water distribution system. Calculations shall, at a minimum, include needed fire flow, expected domestic demand, and fire hydrant flow test results demonstrating that the required fire protection will be achieved on site. If extending water main, a complete water distribution system model and analysis shall be provided		
5	Residential water laterals: 1" diameter minimum. (Appendix B, Article VI, Section 606)		



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6	Residential water laterals shall be installed no more than 5' feet from the property corner. (Appendix B, Article VI, Section 606 Water 16)
7	The water mains at the cul-de-sac shall be installed around the cul-de-sac thereby eliminating the laterals from being installed under the cul-de-sac. (Appendix B, Article VI, Section 606 Water 14)
8	Water mains in subdivisions shall be 8" diameter minimum. In cul-de-sacs without fire hydrants, the minimum size can be reduced to 4". (Appendix B, Article VI, Section 606)
9	When feasible all water mains shall be looped into the nearest main of the same size or larger size as the line of origin. (Appendix B, Article VI, Section 606)
10	Cut-off valves will be located at all tees where lines are two inches or larger. (Appendix B, Article VI, Section 606.03)
11	All gate valves 4" or larger that are installed on a transmission line shall be installed in a manhole. All gate valves at the entrance of a subdivision that tie into a transmission line shall be installed in a manhole. All other gate valves can be installed in a cast iron valve box with a concrete collar and concrete value marker posts. (Appendix B, Article VI, Section 606 Water 6)
12	All valves shall have a concrete monument with "W/Valve" inscribed on two sides of the monument, installed no more than 6" away from the valve. (Appendix B, Article VI, Section 606 Water 9)
13	_ All meter connection points must have an approved, reduced pressure backflow device. This includes fire lines, irrigation lines, and domestic supply lines. (Appendix B, Article VI, Section 606)
14	_ The private water main starts at the property line. Therefore, meters and back flow preventers shall be placed at the property line
15	Minimum cover 3 feet. (Standard Specifications Section 02700 3.01 D)
16	Service laterals under roads are to be sleeved and at least 30" beneath the road surface. (Standard Specifications Section 02700 3.01 F 2)
17	Pipe material: (City of Pooler Standard Specifications, Section 02700 and 02730). For line size < 4" polyethylene pipe, 200 psi, SIDR-7CTS For line size 4" - 12" PVC C900 DR 18. For line size > 12" DIP is required. ANSI / AWWA C151 A21.51 and thickness according to ANSI / AWWA C150 A21.50 for pressure class 250. Flange Pipe or Victaulic grooved pipe shall be Pressure Class 350. (Standard Specifications 02700 Section 2.01 A 2)
Sanitary	Sewer:
1	Sanitary manholes shall not exceed 350-foot spacing. (Appendix B, Article VI, Section 606, Sewer 1)
2	8 inches diameter minimum. (Appendix B, Article VI, Section 606, Sewer 3)
3	If proposing a gravity sanitary sewer main, an engineering report shall be provided, with calculations for expected demand and sewer pipe sizing



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4	Minimum size sanit	ary lateral i	is 4". (Appendix B, Article VI, Section 606, Sewer 4)		
5	Laterals shall connect directly to the manhole when possible, entering at an angle of at least 90 degrees to the direction of flow. (Appendix B, Article VI, Section 606, Sewer 2)				
6	Residential sewer laterals shall be installed within 15 feet of the property corner. (Appendix B, Article VI, Section 606, Sewer 9)				
7	Please assure that the sanitary sewer cleanouts are flood proofed and designed prevent infiltration of flood waters into the system (Appendix B, Article VI, Section 606.01 and Chapter 50, Section 50-91)				
8	Use watertight manhole rings and covers within or below Base Flood Elevation + 1' (Standard Specifications.02720.2.02.G.2)				
9	Sewer laterals: Cleanouts should be provided every 100' and at the bends. Cleanouts located within the pavement should be traffic rated				
10	Try to move manholes out of sidewalk				
11	Pipe Material:				
			eeting the requirements of ASTM D3034 for pipes 15" 79 for 18" and larger		
	- DIP manufactu	- DIP manufactured in accordance with ANSI A21.51 with thickness according to ANSI A21.50			
12 Min cover 3'					
13	Drop manholes are required when the 'invert in' is 2.0 feet or more above the 'invert out'. The MH must be a 6' diameter precast MH and conform to ASTM C478. The drop pipe shall be the same size as the influent pipe. All hardware on ductile iron piping associated with drop manholes must be stainless steel. (Standard Specifications Section 02720 2.02)				
14	Drop manholes -	inside and o	outside drop manhole details S-7, S-8		
15	Sanitary sewer lir				
	8" 0.40%	21"			
	10" 0.28%				
	12" 0.22%	27"			
	14" 0.17%		0.06%		
	15" 0.15%	33"	0.05%		
	16" 0.14% 18" 0.12%	36" 42"	0.05% 0.04%		
Grease	e Traps:				
1	Grease trap is requ	iired for rest	taurants / eating establishments (any establishment with kitchen	1	
	facilities). A sampl	ing manhole	e shall be installed downstream of the grease trap and upstream IH shall be a minimum of 18 inches in diameter. Grease traps sha	of sanitary	

sized at 20 gallons per seat, or a minimum capacity of 1,000 gallons and must be singular or in series



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and directly accessible from the exterior of the building. (Chapter 86, Article V, Division 4, Section 86-226 and 228)

Sanitary Sewer Lift Stations: 1. _____ City must approve lift station locations. Lift stations should not be located behind residential homes or commercial property. (Appendix B, Article VI, Section 606, Utilities 3) 2. The lift station shall have a 25-ft (minimum) access easement from a paved public road. (Appendix B, Article VI, Section 606, Utilities 4 and 5) The easement shall provide an all-weather access road at least 15 feet wide, constructed of 8-inches of graded aggregate base with geo-textile fabric (or grid) if necessary to assure stability. (Appendix B, Article VI, Section 606, Utilities 5) The immediate entrance at the paved public roadway to the access easement shall be constructed of a 15' x 15' x 4" thick concrete pad. The concrete shall be 4,000 psi @ 28 days fiber reinforced concrete mixture. (Appendix B, Article VI, Section 606, Utilities 6) 5. _____ The lift station access shall have a vehicle turn-a-round drive provided, unless it is deemed not necessary by the water and sewer superintendent. (Appendix B, Article VI, Section 606, Utilities 7) 6. All lift stations, with three HP or larger motors, shall have a true three phase power supply. No single phase, rotophase, capacitor banks, shall be permissible. (Appendix B, Article VI, Section 606, Utilities 8) 7. _____ All lift stations shall be constructed with submersible pumps only. (Appendix B, Article VI, Section 606, Utilities 9) 8. _____ The city and its engineers shall approve the pump size and manufacturer. (Appendix B, Article VI, Section 606 Utilities 9) All lift stations sites shall be fenced in. The minimum gate opening is 12-foot with a 180 degree gate swing. The fence material can be either wood or cyclone. All fences shall be of privacy manner. (Appendix B, Article VI, Section 606, Utilities 10) 10. _____ The mounting panel for the controls, etc., shall be constructed out of three-inch galvanized post and galvanized support brackets. (Appendix B, Article VI, Section 606, Utilities 11) 11. _____ All proposed Lift Stations shall be accompanied by an engineering report. The following information shall be included in the report: - Title page - Title page should include the project name, date, developer/owner's name, the engineering firm preparing the plans and PE stamp - Sewer system information - type, location and size of development - Existing sewer system - location and type of gravity system the force main will discharge into

- Future plans for sewer system - the number of lots this phase will encompass initially, if future



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phases will be constructed, and the extent to which the proposed system will serve future phases

- Pump Station and Force Main Design Calculations the Average Daily Flow (ADF), Peak Daily Flow
 (PDF), Total Dynamic Head, Force Main (velocity produced in force main and maximum operating pressure) and Wet Well Buoyancy Calculation
- Cycle Times volume in wet well needed to turn primary pump on, cycle time for ADF, cycle time for PDF and total cycle time

Force Mains:

Reference	Appendix B, Article VI, Section 606 Utilities 12, Standard Specifications Section 02710
1	Show force main location and all associated appurtenances. All force mains shall be installed in the access easement or public road right-of-way
2	Identify the size and material type of the force main pipe
3	Manholes that are the termination point for force mains are be lined with Raven Lining Systems spray-in liner
4	Force main markers are to be place every 500 feet and at change of direction. Attach the #12 solid copper tracing wire to each marker. (City of Pooler Standards & Specifications Section 02710 3.05)

Stormwater Management

References:

- City of Pooler Code of Ordinances, Part 2, Chapter 42, Article V-
- Georgia Stormwater Management Manual
- Coastal Supplement to the Georgia Stormwater Management Manual. (Chapter42, Article V, Section 42-180.7)

General:

Water quantity may be handled through a master system, water quality/run-off reduction needs to be addressed as part of the individual development site.

Applicability and Exemptions (Chapter 42, Article V, Section 42-180.3)

- What developments do the City of Pooler Stormwater Management provisions apply to? (Chapter 42, Article V, Section 42-180.3 (1))
 - a. New development that involves the creation of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - b. Redevelopment that involves the creation, addition or replacement of 5,000 sf or more of impervious cover or that involves other land disturbing activities of 1 acre or more; or
 - c. New development or redevelopment, regardless of size, that is part of a larger common plan



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of development, even though multiple, separate and distinct land disturbing activities may take place at different times and on different schedules; or

- d. New development or redevelopment, regardless of size, that involves the creation or modification of a stormwater hotspot, as defined by the director
- 2. _____ The following activities are exempt: (Chapter 42, Article V, Section 42-180.3 (2))
 - a. New development or redevelopment that involves the creation, addition or replacement of < 5,000 sf of impervious cover and that involves < 1 acre of other land disturbing activities
 - b. New development or redevelopment activities on individual residential lots that are not part of a larger common plan of development and do not meet any of the applicability criteria listed above
 - c. Additions or modifications to existing single-family homes and duplex residential units that do not meet any of the applicability criteria listed above
 - d. Development projects that are undertaken exclusively for agricultural or silvicultural purposes within areas zoned for agricultural or silvicultural
 - e. Maintenance and repairs of any green infrastructure or stormwater management practices deemed necessary by the director
 - f. Any part of a land development project that was approved by the director prior to the adoption of this article
 - g. Redevelopment activities that involve the replacement of impervious cover when the original impervious cover was wholly or partially lost due to natural disaster or other acts of God occurring after April 12, 2012
- 3. ______ Redevelopment projects must handle stormwater run-off in at least one of the following methods. The method(s) selected must be acceptable to the City of Pooler (Section 42-184.8):
 - a. existing site impervious cover by at least 20 percent
 - b. Manage the stormwater runoff from at least 20 percent of the site's existing impervious cover in addition to any new impervious cover. Stormwater shall be managed with criteria selected, designed, constructed and maintained in accordance with the information presented in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
 - c. Provide off-site stormwater management practices

Design Plan (Chapter 42, Article V, Section 42-183.4)

- 4. _____ Provide a hydrologic analysis of the EXISTING conditions that includes: (Section 42-183.4 (1))
 - a. Existing conditions map
 - b. Describe the existing conditions of each on-site drainage area of the development site (e.g.



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size, soil types, land cover characteristics)

- c. Describe the existing conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
- d. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each on-site drainage area of the development site
- e. Information about the stormwater runoff rates and volumes generated, under existing conditions, in each off-site drainage area that contributes runoff to the development site
- f. Documentation showing how the existing conditions hydrologic analysis was completed
- 5. _____ Provide a hydrologic analysis of the **proposed** conditions that includes: (Section 42-183.4 (2))
 - a. Proposed conditions map (Sec 42-183.2(4))
 - b. Describe the proposed conditions of each on-site drainage area of the development site (e.g. size, soil types, land cover characteristics)
 - c. Describe the proposed conditions of off-site drainage areas that contribute runoff to the development site (e.g. size, soil types, land cover characteristics)
 - d. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each on-site drainage area of the development site
 - e. Information about the stormwater runoff rates and volumes generated, under proposed conditions, in each off-site drainage area that contributes runoff to the development site
 - f. Documentation (e.g. model diagram) and calculations showing how the proposed conditions hydrologic analysis was completed
- 5. _____ Provide a POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN that illustrates: (Section 42-183.4 (3))
 - a. Proposed topography
 - b. Proposed drainage divides and patterns
 - c. Existing and proposed roads, buildings, parking areas and other impervious surfaces
 - d. Existing and proposed primary and secondary conservation areas
 - e. Plan view of existing and proposed low impact development and stormwater management practices
 - f. Cross-section and profile views of existing and proposed low impact development and stormwater management practices, including information about water surface elevations, storage volumes and inlet and outlet structures (e.g. orifice sizes)



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	g. Plan view of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains)
	h. Cross-section and profile views of existing and proposed storm drain infrastructure (e.g. inlets, manholes, storm drains), including information about invert and water surface elevations
	i. Existing and proposed channel modifications (e.g. bridge or culvert installations)
7	Provide a post-construction stormwater management system narrative that includes information about: (Section 42-183.4 (4))
	a. How post-construction stormwater runoff will be managed on the development site, including a list of the low impact development and stormwater management practices that will be used
	b. It shall also include documentation and calculations that demonstrate how the selected low impact development and stormwater management practices satisfy the post-construction stormwater management criteria that apply to the development site, including information about the existing and proposed conditions of each of the drainage areas found on the development site (e.g. size, soil types, land cover characteristics)
8	Certification by plan preparer that the stormwater management design plan meets the requirements of the City's stormwater management ordinance and the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual, and any relevant local addenda. (Section 42-183.4 (5))
9	Certification by owner that all land disturbing and development activities will be completed in accordance with the approved stormwater management design plan. (Section 42-183.4 (6))
Inspecti	on and Maintenance Plan: (Chapter 42, Article V, Section 42-183.5 and Section 42-186.2)
10	An Inspection and Maintenance Agreement and Plan must be submitted. This document is a binding agreement signed by the applicant or owner that is binding on all subsequent owners unless the stormwater management system is dedicated to and accepted by the City. The plan must include the following:
	 a. Identification by name or official title the person(s) responsible for carrying out the inspection and maintenance
	b. A statement confirming that responsibility for the operation and maintenance of the stormwater management system shall remain with the property owner and shall pass to any successive owner

- c. A provision stating that, if portions of the development site are sold, legally binding arrangements shall be made to pass the responsibility for the operation and maintenance of the stormwater management system to the appropriate successors in title. These arrangements shall designate, for each portion of the stormwater management system, the person(s) to be permanently responsible for its inspection and maintenance
- d. A maintenance schedule stating when, what, and how often routine inspection and maintenance will occur to ensure proper function of the system. (Section 42-186.2)

Off-Site Stormwater Management Practices: (Chapter 42, Article V, Section 42-183.9)



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11	Off-site or regional stormwater management practice must meet the following criteria:
	a. Located on property legally dedicated to that purpose
	b. Be designed and sized to meet the post-construction stormwater management criteria presented
	below
	c. Provide stormwater quality and quantity control that is equal to or greater than that which would be provided by on-site green infrastructure and stormwater management practices
	d. Stormwater management practices shall be installed, where necessary, to protect properties and drainage channels that are located between the development site and the location of the off-site or regional stormwater management practice
12	Submit a stormwater management design plan that demonstrates the off-site or regional stormwater management practice will not result in the following impacts:
	a. Increased threat of flood damage or endangerment to public health or safety
	b. Deterioration of existing culverts, bridges, dams and other structures
	c. Accelerated streambank or streambed erosion or siltation
	d. Degradation of in-stream biological functions or habitat
	e. Water quality impairment in violation of state water quality standards and/or violation of any other state or federal regulations
Post-Co	nstruction Stormwater Management (Section 42-184)
1	Natural resources inventory (Section 42-184.1) - Prior to the start of any land disturbing activities, including any clearing and grading activities, site reconnaissance and surveying techniques should be used to complete an assessment of the natural resources, both terrestrial and aquatic, found on a development site. The natural resources inventory shall be completed in accordance with the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual. The preservation and/or restoration of these natural resources may be assigned quantifiable stormwater management "credits" that can be used when calculating the stormwater runoff volumes (sections 42-184.3 through 42-184.7). The green infrastructure practices that qualify for these "credits," and information about how they can be used is provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual
2	Green Infrastructure Practices (Section 42-184.2) - Green infrastructure practices shall be used to the maximum extent practical
3	_ Stormwater runoff reduction (Section 42-184.3) - The stormwater runoff volume generated by the runoff reduction storm event shall be reduced on-site. A system is presumed to comply with this criteria if:

a. It includes green infrastructure practices that provide for the interception, evapotranspiration,



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infiltration or capture and reuse of stormwater runoff, that have been selected, designed, constructed and maintained in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda

b. It is designed to provide the amount of stormwater runoff reduction specified in the latest edition

4	Water quality protection (Section 42-184.4) - Post-construction stormwater runoff shall be adequately
	treated before it is discharged from a development site. Applicants can satisfy this criteria by satisfying the stormwater runoff reduction criteria (section 42-184.3). However, if any of the stormwater runoff
	volume generated by the runoff reduction storm event cannot be reduced on the development site, it shall be intercepted and treated in one or more stormwater management practices that provide at least
	an 80% reduction in TSS loads and reduce nitrogen and bacteria loads to the maximum extent
	practical. When seeking to satisfy this criteria through the use of one or more stormwater management practices, applicants shall:

of the coastal stormwater supplement to the Georgia Stormwater Management Manual

- a. Intercept and treat stormwater runoff in stormwater management practices that have been selected, designed, constructed and maintained in accordance with the information presented in the coastal stormwater supplement to the Georgia Stormwater Management Manual and any relevant local addenda
- b. Provide adequate documentation to the City of Pooler to show that total suspended solids, nitrogen and bacteria removal were considered during the selection of the stormwater management practices that will be used to intercept and treat stormwater runoff on the development site
- 5. ______ Aquatic resource protection (Section 42-184.5) In order to protect local aquatic resources from the negative impacts of the land development process, applicants shall provide aquatic resource protection in accordance with the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 6. ______ Overbank flood protection (Section 42-184.6) Stormwater management systems shall control the peak discharge generated by the overbank flood protection storm event. A stormwater management system is presumed to comply if it is designed to provide overbank flood protection in accordance with the information provided in the coastal stormwater supplement to the Georgia Stormwater Management Manual
- 7. _____ Extreme flood protection (Section 42-184.7) Stormwater management systems shall control the peak discharge generated by the extreme flood protection storm event. A system is presumed to comply with this criteria if it is designed to provide extreme flood protection in accordance with the information provided in the latest edition of the coastal stormwater supplement to the Georgia Stormwater Management Manual

Note only: Certification, final inspection and as-built plans - The applicant is responsible for certifying that the project has been completed in accordance with the approved stormwater management design plan. The applicant is also responsible for submitting as-built plans for all green infrastructure and stormwater management practices shown on the approved plan. The as-built plans must show the final design specifications for all green infrastructure and stormwater management practices and must be certified by a licensed design professional such as a landscape architect, professional surveyor or professional engineer. A final inspection shall be conducted by the City staff to confirm the accuracy of the as built plans. (Sec 42-185.3)



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Tree Protection Ordinance

Reference	: City of Pooler Code of Ordinances, Chapter 42, Article VI
Minimum	Tree Coverage (Section 42-197)
1 Residential tree requirement—A residential lot shall have a minimum of 3 preferred trees, of w	
	one shall be located in the front of the residence and selected from large or medium tree species list. (Chapter 42, Article VI, Section 42-197)
2	Multi-family, commercial and industrial requirement—The minimum allowable post development tree coverage for all development sites shall be 15 existing trees (excluding pine trees and Sweet Gums), six-inch diameter at breast height (dbh) or larger per acre of developable land (excluding buffers and wetlands). Each tree with a diameter of 24 inches dbh or larger (18 inches dbh for Live Oaks) must be designated on the landscape plan and may count as three trees towards meeting the minimum allowable coverage. Each tree with a diameter of 40 inches dbh or larger must also be designated on the landscape plan and may count as five trees towards meeting the minimum allowable coverage. (Chapter 42, Article VI, Section 42-197)
Significar	nt Trees (Section 42-198)
3	Significant tree - A tree with dbh of \geq 24" (except sweet gums and pines). Live oaks with dbh of \geq 18"
4	Significant tree - If a significant tree is to be removed, the planting of new trees of the same species, or preferred species if the same species is not available, totaling the same number of inches in diameter will be required. Replacement trees shall have a minimum dbh of six inches
Replacem	nent (Section 42-199)
5	Where pre-development tree coverage is less than the prescribed minimum, replacement trees shall be at least 2" dbh and 8' tall. (Chapter 42, Article VI, Section 42-199)
6	If a developer will be contributing to the city's tree planting program in order to meet the provisions of this ordinance, provide a statement on the plans to this effect along with supporting documentation as to why the payment is necessary and cannot be achieved through design alternatives. (Chapter 42, Article VI, Section 42- 199(3))
Parking L	ot Coverage (Section 42-200)
7	Parking lot islands - a 500 sf (min) landscaped island area with at least 1 preferred tree is required for every 12 parking spaces. (Chapter 42, Article VI, Section 42-200)
Protectio	n Zones (Section 42-201)
8	The area within the tree protection zone must be open and unpaved, except where approved pervious pavers may be utilized or tree aeration systems and tree wells are installed. (Chapter 42, Article VI, Section 42-201)



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9	The protection zone is defined as a circle with a radius of 1' per 1" dbh extending outwardly from the tree to be protected or the extent of the drip line, whichever is more restrictive. (Chapter 42, Article VI, Section 42-201)		
10	Tree protective barriers must be at least 4' in height, be prominent visually and erected completely around the protection zone. The use of chain link fencing is required as a minimum. No change in grade within the protection zone shall be allowed around existing trees except for a max two inches of mulch. Those trees to be preserved as shown on the approved landscaping plan shall be marked on-site with a bright blue ribbon encircling the trunks prior to clearing and grading. The construction plan must clearly state the purpose of the blue ribbon to prevent any confusion at the site. (Chapter 42, Article VI, Section 42-201)		
Lands	cape Plan (Section 42-204)		
11	Each phase of a development must include a landscape plan. (Chapter 42, Article VI, Section 42-204). The Landscaping Plan must show utility easements and areas to be covered with asphalt or concrete		
12	Required note - "Trees shall not be planted within 10 feet of any underground utility or storm drain."		
13	A tree survey showing existing tree coverage, completed by a state registered land surveyor. If a portion of the tract is not to be disturbed, then a tree survey is not required on that portion. Provide an arborist report of significant tree conditions. (Chapter 42, Article VI, Section 42-204)		
	 Any tree except a pine or sweet gum tree 6" dbh or greater shall be included. Any tree except a pine or sweet gum with a dbh between 6" and 17" shall have their common name provided. 		
	 Any tree except a pine or sweet gum with a dbh of 18" or greater shall have their specific name provided. 		
	 Any pine or sweet gum with a dbh of 24" or greater shall be included with their specific name provided. 		
14	A clearing plan showing the location of significant trees to be removed; (Chapter 42, Article VI, Section 42-204.2)		
15	A tree replacement plan; (Chapter 42, Article VI, Section 42-204.3)		
16	The method of tree protection to be used; (Chapter 42, Article VI, Section 42-204.3)		
17	If a residential subdivision, a typical lot layout is required showing the minimum tree requirement of three trees per lot; (Chapter 42, Article VI, Section 42-204.5)		
18	Location, size and types of trees, shrubs and groundcover to be planted on the site. (Chapter 42, Article VI, Section 42-204.6)		
19	All trees and landscaped areas shall be provided with a means for delivery of water in a quantity that is sufficient to establish and maintain the viability of the plants; A water supply is not required for areas of established trees and other vegetation that are retained for green space, provided that site grading or development activities will not result in damage to said areas. (Chapter 42, Article VI, Section 42-204.7)		



n Review Checklist

Page 20 of 20

Updated OCT 2023

AOFRODE		Site Plan
PRIDE FAMILY HONOR		•
1907	N/A	,

20. _____ In ground irrigation systems installed with water supply to all newly planted trees and plant material shall result in a 20 percent reduction of the landscape establishment bond. (Chapter 42, Article VI, Section 42-204.8) **Preferred Tree List:** (Section 42-198) **LARGE SPECIES MEDIUM SPECIES SMALL SPECIES** American Beech American Holly Eastern Redbud American Elm hybrids Maple, Red Holly, attenuate hybrids American Sycamore Maple, Florida Holly, Yaupon Ash, Green Maple, Trident Magnolia, Sweetbay Ash, White Cedar, Eastern Red Fringe tree Cypress, Bald Cypress, Pond Gingko (male) Hickory species Magnolia, Southern Oak, Live Oak, Nuttall Oak, Overcup Oak, Shumard Oak, White Oak, Willow Oak, Southern Red Poplar, Yellow

1	No more than 30% of trees may be from the small species list or from one species
2	Upon recommendation of the City Arborist, a species different from one listed may be approved

CLEARING, PAVING, GRADING, STORM DRAINAGE WATER DISTRIBUTION & SANITARY SEWER

OXFORD POOLER - PHASE 1 NW CORNER OF POOLER PARKWAY AND PINE BARREN ROAD

POOLER, GEORGIA

FOR



3200 WINDY HILL ROAD SE, SUITE 900 WEST ATLANTA, GEORGIA 30339 PHONE No. (770) 818-4058

OCTOBER 5, 2023

NOVEMBER 2, 2023 ISSUED FOR CONSTRUCTION - JANUARY 11, 2024 IFC SET - OWNER REVISIONS #1 - FEBRUARY 19, 2024 IFC SET - OWNER REVISIONS #2 - APRIL 8, 2024 IFC SET - OWNER REVISIONS #3 - APRIL 30, 2024 IFC SET - OWNER REVISIONS #4 - DECEMBER 4, 2024



HUSSEY GAY BELL

– Established 1958 –

CONSTRUCTION EXIT A 32.09864° N LATITUDE: SCALE: 1"=2000' 81.27608° W LONGITUDE:

CONSTRUCTION EXIT B

LONGITUDE:

32.09972° N

81.27083° W

329 COMMERCIAL DRIVE, SAVANNAH, GA 31406 / T:912.354.4626 SAVANNAH • ATLANTA • STATESBORO • CHARLESTON • COLUMBIA • NASHVILLE www.husseygaybell.com

SCHEDULE OF DRAWINGS

DESCRIPTION

COVER SHEET, VICINITY MAP AND SCHEDULE OF DRAWINGS

CONSTRUCTION NOTES AND LEGEND

OVERALL EXISTING CONDITIONS PLAN

STAKING AND TRAFFIC CONTROL PLAN

SEWER AND WATER DISTRIBUTION PLAN

EROSION AND SEDIMENT CONTROL NOTES

EROSION AND SEDIMENT CONTROL PLAN - INITIAL PHAS

EROSION AND SEDIMENT CONTROL PLAN - FINAL PHASI

EROSION AND SEDIMENT CONTROL PLAN - INTERMEDIATE PHASE

OVERALL STAKING AND TRAFFIC CONTROL PLAN

EXISTING CONDITIONS PLAN

STORM DRAINAGE PROFILES

SANITARY SEWER PROFILES

CONSTRUCTION DETAILS

PROJECT INDEX MAP

SHEET NO.

CO.1

C0.2

C1.0

C1.1-C1.2

C2.0

C2.1-C2.2

C3.0 C3.1-C3.2

C4.0

C4.1-C4.2

C5.1-C5.4

C5.5

C6.1-C6.4

EC0.1-EC0.2

EC1.1-EC1.2

EC2.1-EC2.2

EC3.1-EC3.2

EC4.1-EC4.2

Bloomingdale	Old Central Roads Q
	Old Central Road A South Contral Road WAY 80 West Street
	Approximate of the state of the
Blooming dale	Servage Treothent Plant
	Garden Acres Garden Acres Estates
DINK DARREN ROM	SITE SOME SITE
	RYAN
INTERSTATE 16	PINE BARREN RD
Concessor of the state of the s	Control of the Contro
Title Coate Service Cross Service Serv	MTERSTATE 16 C

Blue Moon Crossing Spray Field

SITE DATA: 1. SITE ADDRESS: PINE BARREN ROAD POOLER, CHATHAM COUNTY, GA 2. PROPERTY IDENTIFICATION NUMBER(S): 5101101027, 5101101028, 5101101029

4. DEVELOPER ADDRESS:

10. LOCAL ISSUING AUTHORITY:

11. WATER AND SEWER PROVIDER:

6. SITE SIZE:

. PROPERTY OWNER ADDRESS:

ALPHARETTA, GA 30005 OXFORD PROPERTIES, LLC 3200 WINDY HILL ROAD SE, SUITE 900 WEST ATLANTA, GA 30339 5. PARCEL(S) SIZE:

18.29 ACRES 18.29 ACRES 7. SITE ZONING: MORGAN PUD - MULTI-FAMILY 8. SURVEY INFORMATION: HUSSEY GAY BELL

329 COMMERCIAL DRIVE SAVANNAH, GA 31406 (912) 354-4626 JULY 27, 2022 122401600 NAVD 1988 NAD 1983

ES225166

CITY OF POOLER

CITY OF POOLER

THE DAVIS GROUP

6728 JAMESTOWN DRIVE

9. GEOTECHNICAL: TERRACON 2201 ROWLAND AVENUE SAVANNAH, GA 31404 AUGUST 19, 2022

12. ROAD AND DRAINAGE OPERATOR: CITY OF POOLER 13. FLOOD ZONE: IN ACCORDANCE WITH FIRM MAP NO. 13051C0107H, EFFECTIVE DATE: AUGUST 16, 2018, THIS PROPERTY DOES FALL WITHIN THE LIMITS OF THE 100 - YEAR FLOOD PLAIN. (ZONE "X"). 14. WETLANDS PERMIT: USACE PERMIT NO. SAS-2001-02780 APPROVED MARCH 24, 2014 TO BE EXTENDED THROUGH MARCH 31, 2024.

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION UNTIL THE PROPER PERMITS HAVE BEEN ISSUED. 2. WORK IS NOT PERMITTED UNTIL THE PRE-CONSTRUCTION MEETING IS HELD AS REQUIRED. CONTACT CITY OF POOLER AT

912-748-6652 TO SCHEDULE THE PRE-CONSTRUCTION MEETING. 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE NOTICE OF INTENT. IF ONE HAS NOT BEEN PROVIDED/SUBMITTED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DO SO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS OF THE NPDES GENERAL PERMIT.

I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A COPY OF AND FAMILIARIZING THEMSELVES WITH THE FOLLOWING: GEOTECHNICAL REPORT, ENVIRONMENTAL SITE ASSESSMENT, WETLANDS ASSESSMENT, AND HAZARDOUS

CAD FILES OF THE DESIGN MAY BE OBTAINED BY THE CONTRACTOR UPON REQUEST, BUT THE LATEST ISSUED PLANS AND SPECIFICATIONS SHALL GOVERN IN CONFLICT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD MARKINGS/LOCATES ARE IN AGREEMENT WITH THE APPROVED PLANS AND SPECIFICATIONS. IF THE FIELD LOCATIONS ARE FOUND TO BE IN CONFLICT OR IF UTILITIES ARE MARKED IN THE FIELD THAT ARE NOT SHOWN ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY AND REQUEST DIRECTION. UNDERGROUND UTILITIES WERE LOCATED TO THE EXTENT PRACTICAL DURING THE TOPOGRAPHIC SURVEY BASED ON OBSERVABLE ABOVE GROUND EVIDENCE AND FLAGGING BY OTHERS. HOWEVER, THE UTILITIES SHOWN MAY NOT BE THE TYPE INDICATED OR IN THE LOCATION SHOWN, AND OTHER UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. FULL SUBSURFACE INVESTIGATION SHALL BE PERFORMED BY THE CONTRACTOR TO VERIFY LOCATION, TYPE, AND SIZE OF ALL UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL COMPLETELY CLEAR AND GRUB ALL AREAS WITHIN THE LIMITS OF DISTURBANCE UNLESS INDICATED OTHERWISE.

8. ALL UTILITY CONSTRUCTION SHALL BE PERFORMED BY A UTILITY CONTRACTOR LICENSED IN THE STATE OF GEORGIA. 9. ALL WORK SHALL CONFORM TO THE PROJECT SPECIFICATIONS. 10. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED

BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER. 11. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE STATE SOIL AND WATER CONSERVATION COMMITTEE'S "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA." ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED ON A

REGULAR BASIS AND SHALL BE REMOVED BY THE CONTRACTOR UPON ACCEPTANCE OF THE SITE BY THE OWNER. 12. CONTRACTOR SHALL USE A TRENCH BOX ON ALL UTILITIES MORE THAN SIX FEET IN DEPTH. STACKABLE TRENCH BOXES SHALL BE USED WHERE DEPTH REQUIRES SUCH. 13. 6" IRRIGATION CONDUITS SHALL BE PLACED AS SHOWN ON THE PLANS. IRRIGATION CONDUITS SHALL BE SCHEDULE 40

PVC (WHITE IN COLOR) AND SHALL EXTEND 3' (MIN.) - 5' (MAX.) BEYOND BACK OF CURB. 14. ALL CONDUITS SHALL BE INSTALLED WITH 24"(MIN.)-30"(MAX) COVER (OR AS REQUIRED BY THE UTILITY) 15. ONE (1) #3 REBAR, 24" IN LENGTH SHALL BE INSTALLED AT EACH CONDUIT END WITH 18" EXPOSED AND 6" OF BURY.

16. ONE (1) 1"x2" WOODEN STAKE (PRESSURE TREATED) SHALL BE INSTALLED AT EACH CONDUIT END WITH A MINIMUM OF 24" EXPOSED AND A MINIMUM OF 12" OF BURY. THE STAKES SHALL BE PAINTED WHITE FOR IRRIGATION CONDUITS AND GRAY FOR ELECTRICAL CONDUITS.

17. EACH CONDUIT END SHALL BE CAPPED (NO GLUE). 18. PULL CORDS SHALL RUN THROUGH PIPE AND EXIT A PRE-DRILLED HOLE IN CAP ON EITHER END.

19. ELECTRICAL COMPONENTS WITHIN THESE PLANS ARE PROVIDED BY GEORGIA POWER. THESE PLANS MAY NOT REPRESENT ALL WORK REQUIRED TO COMPLETE THE INSTALLATION OF ELECTRICAL COMPONENTS OF THE PROJECT. CONTRACTOR SHALL COORDINATE CONSTRUCTION/BIDDING OF ANY AND ALL ELECTRICAL COMPONENTS OF THIS PROJECT WITH GEORGIA POWER PRIOR TO BIDDING TO ENSURE 100% COMPLETION. 100% COMPLETION MEANS ACCEPTANCE OF ELECTRICAL **COMPONENTS BY** GEORGIA POWE

20. ALL CASTINGS ON SITE SHALL BE AMERICAN MADE. ACCESS FOR FIRE FIGHTING:

21.1. REQUIRED ACCESS: APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.

21.2. WATER SUPPLY FOR FIRE CONNECTION: WHEN REQUIRED. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.

STAKING NOTES: ALL RADII ARE 5' AND ALL ANGLES ARE 90' UNLESS OTHERWISE SHOWN ON THE PLANS

ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN ON THE PLANS. 3. LAYOUT FOR MANHOLES, INLETS, ETC., ARE NOT SHOWN ON THIS PLAN. COORDINATES FOR SUCH STRUCTURES CAN BE PROVIDED TO THE SELECTED CONTRACTOR UPON REQUEST. 4. THE CONTRACTOR SHALL UTILIZE EXISTING BENCHMARKS AND CONTROL POINTS SHOWN ON THE PLANS TO ESTABLISH

VERTICAL AND HORIZONTAL CONTROL ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THESE BENCHMARKS DURING THE CONSTRUCTION PROJECT AND FOR BEARING ANY EXPENSE RESULTING FROM UNAUTHORIZED REMOVAL OR REPLACEMENT OF BENCHMARKS. WHEN A PERMANENT BENCHMARK IS LOCATED SUCH THAT IT MUST BE REMOVED TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL ESTABLISH SUCH TEMPORARY BENCHMARKS AS HE MAY REQUIRE PRIOR TO REMOVING THE PERMANENT BENCHMARK. THE CONTRACTOR SHALL PROVIDE THE LOCATION, IDENTIFICATION AND ELEVATION OF ANY TEMPORARY BENCHMARK ESTABLISHED TO THE OWNER AND ENGINEER.

DUMPSTERS SHALL BE SCREENED FROM 4 SIDES, WITH THE FOURTH SIDE BEING A GATE. THE ENCLOSURE AND GATE SHALL BE A MATERIAL COMPATIBLE WITH THAT OF THE PRIMARY STRUCTURE. THIS ENCLOSURE SHALL BE A MINIMUM

PAVING, GRADING AND DRAINAGE NOTES:

1. CONTOURS SHOWN ARE BASED ON FINISHED GRADES AND INCLUDE SIDEWALK AND PAVEMENT SURFACING. FINAL EARTHWORK CONTOURS IN AREAS TO BE COVERED BY OTHER SURFACES WILL BE DIFFERENT FROM THOSE SHOWN ON

2. CONTOURS SHOWN ON THIS SHEET ARE FOR GENERAL GUIDANCE AND INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL GRADE THE SITE IN ACCORDANCE WITH ELEVATIONS SHOWN. IN CASES OF CONFLICT BETWEEN SPOT ELEVATIONS AND CONTOURS, THE SPOT ELEVATIONS SHALL GOVERN.

ALL PROPOSED PAVEMENT SHALL BE SUPPORTED BY A 24" MINIMUM THICKNESS SUBBASE COMPOSED OF COMPACTED SUITABLE MATERIAL ABLE TO PASS PROOF ROLLING. DEFINITIONS OF SUITABLE MATERIAL, COMPACTION, AND PROOF ROLLING ARE PROVIDED IN THE PROJECT SPECS. UNDERCUTTING AND BACKFILLING OF UNSUITABLE MATERIAL, IF PRESENT, TO ESTABLISH THE REQUIRED SUBBASE SHALL BE INCLUDED IN THE BASE BID. THE GEOTECHNICAL REPORT IS INCLUDED

4. LOAD BEARING AND STRUCTURAL FILLS SHALL BE APPROVED SUITABLE MATERIAL AS DEFINED IN THE PROJECT SPECS. WASTE MATERIALS MAY BE USED FOR FLUSHING OF SHOULDER OR CONSTRUCTION OF PEDESTRIAN OR LANDSCAPED AREAS IF THEY CAN BE STABILIZED, SUPPORT PLANT GROWTH, AND MEET THE REQUIRED DEGREE OF COMPACTION. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AREAS WHICH ARE FIELD ADJUSTED

3. CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT BARRIERS (SILT FENCE OR GRAVEL BAGS) AROUND

ALL DRAINAGE INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM. 7. SEE SPECIFICATIONS FOR REQUIREMENTS FOR CONTROL, CONSTRUCTION AND EXPANSION JOINTS IN CONCRETE SIDEWALKS AND CURB AND GUTTER.

8. INVERT ELEVATIONS SHOWN ON THE PLANS ARE TO THE INVERT OF THE LOWEST PIPE UNLESS SHOWN OTHERWISE. 9. THE CONTRACTOR SHALL INSTALL ALL DRAINAGE PIPE PER MANUFACTURER'S RECOMMENDATIONS. IF A CONFLICT BETWEEN THE PLANS AND MANUFACTURER'S RECOMMENDATIONS ARISES, PLEASE NOTIFY THE DESIGN ENGINEER/OWNER IMMEDIATELY AND DISCONTINUE WORK UNTIL FURTHER NOTICE IS GIVEN.

10. ALL DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE CLASS III UNLESS OTHERWISE NOTED 11. CATCH CURB AND GUTTER SHALL BE USED WHERE THE DRAWINGS INDICATE THAT THE GUTTER IS TO CARRY WATER. PITCHED CURB AND GUTTER SHALL BE USED WHERE THE DRAWINGS INDICATE THE WATER SHALL DRAIN AWAY FROM THE GUTTER. TRANSITIONS BETWEEN THE TWO CONDITIONS SHALL BE MADE AS SMOOTHLY AS POSSIBLE (THROUGH A MINIMUM DISTANCE OF 5'), USUALLY THROUGH A RADIUS.

12. GUTTER LINE GRADES (INCLUDING GUTTERS IN CREST AND SAG VERTICAL CURVES) SHALL BE ADJUSTED TO MEET A MINIMUM LONGITUDINAL SLOPE OF 0.30%. 13. THE WIDENED AREAS (NEW SECTIONS OF PAVEMENT ONLY; THIS DOES NOT INCLUDE OVERLAY AREAS) FOR PINE BARREN

ROAD SHALL HAVE THE COMPLETE SUBGRADE REMOVED AND REPLACED WITH SELECT BACKFILL.

14. ALL ROADS SHALL BE CONSTRUCTED TO CITY OF POOLER STANDARDS (PUBLIC OR PRIVATE).

SIGNAGE AND STRIPING NOTES:

1. ALL TRAFFIC CONTROL MEASURES SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE MANUAL IDENTIFICATION AND DIMENSIONS ARE SHOWN ON STAKING SHEETS FOR EACH REQUIRED SIGN. THE ORIENTATION OF EACH SIGN FROM AN APPROACHING DRIVER'S POINT OF VIEW IS ALSO SHOWN. SIGN AND SUPPORT POST MATERIAL AND INSTALLATION SHALL CONFORM TO THE PERTINENT SECTIONS OF THE CURRENT EDITION OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

2. ALL PAVEMENT MARKINGS (EXCLUDING PARKING STRIPES AND H/C PARKING) SHALL BE THERMOPLASTIC (WITH GLASS BEADS). MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH GEORGIA DOT SPECIFICATIONS, LATEST EDITION.

ALL STREET SIGN LETTERING SHALL BE A MINIMUM OF 6" IN HEIGHT. 4. ALL SIGNAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DIAMOND GRADE OR HIGH INTENSITY.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE CONNECTIONS OF SITE UTILITIES TO PLUMBING STUB

GENERAL NOTES, ABBREVIATIONS, SYMBOLS & LEGEND:

ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. 2. ALL WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CURRENT CITY OF POOLER SPECIFICATIONS AND REQUIREMENTS.

3. ALL 4" - 12" DIAMETER WATER DISTRIBUTION PIPE SHALL BE PVC AWWA C-900 PRESSURE RATED PIPE, PRESSURE CLASS 150. WITH DIMENSION RATIO 18 OR LOWER OR DUCTILE IRON PIPE CLASS 50 WHERE SHOWN, ALL PVC WATER MAINS SHALL BE BLUE IN COLOR. ALL WATER DISTRIBUTION PIPE GREATER THAN 12" IN DIAMETER SHALL BE CLASS 250 DUCTILE IRON PIPE. ALL FIRE HYDRANT LEAD LINES SHALL BE CLASS 50 DUCTILE IRON WITH CEMENT LINING.

4. GRAVITY SANITARY SEWER PIPE SHALL BE PVC - ASTM D 3034, SDR 26 OR DUCTILE IRON PIPE PRESSURE CLASS 50 WHERE REQUIRED. 5. MANHOLE TOP ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOPS 2" ABOVE FINISHED

GRADE IN UNPAVED AREAS AND FLUSH IN PAVED AREAS OR AS INDICATED ON MANHOLE DETAIL. 6. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND A MAXIMUM COVER OF 60 INCHES. A MINIMUM 18 INCHES VERTICAL SEPARATION DISTANCE AND MINIMUM 10 FEET HORIZONTAL SEPARATION DISTANCE SHALL BE PROVIDED BETWEEN ALL WATER MAINS/LATERALS AND ALL STORM LINES AND SANITARY SEWER MAINS/LATERALS. MEASUREMENTS SHALL BE MADE FROM OUTSIDE PIPE WALL TO OUTSIDE PIPE WALL OF NEAREST LOCATION. WHENEVER POSSIBLE, THE WATER MAIN SHALL BE INSTALLED ABOVE STORM AND SANITARY SEWER LINES AS POSSIBLE TO AVOID CONFLICTS. 7. WATER AND SANITARY SEWER SERVICE LINES TERMINATE FIVE FEET FROM THE BUILDING LINES UNDER THE SITE WORK UTILITY CONTRACTOR'S SCOPE OF WORK. REFER TO PLUMBING PLANS FOR EXACT LOCATIONS OF WATER AND SEWER

CONNECTIONS. THE SITE WORK UTILITY CONTRACTOR SHALL COORDINATE UTILITY INSTALLATIONS WITH BUILDING PLUMBING, MECHANICAL AND FIRE PROTECTION CONTRACTORS. 8. THE CONTRACTOR SHALL COORDINATE CONNECTION ELEVATIONS OF ALL SERVICES LEAVING THE BUILDING PRIOR TO NSTALLATION OF ANY UNDERGROUND UTILITY.

9. BACKFLOW PREVENTERS AND WATER METERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. WATER METER SHALL BE PURCHASED FROM THE CITY OF POOLER. 10. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL COMPLY WITH THE REQUIREMENTS OF GEORGIA E.P.D. AND AWWA STANDARD C651, LATEST REVISION. IF REQUIRED BY THE CITY OF POOLER, A REDUCING AGENT SHALL BE USED TO NEUTRALIZE THE CHLORINE. HIGHLY CHLORINATED WATER SHALL BE DISCHARGED INTO THE SANITARY SEWER SYSTEM.

11. SEE SANITARY SEWER GENERAL NOTES AND WATER GENERAL NOTES IN DETAIL SHEETS. 12. SEE DETAIL SHEET C6.3 FOR THRUST RESTRAINT DETAILS.

13. DURING INSTALLATION. WHEN PIPE LAYING IS NOT IN PROGRESS. A MECHANICAL JOINT PLUG OR CAP (OR APPROVED EQUAL) SHALL BE USED TO FORM A WATERTIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID. 14. FLUSH NEW WATER LINE USING A FULL-SIZE FLUSH WITH A MINIMUM VELOCITY OF 2.5 FT./SEC. FOR A MINIMUM TIME OF

30 MINUTES OR UNTIL LINE IS PURGED OF FOREIGN MATERIAL AND WATER RUNS CLEAR. THIS SHALL BE DONE AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. 15. CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT ALL DIRT BEFORE LAYING.

16. WATER DISTRIBUTION PIPE SHALL HAVE A #12 GAUGE, SINGLE STRAND, COPPER COATED STEEL TRACING WIRE INSTALLED ALONG ITS LENGTH AND ATTACHED TO VALVES, HYDRANTS, CORPORATION STOPS AND CURB STOPS. 17. ALL FIRE HYDRANTS SHALL HAVE A #12 GAUGE INSULATED SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG THE BARREL, WRAPPED AROUND THE BOTTOM FLANGE, AND ATTACHED TO THE WIRE ON THE WATER MAIN.

18. SANITARY SEWER SHALL HAVE A #12 GAUGE INSULATED SINGLE STRAND COPPER TRACING WIRE INSTALLED ALONG ITS LENGTH. SANITARY SEWER MANHOLËS SHALL HAVE A #12 GAUGE INSULATED SINGLE STRAND TRACING WIRE ATTACHED TO THE MANHOLE CASTING AND ATTACHED TO THE WIRE ON THE SEWER MAIN.

19. A #12 GAUGE INSULATED SINGLE STRAND COPPER TRACING WIRE SHALL BE STRAPPED TO ALL FORCEMAIN PIPE AND ATTACHED TO ALL ASSOCIATED APPURTENANCES. 20. ALL GRAVITY SEWER LINES SHALL BE TELEVISED. PROVIDE A 360° VIEW OF ALL JOINTS AND ALL SERVICE FITTINGS NOTING

LOT NUMBER AND DISTANCE BETWEEN MANHOLES. ALL TELEVISED INFORMATION SHALL BE PROVIDED TO THE ENGINEER PRIOR TO INSTALLING PAVEMENT. 21. THE INSTALLATION OF ALL RESIDENTIAL WATER METERS INCLUDING METER, METER BOX, VALVES, FITTINGS, ETC. WILL BE

PERFORMED BY THE UTILITY AT THE EXPENSE OF THE CUSTOMER REQUESTING SERVICE. 22. PIPE FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL

BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES. 23. ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM INSIDE THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE ENDS OF THE PIPE SHALL BE CLOSED BY APPROVED MEANS, AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.

24. SANITARY SEWER LATERALS THAT TIE INTO MANHOLES SHALL BE INSTALLED WITH THE CROWN OF THE LATERAL EQUAL TO, OR HIGHER THAN, THE CROWN OF SEWER MAIN.

25. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 26. ALL MATERIALS USED THAT COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH THE AMERICAN

NATIONAL STANDARDS INSTITUTE/ NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61). 27. ALL SANITARY SEWER MANHOLE INTERIOR AND EXTERIOR WALLS SHALL BE COATED WITH 1/8 INCH OF COAL TAR EPOXY

IN ACCORDANCE TO THE CITY OF POOLER DESIGN STANDARDS. 28. ALL PROPOSED METERS SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY.

29. ALL PROPOSED SEWER MANHOLES SHALL BE A MINIMUM OF 4 FT DIAMETER AND SHALL BE COATED WITH 1/8 INCH OF COAL TAR EPOXY (INTERIOR AND EXTERIOR) TO PREVENT LEAKAGE PER CITY OF POOLER SPECIFICATIONS.

30. SANITARY SEWER MANHOLE COVERS SHALL BE CAST IRON WITH "SANITARY" WORD CAST ON THE TOP OF THE FRAME. THE MANHOLE STEPS SHALL BE ENCASED IN POLYPROPYLENE PLASTIC.

31. NOTIFY CITY'S PERSONNEL 48 HOURS BEFORE TAPPING OPERATION OF WATER & SEWER LINES.

32. A FIRE PROTECTION SYSTEM IS PROPOSED FOR THE PROJECT. 33. AN IRRIGATION SYSTEM IS PROPOSED FOR THE PROJECT. IT SHALL NOT BE INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY.

34. THERE SHALL BE A MINIMUM OF 2' OF SEPARATION BETWEEN ALL FITTINGS ON THE WATER MAIN. 35. THE EXISTING WATER METERS AND LATERALS SHALL BE REMOVED. THEY SHALL BE PROPERLY CAPPED OFF AT THE MAIN AND WITNESSED BY THE CITY PRIOR TO COVERING UP.

36. ALL WATER MAINS AND LATERALS SHALL BE PRIVATE. THE CITY OF POOLER WILL MAINTAIN INSIDE OF METER BOXES.

37. ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PRIVATE. 38. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PARALLEL STORM SEWER, WATER DISTRIBUTION, AND SANITARY

SEWER PIPES SHALL BE 10 FT. 39. HDPE I&I COVER TO BE PROVIDED FOR SANITARY SEWER MANHOLES.

40. ALL UTILITY EASEMENTS SHALL BE A MINIMUM OF 15'. 41. ALL WATER PIPE 3" DIAMETER OR LESS SHALL BE POLYETHYLENE TYPE III, CLASS C, CATEGORY 5, GRADE PE34, SDR 11.

ADA ACCESSIBILITY NOTES:

1. ALL MARKED ADA ACCESSIBLE PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ANY DIRECTION 2. UNLESS SHOWN OTHERWISE, ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 RUNNING (LONGITUDINAL) SLOPE AND

NO MORE THAN A 1:50 CROSS (TRANSVERSE) SLOPE.

3. IF CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THE DESIGN AND ANY OF THE ABOVE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ENGINEER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.

SPECIAL NOTES: 1. ALL EARTHWORK FOR ROADWAYS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS.

AS-BUILT REQUIREMENTS:

1. CONTRACTOR SHALL FURNISH AS-BUILT DATA TO THE ENGINEER MEETING THE REQUIREMENTS OF THE CITY OF POOLER FOR CLOSE-OUT. THESE REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: a.WATER SYSTEM - LOCATION AND SIZE OF WATER VALVES, METERS, BACKFLOW PREVENTERS, HYDRANTS, POST INDICATORS, TEES, BENDS AND OTHER WATER SYSTEM FEATURES, TO INCLUDE ELEVATIONS FOR THE TOP OF PIPE AT ALL SUCH FEATURES. FOR WATER MAINS, THE LENGTH, SIZE AND PIPE MATERIAL SHALL BE INDICATED ALONG WITH SPOT ELEVATIONS ON THE TOP OF PIPE. ADDITIONALLY, A DISTANCE TO AN ADJACENT PERMANENT FEATURE SHALL BE PROVIDED FOR ALL VALVES.

b.SEWER SYSTEM - LOCATION OF MANHOLES, CLEAN-OUTS, FORCE MAIN AIR RELEASE OR OTHER TYPE VALVES, FORCE MAIN BENDS, AND OTHER SEWER SYSTEM FEATURES, TO INCLUDE ELEVATIONS FOR MANHOLE TOPS AND INVERTS OF THE CONNECTING PIPES, AND THE TOP OF PIPE AT ALL FORCE MAIN FEATURES. FOR SEWER AND FORCE MAINS, THE LENGTH, SIZE AND PIPE MATERIAL SHALL BE INDICATED ALONG WITH SPOT ELEVATIONS ON THE TOP OF FORCE MAIN PIPE. ADDITIONALLY, A DISTANCE TO AN ADJACENT PERMANENT FEATURE SHALL BE PROVIDED FOR ALL VALVES.

c.STORM SYSTEM - LOCATION OF MANHOLES, INLETS, DRAINS, OUTLET CONTROL STRUCTURES, CLEAN-OUTS, TEES AND BENDS, AND OTHER STORM SYSTEM FEATURES, TO INCLUDE ELEVATIONS FOR STRUCTURE TOPS, THROATS, FLOW LINES, AND INVERTS OF THE CONNECTING PIPES. FOR STORM PIPES, THE LENGTH, SIZE AND PIPE MATERIAL SHALL BE INDICATED. FOR OUTLET CONTROLS, THE SIZE AND ELEVATION OF ANY WEIRS, PIPES, ORIFICES, RESTRICTOR PLATES OR OTHER CONTROLLING FEATURE SHALL BE PROVIDED. d.DETENTION AND WATER QUALITY BASINS — FOR ALL PONDS AND BASINS, LOCATIONS AND ELEVATIONS SHALL BE

PROVIDED FOR THE TOP OF BANK, TOE OF SLOPE, BOTTOM, WATER ELEVATION AND ANY OTHER FEATURES AS NECESSARY TO ALLOW THE AS-BUILT VOLUME OF THE BASIN TO BE CALCULATED. e.PAVEMENT - SPOT ELEVATIONS SHALL BE PROVIDED ON ALL NEW PAVEMENT, WITH THE SPOT ELEVATION POINTS TO BE TAKEN IN THE SAME LOCATIONS AS THE PROPOSED SPOT GRADES SHOWN ON THE PAVING PLAN.

POOLER CONSTRUCTION REQUIREMENTS: IN CASE OF CONFLICT BETWEEN THESE PLANS AND THE CITY OF POOLER'S ORDINANCES, STANDARDS, SPECIFICATIONS OR DETAILS. THE CITY OF POOLER STANDARDS ARE TO TAKE PRECEDENCE. ALL ROAD SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD SPECIFICATIONS.

THERMOPLASTIC PAVEMENT MARKINGS ARE REQUIRED WITHIN RIGHT OF WAY. TRAFFIC SIGNS INSTALLED INSIDE THE PUBLIC R/W MUST HAVE HIGH INTENSITY OR DIAMOND GRADE SHEETING. THE OWNER MUST CERTIFY THAT ALL LAND DISTURBING AND DEVELOPMENT ACTIVITIES WILL BE COMPLETED IN

ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PLAN. THE DESIGNER MUST CERTIFY THAT THE DESIGN MEETS THE REQUIREMENTS OF THE CITY OF POOLER AND THE LATEST EDITION OF THE COASTAL STORMWATER SUPPLEMENT TO THE GEORGIA STORMWATER MANAGEMENT MANUAL, AND ANY RELEVANT LOCAL ADDENDA. <u>Pooler utility requirements:</u>

A #12 GAUGE SOLID TRACING WIRE SHALL BE INSTALLED ON ALL WATER MAINS, WATER LATERALS, FIRE HYDRANTS, POST HYDRANTS, AND/OR BLOW OFFS AND ALONG ALL SANITARY SEWER LINES, LATERALS, AND FORCE MAINS. ALL VALVES SHALL HAVE A CONCRETE MONUMENT WITH "W/VALVE" INSCRIBED ON THE TWO SIDES OF THE MONUMENT, INSTALLED NO MORE THAN 6" AWAY FROM THE VALVE.

POOLER SANITARY SEWER REQUIREMENTS: ALL SANITARY SEWER LATERALS SHALL BE MINIMUM 4" DIAMETER. POOLER LANDSCAPE REQUIREMENTS:

THE BEGINNING OF CLEARING AND GRADING.

TREES SHALL NOT BE PLANTED WITHIN 10 FEET OF ANY UNDERGROUND UTILITY OR STORM DRAIN. DEMOLITION AND CLEARING NOTES:

1. EACH TREE IDENTIFIED FOR PRESERVATION SHALL BE MARKED WITH BLUE RIBBON ENCIRCLING THE TREE TRUNK PRIOR TO

WATER & SEWER

MR. JOHN WINN CITY OF POOLER 100 US HIGHWAY 80 SW POOLER, GEORGIA 31322 (912) 748-7261

UTILITY CONTACTS:

ELECTRIC

MS. SAVANNAH WATSON GEORGIA POWER 3102 KILOWATT DRIVE SAVANNAH, GEORGIA 31405 (912) 677-9620

FIBER OPTIC / TELECOMMUNICATIONS

MR. TED A. JONES HARGRAY FIBER 1375 CHATHAM PARKWAY SAVANNAH, GEORGIA 31405 (912) 239-0526

MR. JEFF SWITZER AT&T 1997 MLK AVE BAXLEY, GEORGIA 31513 (912) 367-4320

NATURAL GAS

MR. MARK GRIFFIN ATLANTA GAS LIGHT 10 PEACHTREE PLACE ATLANTA, GEORGIA 30309 (404) 584-3089

FIRE HYDRANT

RJ TEE

<u>SEWER</u>

<u>DRAINAGE</u>

<u>FENCING</u>

MANHOLE

CURB INLET

CLEANOUT

SWALE/DITCH

CHAIN LINK

RJ BEND

MANHOLE

12" WATER MAIN

AIR RELEASE VALVE

SERVICE LATERAL

STORM DRAIN PIPE

POST INDICATOR VALVE

FIRE DEPARTMENT CONNECTION

2" DOMESTIC WATER SERVICE

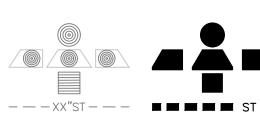
8" DOMESTIC WATER SERVICE

DUCTILE IRON SEWER MAIN (ALL SIZES)

GRATE INLET/DROP INLET/ROOF INLET

DOMESTIC WATER SERVICE $(\frac{3}{4}^{n}, 1^{n}, \& 1\frac{1}{2}^{n})$ SVC.)

	EXISTING	PROPOSED
SURVEY FEATURES	EXISTING	I NOI OSED
BENCHMARK (DATUM NAVD88)	\triangle	
HOR. CONTROL POINT (GA. EAST ST. PLANE)		
CONCRETE MONUMENT (PROPERTY OR R/W)		
PROPERTY MARKER (IRON PIPE OR REBAR)		
SIGN		
RAILROAD		
WOODSLINE		SEE LANDSCAPE
TREE	(1)	PLAN
BOLLARD	OB	•
LIGHT POLE	**	
UTILITY POLE		
ELECTRICAL BOX		
COMMUNICATION APPURTENANCE TRAFFIC SIGNAL BOX	TOB	
GAS METER		
GAS VALVE	GM	
UNDERGROUND TELEPHONE	GAS	
OVERHEAD ELECTRICITY	OHE	
UNDERGROUND ELECTRICITY	UGE	
UNDERGROUND FIBER	FO	
UNDERGROUND GAS	GAS	
FLOOD ZONE		ZONE
SOIL TYPES	Xx	ZONE
<u>GENERAL</u>	Xx	
WETLAND	· · · · · · · · · · · · · · · · · · ·	ψ ψ ψ ψ
WETLAND IMPACT		
DEMOLITION		
PROPERTY/LOT LINE		
RIGHT OF WAY		
EASEMENT		
SETBACK		
ROAD CENTERLINE		
PAVING (BITUMINOUS ASPHALT PAVING)		
ASPHALT (LIGHT DUTY)		
ASPHALT (STANDARD DUTY)		
ASPHALT (HEAVY DUTY)		
ASPHALT (GDOT STANDARD)		11/1//////
ASPHALT (PATCH)		
PAVING (PORTLAND CEMENT CONCRETE)		
CONCRETE (PEDESTRIAN SIDEWALK)		4
CONCRETE (LIGHT DUTY)		
CONCRETE (STANDARD DUTY)		4
CONCRETE (HEAVY DUTY)		
CURBING		
STANDARD CURB & GUTTER		
HEADER CURB		
SPOT ELEVATIONS	4	
FINISHED GRADE	XX.X	× FGXX.XX
TOP OF PAVEMENT	xt.t.	× TPXX.XX
FINISHED FLOOR ELEVATION	xt t xt t xt t	×FFEXX.XX
TOP OF WALL	xt.t	×T/WXX.XX
BASE OF WALL	,t.t.	×B/WXX.XX
HIGHPOINT (PAVEMENT CENTERLINE)	14.7	× (HP) × XX.XX
LOW POINT (PAVEMENT CENTERLINE)	14.7	× (LP) × XX.XX
POINT OF VERTICAL INTERSECTION	4.4×	× (PVI) × XX.XX
CONTOUR	— —14— —	20
WATER		
VALVE		
WATER METER	W	
BACKFLOW PREVENTION DEVICE	\	



____ x ____ x ____

JOB NO. 122401600 SCALE: N.T.S.

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ESIGNED DRAWN CHECK

H.S.W. | J.J.M. | C.J.(

DATE: OCTOBER 5, 2023

DRAWING NUMBER





DATE: OCTOBER 5, 2023

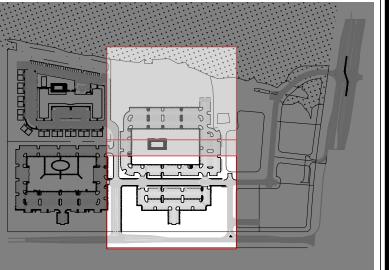
DRAWING NUMBER



DESIGNED DRAWN CHECKEI H.S.W. J.J.M. C.J.C. DATE: OCTOBER 5, 2023

DRAWING NUMBER

NOTE: ALL ELEVATIONS ARE NAVD 1988.



PROJECT INDEX MAP

KEY NOTES

- TYPE B HC RAMP SIDEWALK (SEE DETAIL SHEET
- (2) CROSSWALK (SEE DETAIL SHEET C6.4) HANDICAP PARKING SIGN TYP. (SEE DETAIL SHEET C6.4)
- POWER COMPANY PAD-MOUNTED TRANSFORMER. (SEE ELECTRICAL SITE PLAN)
- 5 EV CHARGING STATION (SEE ELECTRICAL SITE PLAN)

6 CONDUIT CAPPED FOR FUTURE EV CHARGING STATION (SEE ELECTRICAL SITE PLAN)

- 1. ALL RADII ARE 5' AND ALL ANGLES ARE 90° UNLES: OTHERWISE SHOWN ON THE PLANS.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN ON THE PLANS.
- LAYOUT FOR MANHOLES, INLETS, ETC., ARE NOT SHOWN THIS PLAN. COORDINATES FOR SUCH STRUCTURES CAN B PROVIDED TO THE SELECTED CONTRACTOR UPON REQUEST.
- THE CONTRACTOR SHALL UTILIZE EXISTING BENCHMARKS AND CONTROL POINTS SHOWN ON THE PLANS TO ESTABLISH VERTICAL AND HORIZONTAL CONTROL ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THESE BENCHMARKS DURING THE CONSTRUCTION PROJECT AND FOR BEARING ANY EXPENSE RESULTING FROM UNAUTHORIZED REMOVAL OR REPLACEMENT OF BENCHMARKS. WHEN PERMANENT BENCHMARK IS LOCATED SUCH THAT IT MUST B REMOVED TO COMPLETE THE PROJECT, THE CONTRACTOR SHALL ESTABLISH SUCH TEMPORARY BENCHMARKS AS HE MAY REQUIRE PRIOR TO REMOVING THE PERMANENT BENCHMARK. THE CONTRACTOR SHALL PROVIDE THE LOCATION, IDENTIFICATION AND ELEVATION OF ANY
- DUMPSTERS SHALL BE SCREENED FROM 4 SIDES, WITH 1 FOURTH SIDE BEING A GATE. THE ENCLOSURE AND GATE SHALL BE A MATERIAL COMPATIBLE WITH THAT OF THE PRIMARY STRUCTURE. THIS ENCLOSURE SHALL BE A MINIMUM

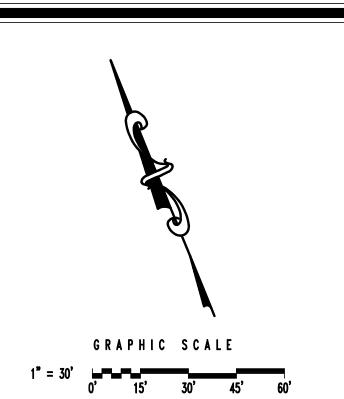
HEIGHT OF 6 FT. SIGNAGE AND STRIPING NOTES:

- 1. ALL TRAFFIC CONTROL MEASURES SHALL CONFORM TO THI LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE MANUAL IDENTIFICATION AND DIMENSIONS ARE SHOWN ON STAKING SHEETS FOR EACH REQUIRED SIGN. THE ORIENTATION OF EACH SIGN FROM AN APPROACHING DRIVER'S POINT OF VIEW IS ALSO SHOWN. SIGN AND SUPPORT POST MATERIAL AND INSTALLATION SHALL CONFORM TO THE PERTINENT SECTIONS OF THE CURRENT EDITION OF THE GEORGIA DEPARTMENT OF TRANSPORTATION
- ALL PAVEMENT MARKINGS (EXCLUDING PARKING STRIPES AND H/C PARKING) SHALL BE THERMOPLASTIC (WITH GLASS BEADS). ALL PAVEMENT MARKINGS WITHIN RIGHT-OF-WAY SHALL ALSO BE THERMOPLASTIC. MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH GEORGIA DOT SPECIFICATIONS, LATEST EDITION.
- ALL STREET SIGN LETTERING SHALL BE A MINIMUM OF 6" ALL SIGNAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL E
- DIAMOND GRADE OR HIGH INTENSITY. ADA ACCESSIBILITY NOTES:
- ALL MARKED ADA ACCESSIBLE PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ANY DIRECTION. UNLESS SHOWN OTHERWISE, ALL SIDEWALKS ARE TO HAVE NO
- MORE THAN A 1:20 RUNNING (LONGITUDINAL) SLOPE AND NO MORE THAN A 1:50 CROSS (TRANSVERSE) SLOPE. IF CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN TH DESIGN AND ANY OF THE ABOVE SLOPE REQUIREMENTS, IT IS

THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ENGINEER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND. ZONING REQUIREMENTS:

TOTAL ACREAGE = 18.29 ACRES (PARCEL R-2B)

- MAXIMUM BUILDING HEIGHT = 60 FEET
- PARKING SPACE CALCULATIONS TOTAL SPACES REQUIRED = 1.8 X 300 UNITS = 540
- TOTAL SPACES PROVIDED = 545
- HANDICAP SPACES REQUIRED = 11 HANDICAP SPACES PROVIDED = 14



NOTE: ALL ELEVATIONS ARE NAVD 1988

H.S.W. J.J.M. C.J.C DATE: OCTOBER 5, 2023

JOB NO. 122401600 SCALE: 1" = 30

DRAWING NUMBER





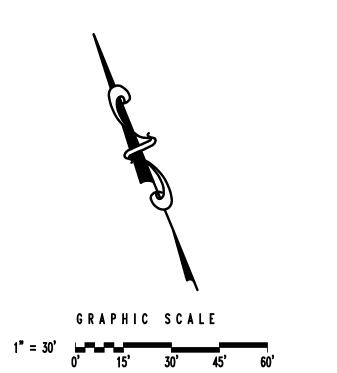
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- HANDICAP SPACES PROVIDED = 14



DRAWING NUMBER

H.S.W. J.J.M. C.J.C

DATE: OCTOBER 5, 2023

JOB NO. 122401600

SCALE: 1" = 30

CODE MINIMUM PHASE 1 LANDSCAPE SCHEDULE - REFER TO L-502 FOR COMPLIANCE PLAN

〉						
\	SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
>	REPLACE	MENT TR	<u>EES</u>			
> >	£+3	AR	21	Acer rubrum / Red Maple 'Medium Tree' - 8' Ht. Min.		2" Cal.
	•••	СС	18	Cercis canadensis / Eastern Redbud 'Small Tree' - 8' Ht. Min.		2" Cal.
\ \ \	000000000000000000000000000000000000000	GB	15	Ginkgo biloba / Ginkgo 'Large Tree' - 8' Ht. Min.		2" Cal.
>	manura de la companya	JV	17	Juniperus virginiana / Eastern Red Cedar 'Medium Tree' - 8' Ht. Min.	·	2" Cal.
		MG	16	Magnolia grandiflora / Southern Magnolia 'Large Tree' - 8' Ht. Min.		2" Cal.
> > >		РО	22	Platanus occidentalis / American Sycamore 'Large Tree' - 8' Ht. Min.		2" Cal.
> > >	•	QV	13	Quercus virginiana / Live Oak 'Large Tree' - 8' Ht. Min.		2" Cal.
>		TD	18	Taxodium distichum / Bald Cypress 'Large Tree' - 8' Ht. Min.		2" Cal.
>						

• NO MORE THAN 30% OF REPLACEMENT TREES SHALL BE ONE SPECIES

NO MORE THAN 30% OF TREES SHALL BE FROM SMALL SPECIES LIST

ONE LARGE OR MEDIUM PREFERRED TREE SPECIES IS REQUIRED FOR EVERY 12 PARKING SPACES

* * * * I M P O R T A N T * * * *

Attachment B

GENERAL PLANTING PLAN NOTES:

- PLANT HEIGHTS, WIDTHS, AND CALIPERS HAVE BEEN SPECIFIED AND CONTAINER SIZES HAVE BEEN ESTIMATED. THE SPECIFIED HEIGHTS, WIDTHS, AND CALIPERS SHALL GOVERN. ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION'S "AMERICAN STANDARDS FOR NURSERY STOCK, 2004". THIS PUBLICATION CAN BE FOUND AT
- FOR EACH VARIETY OF TREE SPECIFIED ON THE PLANS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A PHOTO FROM THE TREE SUPPLIER THAT REPRESENTS THE HEIGHT, WIDTH AND QUALITY OF THE TREES TO BE INSTALLED. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE PHOTOS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY AND INSTALLATION.
- PRIOR TO THE DELIVERY AND INSTALLATION OF SHRUBS, PERENNIALS AND GROUNDCOVERS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A PHOTO REPRESENTATIVE OF EACH PLANT SPECIES FOUND ON THE PLANT SCHEDULE AS WELL AS AN ON SITE SAMPLE FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER.
- LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN GRAVEL AND ANY CHANGE OF ADJACENT MATERIAL. STEEL EDGING SHALL ALSO BE PROVIDED BETWEEN ALL SOD AND PLANTING BEDS.
- STABILIZATION MATS REQUIRED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1 FOR NATIVE PLANT MIXES AND HYDROMULCH

PER GENERAL LANDSCAPE PLANTING NOTES, CONTRACTOR TO INSTALL MULCH TO A MIN. 2" DEPTH, UNLESS NOTED ON THE PLANS TO BE COVERED BY OTHER MATERIAL (STONE, ROCK...ETC).

MINIMAL TREE COVERAGE - SEC 42-197	
MIN. POST DEVELOP. TREE COVERAGE (18.99 AC.)	285 EXISTING TREES
EXISTING SIGNIFICANT TREES (24" - 39" CAL.)	0 TREES
EXISTING SIGNIFICANT TREES (40"+ CAL.)	0 TREES
EXISTING TREE COVERAGE (MIN. 6" CAL.)	0 TREES
REPLACEMENT TREES	285 TREES
LIVE OAK - LARGE	22/285 (8%)
SOUTHERN MAGNOLIA - LARGE	36/285 (12.5%)
AMERICAN SYCAMORE - LARGE	40/285 (14%)
GINKGO - LARGE	35/285 (12%)
BALD CYPRESS - LARGE	21/285 (7.5%)
RED MAPLE - MEDIUM	36/285 (12.5%)
EASTERN RED CEDAR - MEDIUM	67/285 (23.5%)
EASTERN REDBUD - SMALL	28/285 (10%)

- MINIMUM ALLOWABLE POST DEVELOPMENT TREE COVERAGE FOR ALL DEVELOPMENT SITES SHALL BE 15 EXISTING HEALTHY LARGE SPECIES TREES (EXCLUDING PINE TREES AND SWEET GUMS), A MINIMUM OF 6" DBH AND LARGER PER ACRE OF DEVELOPABLE LAND (EXCLUDING BUFFERS AND WETLANDS) EACH TREE WITH A DIAMETER OF 24" DBH OR LARGER (LIVE OAK WITH A DBH 18" OR LARGER) MUST BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY
- COUNT AS THREE TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE (SIGNIFICANT) EACH TREE WITH A DIAMETER OF 40" DBH OR LARGER MUST ALSO BE DESIGNATED ON THE LANDSCAPE PLAN AND MAY COUNT AS 5 TREES TOWARDS MEETING THE MINIMUM ALLOWABLE COVERAGE
- REPLACEMENT TREES MUST BE MIN. 2" CAL. AND MIN. 8' HT. MUST BE SELECTED FROM POOLER PREFERRED SPECIES LIST

ZONING BUFFER - SEC 27	
NORTH BUFFER	645'-6"
NORTH BUFFER REQUIRED TREES	26 TREES
NORTH BUFFER PROPOSED TREES	29 TREES
WEST BUFFER	563'-7"
WEST BUFFER REQUIRED TREES	23 TREES
WEST BUFFER PROPOSED TREES	28 TREES
SOUTH BUFFER	1,303'-10"
SOUTH BUFFER REQUIRED TREES	53 TREES
SOUTH BUFFER PROPOSED TREES	64 TREES
NOTES:	

• TREES SHALL BE LOCATED OR PLANTED WITHIN ANY STRUCTURAL BUFFER AT A DENSITY OF NO LESS THAN 1 TREE FOR EACH 25' OF BUFFER LENGTH OR PORTION THERE OF. NEW DECIDUOUS TREES SHALL HAVE A CALIPER OF NO LESS THAN 2" UPON PLANTING AND NEW EVERGREENS SHALL BE AT LEAST SIX FEET TALL WHEN

LANDSCAPE SCHEDULE

SYMBOL	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	CAL
TREES	AO {	21	Acer rubrum `October Glory` / October Glory Red Maple 10' Ht Min.	B&B	2" Cal.
CC CC	cc	18	Cercis canadensis / Eastern Redbud 8' Ht. Min.	B&B	2" Cal.
CV	CV	10	Chionanthus virginicus / White Fringetree 8' Ht Min.	B&B	2" Cal.
Cv2	CV2	4	Chionanthus virginicus / White Fringetree 10' Ht Min.	B&B	4" Cal.
30000000000000000000000000000000000000	GB	15	Ginkgo biloba / Ginkgo 10' Ht. Min.		4" Cal.
3 N E	JV	21	Juniperus virginiana / Eastern Red Cedar 8' Ht Min., Single Leader	B&B	2" Cal.
Just Live Co	JV2	1	Juniperus virginiana / Eastern Red Cedar 10' Ht Min., Single Leader	B&B	4" Cal.
£	мС	16	Magnolia grandiflora 'Claudia Wannamaker' / Southern Magnolia 10' Ht Min.	B&B	4" Cal.
PT2 WWW.	PT2	12	Pinus taeda / Loblolly Pine 10' Ht Min., Single Leader. Contact Shady Grove Nursery, Orangeburg, SC. P: (803) 534-5683	B&B	2" Cal.
FT	PT	13	Pinus taeda / Loblolly Pine 14' Ht Min., Single Leader. Contact Shady Grove Nursery, Orangeburg, SC. P: (803) 534-5683	B&B	4" Cal.

LANDSCAPE SCHEDULE

	No.	РО	22	Platanus occidentalis / American Sycamore 10' Ht Min.	B&B	4" Cal.
	QV QV	QV	13	Quercus virginiana / Southern Live Oak 10' Ht Min.	B&B	4" Cal.
		TD	18	Taxodium distichum / Bald Cypress 10' Ht Min.	B&B	4" Cal.
	SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	SHRUBS					
	AS	AS {	386	Acca sellowiana / Pineapple Guava 24" Ht. Min., 24" Spread	7 Gal.	
	AA	AA }	496	Agapanthus africanus / Lily of the Nile 18" Ht. Min.	3 Gal.	
)	CL2	CL2	308	Callistemon viminalis `Little John` / Dwarf Bottlebrush 12" Ht. Min., 12" Spread	3 Gal.	
}	{CL}	CL	22	Callistemon viminalis `Little John` / Dwarf Bottlebrush 18" Ht. Min., 18" Spread	7 Gal.	
\	S IS	IS }	367	Chasmanthium latifolium / Inland Sea Oats 24" Ht. Min., 6" Spread	3 Gal.	
)	DI	DI {	276	Dietes bicolor / Bicolor Iris 24" Ht. Min., 24" Spread	3 Gal.	
)	EW white	EW	851	Eragrostis elliottii 'Wind Dancer' / Weeping Love Grass 18" Ht. Min., 18" Spread	3 Gal.	
{	IG	IG	299	llex glabra / Inkberry Holly 18" Ht. Min., 18" Spread	5 Gal.	
{	ND2	ND2	212	Nerium oleander `Dwarf` / Dwarf Oleander 18" Ht. Min., 18" Spread	3 Gal.	
\	ND }	ND }	16	Nerium oleander `Dwarf` / Dwarf Oleander 24" Ht. Min., 24" Spread	7 Gal.	
\	PH WALL	PH	615	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass 12" Ht. Min., 12" Spread	3 Gal.	
\	PW	PW	388	Pittosporum tobira 'Wheeler's Dwarf' / Wheeler's Dwarf Pittosporum 18" Ht. Min., 2' Spread	7 Gal.	
\	E PM 3	PM	12	Podocarpus macrophyllus 'Maki' / Podocarpus 5' Ht. Min.	30 Gal.	
\	{ { { PM2 } }	PM2	210	Podocarpus macrophyllus 'Maki' / Podocarpus 3' Ht. Min.	7 Gal.	<u>}</u>
{	RP>	RP }	466	Rosmarinus officinalis `Athens Blue Spires` / Rosemary 12" Ht. Min., 12" Spread Min.	3 Gal.	
}	SM3	SM }	300	Sabal minor / Dwarf Palmetto 24" Ht. Min.	7 Gal.	
	GRASS BU	FFER	~~~	······································	~~~	}
1	ASA	ASA	179	Miscanthus sinensis 'Adagio' / Maiden Grass 24" Ht. Min., 18" Spread	3 Gal.	}
•	PH2	PH2	189	Muhlenbergia capillaris / Pink Muhly Grass 18" Ht. Min., 12" Spread	3 Gal.	}
(POND BUF	<u>FER</u>		Cephalanthus occidentalis / Buttonbush		}
•	(COPB)	СОРВ	28	36" Ht. Min. 36" Spread	5 Gal.	}
1	SMPB	SMPB	113	Sabal minor / Dwarf Palmetto 24" Ht. Min.	7 Gal.	}
	SYMBOL GROUND (CODE	QTY	BOTANICAL / COMMON NAME	CONT	<u>SPACING</u>
	GROOND	GSD (77,072 sf	Cynodon dactylon `Tif 419` / Bermuda Grass-Sod Free of Weeds and Undesirable Native Grasses	Sq. Ft.	
1	* * * * * * * * * * * * * * * * * * *	ST	1,218 sf	Synthetic Turf Refer to Material Schedule Type M22	Sq. Ft.	}
	PÓND BUF	<u>FER</u> AGPB	231	Andropogon gerardii / Big Bluestem	1 Gal.	24" o.c.
		AIPB	260	12" Ht Min. Asclepias incarnata / Swamp Milkweed 12" Ht Min.	1 Gal.	24" o.c.
		PHPB	452	Muhlenbergia capillaris / Pink Muhly Grass 18" Ht. Min., 12" Spread	1 Gal.	24" o.c.
	GRAVELS	CPL	466 sf	Chocolate Pebbles (Large) / Chocolate Pebbles (Large) 1" Min. Size, 3" Depth Min. Fieldstone Center Inc. or Equivalent	Sq. Ft.	



1405 W KOENIG LN AUSTIN, TX 78756 artis-atx.com 512.689.0627



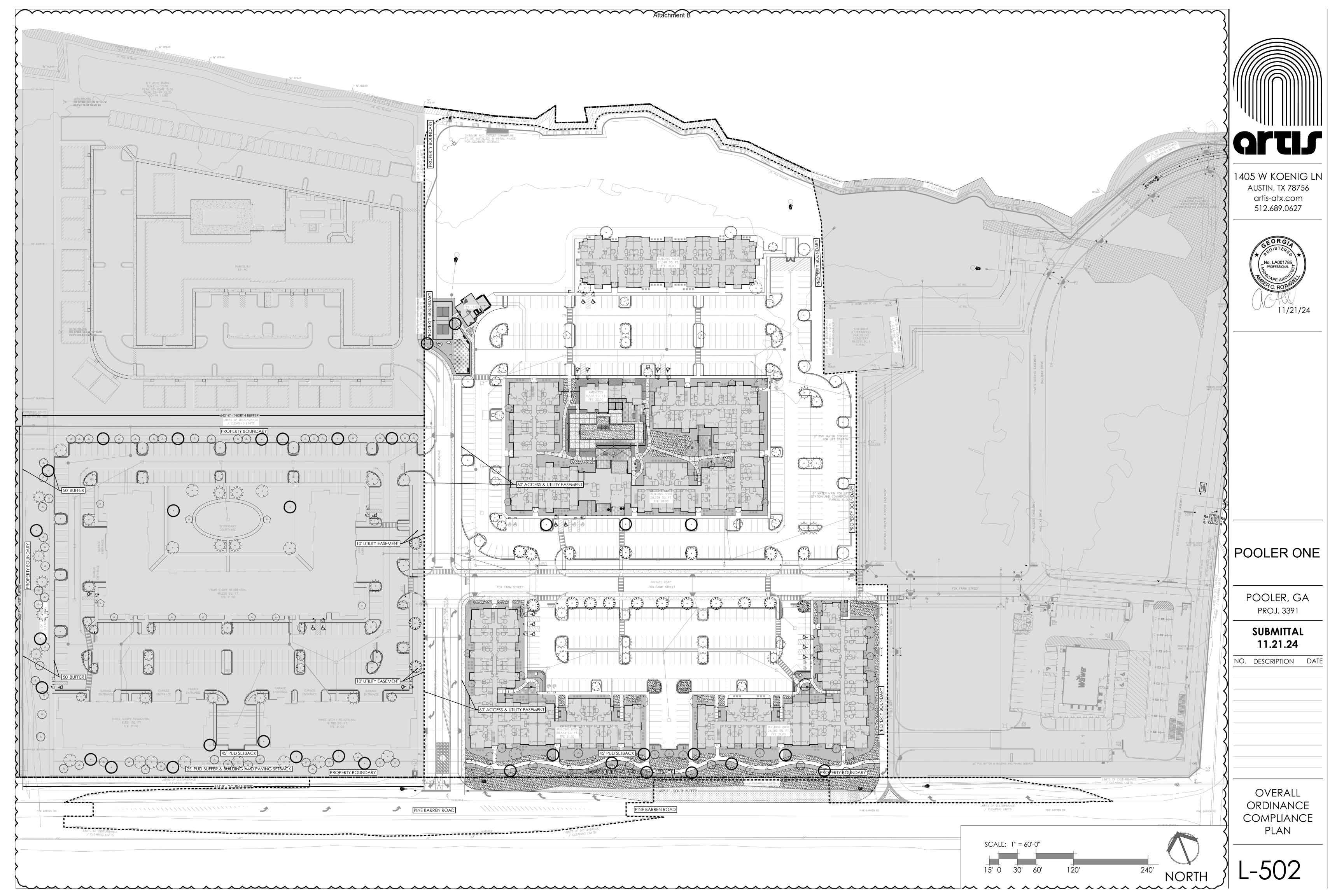
POOLER ONE

POOLER, GA PROJ. 3391

REVISION SET 12.6.24

NO. DESCRIPTION DATE

LANDSCAPE PLANTING SCHEDULE



ATLANTA, GA 30339

CONTACT: PAUL AUSTIN

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SILVER STUDIO ARCHITECTS

115 PERIMETER CENTER PLACE

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M2 STRUCTURAL

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MEP ENGINEER

GTP ENGINEERS

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INTERIOR DESIGNER

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LANDSCAPE ARCHITECT*

ARTIS

1405 W KOENIG LN AUSTIN, TX 78756

CONTACT: DYLAN WILSON PHONE: 469.288.7730 EMAIL: DWILSON@ARTIS-ATX.COM

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO INCLUDE; FIRE PROTECTION, FIRE ALARM, TRUSS PROTECTION, IRRIGATION, SITE RETAINING WALLS, BELOW GRADE POOL DESIGN, PREFAB STAIR DESIGN, PT SLABS AND LOW VOLTAGE DRAWINGS... LISTEN ITEMS ARE NOT UNDER SILVER STUDIO CONTRACT AND SHALL BE SUBMITTED A SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

UNDER SEPARATE CONTRACT

CONSULTANTS DESIGNATED WITH AN ASTERISK (*). BUT NOT LIMITED TO THOSE WITH THIS DESIGNATION, ARE UNDER A SEPARTE CONTRACT WITH THE OWNER.

PROJECT SCOPE DESCRIPTION:

OXFORD POOLER APARTMENTS IS A 300 UNIT, 382,778 GROSS SQUARE FOOTAGE MULTIFAMILY DEVELOPMENT TO BE CONSTRUCTED ON 39.5 ACRES OF UNDEVELOPED LAND.

THIS PROJECT CONSISTS OF FOUR (4) RESIDENTIAL (R-2) APARTMENT (FOR RENT) BUILDINGS OF TYPE V-A CONSTRUCTION. ONE RESIDENTIAL BUILDING CONTAINS A 1-STORY A-3 ASSEMBLY GROUND FLOOR AMENITY SPACE SEPARATED BY 2-HR AREA SEPARATION WALLS FROM THE ADJACENT R-2 OCCUPANCY, CONSTRUCTION TYPE V-B. THERE IS ALSO A STAND-A-LONE TYPE V-B POOL PAVILION, MAINTENANCE BUILDING, AND TRASH ENCLOSURE. ALL PARKING IS PROVIDED ON SURFACE LOTS.

BUILDING INFORMATION:

BUILDING 1000: 3 STORY GARDEN STYLE: R-2 OCCUPANCY: CONSTRUCTION TYPE V-A: PROTECTED BY NFPA 13R SPRINKLER SYSTEM WITH BALCONIES SPRINKLERED: ALLOWABLE HEIGHT IS 60'-0" PER IBC TABLE 504.3

BUILDING 2000: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A; PROTECTED BY NFPA 13R SPRINKLER SYSTEM WITH BALCONIES SPRINKLERED; ALLOWABLE HEIGHT IS 60'-0" PER IBC TABLE 504.3 BUILDING 3000: 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A;

PROTECTED BY NFPA 13R SPRINKLER SYSTEM WITH BALCONIES SPRINKLERED; ALLOWABLE HEIGHT IS 60'-0" PER IBC TABLE 504.3 WITH A ONE (1) STORY AMENITY BUILDING SEPARATED BY 2-HR AREA SEPARATION WALLS; A-3 OCCUPANCY; CONSTRUCTION TYPE V-B; UNSPRINKLERED ALLOWABLE HEIGHT IS 40'-0" PER IBC TABLE 504.3 **BUILDING 4000:** 3 STORY GARDEN STYLE; R-2 OCCUPANCY; CONSTRUCTION TYPE V-A;

PROTECTED BY NFPA 13R SPRINKLER SYSTEM WITH BALCONIES SPRINKLERED; ALLOWABLE

POOL PAVILION: 1 STORY POOL RESTROOMS FOR RESIDENTS ONLY; POOL EQUIPMENT ROOM OUTDOOR ASSEMBLY SPACE FOR RESIDENTS ONLY; 1 STORY FITNESS CENTER FOR RESIDENTS ONLY; A-3 + S-2 OCCUPANCY; CONSTRUCTION TYPE V-B; 1-STORY ALLOWABLE HEIGHT

MAINTENANCE BUILDING: 1 STORY MAINTENANCE BUILDING; S-2 OCCUPANCY; CONSTRUCTION TYPE V-B; 1-STORY ALLOWABLE HEIGHT UNSPRINKLED

APPLICABLE CODES:

ICC INTERNATIONAL BUILDING CODE 2018 EDITION, WITH **BUILDING CODE**: GEORGIA AMENDMENTS 2022

FIRE CODE: ICC INTERNATIONAL FIRE CODE 2018 EDITION, WITH GEORGIA AMENDMENTS PER SUBJECT 120-3-3-.04 (STATE MINIMUM FIRE SAFETY STANDARDS WITH

MECHANICAL CODE: ICC INTERNATIONAL MECHANICAL CODE 2018 EDITION, WITH GEORGIA AMENDMENTS 2020

MODIFICATIONS)

ICC INTERNATIONAL PLUMBING CODE 2018 EDITION, WITH

GEORGIA AMENDMENTS 2023 **FUEL CODE:** ICC INTERNATIONAL FUEL GAS CODE 2018 EDITION, WITH

ICC INTERNATIONAL ENERGY CONSERVATION CODE 2015 **ENERGY CODE:** EDITION, WITH GEORGIA SUPPLEMENTS & AMENDMENTS

GEORGIA AMENDMENTS 2022

NATIONAL ELECTRICAL CODE 2020, WITH GEORGIA AMENDMENTS 2021

AMENDMENTS PER SUBJECT 120-3-3.04 (STATE MINIMUM FIRE SAFETY STANDARDS WITH MODIFICATIONS)

CITY OF POOLER, GEORGIA

ACCESSIBILITY PROVISIONS: 2% OF 300 UNITS TO BE ADAPTABLE HANDICAP ACCESSIBLE (6 UNITS)

SEE SITE PLAN + AC3.00 FOR TYPE 'A' ACCESSIBLE UNIT LOCATIONS

APPLICABLE ACCESSIBILITY CODES:

AMERICANS WITH DISABILITIES ACT. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

FAIR HOUSING ACT ACCESSIBILITY GUIDELINES

GEORGIA ACCESSIBILITY CODE (OCGA 120-3-20) 2012 USING PROVISIONS FROM 2003 AMERICAN NATIONAL STANDARDS INSTITUTE, ACCESSIBILITY GUIDELINES (ANSI A117.1)

SPRINKLER PROVISIONS: 1. RESIDENTIAL BUILDINGS SHALL BE SPRINKLERED PER NFPA 13R.

2. CORRIDORS ARE TO BE SPRINKLERED

3. ALL SPRINKLER DESIGN INFORMATION SHALL BE SUBMITTED AS SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER (CERTIFIED IN SPRINKLER DESIGN) REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED BY APPROPRIATE LOCAL AND STATE BUILDING OFFICIALS.

4. SYSTEM REQUIREMENTS FOR NON-RESIDENTIAL AREAS SUBJECT TO THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION

FIRE SUPRESSION NOTE:

RESIDENTIAL BUILDINGS INCLUDING BREEZEWAYS TO USE NFPA 13R, 2013 FIRE SUPPRESSION SYSTEM. ALL SPRINKLER DESIGN INFORMATION SHALL BE SUBMITTED AS SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER (CERTIFIED IN SPRINKLER DESIGN) REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED BY APPROPRIATE LOCAL & STATE BUILDING OFFICIALS.

SYSTEM REQUIREMENT FOR NON-RESIDENTIAL AREAS SUBJECT TO THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION. ALL BALCONIES TO BE INCLUDED IN THE FIRE SUPPRESSION SYSTEM. PLANS FOR FIRE-PROTECTION SPRINKLER PIPING INCLUDING COMPLETE SEISMIC SUPPORT DETAILS SHALL BE REVIEWED AND APPROVED BY THE "PROJECT LOCATION" FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION FOR COMPLIANCE WITH ASCE/SEI 7-10 SECTIONS 13.3.1, 13.3.2, AND NFPA 13.

CONSTRUCTION ADMINISTRATION:

SILVER STUDIO HAS BEEN CONTRACTED TO MAKE MONTHLY VISITS TO THE PROJECT SITE TO REVIEW PROGRESS AND GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS.

SPECIAL INSPECTIONS NOTE:

SPECIAL INSPECTIONS REPORTS AND FINAL REPORT IN ACCORDANCE WITH IBC SECTION 1704.2.4 SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO THE TIME THAT PHASE OF WORK IS APPROVED FOR OCCUPANCY.

SIGNAGE NOTE:

SIGNAGE IS NOT IN THE SCOPE OF THIS SET OF DOCUMENTS. SEPARATE SIGNAGE DRAWINGS MUST BE SUBMITTED FOR PERMITTING.

FIRE MARSHALL NOTE:

ACCORDANCE WITH SECTION 12.3.3.3.2.

IN ACCORDANCE WITH IFC AS MODIFIED BY 120-3-3, ALL PORTIONS OF SPRINKLED BUILDINGS SHALL BE WITHIN 600 FT. OF NEAREST FIRE HYDRANT. COORDINATE WITH LOCAL AHJ, LOCATIONS OF ALL HYDRANTS, FDCS, ETC. AS WELL AS FIRE DEPARTMENT ACCESS. TRANSFORMERS AND TRANSFORMER PADS SHALL COMPLY WITH THE FOLLOWING MODIFICATION IN ACCORDANCE WITH 120-3-3: "605.12 SEPARATION FROM TRANSFORMERS. SPACE SEPARATION FOR TRANSFORMERS SHALL BE AS FOLLOWS: (1) TRANSFORMER PAD LOCATIONS SHALL BE A MINIMUM OF 10 FEET (3 M) FROM ANY BUILDING, BUILDING OVERHANGS, CANOPIES, EXTERIOR WALLS, BALCONIES, EXTERIOR STAIRS AND/OR WALKWAYS CONNECTED TO THE BUILDING.

(3) TRANSFORMER PAD EDGES SHALL BE NOT LESS THAN 10 FEET (3 M) FROM ANY WINDOW OR OTHER OPENING. (4) IF THE BUILDING HAS AN OVERHANG, THE 10 FOOT (3 M) CLEARANCE SHALL BE MEASURED FROM A POINT BELOW THE EDGE OF THE OVERHANG ONLY IF THE BUILDING IS THREE STORIES OR LESS. IF THE BUILDING IS FOUR STORIES OR MORE, THE 10 FOOT (3 M) CLEARANCE SHALL BE MEASURED FROM THE OUTSIDE BUILDING WALL

(2) TRANSFORMER PAD EDGES SHALL BE NOT LESS THAN 14 FEET (4.3 M) FROM ANY DOORWAY

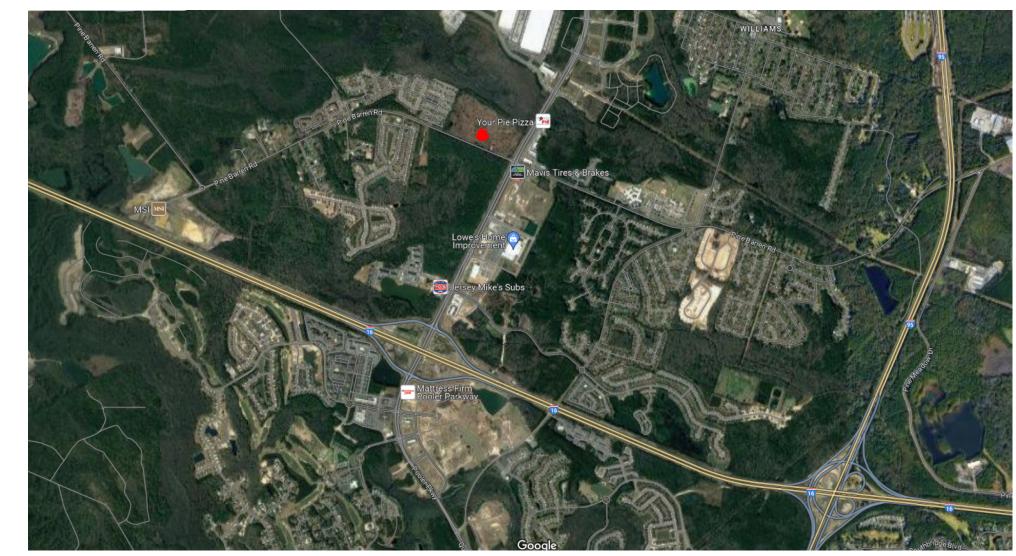
(5) FIRE ESCAPES, OUTSIDE STAIRS, AND COVERED WALKWAYS ATTACHED TO OR BETWEEN BUILDINGS, SHALL BE CONSIDERED AS PART OF THE BUILDING. 605. 12.1 TRANSFORMER PADS MAY BE LOCATED CLOSER TO NONCOMBUSTIBLE WALLS THAN THE ABOVE REQUIRED MINIMUM CLEARANCES IN 605.12(1) UPON WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION, HOWEVER, IN NO CASE SHALL THE TRANSFORMER LOCATION BE LESS THAN 3 FEET (0.9 M) FROM THE BUILDING. 605. 12.2 TRANSFORMER PADS EXISTING PRIOR TO DECEMBER 31, 1994, ARE EXEMPTED FROM THE REQUIREMENTS OF 605.11. WHEN BUILDINGS ARE MODIFIED, REDUCTIONS IN SPACE SEPARATIONS MAY BE LESS THAN THE ABOVE REQUIRED MINIMUM CLEARANCES UPON WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION."

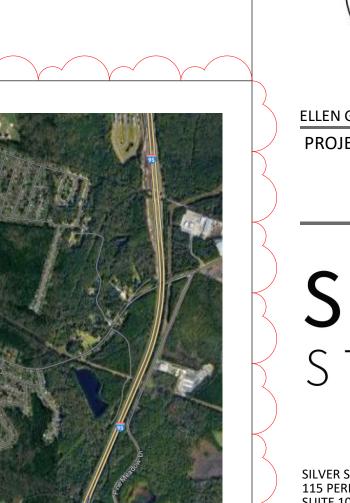
· IN ACCORDANCE WITH SECTION 30.2.1.3, ALL SHOWER/TUB COMBINATIONS SHALL BE PROVIDED WITH GRAB BARS. ALL TUB/SHOWER ARRANGEMENTS SHALL BE CONSTRUCTED TO BE ADAPTABLE BY PROVIDING BLOCKING FOR GRAB BARS. · ALL UNITS SHALL BE PROVIDED WITH SMOKE DETECTORS, HARD-WIRED TO THE BUILDINGS

ELECTRIC SYSTEM, PROVIDED WITH 1 1/2 HR. BATTERY BACK UP IN ACCORDANCE WITH SECTION 30.3.4.5 AS MODIFIED BY 120-3-3. · HAZARDOUS AREAS (STORAGE, ELECTRICAL, MECHANICAL, ETC.) SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 30.3.2. DOORS SHALL BE SELF-CLOSING. · NOTED GAS FIREPLACE SHALL BE PROVIDED WITH CO DETECTION IN ACCORDANCE WITH SECTION 12.3.4.4.

· ALL EGRESS DOORS FROM ASSEMBLY AREAS SHALL BE PROVIDED WITH PANIC HARDWARE IN

OXFORD POOLER 500 FOX FARM STREET POOLER, GA







ELLEN GARLAND RA013806 PROJECT #:

123003

SILVER STUDIO

SILVER STUDIO ARCHITECTS 115 PERIMETER CENTER PL ATLANTA, GA 30346 T: 404.260.5278

¥	DATE	DESCRIPTION
	07/07/23	DESIGN DEVELOPMENT
	08/04/23	50% CONSTRUCTION SET
	09/29/23	PERMIT SET
	02/20/24	CONSTRUCTION SET

This drawing, as an instrument of service, is and shall remain the property of the Architects and shall not be reproduced, published or used in any way without the permission of the Architect

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GROSS BUILDING AREA (CLIENT) - ALL BUILDINGS CONDITIONED 43,127 SF

UNCONDITIONED

6,731 SF

1000A	UNCONDITIONED (BALC)	3,841 SF
1000B	CONDITIONED	25,032 SF
1000B	UNCONDITIONED	4,828 SF
1000B	UNCONDITIONED (BALC)	2,464 SF
2000	UNCONDITIONED	90 SF
2000A1	CONDITIONED	41,888 SF
2000A1	UNCONDITIONED	6,833 SF
2000A1	UNCONDITIONED (BALC)	3,815 SF
2000B	CONDITIONED	25,038 SF
2000B	UNCONDITIONED	4,827 SF
2000B	UNCONDITIONED (BALC)	2,466 SF
3000C	CONDITIONED	39,702 SF
3000C	UNCONDITIONED	7,224 SF
3000C	UNCONDITIONED (BALC)	3,175 SF
3000D	CONDITIONED	33,778 SF
3000D	UNCONDITIONED	8,207 SF
3000D	UNCONDITIONED (BALC)	3,191 SF
3000E	CONDITIONED	34,180 SF
3000E	UNCONDITIONED	5,690 SF
3000E	UNCONDITIONED (BALC)	2,684 SF
4000	CONDITIONED	51,170 SF
4000	UNCONDITIONED	7,258 SF
4000	UNCONDITIONED (BALC)	3,729 SF
CAR WASH	UNCONDITIONED	314 SF
CLUBHOUSE	CONDITIONED	4,395 SF
CLUBHOUSE	UNCONDITIONED	1,196 SF
MAINTENANCE	CONDITIONED	1,277 SF
POOL PAVILION	CONDITIONED	3,313 SF
POOL PAVILION	UNCONDITIONED	1,419 SF
TRASH ENCLOSURE	UNCONDITIONED	491 SF

*CONDITIONED AREAS ABOVE ARE CALCULATED TO THE EXTERIOR FACE OF STUD OF ALL CONDITIONED ENCLOSED AREAS. UNCONDITIONED AREAS ABOVE INCLUDE BALCONIES, PORCHES, BREEZEWAYS, OPEN STAIRWAYS, UNCONDITIONED STORAGE AND UTILITY ROOMS. UNCONDITIONED AREAS ARE CALCULATED FROM THE EDGE OF SLAB OR FLOOR TO THE OUTSIDE FACE OF STUD OF THE ADJACENT CONDITIONED SPACE.

GROSS BUILDING AREA (CLIENT) -

BUILDING 2000 TYPE A1

GROSS BUILDING AREA (CLIENT) -

BUILDING 2000 TYPE B

LEVEL 01 T.O.S.

LEVEL 02

LEVEL 03

17,526 SF

17,504 SF

17,506 SF

52,536 SF

10,823 SF

10,754 SF

10,753 SF

32,331 SF

GROSS BUILDING AREA (CLIENT)

BUILDING 1000 TYPE A

GROSS BUILDING AREA (CLIENT) -

BUILDING 1000 TYPE B

LEVEL 01 T.O.S.

17,885 SF

17,885 SF

53,700 SF

10,822 SF

10,751 SF

10,751 SF

32,324 SF

*GROSS BUILDING AREA ABOVE CALCULATED PER THE 2018 IBC DEFINITION: AREA, BUILDING, THE AREA INCLUDING WITHIN SURROUNDING EXTERIOR WALLS, OR EXTERIOR WALLS AND FIRE WALLS, EXCLUSIVE OF VENT SHAFTS AND COURTS, AREAS OF THE BUILDING NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

UNIT AREAS								G	ROSS AREA	S	
UNIT	DESCRIPTION	BLDG. 1000	BLDG. 2000	BLDG. 3000	BLDG. 4000	TOTAL NO. UNITS	%	HEAT SF	BALC SF(TBD)	TOTAL GROSS SF	TOTAL RESID. HEATED SF
A1 UNIT	Interior 1Bed/1Ba	6	6	9		21	7	689	85	774	14469
A2 UNIT	Interior 1Bed/1Ba	15	18	12		45	15	750	77	827	33750
A3 UNIT	Interior 1Bed/1Ba	18	21	18		57	19	781	93	874	44517
A4 UNIT	Interior 1Bed/1Ba (Stacks with B2)			4	4	8	3	872	91	963	6976
A5 UNIT	Corner 1Bed/1Ba	5	2			7	2	880	93	973	6160
A5 UNIT - TYPE A	Corner 1Bed/1Ba	1	1			2	1	880	93	973	1760
	1 BEDROOM SUBTOTAL	45	48	43	4	140	46.7%	769			107632
B1 UNIT	Interior 2Bed/2Ba	18	14	32	5	69	23	1073	85	1158	74037
B1 UNIT - TYPE A	Interior 2Bed/2Ba		1	1	1	3	1	1073	85	1158	3219
B2 UNIT	Corner 2Bed/2Ba	0	0	11		11	4	1166	61	1227	12826
B2 ALT ENTRY	Corner 2Bed/2Ba	6	6	6		18	6	1166	61	1227	20988
B2.1 UNIT	Corner 2Bed/2Ba			4		4	1	1175	61	1236	4700
B2.2 UNIT	Corner 2Bed/2Ba	3	3			6	2	1219	0	1219	7314
B3 UNIT	Interior 2Bed/2Ba (Stacks with A4)	3	3	2	20	28	9	1197	91	1288	33516
B4 UNIT	Interior Corner 2Bed/2Ba			3		3	1	1291	153	1444	3873
	2 BEDROOM SUBTOTAL	30	27	59	26	142	47.3%	1130			160473
C1 UNIT	Corner 3 Bed/2 Ba			6	11	17	6	1437	85	1522	24429
C1 UNIT - TYPE A	Corner 3 Bed/2Ba				1	1	0	1437	85	1522	1437
	3 BEDROOM SUBTOTAL	0	0	6	12	18	6.0%	1437			25866
	TOTALS	75	75	108	42	300	100.0%	17,086			293,971

U1105	67 SF	ACCESSIBLE	U3110	48 SF	
U2105			U3111	48 SF	
U1106	30 SF		U3112	29 SF	
U1206			U3201	20 SF	
U1201	13 SF		U3202	20 SF	
U1202	5 SF		U3203	67 SF	
U1205	67 SF		U3204	30 SF	
U2205			U3206	57 SF	
U1206	30 SF		U3207	57 SF	
U2206	12.00		U3208	57 SF	
U1301	13 SF		U3209	32 SF	
U1302	5 SF		U3210	48 SF	
U1305 U2305	67 SF		U3211	48 SF	
U1306	30 SF		U3212	29 SF	
U2306	30 31		U3301	20 SF	
U2202	52 SF		U3302	20 SF	
U2302	52 SF		U3303	67 SF	
U3103	67 SF	ACCESSIBLE	U3304	30 SF	
U3104	30 SF		U3306	57 SF	
U3106	57 SF		U3307	57 SF	
U3107	57 SF		U3308	57 SF	
U3108	57 SF		U3309	32 SF	
		1			

U3310 48 SF

U3311 48 SF

U3312 29 SF

Grand total: 42

GROSS BUILDING AREA (CLIENT) - NON-RESIDENTIAL

BUILDINGS

4,395 SF

1,277 SF

3,313 SF

1,306 SF

113 SF

491 SF

12,404 SF

UNCONDITIONED

UNCONDITIONED

CONDITIONED

UNCONDITIONED

UNCONDITIONED

UNCONDITIONED

STORAGE CLOSET SCHEDULE

NUMBER AREA COMMENTS

CONDITIONED

CLUBHOUSE UNCONDITIONED

MAINTENANCE | CONDITIONED

PAVILION

PAVILION

PAVILION

ENCLOSURE

POOL

STORAGE CLOSET SCHEDULE

NUMBER AREA COMMENTS

GROSS BUILDING AREA (CLIENT) -

BUILDING 4000

20,369 SF

LEVEL 01 T.O.S

GROSS BUILDING AREA (CLIENT) -

BUILDING 3000 TYPE C

GROSS BUILDING AREA (CLIENT) -

BUILDING 3000 TYPE D

GROSS BUILDING AREA (CLIENT) -

BUILDING 3000 TYPE E

16,719 SF

16,690 SF

16,690 SF

50,100 SF

15,066 SF

15,056 SF

15,056 SF

45,177 SF

14,212 SF

14,170 SF

14,171 SF

LEVEL 01 T.O.S

LEVEL 01 T.O.S.

LEVEL 01 T.O.S.

LEVEL 02

		MAINTENANCE	CONDITIONED	1,2// SF
		POOL PAVILION	CONDITIONED	3,313 SF
		POOL PAVILION	UNCONDITIONED	1,419 SF
		TRASH ENCLOSURE	UNCONDITIONED	491 SF
				383,372 SF
MINIMUM 5% OF RESIDENT STORAGE TO BE ACCESSIBLE	DO	CUMEN	T ISSUAI	NCES
ACCESSIBLE STORAGE REQUIRED = 2 ACCESSIBLE STORAGE PROVIDED = 3	REV #	DATE 07/07/2023 08/04/2023 09/29/2023 02/20/2024	DESIGN 50% CON P	PACKAGE I DEVELOPMENT INSTRUCTION SET ERMIT SET TRUCTION SET

2000	ONCONDITIONED	30 31
2000A1	CONDITIONED	41,888 SF
2000A1	UNCONDITIONED	6,833 SF
2000A1	UNCONDITIONED (BALC)	3,815 SF
2000B	CONDITIONED	25,038 SF
2000B	UNCONDITIONED	4,827 SF
2000B	UNCONDITIONED (BALC)	2,466 SF
3000C	CONDITIONED	39,702 SF
3000C	UNCONDITIONED	7,224 SF
3000C	UNCONDITIONED (BALC)	3,175 SF
3000D	CONDITIONED	33,778 SF
3000D	UNCONDITIONED	8,207 SF
3000D	UNCONDITIONED (BALC)	3,191 SF
3000E	CONDITIONED	34,180 SF
3000E	UNCONDITIONED	5,690 SF
3000E	UNCONDITIONED (BALC)	2,684 SF
4000	CONDITIONED	51,170 SF
4000	UNCONDITIONED	7,258 SF
4000	UNCONDITIONED (BALC)	3,729 SF
CAR WASH	UNCONDITIONED	314 SF
CLUBHOUSE	CONDITIONED	4,395 SF
CLUBHOUSE	UNCONDITIONED	1,196 SF
MAINTENANCE	CONDITIONED	1,277 SF
POOL PAVILION	CONDITIONED	3,313 SF
POOL PAVILION	UNCONDITIONED	1,419 SF
TRASH ENCLOSURE	UNCONDITIONED	491 SF
		383,372 SF

SHEET NAME:

COVER SHEET

SHEET NUMBER:

G0.00

09/29/2023



6 8" FIBER CEMENT FASCIA, TYP. 7a 1X4 FIBER CEMENT TRIM BOARD 7b 1X6 FIBER CEMENT TRIM BOARD 7c 1X8 FIBER CEMENT TRIM BOARD 7d 1X10 FIBER CEMENT TRIM BOARD 8a DOOR; SEE SCHEDULE 8b OVERHEAD DOOR; SEE SCHEDULE 9a VINYL WINDOW, TYP; SEE SCHEDULE 9b ALUMINUM CLAD WINDOW, TYP AT AMENITY; SEE SCHEDULE 10 PRECAST WALL CAP 11 PRE-ENGINEERED METAL AWNING 12 MECHANICAL VENT COVER - PAINT TO MATCH FIELD MATERIAL COLOR 13 EXTERIOR LIGHT FIXTURE; SEE ELECTRICAL SCHEDULE 14 CEDAR BRACKET PROFILE, SEE DETAIL 2/A9.05 15 DOUBLE CEDAR BRACKET PROFILE, SEE DETAIL 4/A9.05 16 POOL PAVILION CEDAR TRUSS, SEE DETAIL 1/A9.05 17a POWDER COATED ALUMINUM PICKET GUARDRAIL; 42" A.F.F. TYP. - WHITE 17b PREFINISHED POOL ENCLOSURE FENCE, MIN 48" AFF - SEE LANDSCAPE DRAWINGS FOR DETAILS + SPECS 17c SPECIAL METAL RAILING "WOOD LOOK" 18 PREFINISHED POOL ENCLOSURE FENCE GATE, MIN 48" AFF - SEE LANDSCAPE DRAWINGS FOR DETAILS + SPECS 19 10X10 BUILT-OUT FIBER CEMENT WRAPPED COLUMN; SEE A8.02 19.1 | 10X10 BUILT-OUT CEDAR TRIM WRAPPED COLUMN; SEE A8.02 20 PREFINISHED 5" K-STYLE ALUMINUM GUTTER 21 PREFINISHED 3"x4" RECTANGULAR DOWNSPOUT PREFINISHED ALUMINUM SCUPPER, COLLECTION BOX, AND DOWNSPOUT 23 PREFINISHED METAL COPING FIBER CEMENT WINDOW/DOOR SURROUND; 4" HEAD, 4" JAMB, 4" SILL 25 FIBER CEMENT WRAPPED DROP BEAM AT ROOF BEARING 26 ALUMINUM STOREFRONT 27 LARGE GABLE DETAIL, SEE DETAIL 10/A9.05 28 SMALL GABLE DETAIL, SEE DETAIL 9/A9.05 4" EXPOSURE FIBER CEMENT SIDING, WINDOW PANEL 31 ALUMINUM SCREEN 32 CUSTOM FABRICATED METAL SHROUD 33 PLACEHOLDER 34 PLACEHOLDER L1 FIBER CEMENT LAP SIDING - 7" EXPOSURE L2 FIBER CEMENT SHAKE LAP SIDING L3 FIBER CEMENT LAP SIDING - 11" EXPOSURE L4 | FIBER CEMENT LAP SIDING - 7" EXPOSURE 'WOODTONE' L5 | FIBER CEMENT LAP SIDING - 11" EXPOSURE P1 BOARD & BATTEN WITH 2" STRIPS @ 2' O.C.

P2 FIBER CEMENT SIMULATED STUCCO PANEL BOARD

P3 BOARD & BATTEN WITH 2" STRIPS @ 2' O.C.

S1 STONE FOR CH + PP CHIMNEYS

1/8" = 1'-0"

ELEVATION KEYNOTES

4 RIDGE VENT PROVIDING 18 SQ. IN. OF OPEN AREA PER LINEAR FOOT; SEE ROOF

5 OFF-RIDGE VENT PROVIDING 144 SQ. IN. OF OPEN AIR; SEE ROOF PLAN

1 ASPHALT SHINGLE ROOF; TYP. SEE A0.11 2 STANDING SEAM METAL ROOF; SEE A0.11

3 ROOF CRICKET; SEE ROOF PLANS FOR LOCATIONS

PLAN VENTILATION SCHEDULE FOR REQUIRED LENGTH

VENTILATION SCHEDULE FOR REQUIRED LENGTH

KEYNOTE

DESCRIPTION

ROOF BEARING 3 STORY 30'-4 7/8" LEVEL 03 21'-3 3/4" LEVEL 02 10'-7 7/8"

7d

L1

LEVEL 03 21'-3 3/4" 10'-7 7/8" L5 L1 29 P3

ELLEN GARLAND PROJECT #:

123003

SILVER STUDIO

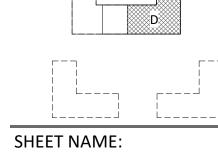
SILVER STUDIO ARCHITECTS 115 PERIMETER CENTER PL. **SUITE 1080** ATLANTA, GA 30346 T: 404.260.5278

DATE DESCRIPTION 09/29/23 PERMIT SET D 02/20/24 CONSTRUCTION SET

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OXFORD POOLER 500 FOX FARM STREET POOLER, GA

KEY PLAN:



ELEVATIONS -BUILDING AREA D

SHEET NUMBER:

1/8" = 1'-0"

A9.52

09/29/2023

ELEVATION - BUILDING AREA D - EAST

1/8" = 1'-0" ELEVATION - BUILDING AREA D - NORTH

A9.52 ELEVATION - BUILDING AREA D - EAST

BUILDING 1000 - SOUTHWEST

ELLEN GARLAND RA013806 PROJECT #: 123003

SILVER STUDIO ARCHITECTS 115 PERIMETER CENTER PL. SUITE 1080 ATLANTA, GA 30346 T: 404.260.5278

DATE DESCRIPTION D 02/20/24 CONSTRUCTION SET

property of the Architects and shall not be reproduced, published or used in any way without the permission of the Architect.

A 1000 B SHEET NAME: **ELEVATIONS-**

EXTERIOR COLOR-BUILDING 1000

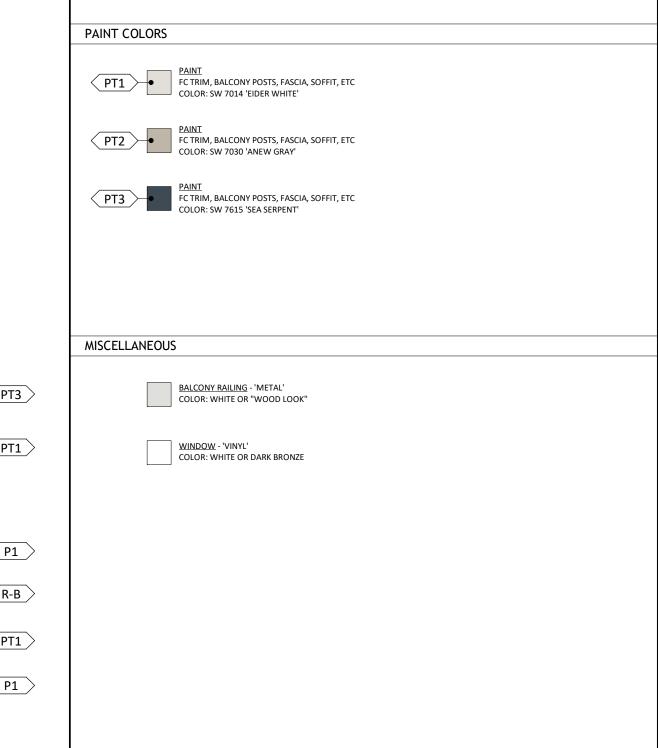
SHEET NUMBER:

FIBER CEMENT SOFFIT COLOR TO MATCH FASCIA COLOR, UNLESS NOTED OTHERWISE.

10. BREEZEWAY CEILING PAINT COLOR TO BE SW 7007 'CEILING BRIGHT WHITE'.







NOTES

- 1. ALL MATERIAL AND COLOR TRANSITIONS TO OCCUR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- FIBER CEMENT TRIM COLOR TO MATCH ADJACENT PAINT COLOR, UNLESS NOTED
- METAL STAIR STRINGER, GUARDRAIL, AND HANDRAIL COLOR TO BE BLACK, UNLESS NOTED OTHERWISE.
- UNIT BREEZEWAY DOORS TO BE KEYNOTE 'PT1', UNLESS NOTED OTHERWISE.
- ALUMINUM GUTTERS AND DOWNSPOUTS TO BE DARK BRONZE. ROOF COLOR TO BE KEYNOTE R-A OR R-B.
- WINDOW COLOR TO BE WHITE OR DARK BRONZE, UNLESS NOTED OTHERWISE.

PREFINISHED METAL BALCONY RAILINGS TO BE WHITE OR "WOOD LOOK". FIBER CEMENT SOFFIT COLOR TO MATCH FASCIA COLOR, UNLESS NOTED OTHERWISE. 10. BREEZEWAY CEILING PAINT COLOR TO BE SW 7007 'CEILING BRIGHT WHITE'.

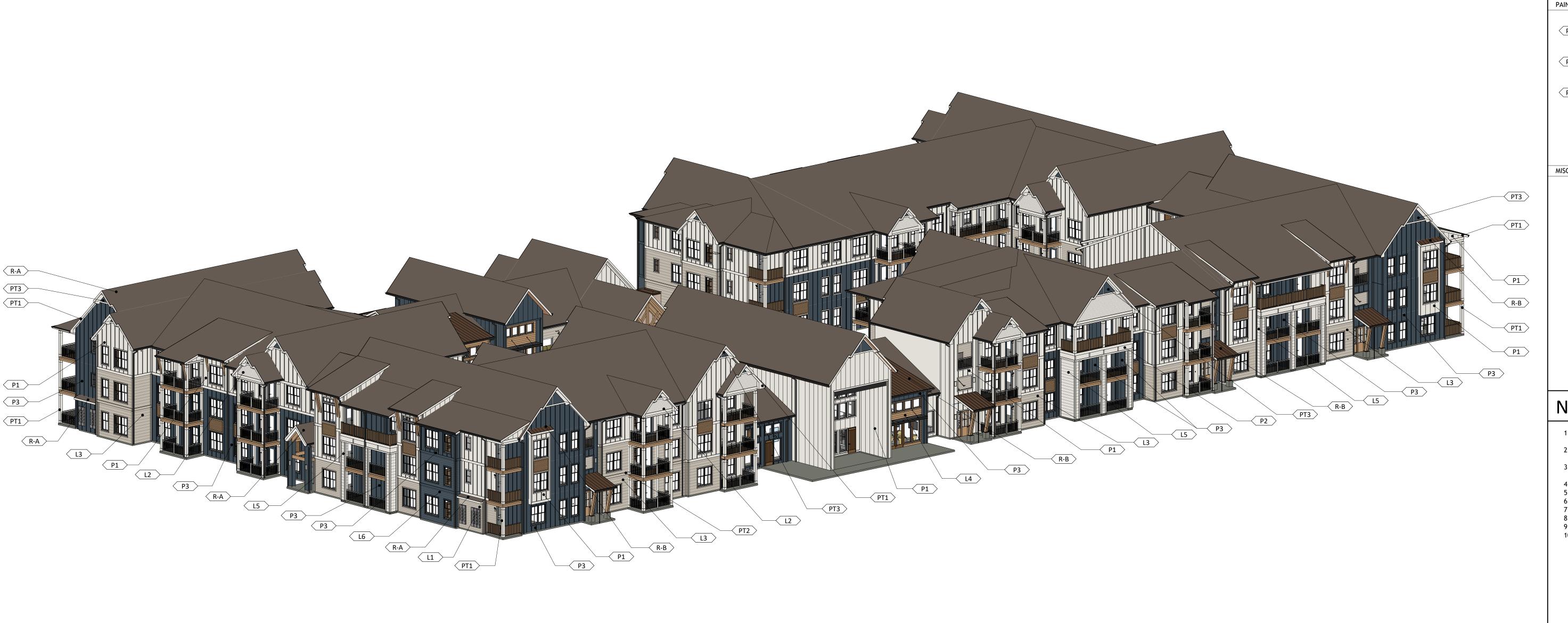
SHEET NAME:

EXTERIOR COLOR-BUILDING 3000 SHEET NUMBER: A9C.03 09/29/2023

ELEVATIONS-

RA013806

123003



BUILDING 3000 - SOUTHWEST

Attachment C



December 18th, 2024

Christopher J. Chance, P.E. Hussey Gay Bell 329 Commercial Dr. Savannah, GA 31406

Dear Mr. Chance,

I am pleased to provide you with a recommendation for <u>Approval</u> of the revised site development plans for Oxford Pooler – Phase 1, which is provided below.

Submittal Documents:	Site Plans	Dec. 2024
	Landscape Plans	Dec. 2024
	Specification Sheet - Oil/Water Separator	Dec. 2024
	Building Drawing Sheet - Oil/Water Separator	Dec. 2024

We have reviewed the submittal for the referenced project. The plans were reviewed for general conformance with the requirements of the City of Pooler. This review of the submitted site plans does not relieve the Owner, Designer and Contractor, or their representatives, from their individual or collective responsibility to comply with the applicable provisions of the local, state and federal laws, engineering standards and development codes. This review is not to be construed as a check of every item in the plans or construction. The failure of this office to note any conflict with said requirements does not relieve the developer from compliance.

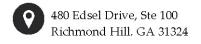
The Owner and the Design Consultant are fully responsible for ensuring that the project is constructed in accordance with the approved construction plans. The design engineer is solely responsible for ensuring that their designs comply to all federal, state, and city codes and regulations. All required permits and approvals, pursuant to land disturbing activity and development permits shall be available to the City of Pooler and be found acceptable to Staff. All applicable plans, permits, inspection & testing results, or related materials shall be available to the City of Pooler, or assigned representation, during and after the construction is complete.

To the best of our knowledge, it is our opinion that the plans are in general conformance with the City of Pooler's applicable design standards, codes and ordinances. We hereby recommend <u>Approval</u> of the site development plans.

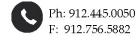
Please contact me if you have any questions. I can be reached via email or phone at <u>tshoemaker@eomworx.com</u> or (912) 445-0050 ext. 4400.

Sincerely,

Trevor Shoemaker Project Manager EOM





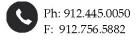


Attachment C



CC: Nicole Johnson; Director of Planning & Development – City of Pooler Marcella Benson; City Planner- City of Pooler Ryan Jarles; City Planner – City of Pooler Rachael Brown; Zoning Administrator – City of Pooler Liberto Chacon, PE; Sr. Vice President of Operations – EOM





Master Services Agreement for Trenchless Sewer Rehabilitation

This agreement is made and entered into this	_ day of _	, 2025, by and between The City of Pooler , an
incorporated municipality existing under the Laws	of the Sta	ate of Georgia and situate, lying and being within
Chatham County (hereinafter "Owner"), whose ad	Idress for	any formal notice is 100 US Highway 80 SW Pooler,
Georgia 31322, and Southeast Pipe Survey, a corp	poration e	xisting under the Laws of the State of Georgia and
domiciled in Pierce County, Georgia, (hereinafter '	"Contracto	or"), whose address for any formal notice is 3523 Williams
Street, Patterson, GA 31557.		

Owner and Contractor agree:

1 General Conditions

- 1.1 This agreement shall be governed by and interpreted in accordance with the Laws of the State of Georgia. In the event that any dispute or disagreement between the parties cannot otherwise be amicably resolved, the parties consent to jurisdiction and venue in the Superior Court of Chatham County.
- 1.3 This Agreement shall be binding upon the successors and assigns of each of the parties, but neither party will assign this Agreement without prior written consent of the other party. Consent shall not be unreasonably withheld.
- 1.4 All notices shall be in writing and transmitted by certified mail to the addresses noted in this Agreement. Electronic communication (e-mail) may be used for general communication between Owner and Contractor.
- 1.5 This Agreement, including Appendices, is the entire Agreement of the parties. This Agreement may be modified only by written agreement signed by both parties. Wherever used, the terms "Owner" and "Contractor" shall include their respective officers, agents, directors, elected or appointed officials, and employees.
- 1.6 Time is of the essence.

2 Scope of Services

- 2.1 The scope of services consists of cleaning, removing root balls and calcium buildup, installing Cured-In-Place-Pipe (CIPP), internally reinstating service connections, and installing CIPP in the service laterals up to the property lines.
- 2.2 All work shall be performed as described in each Task Order and in accordance to the Invitation to Bid for Trenchless Sewer Rehabilitation due on August 15th, 2024. will describe services to be performed, compensation for those services and deliverables, if any, to be provided.
- 2.3 The Owner is not required to issue any Work Orders under this Master Agreement.
- 2.4 The Contractor may decline to accept any Work Order issued by the Owner.
- 2.5 Each duly executed Task Order shall be subject to the terms and conditions of this Agreement.
- 2.6 Services described in a specific Task Order approved by Owner shall be commenced promptly and not later than the beginning date specified in the Task Order.

- 2.7 Contractor shall keep Owner informed of progress of work and shall notify Owner of any observed deficiencies in work.
- 2.8 Contractor shall not engage in any activity or conduct that would result in a violation of state or local ethics laws or regulations. Contractor certifies that to the best of its knowledge no circumstances exist which will cause a conflict of interest in performing the work.

3 Owner's Responsibilities

- 3.1 Owner shall provide Contractor with all access to Owner's facilities relating to the services specified in each Task Order.
- 3.2 Owner shall maintain and renew warranties, guarantees, easements, permits, authorizations, and licenses that have been granted to the Owner, to the extent doing so is not a responsibility of Contractor hereunder.

4 Payment

- 4.1 Contractor shall prepare invoices for work completed in accordance with the unit pricing identified in Exhibit A and terms established in the specific Task Order and shall submit its invoices to Owner on a monthly basis.
- 4.2 Compensation to Contractor is due 30 days from the date of Contractor's invoice.
- 4.3 Owner shall pay Contractor interest at an annual rate equal to one and a half percent (1.5%) on all invoiced amounts outstanding and unpaid over thirty (30) calendar days, such interest being calculated from the due date of the payment.

5 Term

- 5.1 The initial term of this Agreement shall be for one (1) year commencing on _______, 2025, with an option to renew for one (1) additional year.
- 5.4 Owner may terminate this Agreement for a material breach of the terms of this Agreement by Contractor, but only after providing written notice of the breach and allowing Contractor thirty (30) days to commence remediation of the breach and a reasonable time thereafter to complete remediation of the breach.
- 5.5 Contractor may terminate this Agreement for a material breach of the terms of this Agreement by Owner, including failure to make payments when due under the terms of this Agreement, but only after providing written notice of the breach and allowing Owner thirty (30) days to make payment or otherwise commence remediation of the breach and a reasonable time thereafter to complete remediation of the breach (other than non-payment).
- 5.6 Either party may terminate this Agreement without cause and for convenience, but the agreement cannot be terminate until sixty (60) days after sending Notice of Intent to Terminate the Agreement for Convenience.

6. Indemnity and Liability

6.1 Contractor shall indemnify, defend and hold harmless Owner, its officers, directors, agents, employees, successors and assigns from and against any and all actions, causes of action, claims, liabilities, losses, damages, costs and expenses, including reasonable attorney's fees, for loss or destruction of or damage to any tangible property or for bodily injury, sickness, disease or death sustained by any person, if such damage, destruction, injury, sickness, disease or death was caused by, arose out of or was connected with the performance of its obligations under this Agreement, but only if and to the extent and proportion that the negligence of Contractor or its employees or agents caused or contributed to such injury or damage, whether or not such damage, destruction, injury, sickness, disease or death was caused in part by the negligence of Owner.

6.2 Owner shall indemnify, defend and hold harmless Contractor, its officers, directors, agents, employees, successors and assigns from and against any and all actions, causes of action, claims, liabilities, losses, damages, costs and expenses, including reasonable attorney's fees, for loss or destruction of or damage to any tangible property or for bodily injury, sickness, disease or death sustained by any person, if such damage, destruction, injury, sickness, disease or death was caused by, arose out of or was connected with the performance of its obligations under this Agreement, but only if and to the extent and proportion that the negligence of Owner or its employees or agents caused or contributed to such injury or damage, whether or not such damage, destruction, injury, sickness, disease or death was caused in part by the negligence of Contractor.

7. Insurance

- 7.1 Contractor shall provide the following insurances throughout the term of the Agreement, and shall provide to Owner Certificates of Insurance demonstrating compliance with this provision, showing the City of Pooler as "Additional Insured" except for Workers Compensation:
 - 7.1.1 Statutory Worker's Compensation as required by the State in which the project is performed.
 - 7.1.2 Employer's Liability Insurance with One Million Dollars (\$1,000,000.00) per accident, per employee and per aggregate limits.
 - 7.1.3 Comprehensive Automobile and Vehicle Liability Insurance with One Million Dollars (\$1,000,000.00) combined single limits, covering claims for injuries to members of the public and/or damages to property of others arising from the use of Contractor owned or -leased motor vehicles, including onsite and offsite operations.
 - 7.1.4 Commercial General Liability Insurance with limits of One Million Dollars (\$1,000,000.00) per occurrence and Two Million Dollars (\$2,000,000.00) in the aggregate, covering claims for injuries to members of the public or damages to property of others arising out of any covered act or omission of Contractor or any of its employees or subcontractors.
 - 7.1.5 Excess liability insurance with Five Million Dollars (\$5,000,000.00) per occurrence and aggregate limits.
- 7.2 Owner and Contractor hereby waive any right of subrogation against the other for all coverages and policies of insurance required to be carried under this Agreement and further waive any claims against the other for all damages and claims covered under such insurance policies.
- 7.3 Contractor will provide payment and performance bonds in the amount of one hundred percent (100%) of each approved Task Order.

8. Independent Contractor

8.1 It is hereby agreed and understood that Contractor is entering into this Agreement as an independent Contractor and that all of Contractor's personnel engaged in work to be done under the terms of this Agreement are to be considered as employees of Contractor and under no circumstances shall they be construed or considered to be employees of Owner. Contractor shall supervise the performance of its own employees in providing services for Owner and shall have control over the manner and means by which the Services are performed, subject to the terms of this Agreement as well as any written and mutually agreed upon amendments thereto. Nothing in this Agreement will be interpreted as creating any relationship of principal and agent, partnership or joint venture between the parties. Neither Contractor nor Owner will represent in any manner to any third party that Contractor is an agent of, or affiliated with, Owner in any capacity other than as an independent Contractor, and nothing in this Agreement shall be construed to be inconsistent with such status.

9. No Third-Party Beneficiaries

9.1 This Agreement gives no rights or benefits to anyone other than Owner and Contractor and has no third-party beneficiaries.

10. Severability

10.1 If any of the provisions contained in this Agreement are held for any reason to be invalid, illegal or unenforceable, the enforceability of the remaining provisions shall not be impaired thereby.

11. Entire Agreement

- 11.1 Should any provision of this contract or the execution thereof be declared or determined to be unlawful under any statute, ordinance, law, ruling or regulation, then, in such an event, Owner and Contractor may mutually agree to a modification of this contract as to make the same fully comply with all applicable laws.
- 11.2 This Agreement, together with all Appendices attached hereto, contains all representations and the entire understanding between the parties with respect to the subject matter of this Agreement. Any prior correspondence, memoranda or agreements, whether or not such correspondence, memoranda or agreements are in conflict with this Agreement, are intended to be replaced in total by this Agreement and its Appendices. The parties mutually declare there are no oral understandings or promises not contained in the Agreement, which contains the complete, integrated, and final agreement between the parties.

12. Authority

12.1 Both parties represent and warrant to the other party that the execution, delivery, and performance of this Agreement has been duly authorized by the responsible parties thereof. Both parties warrant that all required approvals have been obtained and the executing party below has such authority to bind the party.

Both parties indicate their approval of this Agreement by their signatures below.

Southeast Pipe Survey, Inc.	City of Pooler
Authorized Signature:	Authorized Signature:
Name:	Name:
Title:	Title:
Date:	Date:

Task Order 1

North Skinner Trenchless Sewer Rehabilitation

The services described herein shall be performed in accordance with and shall be subject to the terms and conditions of the Master Agreement for Professional Services (hereinafter referred to as "Agreement") executed by and between the City of Pooler (hereinafter referred to as "Owner") and Southeast Pipe Survey, Inc., (hereinafter referred to as "Contractor") on _____day of ________, 2025 and all subsequent amendments to the Agreement.

1 Scope of Services

- 1.1. The scope of services consists of cleaning, removing root balls and calcium buildup, installing Cured-In-Place-Pipe (CIPP), internally reinstating service connections, and installing CIPP in the service laterals up to the property lines for the area highlighted on Appendix A.
- 1.2. Prior to beginning work the contractor shall furnish submittals on CIPP materials including tube, flexible membrane, and resin that will be utilized for the complete installation. Submittals must include all product certifications, Safety Data Sheets (SDS), safety plan, and project schedule.
- 1.3. The contractor shall be responsible for proper traffic control and safety precautions.
- 1.4. All debris must be removed from the inside of the pipe to avoid interference with installation. If applicable, the contractor shall plug or install a bypass system to properly clean the lines. The contractor shall take all necessary precautions to avoid damage of the existing pipe during cleaning and will repair any damage caused by the cleaning equipment. Contractor shall bypass sections of pipe, if applicable, to provide flow of existing main and service connection. If required, service connections may be plugged but only after providing proper notification to the residences and/or businesses affected and plugs may not remain overnight. Any service interruptions must be coordinated with Owner or Owner's representative at least 7 days in advance.

2 Compensation

- 2.1 Owner shall pay Contractor for services performed under this Task Order based on the unit prices established in the Trenchless Sewer Rehabilitation Invitation to Bid. The agreed upon unit prices and updated unit estimates are attached to this Task Order as Appendix B.
- 2.2 Services will be billed on a monthly basis for work completed. Contractor must include an affidavit certifying all suppliers, persons or businesses employed by the Contractor have been paid in full for the work performed before Owner will release payment.
- 2.3 Owner agrees to pay Contractor 30 days from date of invoice for all satisfactory work completed.
- 2.4 Additional efforts, including fees and services outside the Scope of Services will be coordinated directly with the Owner prior to proceeding.

3. Term

- 3.1 The term of this Task Order shall end upon completion of the Scope of Services listed in Section 1.
- 3.2 Owner may terminate this Agreement for a material breach of the terms of this Agreement by Contractor, but only after providing written notice of the breach and allowing Contractor thirty (30) days to commence remediation of the breach and a reasonable time thereafter to complete remediation of the breach.

- 3.3 Contractor may terminate this Agreement for a material breach of the terms of this Agreement by Owner, including failure to make payments when due under the terms of this Agreement, but only after providing written notice of the breach and allowing Owner thirty (30) days to make payment or otherwise commence remediation of the breach and a reasonable time thereafter to complete remediation of the breach (other than non-payment).
- 3.4 Either party may terminate this Agreement without cause and for convenience, but the agreement cannot be terminated until sixty (60) days after sending Notice of Intent to Terminate the Agreement for Convenience.

4. Insurance

- 4.1 Contractor shall maintain insurance as required in the Master Services Agreement.
- 4.2 Contractor will provide payment and performance bonds in the amount of one hundred percent (100%) of Total Estimate of this Task Order as identified in Appendix B.

5. Authority

5.1 Both parties represent and warrant to the other party that the execution, delivery, and performance of this Task Order has been duly authorized by the responsible parties thereof. Both parties warrant that all required approvals have been obtained and the executing party below has such authority to bind the party.

Both parties indicate their approval of this Task Order by their signatures below.

Southeast Pipe Survey, Inc.	City of Pooler
Authorized Signature:	Authorized Signature:
Name:	Name:
Title:	Title:
Date:	Date:

Appendix A - Project Area

The project area consists of the gravity sewer lines and associated service laterals up to the property line for the area below.



Appendix B - Bid Unit Prices

Unit prices below are based on the Trenchless Sewer Rehabilitation Invitation to Bid. Quantities are based on current available data.

	QUANTIT					
DESCRIPTION	Υ	UNITS		PRICE	+	OTAL PRICE
CCTV Mobilization	1	EA	\$	4,500.00	\$	4,500.00
Cleaning & CCTV 8" Lines	29445	LF	\$	3.40	\$	100,113.00
Cleaning & CCTV 10" Lines	0	LF	\$	4.05	\$	-
Cleaning & CCTV 12" Lines	0	LF	\$	3.75	\$	-
Cleaning & CCTV 15" Lines	0	LF	\$	4.55	\$	-
Cleaning & CCTV 18" Lines	0	LF	\$	5.10	\$	-
Cleaning & CCTV 24" Lines	0	LF	\$	5.70	\$	-
Heavy Root Cleaning ≤ 12" Pipe	10000	LF	\$	7.15	\$	71,500.00
Heavy Root Cleaning > 12" Pipe	0	LF	\$	8.95	\$	-
Heavy Pipe Cleaning ≤ 12" Pipe	0	LF	\$	7.15	\$	-
Heavy Pipe Cleaning > 12" Pipe	0	LF	\$	8.95	\$	-
Pipe Debris Disposal	100	CU YDS	\$	65.50	\$	6,550.00
Protruding Tap Removal ≤ 12" Pipe	100	EA	\$	178.00	\$	17,800.00
Protruding Tap Removal > 12" Pipe	0	EA	\$	178.00	\$	-
Point Repairs – 8"	0	EA	\$	43,250.00	\$	-
Point Repairs – 10"	0	EA	\$	43,925.00	\$	-
Point Repairs – 12"	0	EA	\$	44,850.00	\$	-
Point Repairs – 15"	0	EA	\$	46,938.00	\$	-
Point Repairs – 18"	0	EA	\$	50,662.00	\$	-
Point Repairs – 24"	0	EA	\$	59,040.00	\$	-
CIPP Mobilization	1	EA	\$	1,700.00	\$	1,700.00
CIPP Sewer and Storm Main – 8" x 6.0 mm	29445	LF	\$	40.65	\$	1,196,939.25
CIPP Sewer and Storm Main – 10" x 7.5 mm	0	LF	\$	52.25	\$	-
CIPP Sewer and Storm Main – 12" x 9.0 mm	0	LF	\$	63.90	\$	-
CIPP Sewer and Storm Main – 15" x 11.0						
mm	0	LF	\$	126.00	\$	-
CIPP Sewer and Storm Main – 18" x 13.0				100.00	_	
MM	0	LF	\$	162.00	\$	-
CIPP Sewer and Storm Main – 24" x 15.0 mm	0	LF	\$	228.00	\$	
Service Lateral Reinstatement	450	EA	\$	146.00	\$	65,700.00
CIPP Service Lateral – 4" to 6" Pipe ≤ 15 LF	450	EA	\$	1,828.00	\$	822,600.00
CIPP Service Lateral – 4" to 6" Pipe > 15 LF	0	EA	\$	4,410.00	\$	-
Clean Out Installation – 4"	0	EA	\$	4,410.00	\$	
Post-CCTV Inspection ≤ 12" Pipe	29445	LF	\$	1.70	\$	
		LF	\$		\$	50,056.50
Post-CCTV Inspection > 12" Pipe	0	LF	Φ	1.80	_	2 227 450 75
TOTAL ESTIMATE \$ 2,337,458.75						

TRENCHLESS SEWER REHABILITATION

BID TABULATION

BIDDERS	Southeast Pipe Survey, Inc.	VEIT National	SAK Construction LLC	Cajenn Construction & Rehabilitation Services, inc.	GCU, LLC	Insituform Technologies
Total	\$3,170,513.00	\$4,941,494.00	\$4,991,465.00	\$5,610,850.00	\$6,880,899.50	\$6,648,507.80
Addendum Acknowledged (4)	Yes	Yes	Yes	Yes	Yes	Yes
5% Bid Bond	Yes	Yes	Yes	Yes	Yes	Yes
Attachment A	Complete	Complete	Complete	Complete	Complete	Complete
Attachment B	Complete.	Complete.	Complete.	Complete.	Complete.	Complete. Additional information provided
Attachment C	Complete	Complete	Complete	Complete	Complete	Complete
Attachment D	Complete	Complete	Complete	Complete	Complete	Complete
Attachment E	Complete	Complete	Complete	Complete	Complete	Complete
Exception Sheet	None	None	None	None	None	None

STATE OF GEORGIA	
	WATER AND SEWER AGREEMENT
COUNTY OF CHATHAM	

THIS WATER AND SEWER AGREEMENT (hereinafter referred to as "Agreement") entered into this _____ day of ______, 2025, by and between the CITY OF POOLER, a municipal corporation organized and existing under the laws of the State of Georgia ("Pooler"), the MAYOR AND ALDERMAN OF THE CITY OF SAVANNAH, a municipal corporation organized and existing under the laws of the State of Georgia ("Savannah"):

WHEREAS, Article IX, Section III, Paragraph 1 of the Constitution of the State of Georgia provides that municipalities of the State may contract with one another for any period not exceeding 50 years; and

WHEREAS, pursuant to such authority, Pooler and Savannah hereby enter into this Agreement providing for the delivery of potable water and sanitary sewer services; and

WHEREAS, both Pooler and Savannah are cities with municipal boundaries wholly within Chatham County, Georgia; and

WHEREAS, this Agreement is in contemplation of annexation of certain properties currently within the municipal boundaries of Savannah into Pooler, while simultaneously being deannexed from Savannah via Local Act of the Georgia General Assembly; and

WHEREAS, it is in the interest of the citizens/general public that this Agreement be executed and the commitments herein made.

NOW THEREFORE, and in consideration of the mutual covenants and agreements, and benefits and parties, Pooler, Savannah, and County agree as follows:

- 1. **The "Property".** The properties which are the subject of this Agreement are as follows:
 - a. The "Diocese Property" is a parcel of land owned by the Roman Catholic Diocese of Savannah ("Diocese") lying and being within the corporate boundaries of the City of Savannah, as more particularly shown and described on Exhibit A attached hereto and incorporated by reference herein:
 - b. The "CGS Property" is a parcel of land owned by The Church at Godley Station, Inc. ("CGS"), lying and being within the corporate boundaries of the City of Savannah, as more particularly shown and described on Exhibit A attached hereto and incorporated by reference herein;

The term "Property" as used herein collectively refers to the Diocese Property and the CGS Property.

- 2. Provision of Potable Water and Sanitary Sewer to the Property. The Property is currently served by Savannah with potable water and sanitary sewer. Savannah agrees to continue to provide such services to the Property in the event it is deannexed from Savannah, and annexed into Pooler as anticipated. The intent of the Parties to this Agreement is for the Property to retain the current provision of water and sewer service by Savannah, even after the anticipated annexation into Pooler.
- 3. Change in use of the Property. Notwithstanding paragraph 2 above, or anything herein to the contrary, presuming the Property has been deannexed from Savannah and annexed into Pooler, Savannah's obligation to provide water and sewer services to the Diocese Property, the CGS Property, or the SDA Property, may be terminated by Savannah, with 60 days written notice to Pooler, but only in the event the land use for the Diocese Property, the CGS Property, or the SDA Property changes from the current use (i.e., church or place of worship). Pooler agrees if it receives an application to change the use of the Diocese Property, CGS Property, or the SDA Property, it will notify Savannah in writing of such application within 10 days.
- 4. <u>Cost, Maintenance, and Repair</u>. Pooler shall not be responsible for any cost associated with the provision of water and sewer services to the Property by Savannah. Savannah shall bill the owners/occupiers of the Property directly for any costs associated with the water and sewer services. Additionally, Pooler shall not be responsible for any maintenance or repair of infrastructure owned or used by Savannah for the provision of water and sewer services to the Property. Savannah shall retain ownership of, and responsibility for maintenance and repairs to, any and all infrastructure necessary for the provision of water and sewer services to the Property.
- 5. <u>Term and Renewal</u>. This Agreement shall remain in full force and effect, unless otherwise terminated as set forth herein, for a period of 50 years from the effective date of this Agreement. This Agreement shall automatically renew for an additional period of 50 years upon conclusion of the initial term, unless either party provides written notice to the other no less than 1 year prior to the conclusion of the initial term.
- 6. <u>Amendments</u>. This Agreement sets forth the entire understanding of Pooler and Savannah and it may not be changed except by a written document signed and executed by all Parties and making express reference to this agreement.
- 7. <u>Law Governing Disputes</u>. The Parties agree that the laws of the State of Georgia will govern all disputes under this Agreement and determine all rights hereunder.
- 8. <u>Severability</u>. The provisions of this Agreement are severable. If any judgement or court order shall declare any provision or provisions of this agreement invalid or

unenforceable, the other provisions of this agreement shall not be affected thereby and shall remain in full force and effect.

9. <u>Binding Effect.</u> This Agreement and the covenants and conditions herein contained shall apply to and bind the successors and assigns of the Parties hereto, or any other political subdivision assuming the obligations of any party hereto.

10. Notices.

- a. Any required notice to any Party under this Agreement shall be in writing and shall be: (i) hand delivered; (ii) sent by certified or registered USPS mail, return receipt requested; or (iii) sent statutory overnight delivery. Any notice(s) shall be addressed to the intended recipient at the address specified below. Any notice sent as required under this Agreement and refused by the intended recipient shall be deemed delivered as of the date of such refusal.
- b. For purposes of this Section, the addresses of the parties for all notices are as follows (unless changed by a similar notice in writing given by the particular party whose address is to be changed):

i. Pooler: City of Pooler

ATTN: City Manager 100 U.S. Highway 80 Pooler, GA 31322

City of Pooler

ATTN: Office of the Mayor 100 U.S. Highway 80 Pooler, GA 31322

ii. Savannah: City of Savannah

ATTN: City Manager

P.O. Box 1027

Savannah, GA 31402

City of Savannah

ATTN: Office of the Mayor

P.O. Box 1027

Savannah, GA 31402

11. <u>Counterparts</u>. This Agreement may be signed in several counterparts, each one of which shall be an original and all of which when taken together will be deemed one instrument.

12. <u>Effective Date</u>. This Agreement shall become immediately effective upon approval by the respective governing bodies and the proper affixation of all required signatures hereto.

IN WITNESS WHEREOF, the parties have caused these presents to be executed by their duly authorized officers and their seals affixed as of the day and year first above written.

Executed in the presence of:	MAYOR AND COUNCILMEMBERS OF THE CITY OF POOLER, GEORGIA
Witness	By: Karen L. Williams, Mayor
Notary Public (SEAL)	Attest: Kiley Fusco, City Clerk (SEAL)
Approved as to form:	By: Craig A. Call, City Attorney for Pooler
Executed in the presence of:	MAYOR AND COUNCILMEMBERS OF THE CITY OF SAVANNAH, GEORGIA
Witness	By: Joseph A. Melder, City Manager
Notary Public (SEAL)	Attest: Mark Massey, City Clerk (SEAL)
Approved as to form:	By: R. Bates Lovett, City Attorney for Savannah